

**AGENDA**  
**Municipal Services Committee**  
**December 23, 2019**  
**7:00 P.M. – Council Chambers**

- 1. Call to Order & Roll Call**
- 2. Establishment of Quorum**
- 3. New Business**
  - a. **PZC 2019-04 - 7532 South Cass Avenue** - Petitioner 7532 CASS AVE LLC (John Manos), as owner of property at 7532 South Cass Avenue, seeks approval to permit the redevelopment of a vacant lot (former Phillips 66 service station) into a retail center with one multi-tenant building and one drive through facility, located within the B-2 Community Shopping Center Business District.
    1. Presentation regarding marquee sign at Plainfield Road and Cass Avenue in conjunction with proposed development of Dunkin' Donuts.
  - b. **Resolution** – Accepting a proposal from Underground Pipe & Valve Co., for the Clow Eddy fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.
  - c. **Resolution** – Accepting a proposal from Underground Pipe & Valve Co., for the Clow Eddy F2500 fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.
  - d. **Resolution** – Accepting a proposal from Underground Pipe & Valve Co., for the Clow Medallion fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.
  - e. Minutes – **November 25, 2019** Municipal Services Committee
- 4. Director's Report**
- 5. Next scheduled meeting – January 27, 2020**
- 6. Adjournment**

**AGENDA MEMO**  
**MUNICIPAL SERVICES COMMITTEE**  
**December 23, 2019**

**Case**

PZC 2019-04      7532 South Cass Avenue      (Redevelopment)

**Issue Statement**

**7532 South Cass Avenue, 7532 CASS AVE LLC (John Manos):** Requests approval to permit the redevelopment of a vacant lot (former Phillips 66 service station) into a retail center with one multi-tenant building and one drive through facility, located within the B-2 Community Shopping Center Business District.

**General Information**

Petitioners / Owners:                      7532 CASS AVE LLC / John Manos / Jemco & Assoc., LTD

Property Location / PIN#:                7532 S. Cass Avenue / 09-28-402-055

Zoning / Land Use:                        Site:    B-2 / vacant - former service station  
     North: B-2 / Commercial - Burrito Paradise  
     South: B-1 / Office - Cass Professional Center  
     East:    B-2 / Commercial - Darien Pointe  
     West:  B-2 / Commercial - Brookhaven Marketplace

Comprehensive Plan:                        Future Land Use: Commercial

Size of Subject Lot:                         24,980 square feet, 0.57 acres

Natural Features:                            none

Transportation:                              Frontage to Cass Avenue (145') and Plainfield Road (155')

**Zoning Provisions**

1. Section 5A-8-3-4: Special use approval for a drive-through establishment.
2. Section 5A-8-3-4: Special use approval to permit eating establishments as a right.
3. Section 5A-8-3-6: Variation to reduce the minimum lot area from 2 acres to .57 acres.
4. Section 5A-8-3-8(A)1(a): Variations to reduce required setbacks:
  - a. Front yard from 50 feet to 29.2 feet.
  - b. Corner Side yard from 50 feet to 30 feet.
5. Section 5A-8-3-8: Variations to reduce required parking setbacks:
  - a. Front yard from 30 feet to 20 feet.
  - b. Interior side yard from 20 feet to zero feet.
  - c. Rear yard from 30 feet to 17 feet.
6. Section 5A-8-3-9: Variation to exceed the maximum permitted lot coverage of 75 percent to 76.7 percent for buildings and all impervious surfaces.

7. Section 5A-10-5 and 5A-10-6: Variation to eliminate the required perimeter yard and parking lot landscaping.
8. Section 5A-10-6(C): Variation to eliminate the required landscape islands for parking and drive aisles.
9. Section 5A-10-7(A): Variation to eliminate the required 10-foot wide building foundation landscape strip.
10. Section 5A-10-7(B)1: Variation to eliminate the required perimeter landscape for a refuse disposal facility from 3 sides to 1 side.
11. Section 5A-11-3(B): Variations to reduce required driveway requirements:
  - a. Minimum driveway width from 24 feet to 23.5 feet.
  - b. Minimum driveway distance from a front property line from 30' to 5.2 feet.
  - c. Minimum driveway distance from a corner side property line from 30' to 12.2 feet.
  - d. Minimum driveway distance from a rear property line from 20' to 5.8 feet.

### **Development History and Proposal**

The subject property is located on the west side of Cass Avenue, north of Plainfield Road. Currently, the property is vacant, but in the past has operated as a Phillips 66 service station. Adjacent to and with access to Brookhaven Plaza, the property has a total of four access points between Cass Avenue and Plainfield Road.

The Petitioner proposes a plan to construct a single building of 3,506 square feet for a two-tenant space, with Dunkin' Donuts occupying the majority of the building, and a drive-through service lane that wraps the building. The parcel itself measures 24,974 square feet in area.

Given the size of the parcel, which does not meet current minimum size requirements for a B-2 property, several variations are required as noted above. The small size of the property has limited redevelopment without needing such variations, and has economically hindered previous interest and investment. Considered a gateway property to the core of the City, the Petitioner has worked with staff to optimize site design despite the size constraints. This includes a revision of existing curb-cuts to be reduced, with no access on Plainfield Road other than the shared Brookhaven Plaza entrance, and one remaining entrance on Cass Avenue.

The petition includes special use requests for both restaurant spaces, and the accompanying drive-through for Dunkin' Donuts. With construction, Dunkin' would relocate from the Plaza to the out lot.

The Petitioner controls ownership of both the subject property and the Plaza, and has drafted a Cross-Access Agreement that has been included with the application materials. This will secure proper easement rights to both properties for any traffic or pedestrians in perpetuity.

Two elevation options have been presented, one consisting of primary EIFS (Dryvit) that would match the construction of the existing Plaza, and one constructed in higher quality materials of brick and stone, with additional lighting and awnings. Code does not require the higher quality materials, but the Petitioner has presented both as there may be the opportunity to partner with the City economically to improve the presence of the building and monument signage to the corner, and is currently being discussed with the Council.

**Petitioner Documents** (attached to this memo)

1. [Petition](#)
2. [Narratives addressing requests, Special Use Standards and Variation Justification](#)
3. [Draft Access Agreement](#)
4. [Plat of Survey](#)
5. [Architectural Plans](#)
  - a. Site Plan
  - b. 1<sup>st</sup> Floor Plan
  - c. Tenant Plan
  - d. Roof Plan
  - e. Elevations (EIFS)
  - f. Elevations (Brick)
6. [Engineering Plans](#)
  - a. Title and Notes
  - b. Existing Topography and Demolition
  - c. Site Plan
  - d. Utility Plan
  - e. Grading and Erosion Plan
  - f. Detail Sheet
  - g. Landscape Plan
  - h. Lighting Plan

**Staff Documents** (attached to this memo)

7. [Location Map – aerial of neighborhood](#)
8. [Variation Justification Standards](#)
9. [Special Use Standards](#)

**Staff Plan Review**

*Zoning Review Summary*

As previously discussed, several variations are requested or required for the proposed site improvements and building construction. A summary is noted below:

Bulk Standard	Required	Proposed Variations	Notes
Lot Area	2 acres	.57 acres	Existing lot of record, previously developed
Front Yard Setback (building)	50 ft	29.2 ft	
Corner Side Yard Setback (building)	50 ft	30 ft	
Front Yard Setback (parking)	30 ft	20 ft	
Side Yard Setback (parking)	20 ft	0 ft	Parking at north property line abuts adjacent property
Rear Yard Setback (parking)	30 ft	17 ft	
Front Yard Setback (drive)	30 ft	5.2 ft	
Corner Side Yard Setback (drive)	30 ft	12.2 ft	
Rear Yard Setback (drive)	20 ft	5.8 ft	
Lot Coverage (building and other impervious surfaces)	75%	76.70%	
Landscape (perimeter yards parking lots)	As determined by setback	As determined by setback variation	Parking at north property line abuts adjacent property, no opportunity for plantings
Landscape (required islands)	9' width, at ends of parking	3 islands reduced to 2' to 3'-3", no landscape provided	Limited site area does not support interior islands
Landscape (foundation)	10 ft	0 ft	
Landscape (refuse screening)	3 sides	2 sides	
Driveway (width)	24 ft	23.5 ft	

Despite the requested variations, the site design has accommodated the required amount of parking spaces and drive-through vehicle stacking as required by code. Landscape, although reduced in setback areas, meets minimum requirements for the overall site.

Staff does not object to the proposed variations given the size and shape of the property, and notes the variation requests are similar to those granted to Darien Pointe across the street.

**PZC**

The Planning and Zoning Commission reviewed this petition at their public hearing on December 18. John Manos presented plans for the redevelopment and explained the efforts taken to both find preferred tenants and maximize optimize site design.

Recognizing the general desire for the redevelopment on an existing yet undersized site, the Commission raised questions on curb cuts and traffic, and requested that the petitioner and staff

work with the county to limit access on Cass Avenue to a right-in/right-out configuration to address potential traffic issues on the busy intersection. The location of the dumpster enclosure was also discussed and requested to be further analyzed for maximum screening without affecting traffic or sight-lines. Staff indicated that a masonry enclosure would be required as a condition of permit approval, which was acknowledged by the petitioner. Staff informed the Commission of potential façade improvements under discussion with the Council, and the opportunity for marquee signage benefitting the City at the corner of the intersection.

One resident spoke and expressed concerns on increased traffic at the busy intersection, and potential impacts on turning movements for local side-streets. Staff indicated the light at Cass and Plainfield was under county jurisdiction and would relay the concerns.

The Commission made findings that the petition satisfied both the special use standards and variation justifications and voted 8-0 to recommend approval of the requests as presented.

**Meeting Schedule**

If recommended by the Municipal Services Committee on December 23, then this item will be placed on the City Council agenda on January 6 for a final vote.



# ZONING APPLICATION

**CITY OF DARIEN**  
1702 Plainfield Road, Darien, IL 60561  
[www.darienil.us](http://www.darienil.us) 630-852-5000

### CONTACT INFORMATION

CHRIS GEORGE / JOHN MANOS  
Applicant's Name

124 HILL ST MOUNT PROSPECT, IL 60056-2732  
Address, City, State, Zip Code

(708) (847)-699-8150 (4) 847-530-0560  
Telephone

chrisgeorge\_ARCH @ YAHOO.COM  
Email

BROOK HAVEN PLAZA, LLC  
Owner's Name (JOHN MANOS)  
242 BUNTING LANE

BLOOMING DALE, IL 60108-1420  
Address, City, State, Zip Code

630-212-1644  
Telephone

JMANOS@BANKFINANCIAL.COM  
Email

### PROPERTY INFORMATION

7532 CASS AVENUE  
Property address PIN Number(s)

Zoning District Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

### REQUEST

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

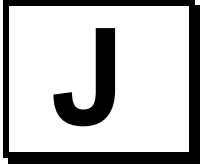
As Notary Public, in and for DuPage County in Illinois, I do hereby certify that JOHN G. MANOS is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.

Given under my hand and seal, this 2<sup>ND</sup> day of December 2019.

→ Marilyn Manney  
Notary Public

For office use only	
Date Received:	
Case Number:	
Fee Paid:	
Hearing Date:	





**Jemco & Associates, LTD.**  
**242 Bunting Lane**  
**Bloomington, IL 60108**  
**630-686-0600 Fax 630-307-0185**  
**e-mail: jmanos@att.net**

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November 22, 2019

Mayor Joe Marchese  
City of Darien  
1702 Plainfield Rd.  
Darien, IL 60561

**Re: 7532 S. Cass Ave., Darien Illinois**

Dear Honorable Mayor Marchese,

I hope you are well. This letter is meant to describe the small development of the corner lot located at 7532 S. Cass Avenue.

Our intent is to develop this corner building as close to, and as aesthetically pleasing, as the corner that the City developed across the street on Cass Avenue. We believe that it has made an impact to this busy intersection and compliments not only this intersection, but also the community as a whole.

At this point we have signed a lease agreement with Dunkin Donuts where they will relocate from the inline space to this corner lot location. We have also signed a lease agreement with an Italian restaurateur where they will prepare Italian calzones, pizza and sandwiches.

We believe that this is the best opportunity we have had in the past several years to develop this vacant lot. We foresee this to be a destination oriented facility that will be resident friendly and appealing for this intersection. A place where people can congregate and treat it more as a center of the town.

The building is approximately 3,508 square feet, where the Dunkin space is 2,184 square feet and the Italian space is 1,324 square feet. We have some limited outside seating and a drive through. The existing lot area is 24,974 square feet and is a B-2 Zoning.

We are doing our best to develop the lot due to its size constraints and setbacks. We are therefore respectfully asking for a few variances; such as the lot is not the required 2 acres in order to develop. A variance is requested to the front yard setbacks are shown on the architects plan and letter. Parking and stacking are per code and we have a cross easement agreement with Brookhaven Plaza, next door, which we have provided to staff.



We believe this to be a good opportunity to develop this site and to create another gateway sign, comparable to the clock tower built at the center to the east of us. Creating a sort of a portal, to the City of Darien.

While we are eager to develop this site, we have been advised by our Lender and Realtors that it is very risky to develop a center this small and with only two tenants, especially where there is no franchisor guarantee. We have given considerable amount of money to both tenants in order to entice them to take this space. Lender is concerned that the property will not appraise to that value, if you add another \$850,000. This is the initial estimate to construct the building in reference.

We are asking for \$150,000 in support to build this building from the City of Darien. This would make the site as aesthetically pleasing as the property that you constructed across the street. The amount would help fund the gateway sign, additional ornate building facade, landscaping and parking lot area.

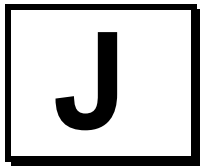
Please review and forward this request to the City Council and let us know if there is any additional information that you may need from us at this time.

We appreciate your time and efforts on this and look forward to working with you to develop this very important corner for our community.

Sincerely,

John G. Manos  
President

/jsa



**Jemco & Associates, LTD.**  
242 Bunting Lane  
Bloomington, IL 60108  
630-686-0600 Fax 630-307-0185  
e-mail: jmanos@att.net

December 2, 2019

Mayor Joe Marchese  
Dan Gombac  
Joe Hennerfeind  
City of Darien  
1702 Plainfield Rd.  
Darien, IL 60561

**Re: 7532 S. Cass Ave., Darien Illinois**

Dear Honorable Mayor Marchese,

I hope you are well. This letter is meant to address the zoning variations and special use explanations for the small development of the corner lot located at 7532 S. Cass Avenue.

**CITY OF DARIEN  
ZONING VARIATIONS  
JUSTIFICATION NARRATIVE**

**Purpose**

To be consistent and fair, the City is obligated to make decisions on zoning variation requests based on findings-of-fact. The Applicant should write a justification narrative that contains evidence (facts) that support a conclusion (finding) that the variation is necessary and would not cause problems. It should include a) explanation of why the variation is being requested, b) describe the 'hardship condition' of the property that makes it difficult to conform, c) estimate the impact on neighbors , and d) respond to each of the decision criteria below.

**Decision Criteria** (See City Code Section 5A-2-2-3)

- 2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.
  - This is a small site and is difficult to allow tenants to go in with their minimum square foot requirements and still allow for parking and drive thru for this location.
- 2b. The plight of the owner is due to unique circumstances.
  - This is a unique circumstance as it is a small site however there is a cross easement agreement with the neighboring property that allows for solutions to parking and access.
- 2c. The variation if granted will not alter the essential character of the locality.

- It will still be a separate parcel and should allow for patrons to easily access and use the facility.
- 3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.
- We have had several tenants look at this site and they could not meet the price point to make this site development break even and/or we could not meet their square foot requirements.
- 3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.
- The site is very small and it is awkward to meet all of the setbacks. We adjusted as much as we could to conform to most of them.
- 3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.
- We adjusted and cut back building size and adjusted to conform to setbacks as much as possible.
- 3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.
- Being a corner lot and the only adjacent property having a Cross Easement Agreement we have done all we can to not create a problem with neighbors.
- 3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.
- We hope to be able to create an atmosphere that will be inviting and suitable for the residents and the business users.
- 3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.
- The positive impacts to the community will outweigh the small setback variance that is being requested.
- 3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.
- We have addressed with staff and with our engineers special attention to landscaping, lighting, and assurance to not create any nuisance.

**SPECIAL USE STANDARDS**  
Zoning Code Section 5A-2-2-6(G)

No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. That the special use is deemed necessary for the public convenience at the location specified.  
-This special use is being requested to allow the restaurants and for the drive thru. The restaurants will be a draw for the community. The Dunkin Donuts is already a gathering place for not only coffee but for the residents to congregate and socialize. The Italian restaurant will be a draw with their specialty items.
2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.  
-Our architects and engineers have taken all precautions to make sure that the drive-thru has the stacking, and then the restaurants have all of the safety design features that are needed.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.  
-There is an agreed upon Cross Easement Agreement with the surrounding property and both look to work together with the resident traffic flow.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.  
-The uses will be a welcomed business to the community as the property owners have been asked by several residents and business owners to bring in and to further develop the vacant with restaurants.
5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.  
-Landlord is planning for the architectural design, landscaping and functional plan to be above average of the neighborhood.
6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.  
-Due to the site being smaller than normal the landlord has reviewed several designs so as to assure that all access and facilities are designed to the best possible solution.
7. That adequate measures have been or will be taken to provide ingress and egress so designed to minimize traffic congestion in the public streets.  
-This small site currently has four driveways. Our plan and traffic pattern was studied by our architect and engineers so as to insure smooth ingress, egress and no congestions.

8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and the Planning and Development Committee.

-We have done the best we can with staffs reconditions to adjust as best as possible to fit this site.

We appreciate your time and efforts on this and look forward to working with you to develop this very important corner for our community.

Sincerely,

John G. Manos  
President

/jso

REVISED PLANS  
DATE 12/12/19

## CROSS ACCESS EASEMENT AND MAINTENANCE AGREEMENT

THIS CROSS ACCESS EASEMENT AND MAINTENANCE AGREEMENT (the "Agreement") is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ (the "Effective Date), by and between grantor 7532 Cass Avenue, an Illinois limited liability company with a mailing address of \_\_\_\_\_ (hereinafter "CASS AVENUE") and grantee Brookhaven Plaza, LLC, with a mailing address of 242 Bunting Lane, Bloomingdale, IL 60108 (hereinafter "BROOKHAVEN PLAZA"). Both at times may herein be referred to as a "Party" or "the Parties."

### WITNESSETH:

WHEREAS, CASS AVENUE is the owner of that certain parcel of land more commonly known and numbered 7532 Cass Ave. Darien, IL 60561 Pin # 09-28-402-025 and as further set forth on Exhibit "A", attached herein and made a part hereof (the "CASS AVENUE Parcel"); and

WHEREAS, BROOKHAVEN PLAZA is the owner of that certain parcel more commonly known and numbered as 7516 Cass Ave. Darien IL 60561 Pin # 09-28-402-021, 09-28-402-024, 09-28-402-026 and as further set forth on Exhibit "B" attached herein and made a part hereof (the "BROOKHAVEN PLAZA Parcel"); and

WHEREAS, the parties intend to grant to a mutual cross-access easement across their respective parcels, subject to the terms and conditions set forth herein below,

NOW, THEREFORE, for and in consideration of the easement herein granted, the receipt and adequacy of which is hereby acknowledged, it is hereby agreed as follows:

1. INGRESS AND EGRESS EASEMENT. CASS AVENUE hereby grants to BROOKHAVEN PLAZA, and its respective successors and assigns, a nonexclusive easement of vehicular and pedestrian ingress and egress over, upon, through and across the CASS AVENUE Parcel as more particularly described and shown on Exhibit "C-1" and "C-2", attached herein and made a part hereof (the "Brookhaven Easement").

Reciprocally, BROOKHAVEN PLAZA hereby grants to CASS AVENUE, and its respective successors and assigns, a nonexclusive easement of vehicular and pedestrian ingress and egress over, upon, through and across the BROOKHAVEN PLAZA Parcel as more particularly described and shown on Exhibit "D-1" and "D-2", attached herein and made a part hereof (the "CASS AVENUE Easement").

2. LIMITED PARKING EASEMENT. BROOKHAVEN PLAZA hereby grants to CASS AVENUE, and its respective successors and assigns, a non-exclusive limited easement appurtenant only for the parking of passenger vehicles for employees and over-flow business invitees of CASS AVENUE upon the BROOKHAVEN PLAZA Parcel as depicted by the cross-hatched area in the Site Plan shown on Exhibit "E" attached herein and made a part hereof (Limited Parking Easement) subject to the following:

(a) Parking for commercial trucks or vehicles are prohibited;

(b) No vehicles shall be stored, abandoned, or otherwise allowed to remain overnight or during non-business periods within the boundaries of the Limited Parking Easement;

(c) BROOKHAVEN PLAZA reserves the right to establish reasonable rules and regulations with respect to the Limited Parking Easement and reserves the right to eject or cause to be ejected from the Limited Parking Easement area and its common area any persons or vehicles not authorized, empowered, or privileged to use same;

(d) BROOKHAVEN PLAZA reserves the right to close off the Limited Parking Easement area for such reasonable periods of time as may be reasonably necessary for legal, construction, or commercial purposes;

(e) Public sewer lines, water lines, electric, gas, or other public or private utilities may be constructed on the Limited Parking Easement, and the construction of the aforementioned items by BROOKHAVEN PLAZA shall not be precluded by the grant of this easement; and

(f) The grant of the Limited Parking Easement by BROOKHAVEN PLAZA shall not be deemed to constitute a dedication of any portion of its parcel or be construed to create any right in or for the benefit of any occupant of any part of the parcel, it being understood that this Limited Parking Easement shall be strictly limited to and for the purposes herein expressed and shall not limit BROOKHAVEN PLAZA from extending the benefit of the use of the Limited Parking Easement to its tenants, invitees, permittees, or agents.

3. MAINTENANCE. The parties agree to maintain each respective Easement Area in good order and repair including, but not limited to, surface quality, striping and timely removal of snow and ice. Such maintenance obligation shall be subject to the following:

(a) Performance. Each party shall be responsible for the actual performance of the maintenance and repair of the Easement Area located on their respective parcel, and that they will at all times maintain said Easement Areas in a good and useable condition.

(b) Cost. Each party shall be responsible for One Hundred Percent (100%) of the maintenance costs associated with the Easement Area located on their respective parcel.

4. RESERVATION OF RIGHTS. The Parties expressly reserve the right to use the Easement Areas over their respective Parcels for all purposes which are not inconsistent with this Agreement.

5. RESTRICTIONS ON USE. The rights granted herein shall be subject to the following:

(a) The Easements shall be used only for vehicular and pedestrian traffic for the purpose of ingress and egress.

(b) No vehicles shall be parked, stored, abandoned or otherwise allowed to remain within the boundaries of the Easement Areas.

(c) All parties shall use the rights granted by this Agreement with due regard to the rights of others and their use of the Easement Areas, and no person shall use the Easement Areas in any way that will impair the rights of others to use the Easement Areas or to obstruct passage thereon.

6. RELOCATION. CASS AVENUE reserves the right, at its sole expense, to relocate the BROOKHAVEN PLAZA Easement provided the relocated BROOKHAVEN PLAZA Easement Area can reasonably be used for its intended purpose by BROOKHAVEN PLAZA. CASS AVENUE may exercise this right by giving BROOKHAVEN PLAZA no less than sixty (60) days prior written notice of the same. Reciprocally, BROOKHAVEN PLAZA reserves the right, at its sole expense, to relocate the CASS AVENUE Easement Area provided the relocated CASS AVENUE Easement Area can reasonably be used for its intended purpose by CASS AVENUE. BROOKHAVEN PLAZA may exercise this right by giving CASS AVENUE no less than sixty (60) days prior written notice of the same. **COSTS???**

7. CONDITIONS PRECEDENT. The Easements herein granted are subject to all easements, covenants, conditions, encumbrances and restrictions of record applicable to the respective Easement Areas.

8. INDEMNITY. BROOKHAVEN PLAZA, for itself and its successors and assigns, covenants with CASS AVENUE, its successors and assigns, that it will defend, assume all liability for, and pay and indemnify and save harmless CASS AVENUE, its successors and assigns from and against any and all damages, injuries, losses, claims, demands, suits and liabilities of every nature which CASS AVENUE, its successors and assigns, may sustain by reason of the use of the CASS AVENUE Easement by BROOKHAVEN PLAZA, its tenants, successors, assigns, licensees, guests, invitees, customers, suppliers, agents or employees; and CASS AVENUE, for itself and its successors and assigns, covenants with BROOKHAVEN PLAZA, its successors and assigns, that it will defend, assume all liability for, and pay and indemnify and save harmless BROOKHAVEN PLAZA, its successors and assigns from and against any and all damages, injuries, losses, claims, demands, suits and liabilities of every nature which BROOKHAVEN PLAZA, its successors and assigns, may sustain by reason of the use of the BROOKHAVEN PLAZA Easement by CASS AVENUE, its tenants, successors, assigns, licensees, guests, invitees, customers, suppliers, agents or employees



9. **WARRANTY OF TITLE.** Each Party warrants that it has the full right and power to grant the Easement referred to in this Agreement and that it has the fee simple title to the respective Easement Area.

10. **EASEMENT APPURTENANT.** Subject to the provisions of paragraph 6 herein above, the Easements hereby granted shall run with the land, and enjoyment thereof shall continue in perpetuity. The obligations hereby imposed and all other terms of this Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective successors and assigns.

11. **GOVERNING LAW.** This Agreement shall be construed and interpreted in accordance with the laws of the State of Illinois.

12. **ENFORCEMENT.** This Agreement may be enforced by the Parties and their respective successors and assigns against any person or entity having obligations hereunder by injunction and/or all such other legal and equitable remedies for the consequences of such breach. If any Party, or person benefited hereby, institutes any litigation to enforce any of the terms, covenants, conditions, easements and restrictions set out in the Agreement, the prevailing Party in such litigation shall be entitled to collect court costs and reasonable attorneys' fees from the non-prevailing Party. Any monetary judgment, which shall include reasonable attorney's fees, shall constitute a lien against the respective real property of the defaulting Party. Upon proper recordation in the Clerk's Office, unpaid assessments, including special assessments, shall constitute a lien and charge against a parcel until paid in full or otherwise discharged and released, and in addition to any other right or remedy, at law or in equity, and shall be collectable and enforceable against said real property.

13. **SEVERABILITY.** If any term or provision of this Agreement or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Agreement shall not be affected thereby, and each term and provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

14. **COUNTERPARTS.** This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, and all of which shall together constitute one and the same instrument.

**IN WITNESS WHEREOF,** the parties have executed this Agreement as of the year and date last set forth below, to be inserted as the Effective Date herein above.

7532 CASS AVENUE, LLC,  
an Illinois limited liability company

BROOKHAVEN PLAZA, LLC  
an Illinois limited liability company

By: \_\_\_\_\_  
Its Authorized Manager

By: \_\_\_\_\_  
Its Authorized Manager

Date: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
 ) SS:  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, a Notary Public, in and for such County and State hereby certify that \_\_\_\_\_ as \_\_\_\_\_ of 7532 CASS AVENUE LLC, an Illinois limited liability company appeared before me this day in person, and acknowledged that he signed and delivered this instrument in his stated capacity for the uses and purposes set forth herein.

Given under my hand and notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
 ) SS:  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, a Notary Public, in and for such County and State hereby certify that Brookhaven Plaza, LLC appeared before me this day in person, and acknowledged that he signed and delivered this instrument in his capacity for the uses and purposes set forth herein.

Given under my hand and notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

This Instrument Prepared By:  
Gregory G. Castaldi  
Law Office of Gregory G. Castaldi,  
A Professional Corporation  
5521 North Cumberland Avenue, Suite 1109  
Chicago, Illinois 60656

**CONSENT**

The undersigned holder of that certain Mortgage dated August 27, 2018, executed by Brookhaven Plaza LLC, an Illinois limited liability company, in favor of the undersigned, recorded in the Office of the Recorder of Deeds of Du Page County, Illinois on September 6, 2018, as Document Number R2018-084008, encumbering the Brookhaven Plaza parcel hereby consents to the foregoing Cross Access Easement and Maintenance Agreement.

Dated: \_\_\_\_\_, 20\_\_

JP Morgan Chase Bank, NA

By \_\_\_\_\_  
Its \_\_\_\_\_

State of \_\_\_\_\_ )  
  ) SS.  
County of \_\_\_\_\_ )

I, the undersigned, a Notary Public in and for the County in the State aforesaid, DO HEREBY CERTIFY that \_\_\_\_\_, the \_\_\_\_\_ of JP Morgan Chase Bank, NA, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument as such \_\_\_\_\_, appeared before me this day in person and acknowledged that he signed and delivered said instrument as his own free and voluntary act and as the free and voluntary act of said JP Morgan Chase Bank, NA for the uses and purposes therein set forth; and said \_\_\_\_\_ then and there acknowledged that he, as custodian of the corporate seal of said JP Morgan Chase Bank, NA, did affix the corporate seal of said Bank to said instrument as his own free and voluntary act and as the free and voluntary act of said Bank, for the uses and purposes therein set forth.

Given under my hand and notarial seal this \_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Notary Public

ATTACHED EXHIBITS –

- Exhibit A - CASS AVENUE Parcel (legal description)
- Exhibit B - BROOKHAVEN PLAZA Parcel (legal description or address)
- Exhibit C-1 - Legal description of CASS AVENUE Easement Area
- Exhibit C-2 - Drawing depicting CASS AVENUE Easement Area
- Exhibit D-1 - Legal description of BROOKHAVEN PLAZA Easement Area
- Exhibit D-2 - Drawing depicting BROOKHAVEN PLAZA Easement Area
- Exhibit E - Limited Parking Easement

Exhibit A - CASS AVENUE Parcel (legal description)

THAT PART OF LOT 302 DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF PLAINFIELD ROAD, AND THE WESTERLY LINE OF CASS AVENUE; THENCE WESTERLY ALONG THE NORTHERLY LINE OF PLAINFIELD ROAD, 155 FEET; THENCE NORTHERLY AND PARALLEL WITH CASS AVENUE, 210 FEET; THENCE EASTERLY ON A LINE PERPENDICULAR TO CASS AVENUE, 145 FEET TO A POINT ON THE WESTERLY LINE OF CASS AVENUE; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF CASS AVENUE, 145 FEET TO THE PLACE OF BEGINNING, IN BROOKHAVEN MANOR, A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS.

PIN #09-28-402-025

Common Address: 7532 Cass Avenue, Darien, Illinois 60561

Exhibit B - BROOKHAVEN PLAZA Parcel (legal description or address)

PARCEL 1: THAT PART OF LOT 302 (EXCEPT THE NORTH 200.0 FEET OF THE EAST 200.0 FEET THEREOF AND EXCEPT THE NORTH 164.5 FEET OF THE BALANCE OF LOT 302 AND EXCEPT THE WEST 20 FEET OF THE SOUTH 13.5 FEET OF THE NORTH 213.5 FEET OF THE EAST 206 FEET OF LOT 302) LYING NORTH OF A LINE DESCRIBED BY BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 302, 382.48 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT AND RUNNING THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE 150.0 FEET; THENCE SOUTHWESTERLY TO A POINT 386.16 FEET NORTHWESTERLY FROM, AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID LOT 302, FROM A POINT ON THE SOUTH LINE OF SAID LOT 100.0 FEET NORTHEASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT 302; THENCE NORTHWESTERLY 66.46 FEET TO A POINT ON THE WEST LINE OF LOT 302, 511.92 FEET SOUTH OF THE NORTHWEST CORNER OF LOT 302 IN BROOKHAVEN MANOR, BEING A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 19, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF LOT 302 IN BROOKHAVEN MANOR, BEING A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS, DESCRIBED BY COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 302 AND RUNNING THENCE SOUTHWESTERLY ALONG THE SOUTH LINE OF SAID LOT 155.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 210.0 FEET; THENCE EASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 145 FEET, MORE OR LESS, TO THE EAST LINE OF SAID LOT; THENCE NORTH ON THE EAST LINE OF SAID LOT 182.48 FEET, MORE OR LESS, TO A POINT 382.48 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT; THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE 150.0 FEET; THENCE SOUTHWESTERLY TO A POINT 366.16 FEET NORTHWESTERLY FROM (AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID LOT) A POINT IN THE SOUTH LINE OF SAID LOT, SAID SECOND POINT BEING 100.0 FEET NORTHEASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT; THENCE SOUTHEASTERLY ON SAID RIGHT ANGLES LINE 366.16 FEET TO SAID POINT IN THE SOUTH LINE 100.0 FEET NORTHEASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTHEASTERLY ON SAID SOUTH LINE 315.0 FEET TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 3: THE NORTH 164.5 FEET (EXCEPT THE EAST 200 FEET THEREOF) OF LOT 302 IN BROOKHAVEN MANOR, BEING A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS.

PIN #09-28-402-021, 09-28-402-024, 09-28-402-026

Address of Property: 7516 Cass Avenue, Darien, Illinois 60561

Exhibit C-1

Legal description of CASS AVENUE Easement Area

Exhibit C-2

Drawing depicting CASS AVENUE Easement Area

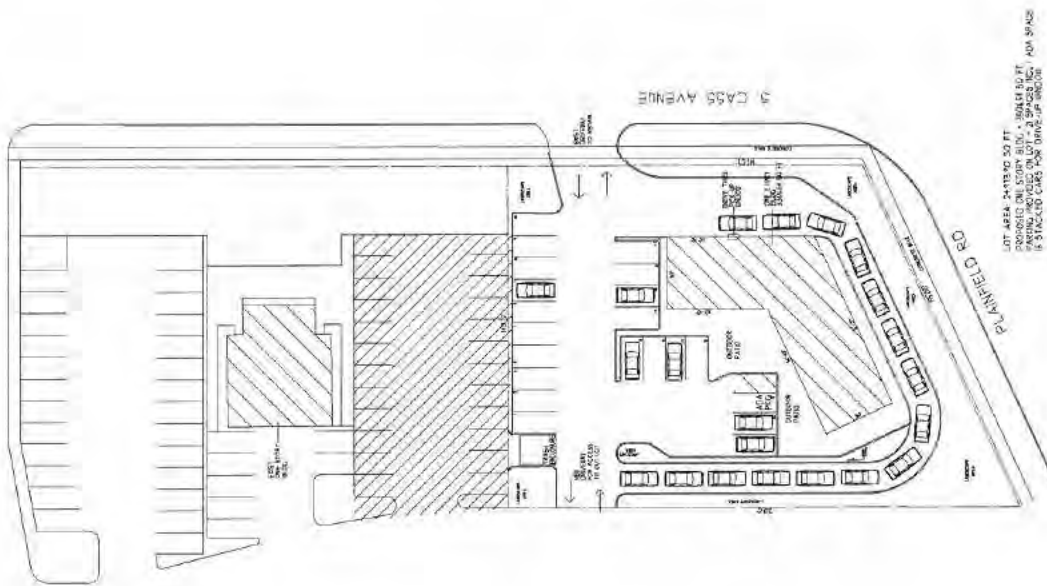


Exhibit D-1

Legal description of BROOKHAVEN PLAZA Easement Area

Exhibit D-2

Drawing depicting BROOKHAVEN PLAZA Easement Area



N

SITE PLAN

SCALE: 1" = 30'-0"

GRAND SCALE

DATE: 7/2010

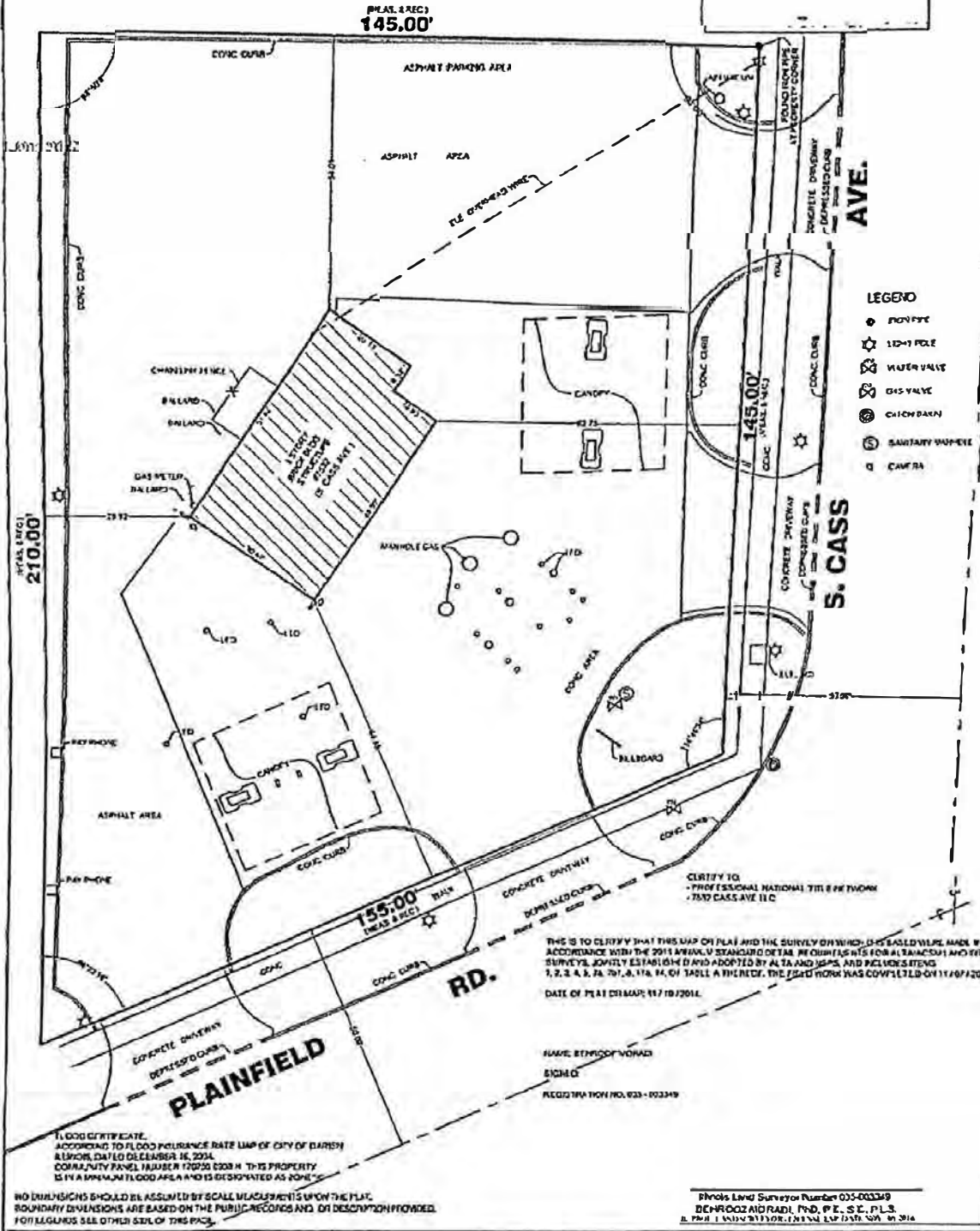
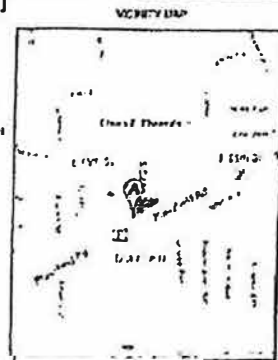
PROFESSIONAL DESIGN FIRM I.S./P.E. REGISTRATION NO. 184-002111

# ALTA/ACSM Land Title Survey

THAT PART OF LOT 303 DESCRIBED AS FOLLOWS, BEGINNING AT THE INTERSECTION OF THE NORTH-SOUTH LINE OF PLAINFIELD ROAD, AND THE WESTERLY LINE OF CASS AVENUE, THENCE WESTERLY ALONG THE NORTH-SOUTH LINE OF PLAINFIELD ROAD, 155.00 FEET TO THE NORTHERLY CORNER OF THE WESTERLY LINE OF CASS AVENUE, 210.00 FEET; THENCE EASTERLY ON A 180° BEARING PERPENDICULAR TO CASS AVENUE, 145.00 FEET TO A POINT ON THE WESTERLY LINE OF CASS AVENUE, 145.00 FEET SOUTH OF THE INTERSECTION OF CASS AVENUE, 145.00 FEET TO THE PLACE OF BEGINNING, BY PROPORTIONATE PARTS, A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THE RECORDS OF DEEDS OF CLATSOP COUNTY, OREGON, AS DOCUMENT 117787, PLAT 145 REC. 145.00.

LAND TOTAL AREA: 15423.80 FT.  
DATE: 09/10/2014  
COMMONLY KNOWN AS: 7377 SOUTH CASS AVENUE, BARNER, BLDG 03  
184-002111

0 10 20 30  
SCALE: 1 INCH = 20 FEET



- LEGEND**
- ◆ PROPERTY
  - ☆ 12-1 POLE
  - ⊗ WATER VALVE
  - ⊗ GAS VALVE
  - ⊗ CATCH BASIN
  - ⊗ SANITARY WASTEWATER
  - ⊗ CAMERA

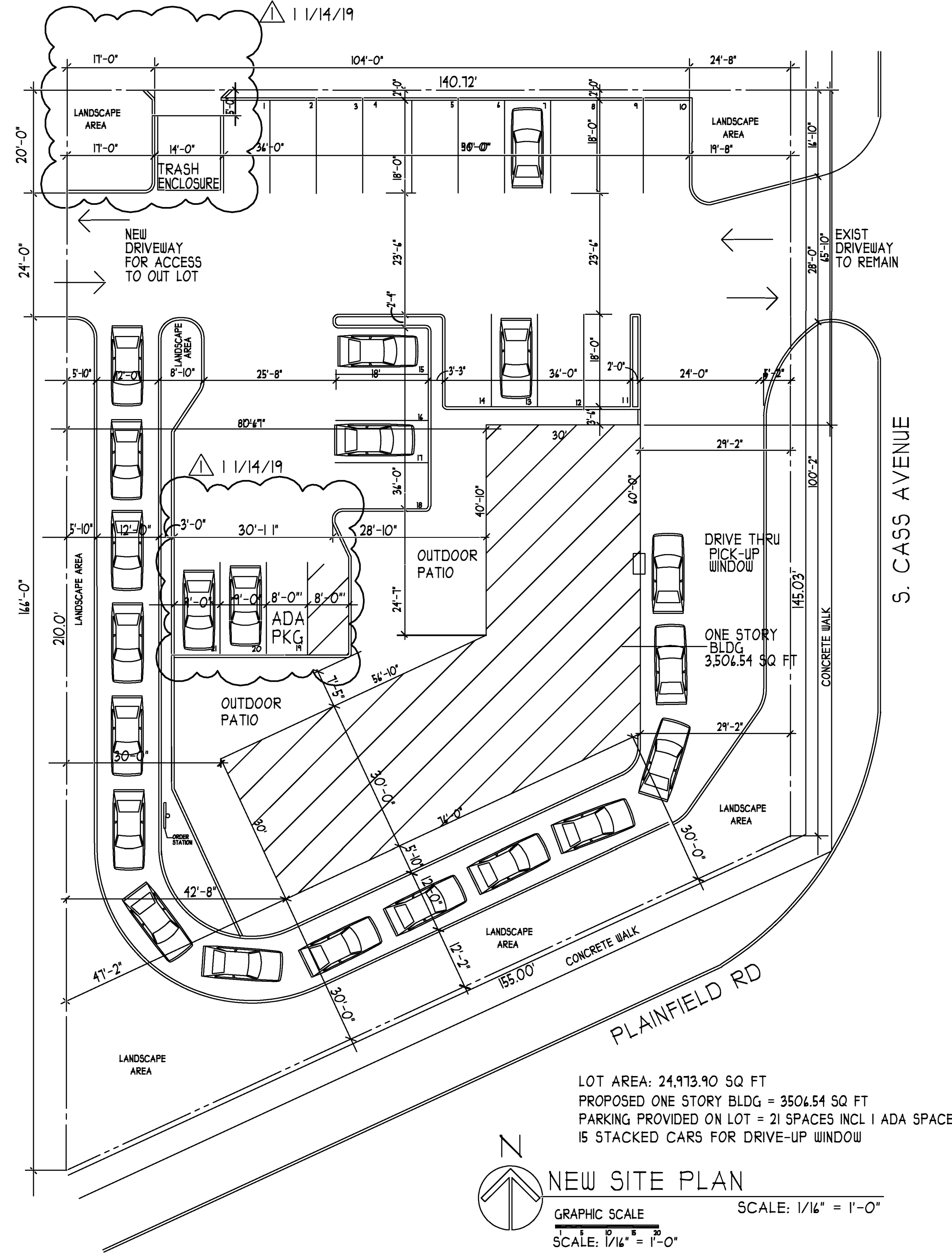
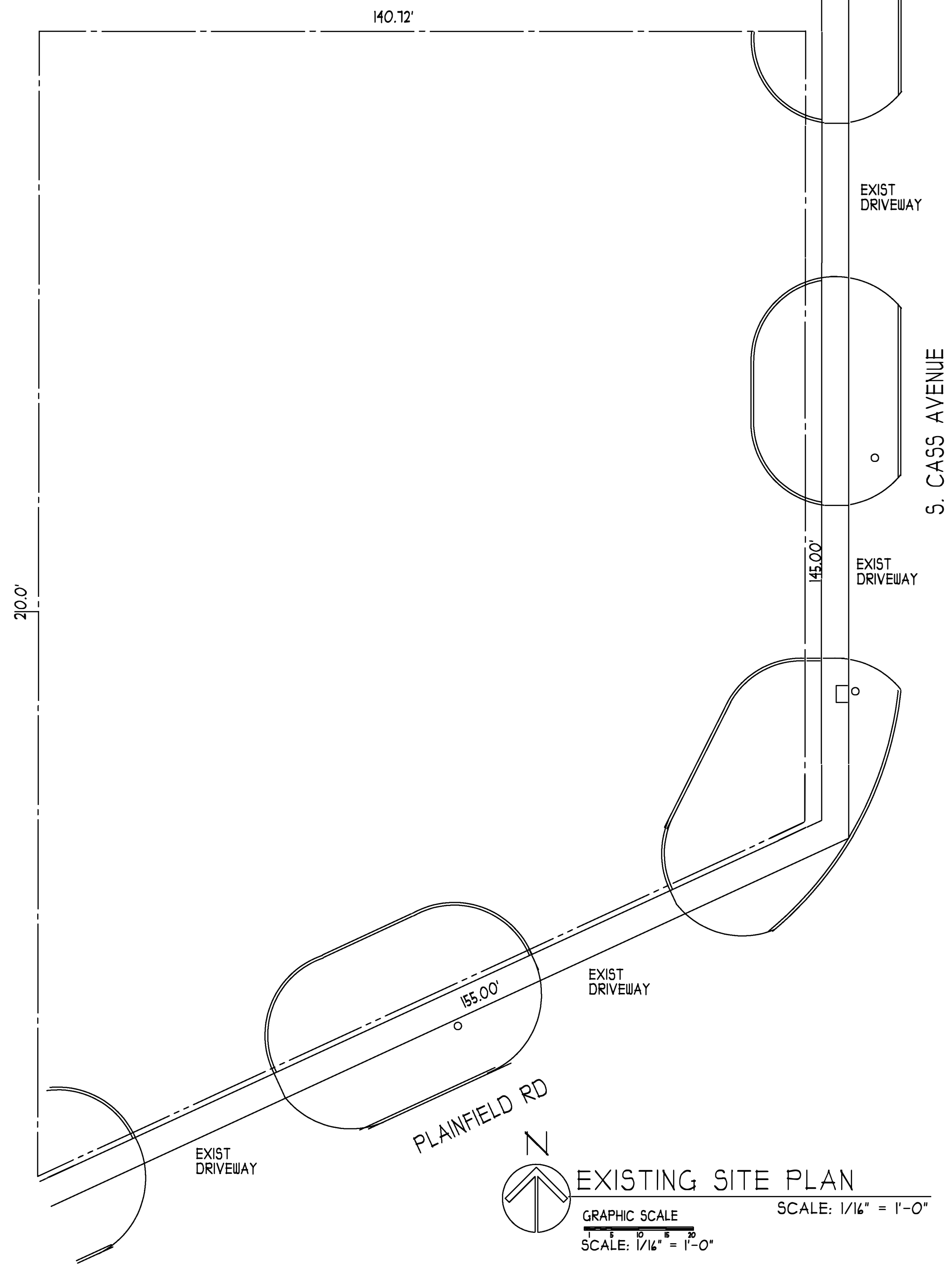
THIS IS TO CERTIFY THAT THIS MAP ON PLAT AND THE SURVEY THEREON, HAS BEEN MADE BY ACCORDANCE WITH THE 2011 NATIONAL STANDARD OF CARE, THE COMPASS RULES FOR ALTA/ACSM SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 7B, 8, 11A, 11, OF TABLE THREE. THE FIELD WORK WAS COMPLETED ON 11/07/2014. DATE OF PLAT ON MAP: 11/10/2014.

NAME: BETH COVATTA  
SIGNATURE: [Signature]  
REGISTRATION NO. 023-003349

FLOOD CERTIFICATE:  
ACCORDING TO FLOOD INSURANCE RATE MAP OF CITY OF BARNER, DATED DECEMBER 16, 2004, COMMUNITY FLOOD INSURANCE POLICY NUMBER 170235 0208 IN THIS PROPERTY IS IN A MINOR FLOOD AREA AND IS DESIGNATED AS ZONE "X".  
NO DILIGENT CHECKS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THIS PLAT. BOUNDARY DIMENSIONS ARE BASED ON THE PUBLIC RECORDS AND ON DESCRIPTION PROVIDED. FOR LEGAL USE SEE OTHER SIDE OF THIS PAGE.

Plat No. 145 REC. 145.00  
BARNER LAND SURVEY OF NUMBER 023-003349  
BETH COVATTA, P.E., S.C., P.L.S.  
184-002111

 MORADI MULTI DIMENSIONAL CONSULTING ENGINEERS 2043 N. IRVING PARK RD. DEBOLLE, OR 97101 TEL: (503) 345-8844 FAX: (503) 345-8844	JOB # 383-14 DRAWN: PA DATE: 11/09/14	CHECKED: G. CASTALDI DATE: 11/09/14	THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPAHED WITH CLEO AND CITY POLICY, BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE FOR BUILDING INSTRUCTIONS AND ON EASEMENTS REFER TO YOUR DEED CONTRACT, TITLE POLICY AND ON TOWN MAPS. THIS PLAT IS VALID ONLY IF IT CONTAINS THE DRAWING SIGNATURE AND SEAL OF THE SURVEYOR. IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT US AT:
	SHEET: 1 CHECKED: SM SCALE: 1"=20'	DATE OF FIELD WORK: 11/07/2014	PDF Created with deskPDF PDF Writer - Trial :: http://www.docuDesk.com



NO NET SCALE DRAWING USE ONLY DIMENSIONS.  
 COPYRIGHT © 2019 CHRIS GEORGE P.C.

**NEW BUILDING ON OUT LOT**  
**BROOKHAVEN SHOPPING CENTER**  
 1532 CASS AVENUE  
 DARIEN, IL 60561

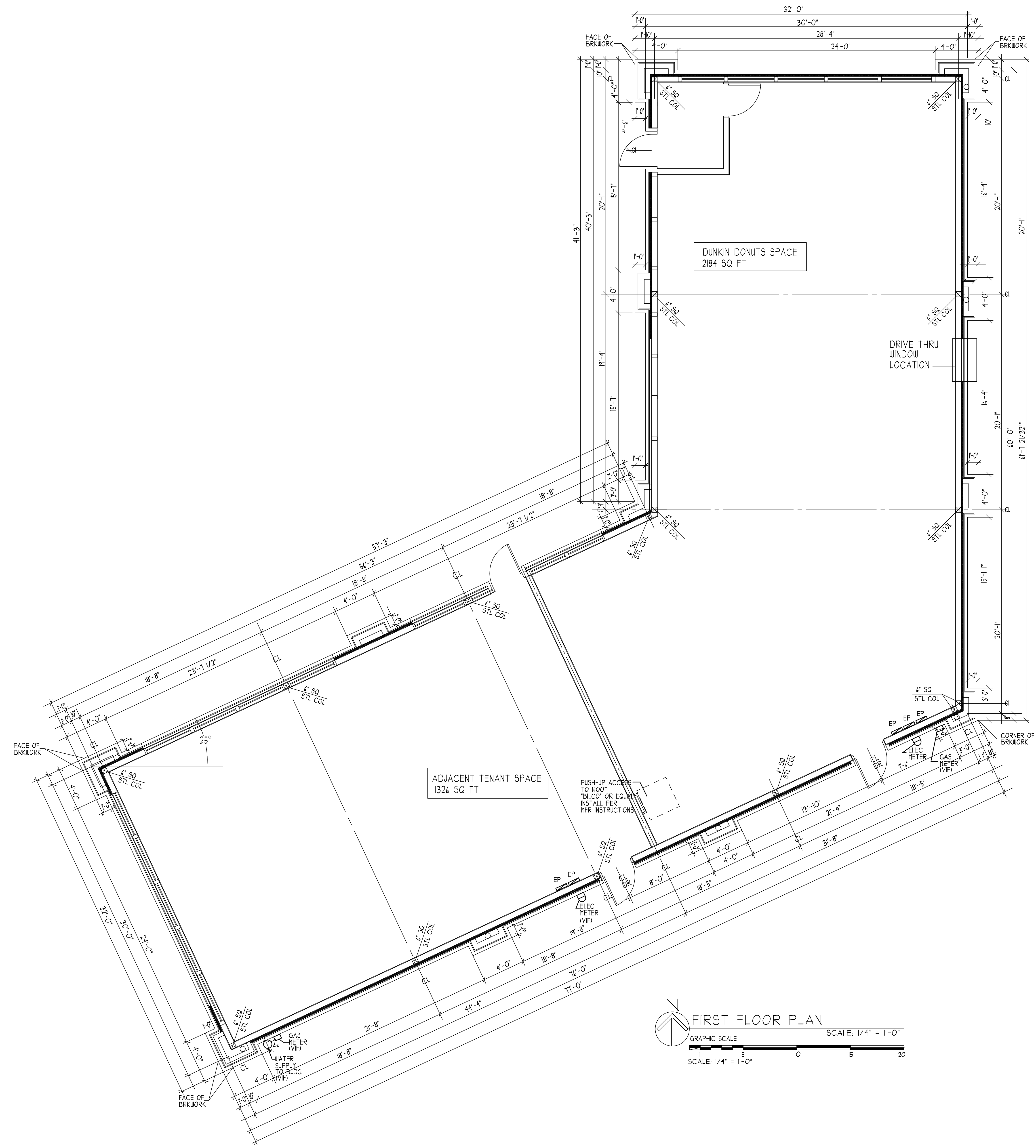
**CHRIS GEORGE, P.C.**  
 ARCHITECTS  
 104 HILL STREET  
 MT. PROSPECT, IL 60056-2732  
 email: chris@chrisgeorge.com  
 (847) 699-8150 FAX(847) 699-8151

REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
 CHECKED :  
 DATE : 1/21/19  
 SCALE : NOTED  
 JOB NO. : T100

SHEET  
 A



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 GRAPHIC SCALE: 0 5 10 15 20

DO NOT SCALE DIMENSIONS, USE DIMENSIONS.  
 COPYRIGHT © 2019 CHRIS GEORGE P.C.

**NEW BUILDING ON OUT LOT**  
**BROOKHAVEN SHOPPING CENTER**  
 1522 CASS AVENUE  
 DARIEN, IL 60561

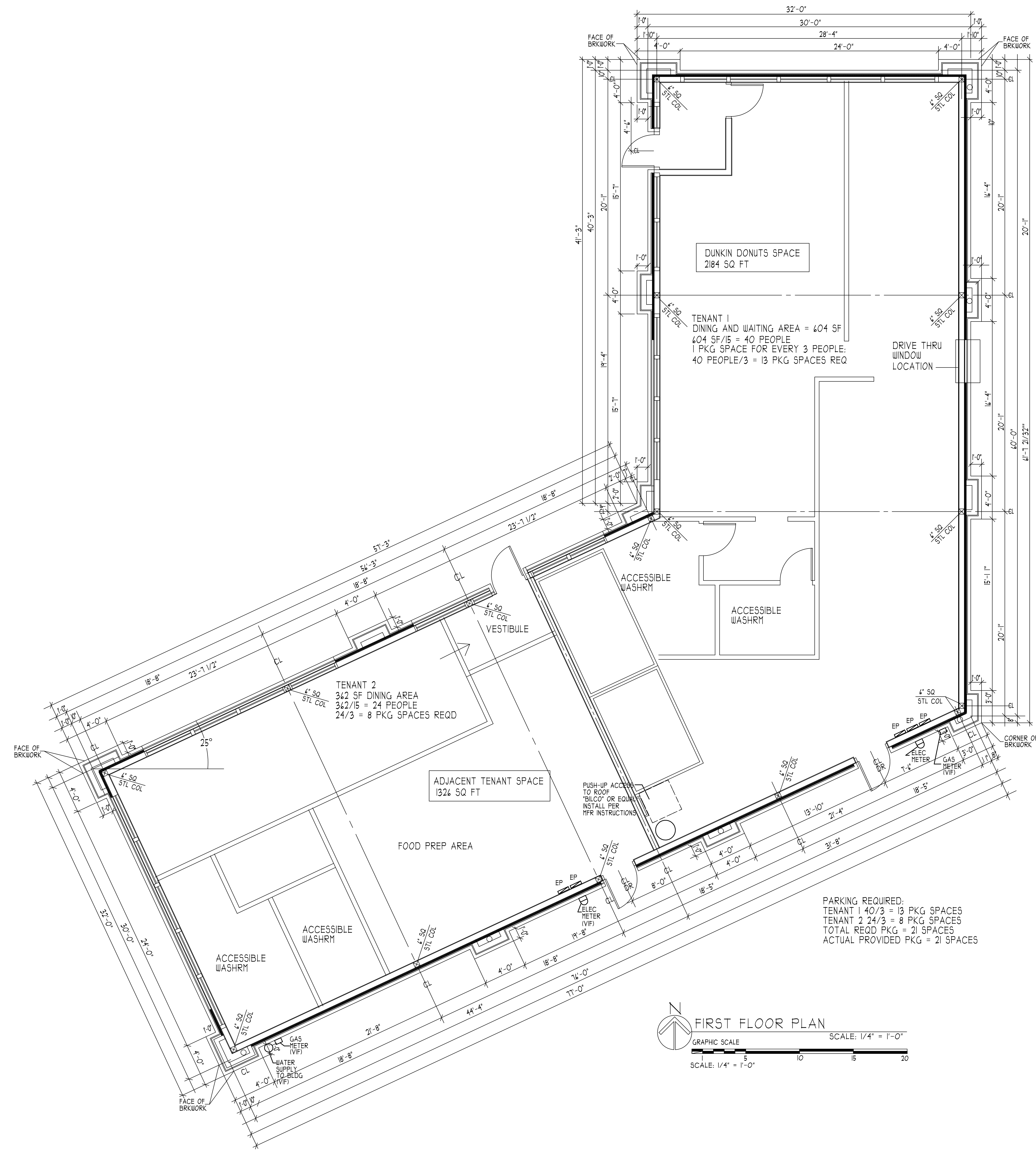
CHRIS GEORGE, P.C.  
 ARCHITECTS  
 104 HILL STREET  
 MT. PROSPECT, IL 60056-2732  
 email: chrisgeorge\_arch@yahoo.com  
 (847) 699-8150 FAX(847) 699-8151

REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
 CHECKED :  
 DATE : 11/21/19  
 SCALE : NOTED  
 JOB NO. : T100

SHEET  
**A**



PARKING REQUIRED:  
 TENANT 1 40/3 = 13 PKG SPACES  
 TENANT 2 24/3 = 8 PKG SPACES  
 TOTAL REQD PKG = 21 SPACES  
 ACTUAL PROVIDED PKG = 21 SPACES

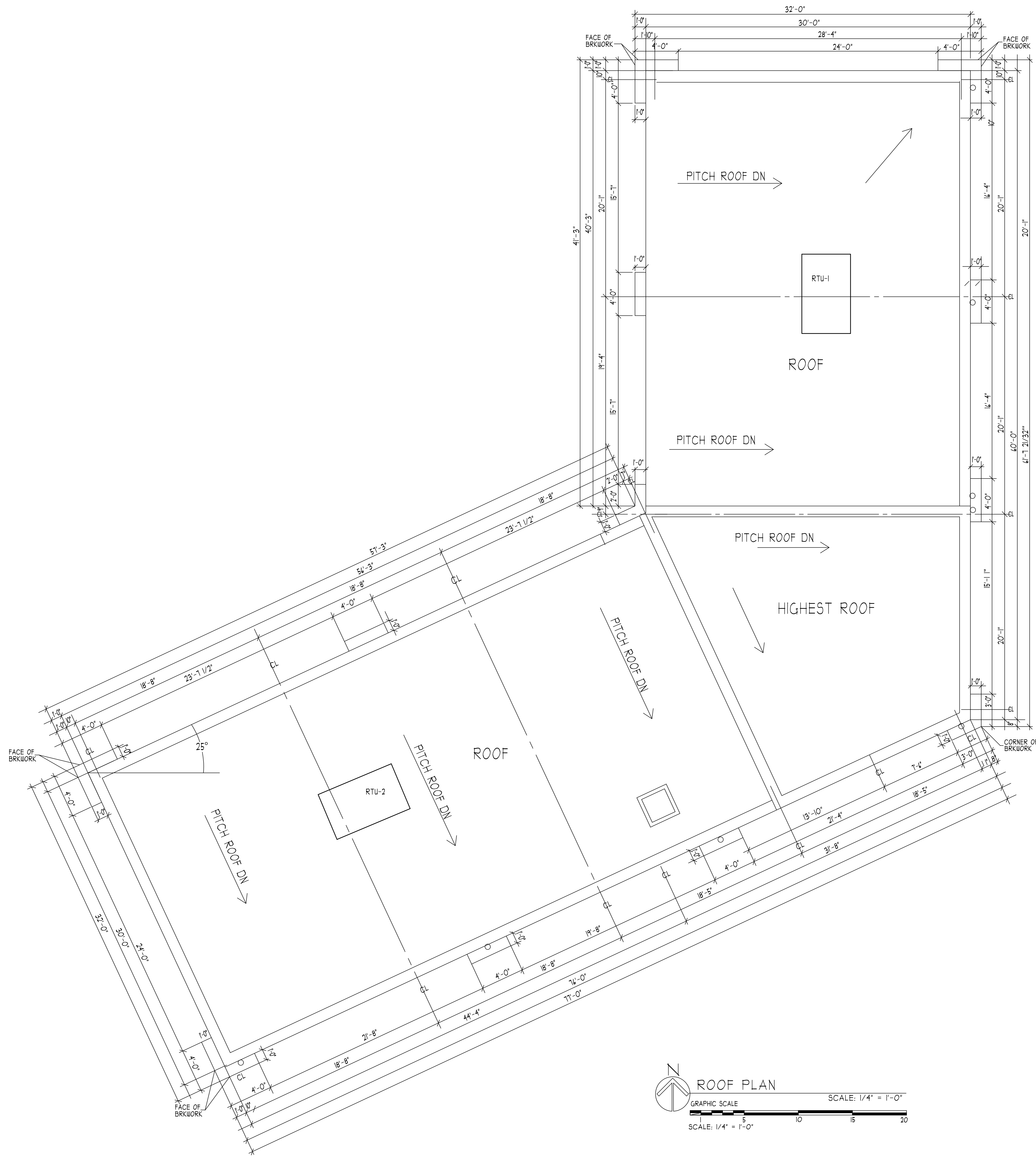
**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 GRAPHIC SCALE

REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
 CHECKED :  
 DATE : 11/21/19  
 SCALE : NOTED  
 JOB NO. : 1100

SHEET  
 A



ROOF PLAN  
 GRAPHIC SCALE SCALE: 1/4" = 1'-0"  
 SCALE: 1/4" = 1'-0"

REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
 CHECKED :  
 DATE : 1/21/19  
 SCALE : NOTED  
 JOB NO. : T100

SHEET  
 A



**NEW BUILDING ON OUT LOT  
 BROOKHAVEN SHOPPING CENTER  
 1532 CASS AVENUE  
 DARIEN, IL 60561**

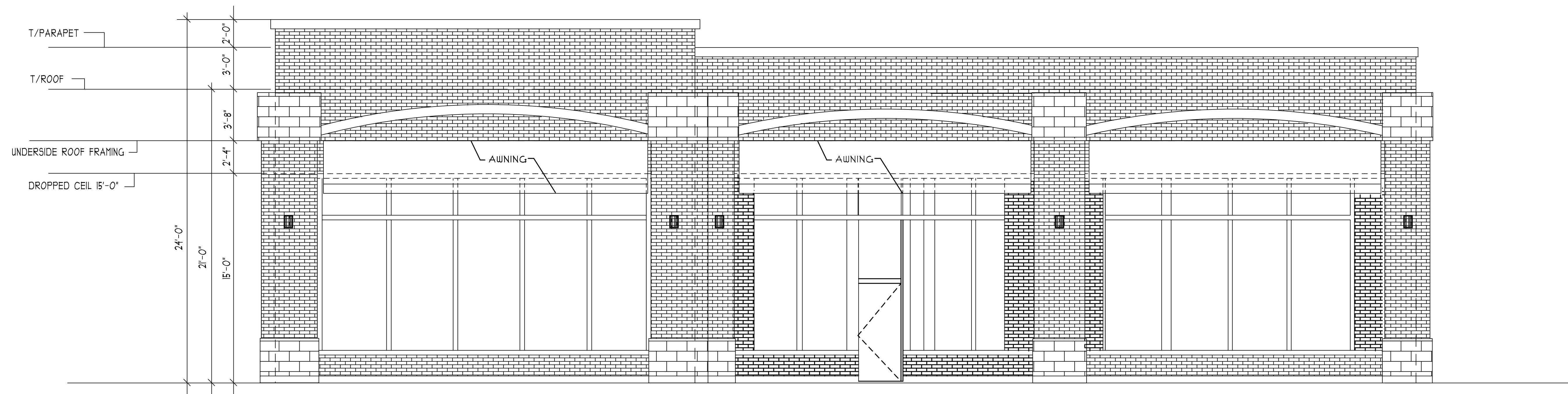
**CHRIS GEORGE, P.C.**  
 ARCHITECTS  
 104 HILL STREET  
 MT. PROSPECT, IL 60056-2732  
 email: [chrisgeorge\\_arch@yahoo.com](mailto:chrisgeorge_arch@yahoo.com)  
 (817) 699-8150 FAX(817) 699-8151

REVISION	DATE

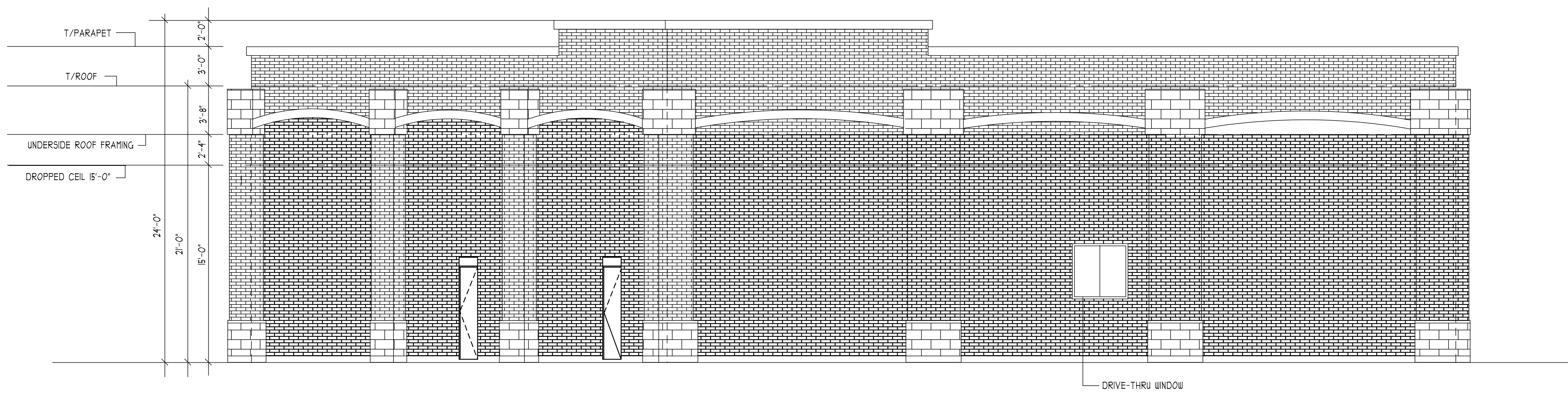
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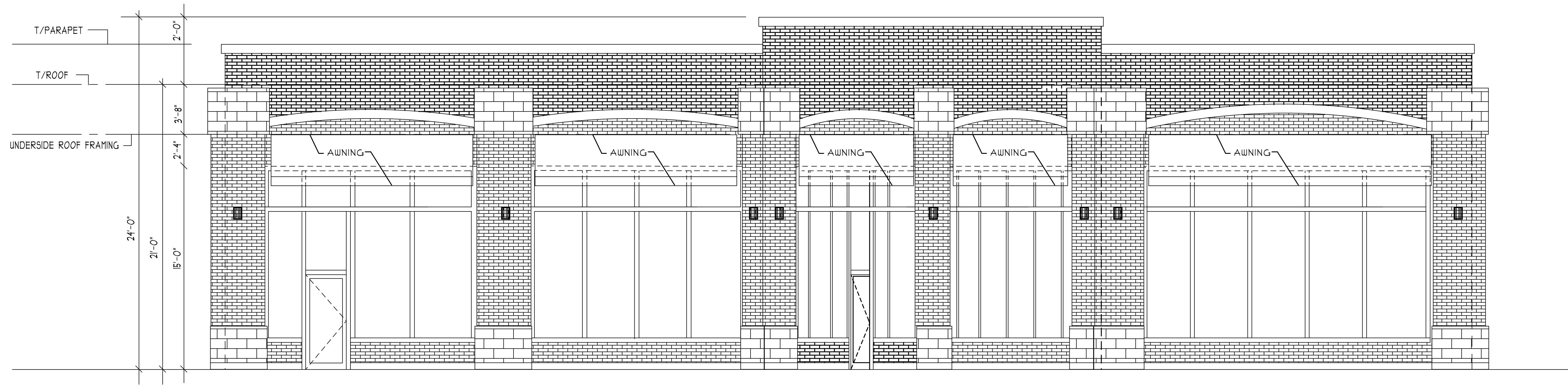
SHEET



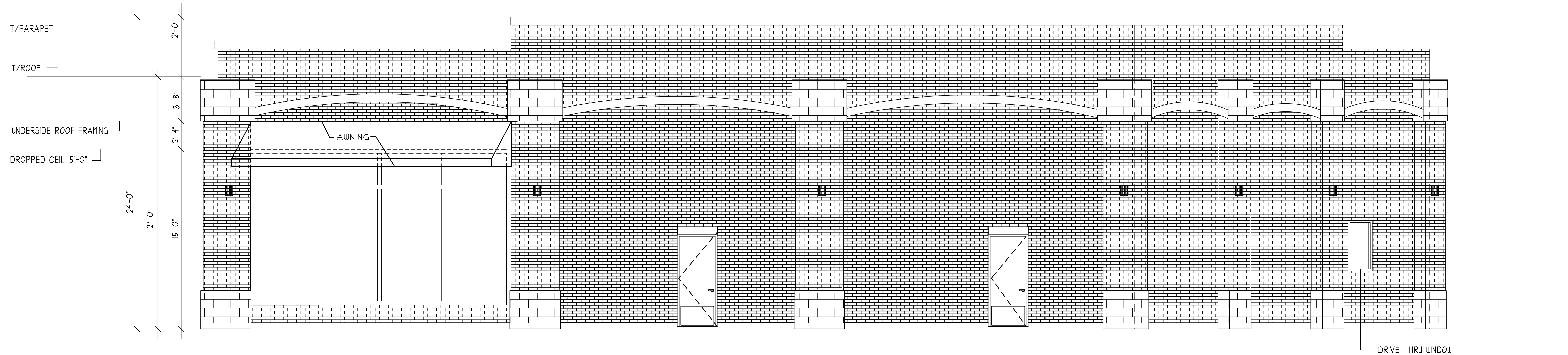
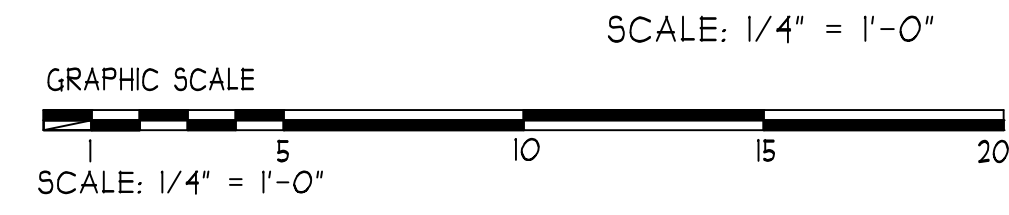
**NORTH ELEVATION**  
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 GRAPHIC SCALE  
 SCALE: 1/4" = 1'-0"



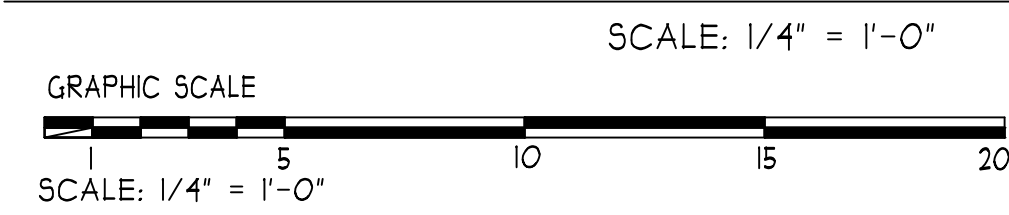
**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 GRAPHIC SCALE  
 SCALE: 1/4" = 1'-0"



WEST ELEVATION



SOUTH ELEVATION



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NEW BUILDING ON OUT LOT  
BROOKHAVEN SHOPPING CENTER  
1532 CASS AVENUE  
DARIEN, IL 60561

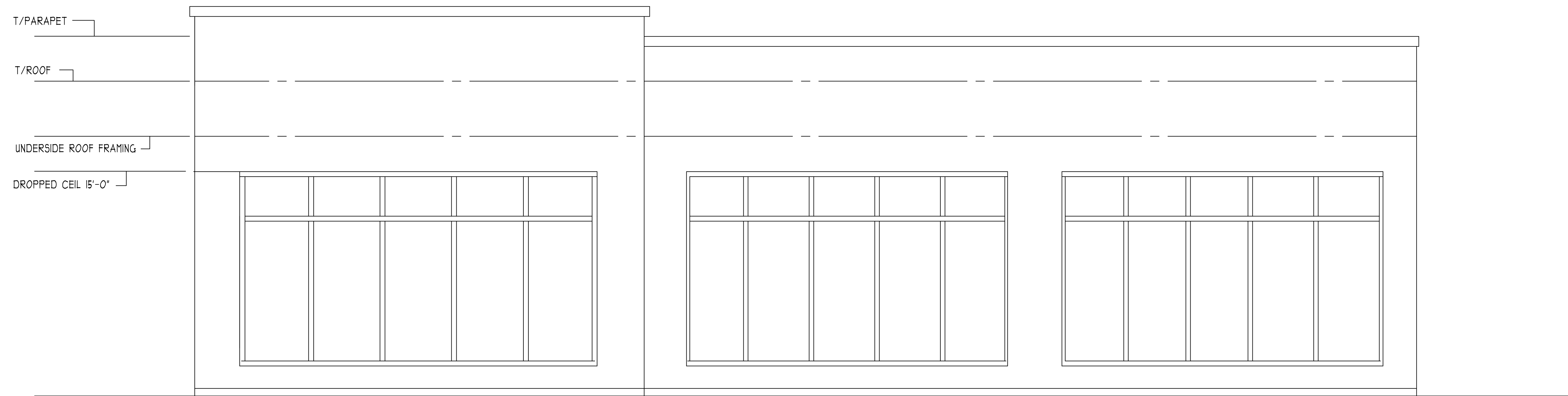
CHRIS GEORGE, P.C.  
ARCHITECTS  
104 HILL STREET  
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email: chrisgeorge\_arch@yahoo.com  
(847) 699-8150 FAX(847) 699-8151

REVISION	DATE

PROFESSIONAL SEAL

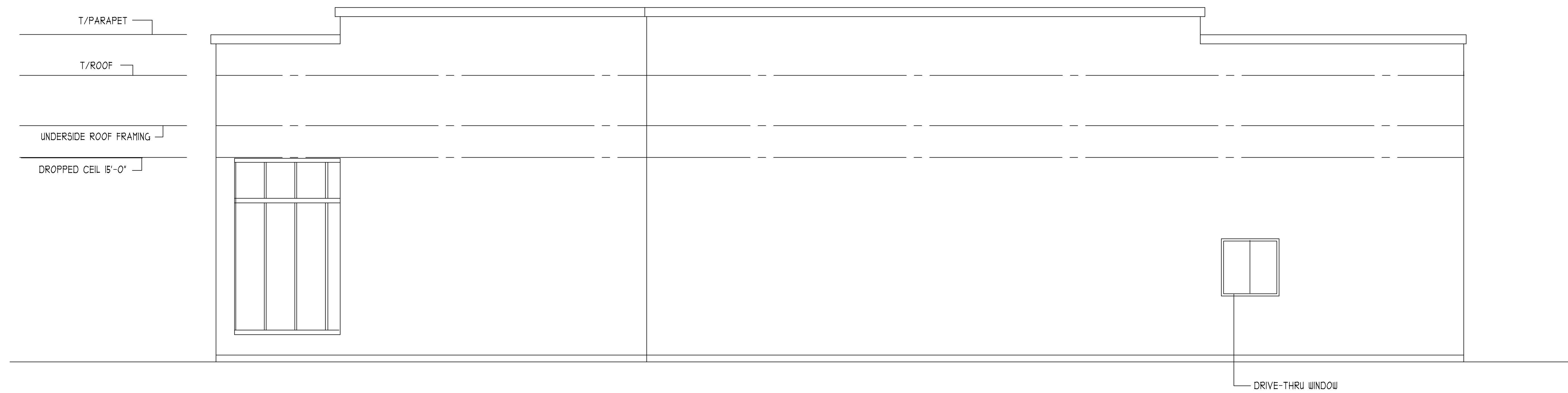
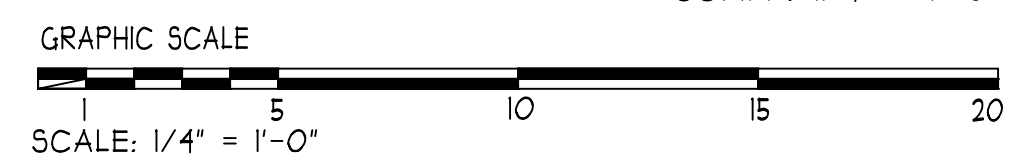
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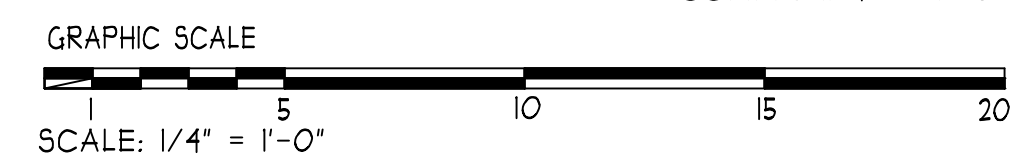
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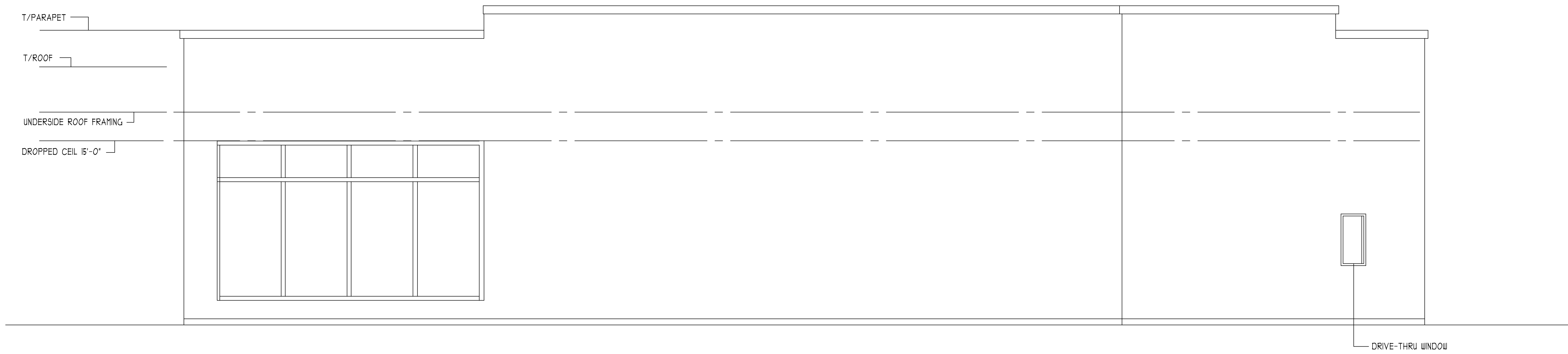


EAST ELEVATION

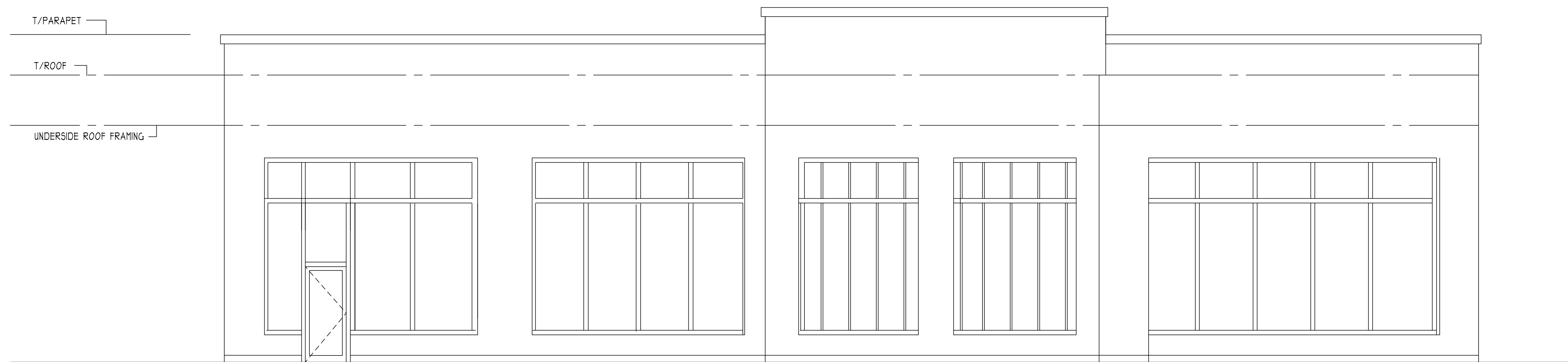
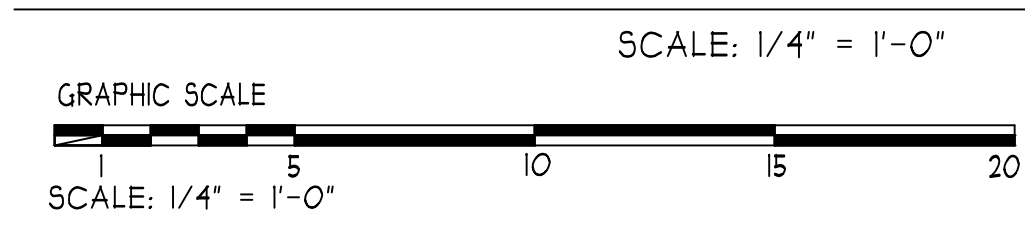
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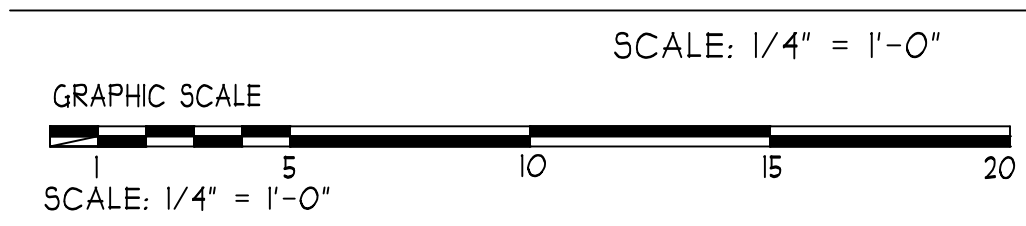
BROOKHAVEN SHOPPING CENTER  
 NEW BUILDING FOR OUT-LOT  
 1532 CASS AVENUE DARIEN, IL 60541  
 ARCHITECT: CHRIS GEORGE, P.C.  
 124 HILL ST. MT. PROSPECT, IL 60056-2132  
 (847) 499-8150 FAX (847) 499-8151  
 JOB #T100 1/8/19 1/11/19 1/31/19 8/14/19 9/26/19  
 10/14/19 10/17/19 11/01/19 11/30/19



SOUTH ELEVATION



WEST ELEVATION



BROOKHAVEN SHOPPING CENTER  
 NEW BUILDING FOR OUT-LOT  
 7532 CASS AVENUE DARIEN, IL 60541  
 ARCHITECT: CHRIS GEORGE, P.C.  
 124 HILL ST. MT. PROSPECT, IL 60056-2132  
 (847) 499-8150 FAX (847) 499-8151  
 JOB #1100 1/8/19 1/11/19 1/31/19 8/14/19 9/26/19  
 10/14/19 10/17/19 11/01/19 11/30/19















PIZZERIA & TAP

DUNKIN'  
DONUTS



43

GENERAL NOTES FOR UNDERGROUND IMPROVEMENTS

- 1. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND IMPROVEMENTS PER THE STANDARD SPECS. FOR WATER & SEWER MAIN CONSTRUCTION IN ILL.(LATEST ED.), VILLAGE-ENG. DEPT. STANDARDS & SEWER PERMIT ORDINANCE & PRACTICES. THE VILLAGE STANDARDS SHALL TAKE PRECEDENCE IN CASE OF CONFLICT.
2. THE CONTRACTOR SHALL NOTIFY: DuPAGE COUNTY PUBLIC WORKS DEPARTMENT-630/407-6801, PROJECT ARCHITECT, OWNER AND ENGINEER-847/#439-8225 AT LEAST TWO (2) WORKING DAYS BEFORE STARTING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING & LAYOUT.
4. THE CONTRACTOR SHALL USE COMPACTED CRUSHED AGGREGATE (CA-6) FOR TRENCH BACKFILL UNDER OR WITHIN THREE FT. OF ANY EXIST. OR PROP. CURB, WALK, PAVEMENT OR BUILDING.
5. THE ELEVATIONS SHOWN ON THE PLAN ARE BASED ON USGS DATUM.
6. THE FOLLOWING PIPE SPECIFICATION SHALL APPLY:
A. DUCTILE IRON (CL-52/WM) PER ANSI/A21.51-PIPE, A21.11-JOINT & A21.04-CEMENT LINING.
7. THE CONTRACTOR SHALL REQUEST NEW FIRE HYDRANT & MAIN INSPECTIONS FROM VILLAGE. THE MAIN SHALL BE PRESSURE TESTED, CHLORINATED & SAMPLED BEFORE THE HYDRANT IS PLACED IN SERVICE. IT SHALL NOT BE USED UNLESS THEY ARE "APPROVED" BY THE VILLAGE ENGINEER.
8. THE CONTRACTOR SHALL KEEP "AS-BUILT" PLANS THAT SHALL BE GIVEN TO THE ENGINEER FOR HIS PREPARATION OF "RECORD DRAWINGS" (MYLAR) REQ'D. BY THE VILLAGE. CHANGES IN PIPE: LENGTH, MATERIAL, LOCATION, SLOPE OR ALIGNMENT SHALL BE MARKED. THE MANHOLE, WATER-VAULT/BOX LOCATIONS SHALL BE TIED IN & MEASURED FROM THE BUILDING CORNER OR DOWNSTREAM MANHOLE.
9. THE OWNER SHALL OBTAIN A PERMIT FROM THE VILLAGE FOR THE SITE WORK.
10. THE CONTRACTOR SHALL FULL-DEPTH SAWCUT THE REMOVAL LIMITS FOR PAVING & CURB.
11. THE CONTRACTOR SHALL REQUEST UTILITY LOCATES & VERIFY THE LOCATION BEFORE STARTING. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE. (JULIE-800/#892-0123 & PW.-630/#719-4753)
12. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
13. THE CONTRACTOR SHALL INDEMNIFY: OWNER, ARCHITECT, ENGINEER, ARCHITECT AND VILLAGE EMPLOYEES, INCLUDING THEIR AGENTS FROM ALL SITE CONSTRUCTION & TESTING LIABILITY.
14. THE PROPOSED WATER MAINS & SERVICES SHALL BE PRESSURE TESTED, CHLORINATED, FLUSHED, SAMPLED & TESTED PER STATE & VILLAGE STANDARDS BEFORE IT IS "APPROVED" FOR USE.
15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH 4" TOPSOIL & SOD.
16. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR 1 YEAR FROM DATE OF FINAL ACCEPTANCE.
17. THE CONTRACTOR SHALL WRAP BURIED DUCTILE IRON PIPE & FITTING WITH 8 MIL. POLY BAG. THE NEW WATERMAIN AND SERVICE LINES SHALL HAVE A 6"-0" MIN. DEPTH OF COVER.
18. THE CONTRACTOR SHALL CONTACT THE VILLAGE: PUBLIC WORKS (WATER DEPT.) AT LEAST TWO WORKING DAYS IN ADVANCE TO REQUEST THE OPERATION OF ANY VALVES OR HYDRANTS.
19. THE CONTRACTOR SHALL REMOVE & DISPOSE OF EXCESS OR UNSUITABLE EXCAVATED MATERIAL.
20. AN AS-BUILT SURVEY OF THE SEWER MAIN WILL NEED TO BE SUBMITTED, APPROVED AND ACCEPTED BY THE DuPAGE COUNTY PUBLIC WORKS DEPARTMENT BEFORE THE SERVICE LINE CAN BE CONNECTED.

GENERAL NOTES FOR SURFACE IMPROVEMENTS

- 1. THE CONTRACTOR SHALL PERFORM ALL WORK PER IDOT.-"STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION"-IL.(LATEST ED.), VILLAGE & DuPAGE COUNTY CODE REQUIREMENTS
2. THE CONTRACTOR SHALL NOTIFY: VILLAGE (COMM. DEV. DEPT.)-630/#719-4750, SURVEYOR, OWNER, ARCHITECT & CIVIL ENGINEER-847/#439-8225 AT LEAST TWO (2) WORKING DAYS IN ADVANCE.
3. THE CONTRACTOR SHALL USE CL-SI/X CONC. (6 BAG CEMENT MIX) FOR ALL EXTERIOR WORK. IT SHALL HAVE A MIN. 3,500 P.S.I. COMPRESSIVE STRENGTH AFTER 14 DAY CURING PERIOD & HAVE AIR ENTRAINMENT BETWEEN 4% AND 6% .
4. THE CONTRACTOR SHALL COMPACT FILL(AFTER TOP SOIL REMOVAL) TO THE FOLLOWING DENSITIES:
A. UNDER AND WITHIN 5' OF THE PROPOSED BUILDING - 95% MODIFIED PROCTOR
B. UNDER AND WITHIN 3' OF THE PAVEMENT/CURB/WALK - 95% MODIFIED PROCTOR
C. REMAINING NON-PAVED AREAS - 90% MODIFIED PROCTOR
5. THE CONTRACTOR SHALL SAWCUT(FULL-DEPTH) THE LIMITS OF ANY PAVEMENT OR CURB REMOVAL.
6. THE CONTRACTOR SHALL REMOVE & DISPOSE OF ALL EXCESS & UNSUITABLE EXCAVATED MATERIAL.
7. THE CONTRACTOR SHALL OBTAIN A VILLAGE PERMIT BEFORE STARTING DEMOLITION WORK.
8. THE CONTRACTOR SHALL RESTORE ALL NON-PAVED AREAS WITH 4" MIN. TOP SOIL & SOD.
9. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS & NOTIFY THE ENG. OF ANY DISCREPANCIES.
10. THE CONTRACTOR SHALL INDEMNIFY: OWNER, ENGINEER, PROJECT ARCHITECT, SURVEYOR & VILLAGE EMPLOYEES, INCLUDING THEIR AGENTS FROM ALL CONSTRUCTION LIABILITY.
11. THE CONTRACTOR SHALL "PROOF ROLL" WITH A LOADED 10 WHEELER TRUCK, IN THE PRESENCE OF THE ENGINEER, THE SUBBASE BEFORE PROCEEDING WITH THE PLACEMENT OF THE GRANULAR SUB-BASE. ANY SOFT OR YIELDING AREAS SHALL BE CORRECTED. (UNDERCUT,GEOTEXTILE...ETC.)
12. THE CONTRACTOR SHALL "STRING-LINE" THE DOCK'S SUBGRADE IN ENGINEER'S PRESENCE BEFORE PLACEMENT OF AGGREGATE & POURING CONCRETE TO INSURE THAT IT IS PROPERLY GRADED.
13. THE CONTRACTOR SHALL USE A MAX. 3/8"φ AGGREGATE IN THE BITUMINOUS SURFACE COURSE.
14. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONSTRUCTION SIGNS & BARRICADES, PER MUTCD.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING & LAYOUT.
16. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR ONE (1) YEAR FROM FINAL ACCEPTANCE.
17. THE CONTRACTOR SHALL CO-ORDINATE HIS WORK WITH THE TENNANTS TO MINIMIZE CONFLICTS.
18. THE CONTRACTOR SHALL NOT PAVE OR POUR WITHOUT THE ENGINEER'S GRADE APPROVAL.

SOIL EROSION & SEDIMENT CONTROL NOTES

- 1. CONTRACTOR SHALL PERFORM ALL WORK PER THE "PROCEDURES & STANDARDS FOR SOIL EROSION & SEDIMENTATION CONTROL"- ILLINOIS(LATEST EDITION) & TO VILLAGE STANDARDS.
2. CONTRACTOR SHALL PREVENT STORM SEWER SILTATION BY INSTALLING MEASURES SUCH AS FILTER FABRIC (PAVED AREAS), PERIMETER SILT FENCE (LAWN AREAS) & USE EXIST. GRAVEL DRIVE FOR ACCESS. (SEE: GRADING & EROSION PLAN), BEFORE STARTING ANY SITE WORK.
3. CONTRACTOR SHALL INSPECT & MAINTAIN ADEQUATE SITE DRAINAGE: DITCH & STORM SEWER. HE SHALL INSURE ALL EROSION & SEDIMENT CONTROL MEASURES FUNCTION CORRECTLY.
4. THE CONTRACTOR SHALL REMOVE ANY TIRE CONSTRUCTION MUD DEPOSITED IN THE ROAD.
5. CONTRACTOR TO TEMPOARY SEED IF TEMPORARY TOPSOIL STOCKPILES IF > 30 DAYS.

I.E.P.A. WATER NOTES

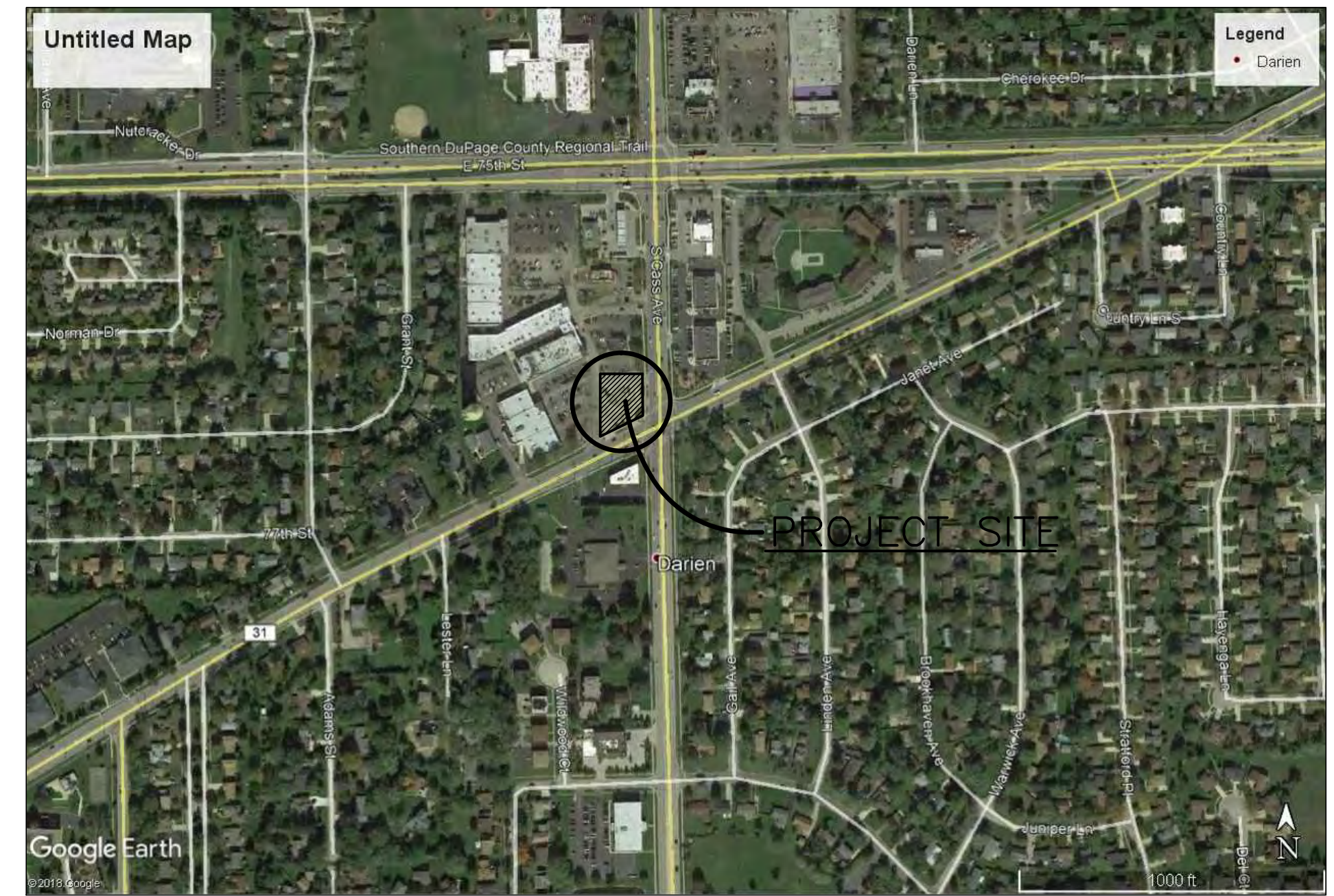
DIVISION - IV
WATER DISTRIBUTION
SECTION 41: PIPE INSTALLATION FOR WATER MAINS

- 41-1 GENERAL
PIPE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS FOR THE TYPE OF PIPE USED & APPLICABLE AWWA STANDARDS, SUCH AS C-600 & C-603, UNLESS MODIFIED OR CHANGED IN THE SPECIAL PROVISIONS.
41-2 CONSTRUCTION
41-2.01 PROTECTION OF WATER MAIN & WATER SERVICE LINES
41-2.01A GENERAL
WATER MAINS & WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS, COMBINED SEWERS, HOUSE SEWER SERVICE CONNECTIONS AND DRAINS AS FOLLOWS:
41-2.01B HORIZONTAL SEPARATION - WATER MAINS & SEWERS
(1) WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FT./3.1M) HORIZONTALLY FROM ANY EXIST. OR PROP. DRAIN, STORM/SANITARY/COMBINED SEWER OR SEWER SERVICE CONNECTION.
(2) WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FT./3.1M) TO A SEWER LINE WHEN:
(A) LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FT. OR 3.1 METERS; AND
(B) WATER MAIN INVERT IS AT LEAST 18 IN./460MM) ABOVE THE SEWER'S CROWN; AND
(C) WATER MAIN INVERT IS EITHER IN A SEPERATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
(3) WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH WATER MAIN, DRAIN & SEWER SHALL BE CONSTRUCTED OF OF SLIP-ON OR MECHANICAL JOINT CAST/DUCTILE IRON PIPE, PRE-STRESSED CONC. PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN CONSTRUCTION STANDARDS. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAX. EXPECTED SURGE HEAD BEFORE BACKFILLING. (SEE: IEPA. STD. DRAWING-#18)
41-2.01C VERTICAL SEPARATION - WATER MAINS & SEWERS
(1) A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS 18" MIN./460 MM. ABOVE THE DRAIN OR SEWER CROWN WHENEVER WATER MAINS CROSS STORM, SANITARY SEWER OR SEWER SERVICE CONNECTION. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FT./3.1M) HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
(2) BOTH WATER MAIN & SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST/DUCTILE PIPE, PRESTRESSED CONCRETE PIPE OR PVC. PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
(A) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (1) ABOVE; OR
(B) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN
(3) A VERTICAL SEPARATION OF 18" (460MM) BETWEEN THE SEWER OR DRAIN INVERT & THE WATER MAIN CROWN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING & BREAKING THE WATER MAIN, AS SHOWN ON THE PLANS OR AS "APPROVED" BY THE ENGINEER.
(4) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET/(3.1M) (SEE: STANDARD DRAWINGS #20 - #23)
41-2.01D WATER SERVICE LINES
(1) THE HORIZONTAL & VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL STORM, SANITARY, COMBINED SEWERS OR ANY DRAIN OR SEWER SERVICE CONNECTION SHALL BE THE SAME AS WATER MAIN SEPARATION REQUIREMENTS DESCRIBED IN 41-2.01B & 41-2.01C ABOVE.
(2) WATER PIPE DESCRIBED IN 41-2.01B ABOVE SHALL BE USED FOR SEWER SERVICE LINES WHEN MINIMUM HORIZONTAL & VERTICAL SEPARATION CANT BE MAINTAINED.
41-2.01E SPECIAL CONDITIONS
CONDITIONS IN 41-2.01B, 41-2.01C & 41-2.01D OR AS SHOWN ON STANDARD DRAWINGS #19-#23 SHALL BE MET UNLESS SPECIAL CONSIDERATIONS ARE COVERED IN THE PLANS & SPECIAL PROVISIONS.
41-2.01F SEWER MANHOLES
NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
41-2.02 EXCAVATION & BACKFILL
EXCAVATION & BACKFILL FOR WATER MAINS SHALL CONFORM TO THE PROVISIONS OF SECTIONS 20, 21, 22 & THE REQUIREMENTS BELOW.
41-2.02A DEPTH OF COVER
A PIPE SHALL BE LAID TO A MINIMUM DEPTH AS SHOWN ON THE PLANS & MEASURED FROM THE EXISTING GROUND SURFACE OR ESTABLISHED GRADE TO THE TOP OF THE BARREL OF THE PIPE. MIN. DEPTH WILL RANGE FROM THREE (3) TO FIVE (5) FEET (1M-1.5M) FROM SOUTHERN TO NORTHERN ILLINOIS RESPECTIVELY. IN AREAS SUBJECT TO TO SUBSEQUENT EXCAVATION OR FILL, THE MAINS SHALL BE LAID TO GRADES SHOWN ON THE PLANS.
41-2.02B PIPE FOUNDATIONS & UNSTABLE TRENCH CONDITIONS
FOR PIPE BEDDING, AND FOR UNSUITABLE TRENCH CONDITIONS, SEE: SECTIONS-20-2.20. FOR UNSTABLE OR UNSUITABLE TRENCH CONDITIONS, SEE: SECTION 20-2.20A (2), (3) & (4).

EXCAVATION DEWATERING:

- 1. All outlets for dewatering discharges shall be stable and protected from erosion.
2. Cofferdams, swales, and temporary diversions shall be built and maintained as outlined in the plans set, and per Illinois Urban Manual guidelines.
3. Installation of cofferdams and sumps shall follow the requirements as outlined in practice standard COFFERDAM 803 and SUMP PIT 950.
4. Excess surface runoff shall be diverted from the construction area as outlined in practice standards TEMPORARY DIVERSION 955, TEMPORARY SWALE 980, DIVERSION 815, and DIVERSION DIKE 820, as applicable.
5. Drains, sumps, pumps, and all other items required to dewater the site shall be furnished, installed, and maintained.
6. In poorly drained soil areas, or where well dewatering is not practical, pumping directly from the construction trenches shall be allowed.
7. All dewatering activities shall be done in a manner that does not negatively impact the water quality of the water table or cause erosion or transport sediment or other pollutants.
8. Sediment removal shall be provided using the following practices depending on the sediment, dewatering method, location, and amount of dewatering:
Where sumps are used, they shall meet the requirements of SUMP PIT 950. In addition, where space is available, TEMPORARY SEDIMENT TRAPS 960 shall be used to detain water and remove sediment from pumping and diversion operations. where there is limited space a PORTABLE SEDIMENT TANK 895 shall be used to retain seiment from dewatering operations. POLYACRYLAMIDE (PAM) FOR TURBIDITY REDUCTION AND SEDIMENT CONTROL 894 may also be used, as appropriate.
9. Where there is low, intermittent amounts of dewatering, pumps with filtration bags shall be used. Filtration bags shall be attached to pump discharges and surrounded with a secondary containment or on a stabilized area. Filter bags shall not be placed, whole or partially, within aquatic areas (wetlands, streams, etc.) The material for the filtration bag shall meet the requirements of material specification 592 GEOTEXTILE, Table 2, Class I with a minimum tensile strength of 200 lbs. The filtration bag shall be sized per manufacturer recommendations and based on the size of the pump. The largest size pump to be used with a filtration bag shall be 4-inch diameter.
10. The temporary dewatering facilities shall be removed after they have served their purpose. The dewatering areas shall be graded and stabilized with the appropriate erosion control practices. The dewatering sites after removal shall not create any erosion control practices. The dewatering sites after removal shall not create any obstruction of the flow of water or any other interference with the operation of or access to the permanent works.
11. The location and capacity of temporary diversion and protective works should be based on the characteristics of the site, accessibility, and the potential damage during development.
12. Inspections shall be conducted to ensure proper operation and compliance with any permits or water quality standards.
13. Accumulated sediment shall be removed from the flow area and temporary diversions shall be repaired, as required.
14. Outlet areas shall be checked and repairs made in a timely manner, as needed.
15. Pump outlets shall be inspected for erosion, and sumps shall be inspected for accumulated sediment.
16. Dewatering bags shall be removed and replaced when half full of sediment or when the pump discharge has reduced to an impractical rate.
17. If the receiving area is showing any signs of cloudy water, erosion, or sediment accumulation, discharges shall be stopped immediately once safety and property damage concerns have been addressed.
18. Sediment shall be disposed in accordance with all applicable laws and regulations.

PROPOSED RETAIL DEVELOPMENT
7532 S. CASS AVENUE
DARIEN, ILLINOIS 60561



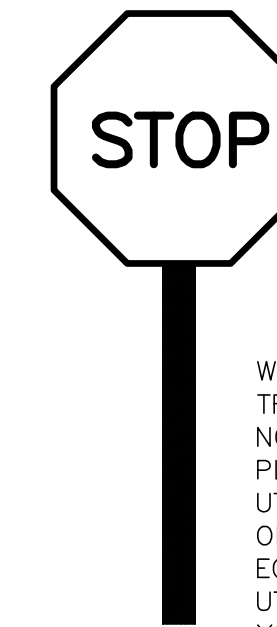
PROFESSIONAL ENGINEER'S DRAINAGE CERTIFICATION

THE PROPOSED LOT GRADE CHANGES WILL NOT CAUSE SURFACE WATER TO BE DIVERTED ONTO OR DETAINED ON ABUTTING OR NEARBY PROPERTY, WILL NOT SIGNIFICANTLY ALTER EXISTING DRAINAGE PATTERNS AND WILL NOT INCREASE OR CONCENTRATE SITE STORMWATER RUNOFF ONTO ABUTTING STORMWATER RUNOFF ONTO ABUTTING OR NEARBY PROPERTY.

NAME: CLIFFORD J. TOBERMAN SIGNATURE: Clifford J. Toberman
DATE: 11/21/19 ILL. P.E.# 050567 EXPIRES- 11-30-21

OWNER/BUILDER CERTIFICATION

OWNER: SIGNATURE: DATE:



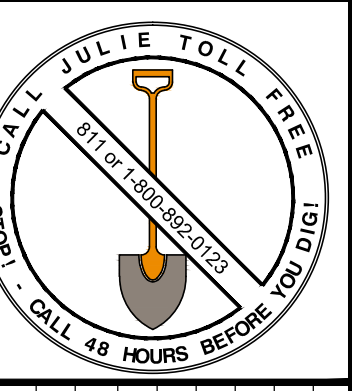
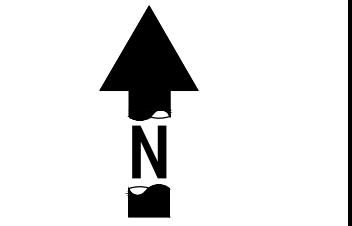
CALL JULIE 48 HOURS BEFORE YOU DIG. 811 OR 1-800-892-0123



WHETHER YOU'RE DIGGING A FOUNDATION OR JUST PLANTING A TREE, MAKE SURE YOU CALL JULIE FIRST. JULIE IS A FREE NOTIFICATION SERVICE THAT ALERTS UTILITY COMPANIES OF PLANNED DIGGING ACTIVITIES IN AREAS WITH UNDERGROUND UTILITY FACILITIES. UNDERGROUND FACILITIES CAN BE DAMAGED OR RUPTURED BY A SHOVEL BLADE OR OTHER DIGGING EQUIPMENT. AVOID THE PAIN AND COST OF DAMAGING BURIED UTILITIES... CALL BEFORE YOU DIG. STATE LAW NOW REQUIRES YOU TO CALL JULIE TWO WORKING DAYS BEFORE YOU DIG.

INDEX OF SHEETS

- C-1 TITLE & NOTES SHEET
C-2 EXISTING TOPOGRAPHY & DEMOLITION PLAN
C-3 SITE PLAN
C-4 UTILITY PLAN
C-5 GRADING & EROSION PLAN
C-6 DETAIL SHEET
L-1 LANDSCAPE PLAN
LT-1 LIGHTING PLAN



REVISION

DATE 11/22/19

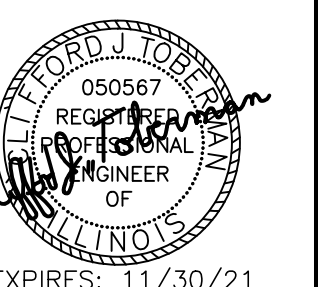
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NORMAN J. TOBERMAN & ASSOCIATES, LLC
CIVIL ENGINEERS & SURVEYORS
118 S. WILSON ST. SUITE 203B, F. MARYSHEAR, ILL. 60008
P: (630) 234-2038 F: (630) 770-0404
n.j.toberman@naill.com
Ill. Design Firm: 184,008 Bldg 0
Engineer: 6-20-2002

TITLE & NOTES SHEET

PROPOSED RETAIL DEVELOPMENT
JOHN G. MANOS
7532 S. CASS AVENUE, DARIEN, IL
PHONE: (630) 212-1644
JMANOS@ATT.NET

THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS

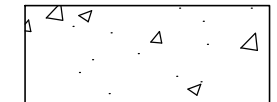


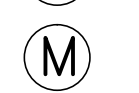



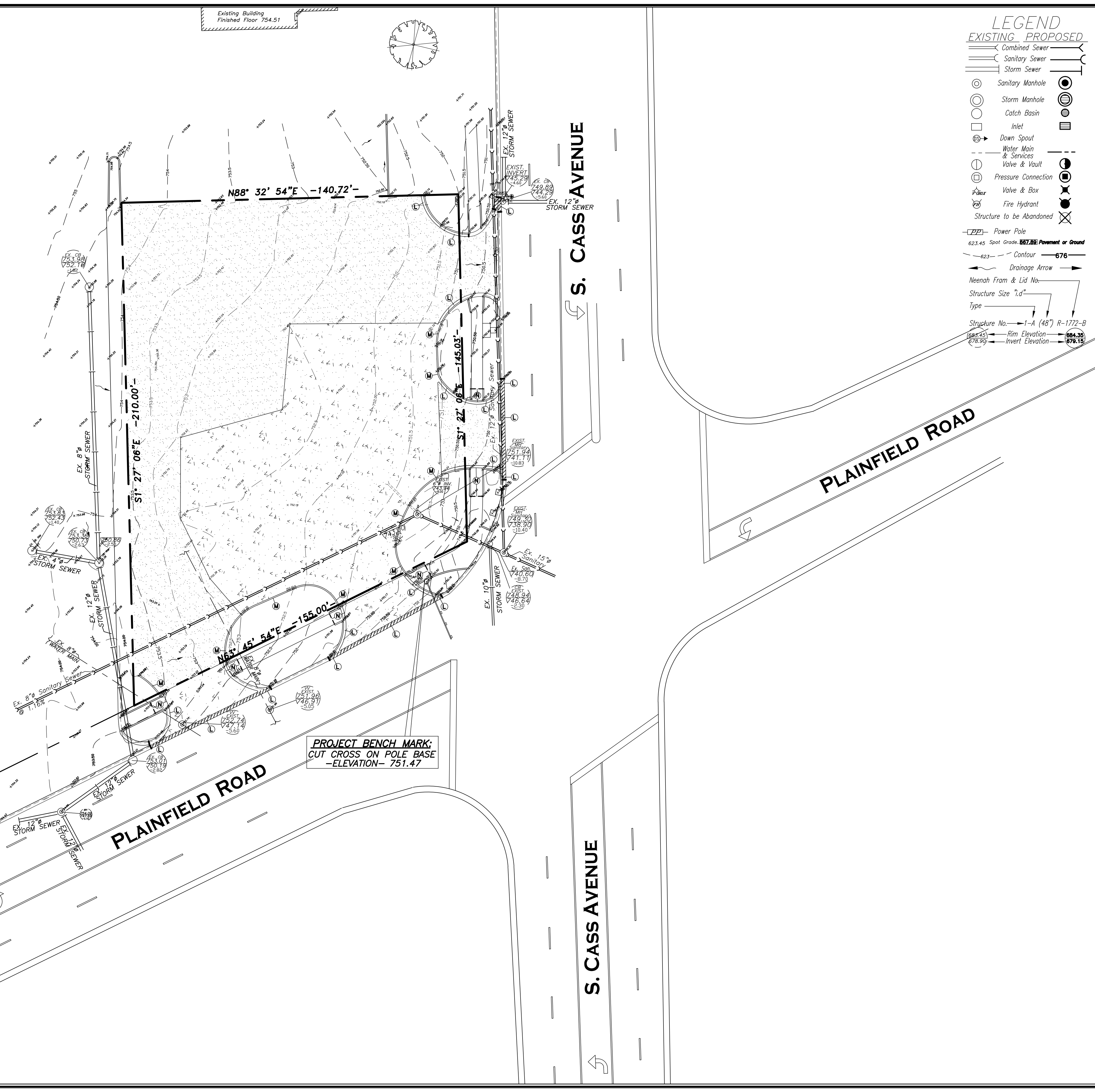
Sheet No.

C-1

NJT Project No. 19-7041

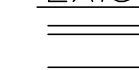
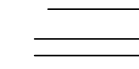


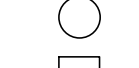
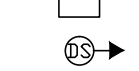

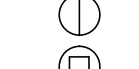



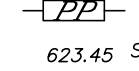
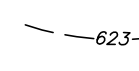

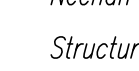


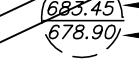






**DEMOLITION LEGEND**

-  P.C. CONCRETE PAVEMENT REMOVAL
-  ASPHALT PAVEMENT REMOVAL
-  CONCRETE CURB & GUTTER REMOVAL
-  CONCRETE CURB REMOVAL
-  CONCRETE SIDEWALK REMOVAL

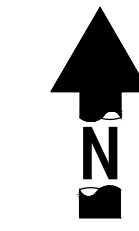


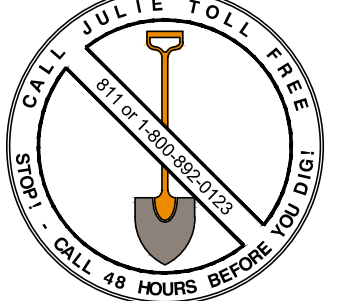
**LEGEND**

EXISTING PROPOSED

-  Combined Sewer
-  Sanitary Sewer
-  Storm Sewer
-  Sanitary Manhole
-  Storm Manhole
-  Catch Basin
-  Inlet
-  Down Spout
-  Water Main & Services Valve & Vault
-  Pressure Connection
-  Valve & Box
-  Fire Hydrant
-  Structure to be Abandoned
-  Power Pole
-  Spot Grade
-  Pavement or Ground
-  Contour
-  Drainage Arrow
-  Neenah Fram & Lid No.
-  Structure Size T,d"
-  Type
-  Structure No.
-  Rim Elevation
-  Invert Elevation

0 10' 20'  
SCALE: 1"=20'






NO.	DATE	REVISION
1	11/22/19	

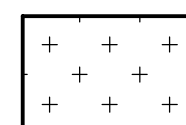
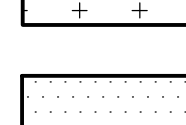
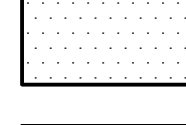

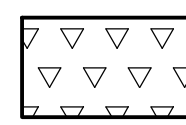

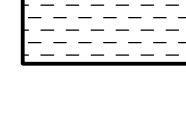



**NORMAN J. TOBERMAN & ASSOCIATES, LLC**  
 CIVIL ENGINEERS & SURVEYORS  
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 P. (847) 484-2228 F. (847) 748-4184  
 n.toberman@njta.com  
 IL-ES-000000000000000000

**EXISTING TOPOGRAPHY & DEMOLITION PLAN**  
 PROPOSED DUNKIN DONUTS  
 JOHN G. MANOS  
 7532 S. CASS AVENUE, DARIEN, IL  
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 EXPIRES: 11/30/21  
 Sheet No.  
**C-2**  
 NJT Project No. 19-7043

**PAVING LEGEND**

-  2" HMA SURFACE COURSE (CLASS N-50)
-  4" HMA BINDER COURSE (CLASS N-50)
-  6" AGGREGATE BASE COURSE, TYPE B, CA-6
-  2" HMA SURFACE COURSE (CLASS N-50)  
2" HMA BINDER COURSE (CLASS N-50)
-  8" AGGREGATE BASE COURSE, TYPE B, CA-6
-  6" P.C. CONCRETE REINFORCED  
4" GRANULAR SUBBASE, TYPE B
-  6" P.C. CONCRETE PAD w/ THICKENED EDGES  
6"x6"XNo.6 STEEL MESH  
6" GRANULAR SUBBASE, TYPE B
-  BITUMINOUS PAVEMENT REPLACEMENT (WITHIN R.O.W.)
-  2" HMA SURFACE COURSE (CLASS N-50)  
4" HMA BINDER COURSE (CLASS N-50)
-  GRANULAR TRENCH BACKFILL, TYPE B

**SURFACE LEGEND**

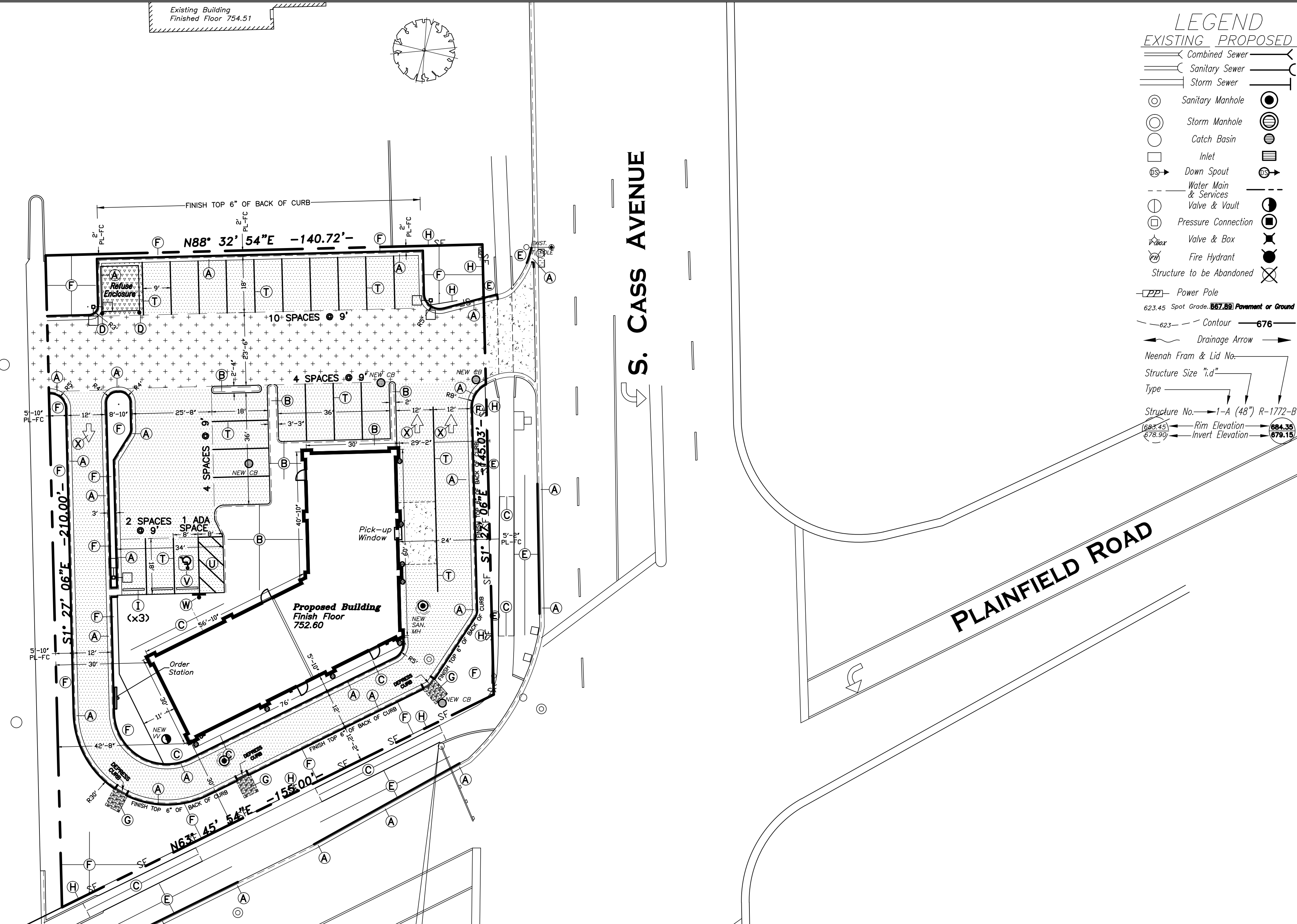
- (A) COMBINATION CONCRETE CURB & GUTTER, B6.12  
2 NO. 5 REBARS, CONTINUOUS
- (B) 5" COMBINATION CONCRETE CURB & WALK  
3" GRANULAR SUBBASE, TYPE B
- (C) 5" P.C. CONCRETE SIDEWALK  
3" GRANULAR SUBBASE, TYPE B
- (D) 6" Dia. PIPE BOLLARD
- (E) 4" TOP SOIL & SOD (DISTURBED PARKWAY LAWN)
- (F) 6" TOP SOIL & SEED  
(OMIT SEED IN PLANTING AREAS - REFER TO LANDSCAPE PLAN)
- (G) 3" STONE @ 12" DEPTH  
(5'x6' AREA GEO-TEXTILE WRAP ON BOTTOM & SIDES)
- (H) SILT FENCE - TEMPORARY
- (I) PRECAST CONCRETE WHEEL STOP

**SIGNING & STRIPING LEGEND**

- (T) 4" PARKING STALL LINE, PAINTED-YELLOW
- (U) 4" DIAGONAL LINE ON 4' CTR., PAINTED-YELLOW
- (V) HANDICAPPED SYMBOL, PAINTED-WHITE ON BLUE BACKGROUND
- (W) HANDICAPPED & \$250 FINE SIGN ON STEEL POST
- (X) 6' ARROW, PAINTED WHITE


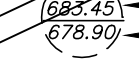
20 Regular Stalls  
1 ADA Stall

EXISTING TOTAL COVERAGE	PROPOSED TOTAL COVERAGE
LOT AREA 24,980 SQFT	LOT AREA 24,980 SQFT
Parking lot 23,064 SQFT	BUILDING 3,505 SQFT
	Parking lot 15,637 SQFT
	19,142 SQFT
COVERED.....92.3%	COVERED.....76.6%
<b>NET IMPERVIOUS CHANGE</b>	
PROPOSED IMPERVIOUS 19,142 sq.ft.	
LESS EXISTING IMPERVIOUS 23,064 sq.ft.	
NET LOSS OF -3,922 SQFT	

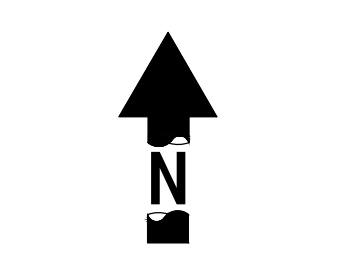


**LEGEND**

EXISTING PROPOSED

-  Combined Sewer
-  Sanitary Sewer
-  Storm Sewer
-  Sanitary Manhole
-  Storm Manhole
-  Catch Basin
-  Inlet
-  Down Spout
-  Water Main & Services Valve & Vault
-  Pressure Connection
-  Valve & Box
-  Fire Hydrant
-  Structure to be Abandoned
-  Power Pole
-  Spot Grade: 623.45
-  Pavement or Ground: 667.88
-  Contour: 623
-  Drainage Arrow: 676
-  Neenah Fram & Lid No.
-  Structure Size & Lid No.
-  Type
-  Structure No. 1-A (48") R-172-B
-  Rim Elevation: 684.35
-  Invert Elevation: 678.15

0 10' 20'  
SCALE: 1"=20'

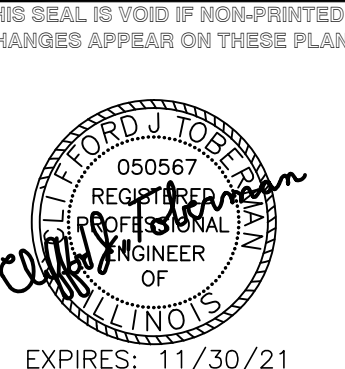


NO.	DATE	REVISION
1	11/22/19	

**NORMAN J. TOBERMAN & ASSOCIATES, LLC**  
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NJ License # 48-00000000000000000000000000000000

**SITE PLAN**  
PROPOSED DUNKIN DONUTS  
JOHN G. MANOS  
7532 S. CASS AVENUE, DARIEN, IL  
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Sheet No.  
**C-3**  
NJ Project No.  
**19-7043**

**WATER DATA**

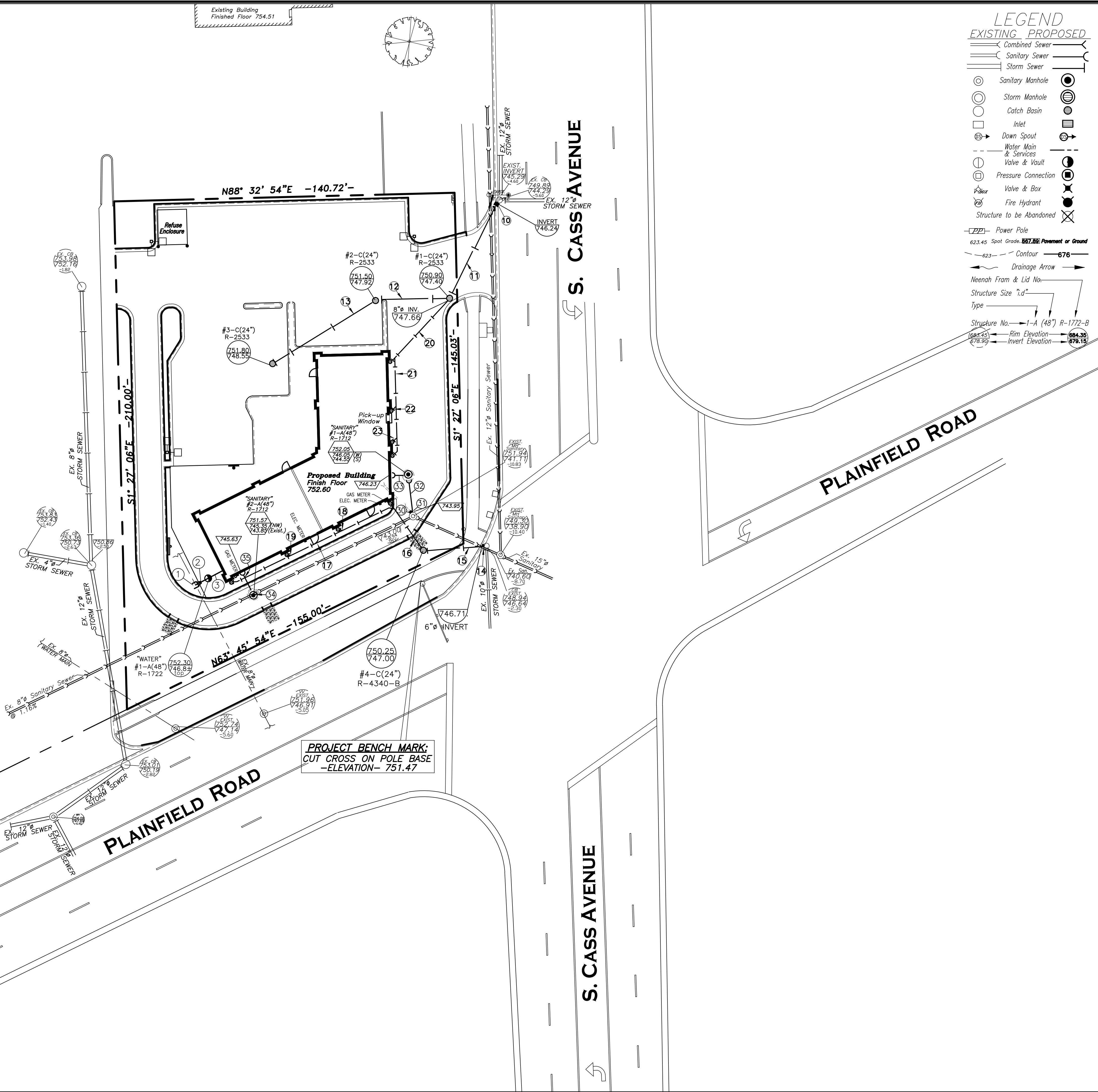
- ① 1 EA CONNECT TO EXIST. 8"Ø WATER MAIN WITH CUT-IN 8"x8"x6"TEE FOLLOWED BY 6"x4" REDUCER
- ② 4 LF 4"Ø DIP(CL-52), MIN. 5.50' DEPTH
- ③ 6 LF 4"Ø DIP(CL-52), MIN. 5.50' DEPTH

**STORM SEWER DATA**

- ⑩ 1 EA CONNECT TO EXIST. CB (CORE DRILL)
- ⑪ 42 LF 8"Ø DIP(CL-52) @ 2.75%
- ⑫ 26 LF 8" PVC(SDR-26) @ 2.00%
- ⑬ 50 LF 8" PVC(SDR-26) @ 1.25%
- ⑭ 1 EA CONNECT TO EXIST. CB (CORE DRILL)
- ⑮ 23 LF 6"Ø DIP(CL-52) @ 1.25%
- ⑯ 23 LF 6"Ø PVC(SDR-26) @ 5.00%
- ⑰ 73 LF 6"Ø PVC(SDR-26) @ 2.00% (MIN.)
- ⑱ 2 LF 4"Ø PVC(SDR-26) @ 2.00% (MIN.)
- ⑲ 2 LF 4"Ø PVC(SDR-26) @ 2.00% (MIN.)
- ⑳ 35 LF 6"Ø PVC(SDR-26) @ 2.00%
- ㉑ 41 LF 6"Ø PVC(SDR-26) @ 2.00%
- ㉒ 3 LF 4"Ø PVC(SDR-26) @ 2.00% (MIN.)
- ㉓ 3 LF 4"Ø PVC(SDR-26) @ 2.00% (MIN.)

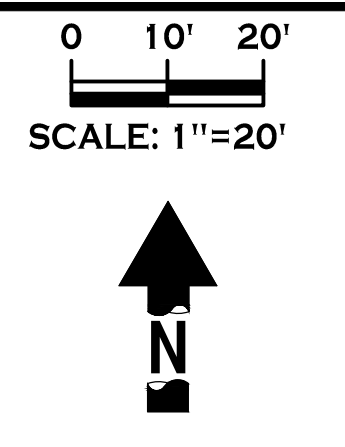
**SANITARY SEWER DATA**

- ⑤① 1 EA., DISCONNECT EXISTING SANITARY SEWER & REPAIR OPENING TO MANHOLE w/ BRICK & MORTAR
- ⑤② 1 EA., CONNECT TO EXISTING MANHOLE (CORE DRILL & RUBBER BOOT)
- ⑤③ 17 L.F. 6"Ø DIP (CL-52) @ 3.50% SLOPE
- ⑤④ 5 L.F. 6"Ø DIP (CL-52) @ 3.50% SLOPE
- ⑤⑤ 1 EA. INSTALL NEW SANITARY MANHOLE & RECONNECT EXISTING SANITARY SEWER PIPES (CONSTRUCT NEW BENCH)
- ⑤⑥ 8 L.F. 6"Ø DIP (CL-52) @ 3.50% SLOPE



**LEGEND**

	EXISTING Combined Sewer		PROPOSED Combined Sewer
	EXISTING Sanitary Sewer		PROPOSED Sanitary Sewer
	EXISTING Storm Sewer		PROPOSED Storm Sewer
	Sanitary Manhole		Storm Manhole
	Catch Basin		Inlet
	Down Spout		Water Main & Services Valve & Vault
	Pressure Connection		Valve & Box
	Fire Hydrant		Structure to be Abandoned
	Power Pole		Spot Grade: 623.45
	Pavement or Ground		Contour: 676
	Drainage Arrow		Neenah Fram & Lid No.
	Structure Size: "d"		Type
	Structure No. → 1-A (48") R-172-B		Rim Elevation: (684.35) 678.99
	Invert Elevation: (684.35) 678.99		



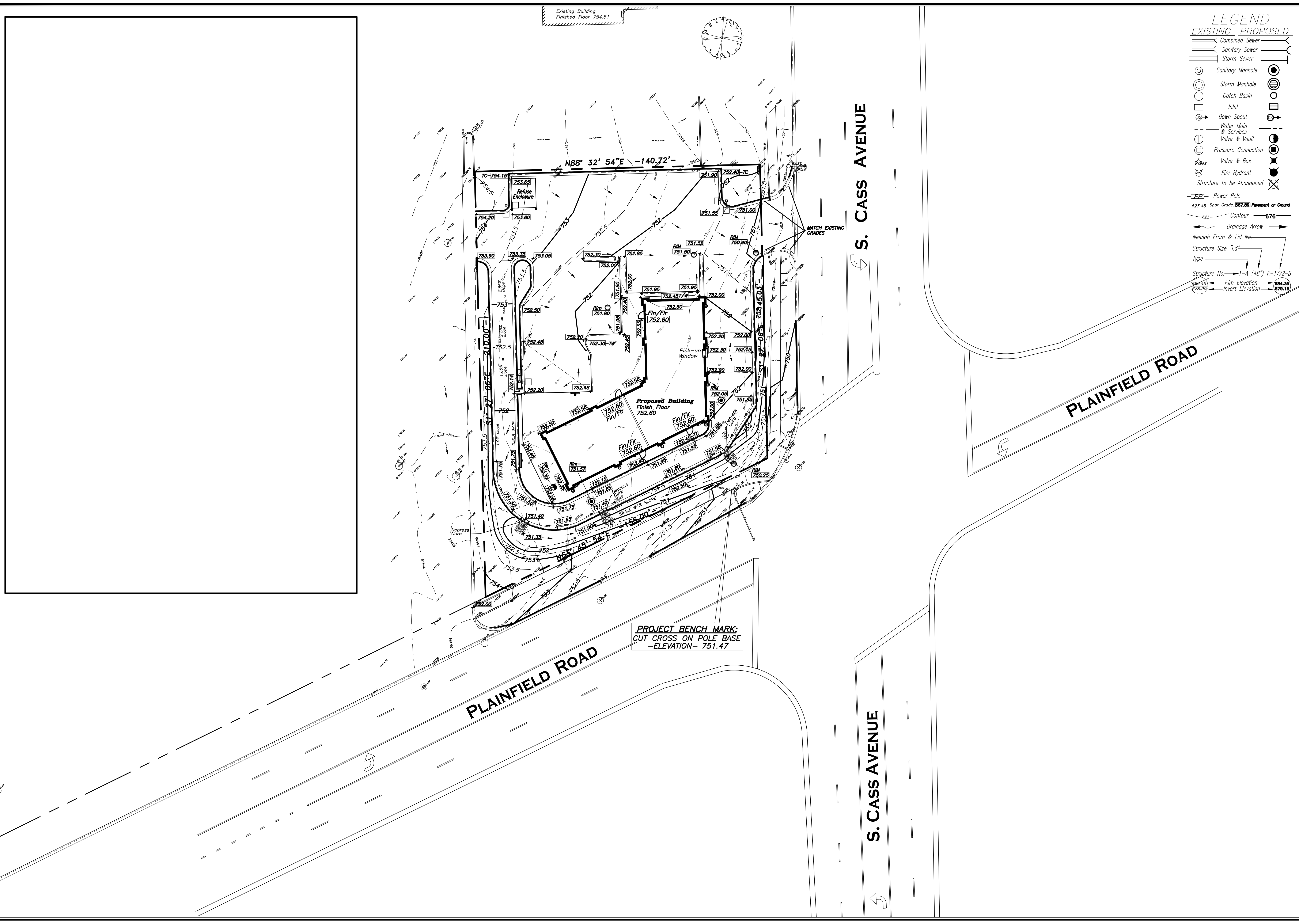
NO.	DATE	REVISION
1	11/22/19	

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**UTILITY PLAN**  
 PROPOSED DUNKIN DONUTS  
 JOHN G. MANOS  
 7532 S. CASS AVENUE, DARIEN, IL  
 JMANOS@ATT.NET PHONE: (630) 212-1644

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 EXPIRES: 11/30/21

Sheet No.  
**C-4**  
 NJT Project No.  
**19-7043**



0 10' 20'  
SCALE: 1"=20'

N

CITY OF PLAINFIELD  
PLANNING DEPARTMENT  
CALL 48 HOURS BEFORE ANY  
WORK

NO.	DATE	REVISION
1	11/22/19	

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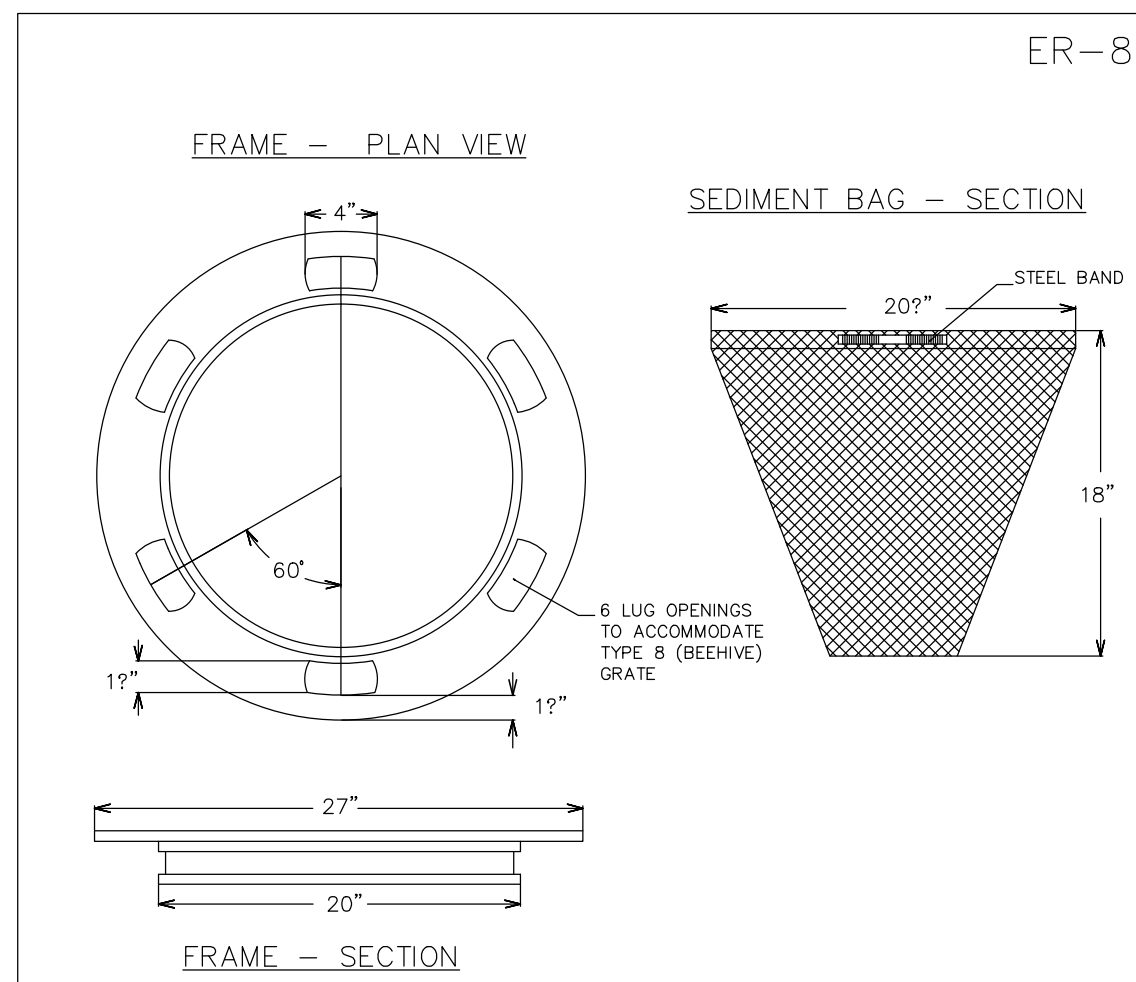
**GRADING & EROSION PLAN**  
PROPOSED DUNKIN DONUTS  
JOHN G. MANOS  
7532 S. CASS AVENUE, DARIEN, IL  
JMANOS@ATT.NET PHONE: (630) 212-1644

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CHANGES APPEAR ON THESE PLANS

SEAL OF NORMAN J. TOBERMAN  
REGISTERED PROFESSIONAL  
ENGINEER  
OF  
ILLINOIS  
EXPIRES: 11/30/21

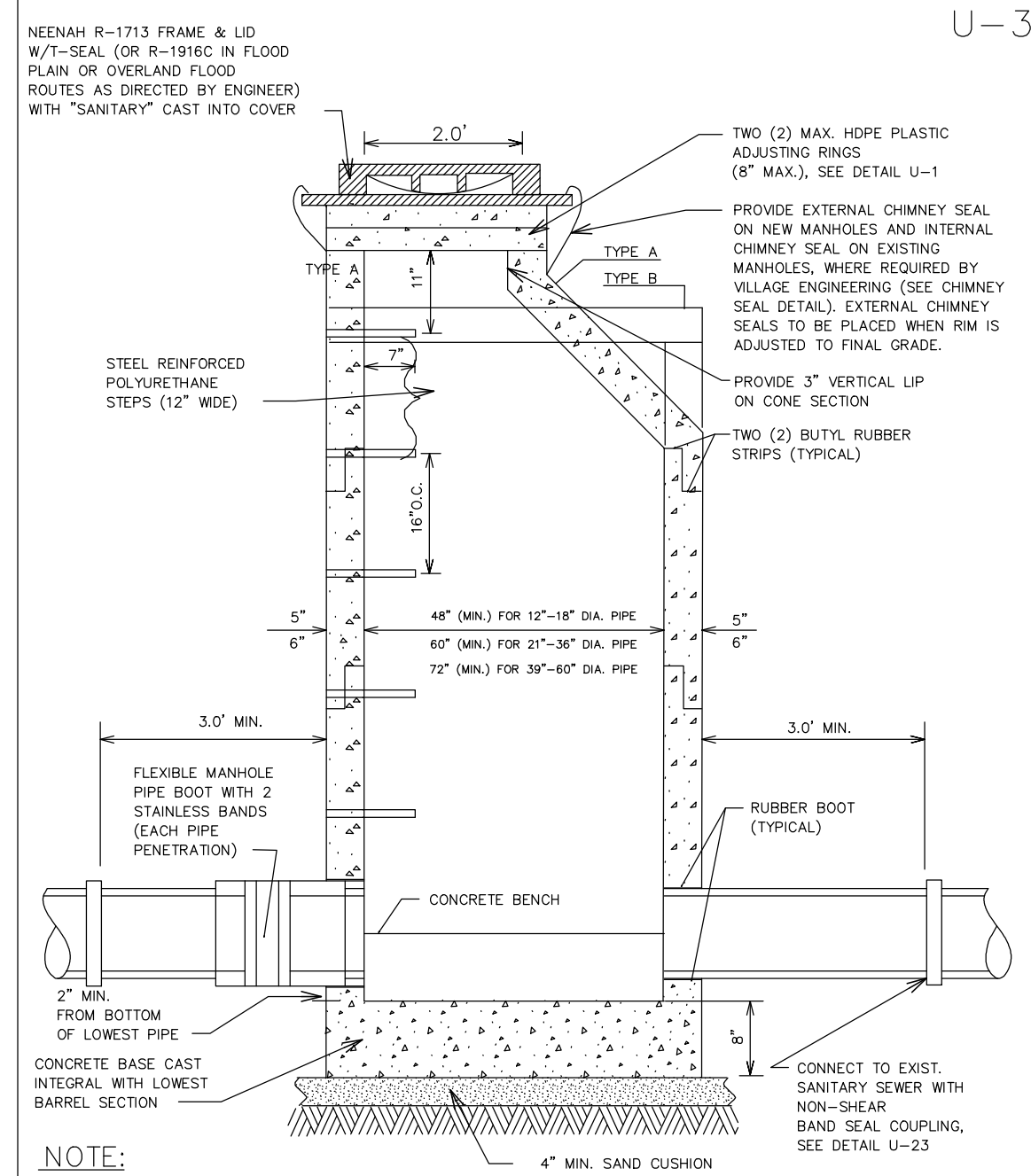
Sheet No.  
**C-5**  
NJ Project No.  
**19-7043**





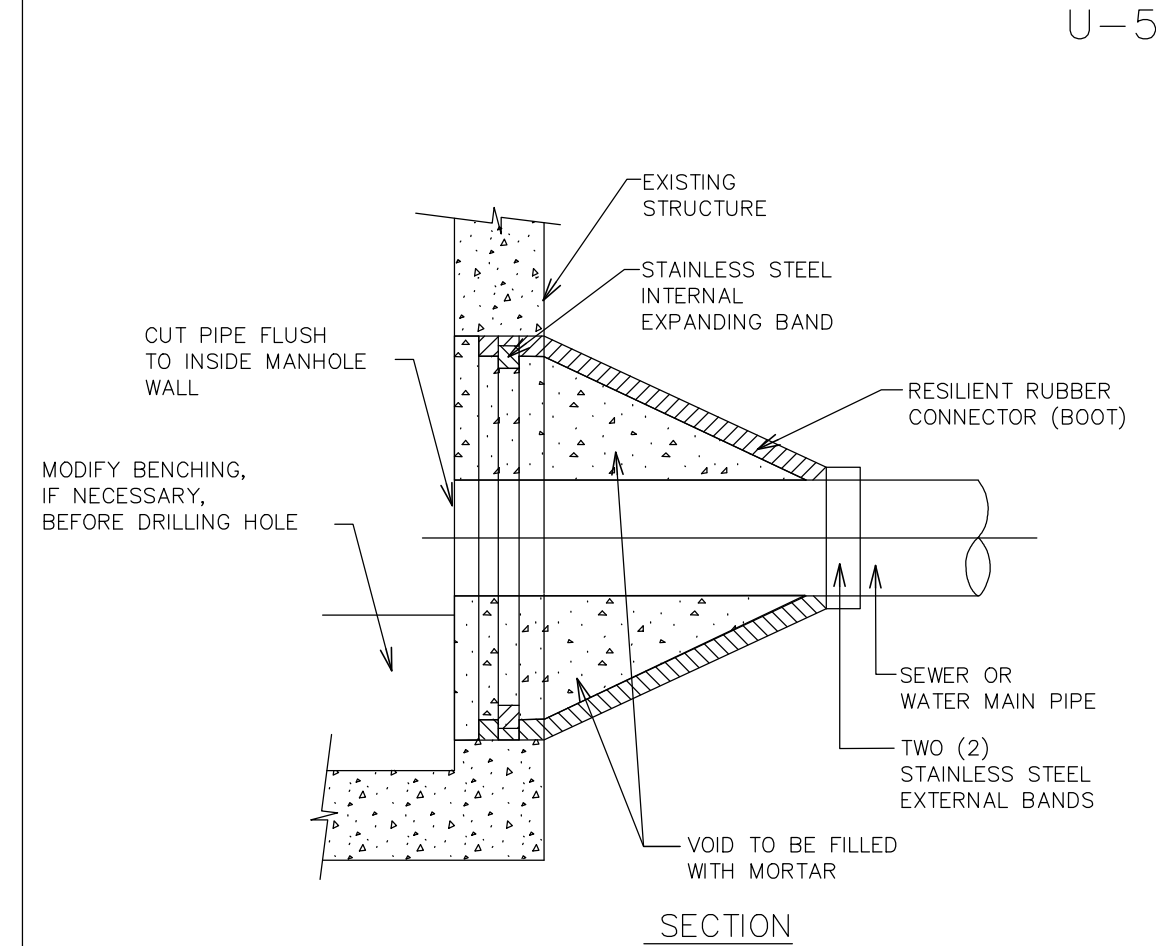
**GENERAL NOTES:**  
 FRAME: TOP FLANGE FABRICATED FROM 1/2" FLAT STOCK. BASE RIM FABRICATED FROM 1/2"X1/2"X1/8" CHANNEL. ALL STEEL CONFORMING TO ASTM-A36.  
 SEDIMENT BAG: BAG FABRICATED FROM 4 OZ./SQ.YD. NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH. BAG SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.

NOT TO SCALE  
**FILTER FOR BEEHIVE GRATE (TYPE 8) DETAIL**



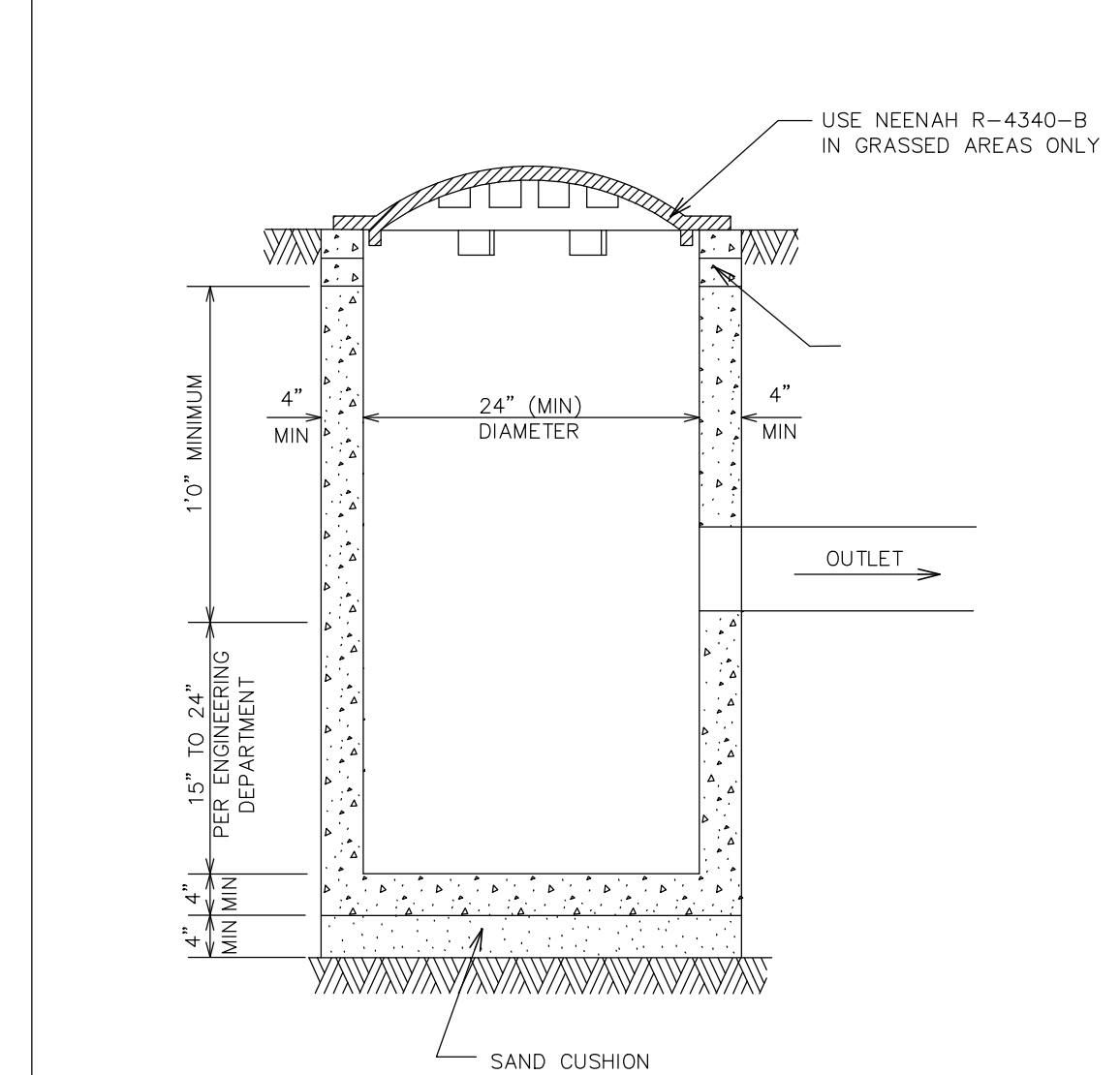
**NOTE:**  
 1. MANHOLES MUST CONFORM TO ASTM C-478.  
 2. MANHOLE SECTIONS TO BE TONGUE AND GROOVED.  
 3. BENCHES MUST BE PROVIDED IN ALL SANITARY SEWER MANHOLES.  
 4. USE EXTERNAL LIFTING "HOLES" ONLY, BUT NOT FULL PENETRATION.  
 5. ALL PIPE PENETRATIONS AND ALL NON-PRECAST OPENINGS SHALL BE CORED, RUBBER BOOTED AND INTERIOR MORTARED AROUND PIPE.\*  
 6. USE ECCENTRIC CONE ONLY.  
 \* SEE PIPE CONNECTION TO STRUCTURE DETAIL U-5.

NOT TO SCALE  
**SANITARY MANHOLE DETAIL**



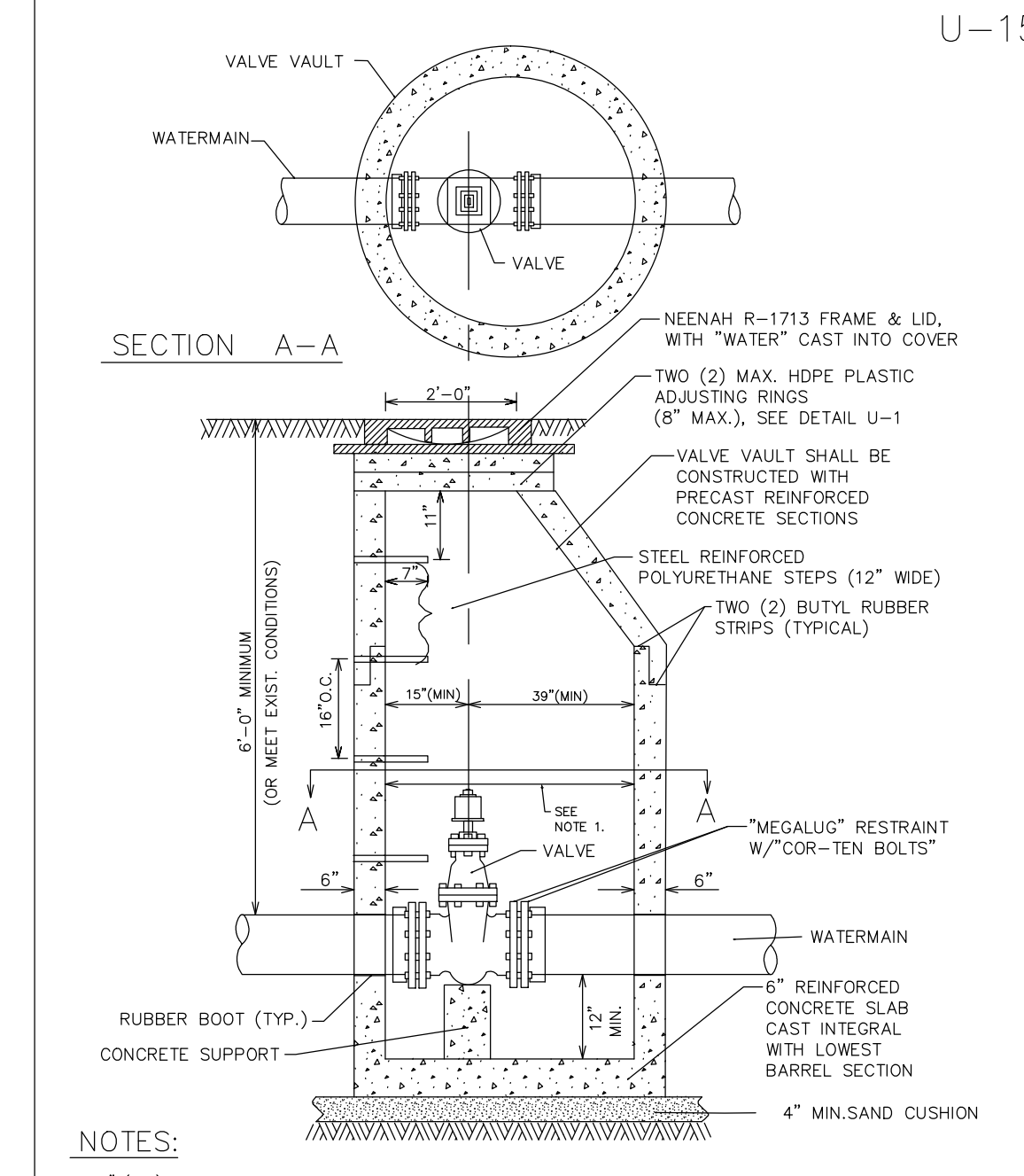
**NOTES:**  
 1. RESILIENT RUBBER CONNECTOR COMPLYING WITH ASTM STANDARD C-923 (MOST RECENT EDITION) SHALL BE USED.  
 2. CORE-DRILL CIRCULAR OPENING IN STRUCTURE WALL OF DIAMETER NECESSARY TO FIT THE REQUIRED BOOT SIZE.  
 3. KOR-N SEAL FLEXIBLE RUBBER BOOT (MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC.) MAY BE USED IF APPROVED BY VILLAGE ENGINEERING.  
 4. CUT, SHAPE AND SLOPE NEW INVERT CHANNEL IN THE EXISTING CONCRETE BENCH FOR SMOOTH FLOW FROM NEW CONNECTION.  
 5. CLEAN EXISTING STRUCTURE AND SEWER PIPE OF ANY DIRT, CONCRETE OR DEBRIS WHICH MAY ACCUMULATE DURING THE CONSTRUCTION PROCESS.

NOT TO SCALE  
**PIPE CONNECTION TO STRUCTURE DETAIL**



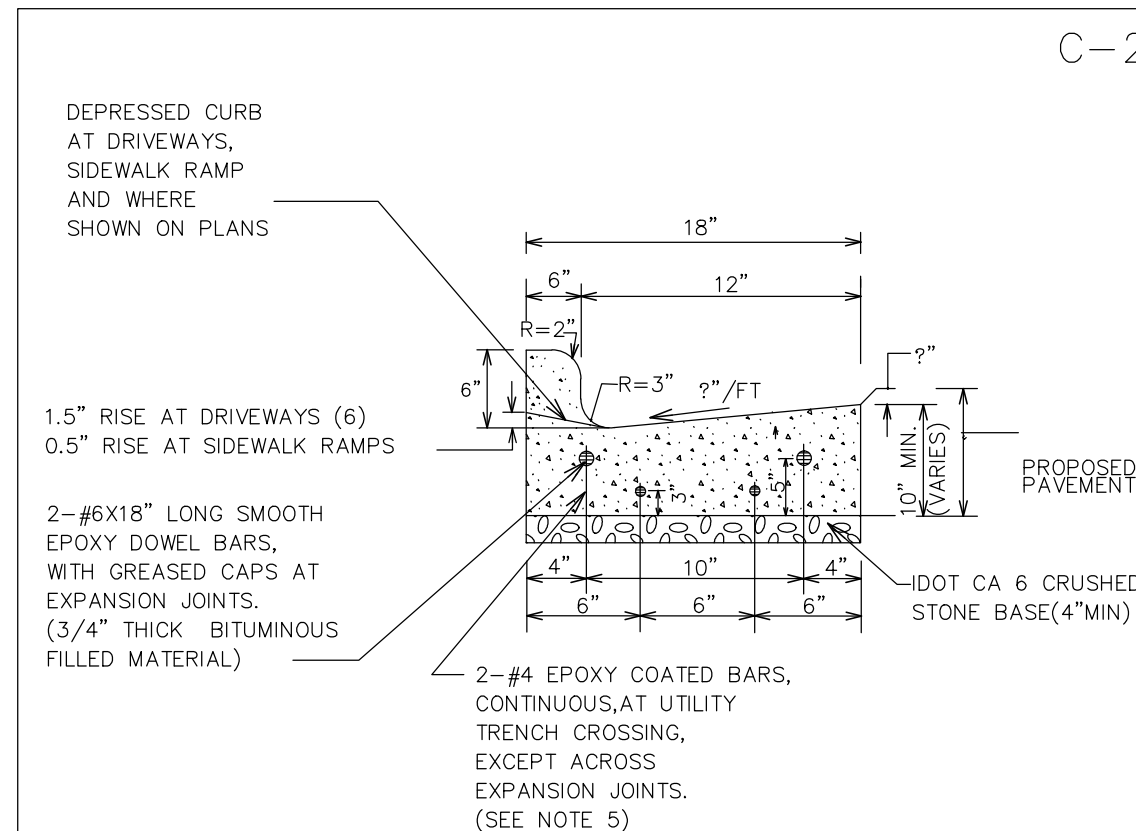
**NOTE:**  
 1. CATCH BASIN TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.  
 2. CATCH BASIN MUST CONFORM TO ASTM C-478.  
 3. NON-PRECAST OPENINGS SHALL BE CORED, RUBBER BOOTED AND INTERIOR MORTARED AROUND PIPE.\*  
 4. MAXIMUM DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DESIGN OR CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REVISED TO A 48 INCH DIAMETER CATCH BASIN.  
 \* SEE PIPE CONNECTION TO STRUCTURE DETAIL U-5 FOR NON-PRECAST OPENINGS.

NOT TO SCALE  
**TYPE C CATCH BASIN DETAIL**



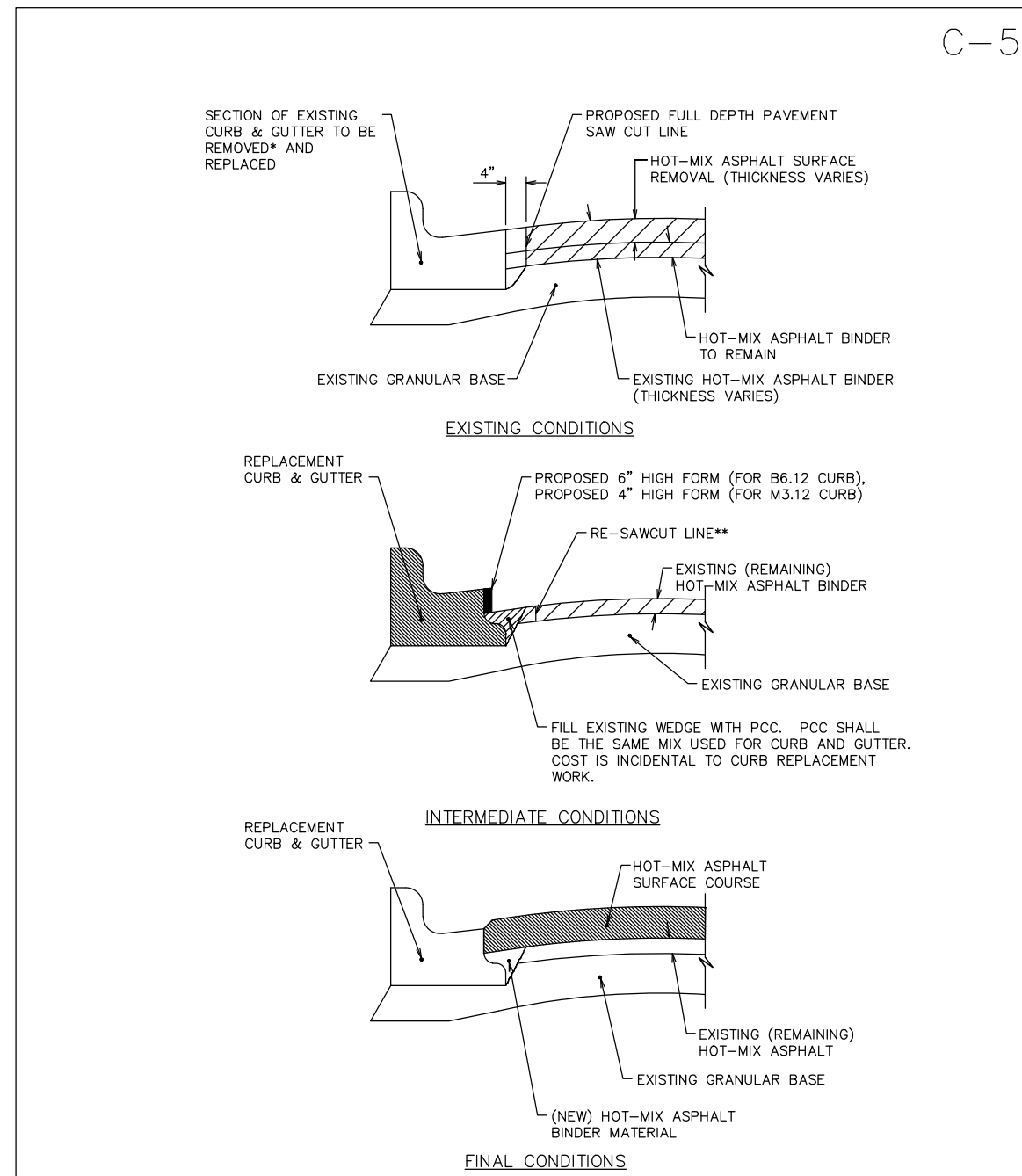
**NOTES:**  
 1. 60" (MIN) INSIDE DIA. FOR ALL VALVE VAULTS.  
 2. VALVE VAULT MUST CONFORM TO ASTM C-478.  
 3. USE ECCENTRIC CONE ONLY.  
 4. VALVE SECTIONS TO BE TONGUE AND GROOVED.  
 5. NON-PRECAST OPENINGS SHALL BE CORED, RUBBER BOOTED, AND MORTARED.\*  
 6. BACKFILL MATERIAL SHALL BE 100% CA 7 STONE.  
 7. (a) MECHANICAL JOINT BOLTS & NUTS SHALL BE COMPOSED OF CORE-TEN. (b) ALL OTHER HEXAGONAL BOLTS & NUTS SHALL BE COMPOSED OF STAINLESS STEEL MATERIAL.  
 8. TRACER WIRE SHALL BE USED ON ALL PIPE INSTALLATIONS, REGARDLESS OF PIPE MATERIAL.  
 \* SEE PIPE CONNECTION TO STRUCTURE DETAIL U-5.

NOT TO SCALE  
**VALVE VAULT DETAIL**



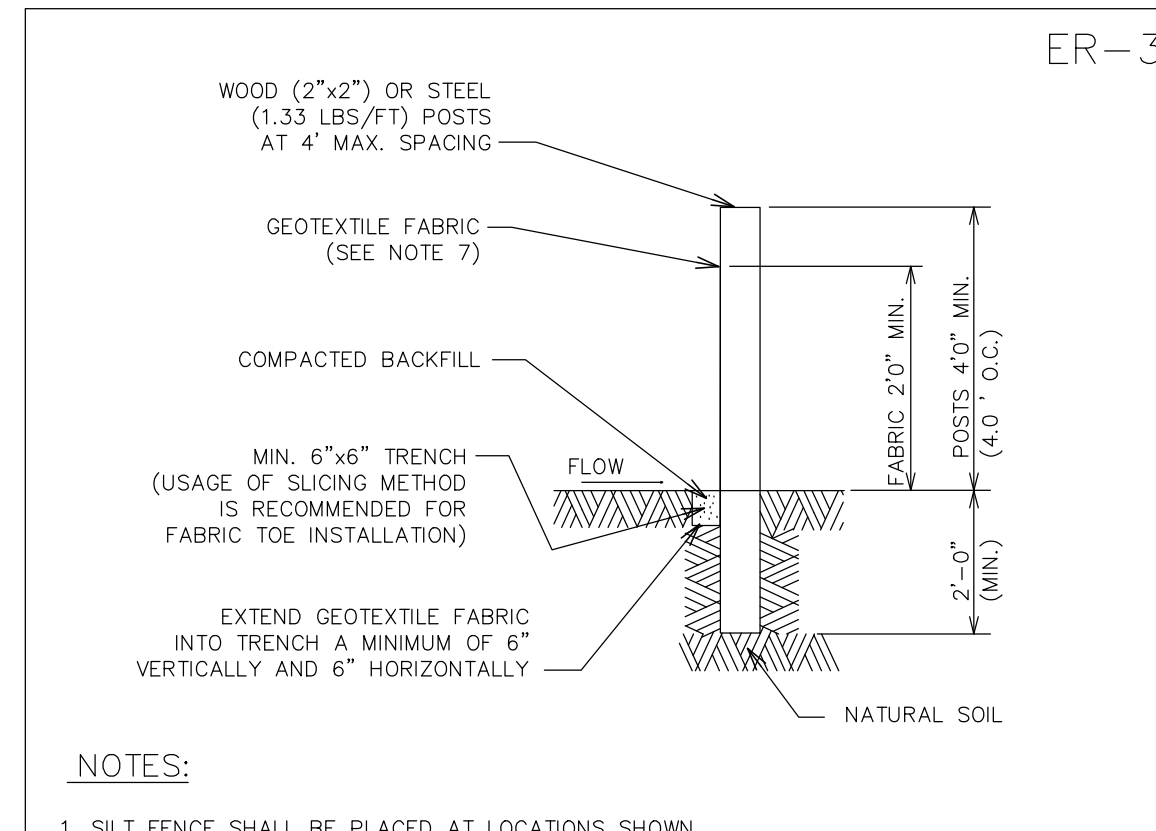
**NOTE:**  
 1. 2" DEEP CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS, AND SHALL BE GROOVED WITH AN EDGING TOOL. SEE ARTICLES 420.05 AND 606 OF IDOT STANDARD SPECIFICATIONS.  
 2. EXPANSION JOINTS SHALL BE PLACED AT 60' (MAX) INTERVALS, AT ALL P.C.'S AND P.T.'S, CURB RETURNS, AND AT THE END OF EACH FOUR.  
 3. P.C.C. SHALL CONSIST OF IDOT CLASS SI CONCRETE MIX, WITH 5% TO 8% AIR ENTRAINMENT, AND A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 14 DAYS.  
 4. PROVIDE 2 #4X18" EPOXY COATED TIE BARS AT CONNECTIONS BETWEEN EXISTING AND NEW CURB & GUTTER.  
 5. CURBS, SPANNING UTILITY TRENCHES, SHALL BE CONSTRUCTED WITH TWO #4 REINFORCEMENT BARS, WHICH EXTEND FIVE (5) FEET BEYOND THE TRENCH WALLS.  
 6. WHERE DRIVEWAYS ARE INTENDED FOR PEDESTRIAN ACCESS, RISE SHALL BE 0.5".

NOT TO SCALE  
**B-6.12 CURB & GUTTER DETAIL**



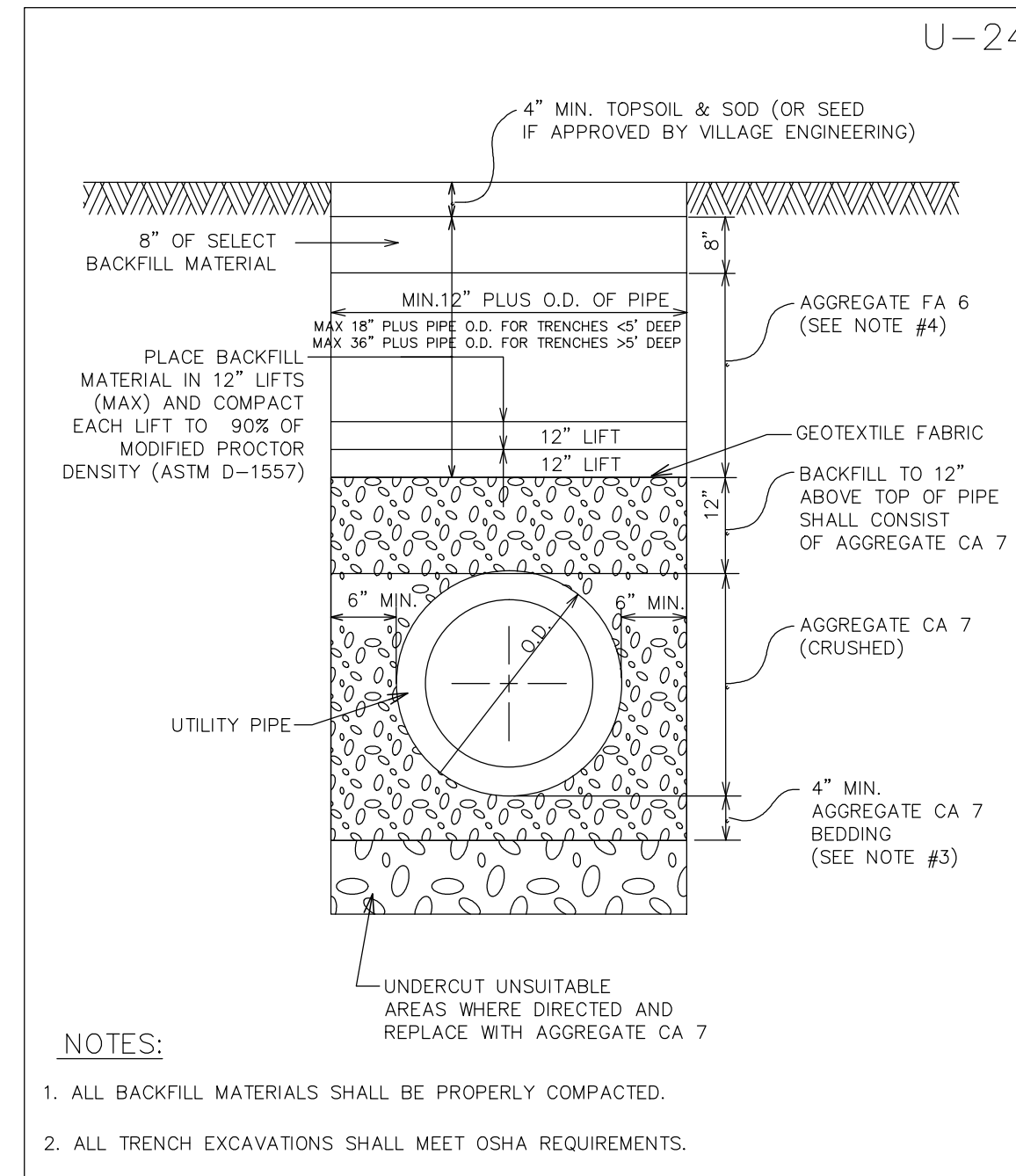
\* CURB & GUTTER SHALL BE SAWCUT (FULL DEPTH) PRIOR TO CURB & GUTTER SECTION REMOVAL FOR REPLACEMENT.  
 \*\* RE-SAWCUT ANY DAMAGED PAVEMENT EDGE TO PROVIDE A CLEAN STRAIGHT EDGE FOR HOT-MIX ASPHALT BINDER MATERIAL PLACEMENT.

NOT TO SCALE  
**CURB & GUTTER REMOVAL AND REPLACEMENT DETAIL**



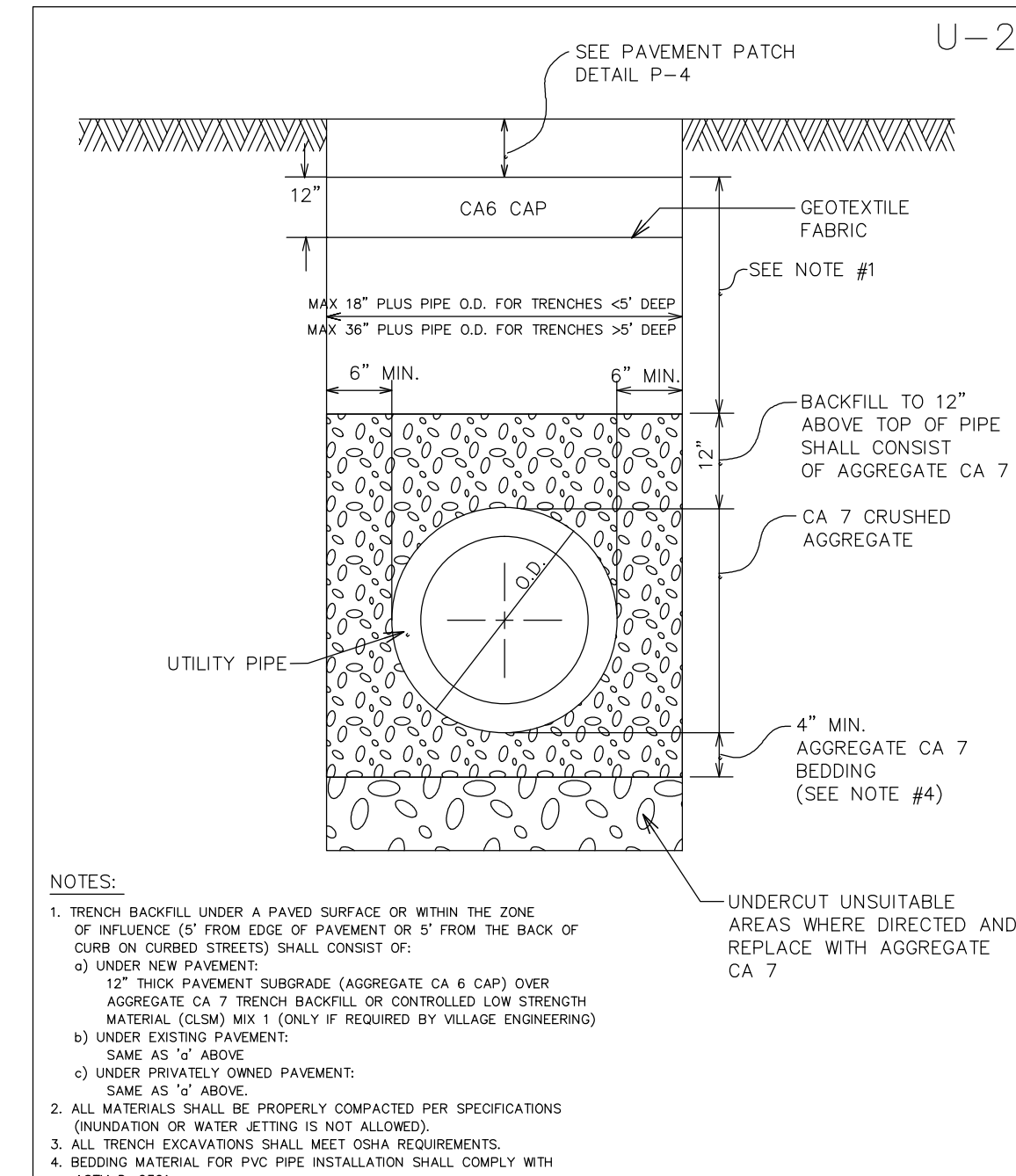
**NOTES:**  
 1. SILT FENCE SHALL BE PLACED AT LOCATIONS SHOWN ON THE PLANS AND WHERE INDICATED BY VILLAGE ENGINEERING.  
 2. ATTACH GEOTEXTILE FABRIC TO WIRE MESH WITH HOG RINGS, TO WOOD POSTS WITH NAILS, AND TO STEEL POSTS WITH TIE-WIRES AT TOP AND MID-SECTION.  
 3. OVERLAP GEOTEXTILE FABRIC BY 6" AND FOLD WHERE 2 SECTIONS ADJOIN.  
 4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF INCH (PER DAY OR EQUAL SNOW MELT). REPAIR OR REPLACEMENT OF SILT FENCE SHALL BE MADE PROMPTLY AS NEEDED.  
 5. SEDIMENT TRAPPED BY THE SILT FENCE SHALL BE REMOVED (AND PROMPTLY DISPOSED OF) WHENEVER SEDIMENT ACCUMULATION DEPTH AT THE SILT FENCE IS APPROXIMATELY EQUAL TO TWELVE (12) INCHES (ONE-HALF OF SILT FENCE HEIGHT).  
 6. MATERIAL (GEOTEXTILE & POST) INSTALLATION, MAINTENANCE, AND SILT FENCE REMOVAL SHALL COMPLY WITH AASHTO, M 288 REQUIREMENTS.  
 7. THE FABRIC FOR SILT FENCE SHALL BE A WOVEN FABRIC MEETING THE REQUIREMENTS OF AASHTO M 288 (TABLE 7) FOR UNSUPPORTED SILT FENCE WITH LESS THAN 50 PERCENT GEOTEXTILE ELONGATION.  
 8. SILT FENCE SHALL BE MAINTAINED IN PLACE UNTIL COMPLETION OF CONSTRUCTION AND THE UPSLOPE AREA HAS BEEN STABILIZED, AND SHALL BE REMOVED ONLY WHEN DIRECTED BY VILLAGE ENGINEERING.

NOT TO SCALE  
**SILT FENCE DETAIL**



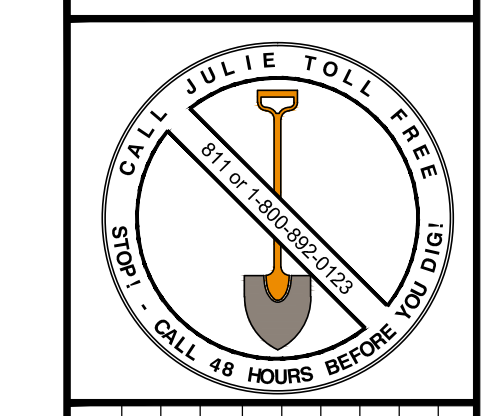
**NOTES:**  
 1. ALL BACKFILL MATERIALS SHALL BE PROPERLY COMPACTED.  
 2. ALL TRENCH EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.  
 3. BEDDING MATERIAL FOR PVC PIPE INSTALLATION SHALL COMPLY WITH ASTM D-2321.  
 4. FOR WATER MAIN TRENCHES, CA 7 SHALL EXTEND UP TO TWELVE (12) INCHES FROM FINISHED GRADE. WATER SERVICE TRENCHES SHALL BE BACKFILLED PER THIS DETAIL.

NOT TO SCALE  
**UTILITY TRENCH IN NON-PAVED AREAS DETAIL**



**NOTES:**  
 1. TRENCH BACKFILL UNDER A PAVED SURFACE OR WITHIN THE ZONE OF INFLUENCE 15' FROM EDGE OF PAVEMENT OR 5' FROM THE BACK OF CURB ON CURBED STREETS SHALL CONSIST OF:  
 (a) UNDER NEW PAVEMENT:  
 12" THICK PAVEMENT SUBGRADE (AGGREGATE CA 6 CAP) OVER AGGREGATE CA 7 TRENCH BACKFILL OR CONTROLLED LOW STRENGTH MATERIAL (CLSM) MIX 1 (ONLY IF REQUIRED BY VILLAGE ENGINEERING)  
 (b) UNDER EXISTING PAVEMENT:  
 SAME AS 'a' ABOVE.  
 2. UNDER PRIVATELY OWNED PAVEMENT:  
 SAME AS 'a' ABOVE.  
 3. ALL MATERIALS SHALL BE PROPERLY COMPACTED PER SPECIFICATIONS (ORINATION OF WATER LETTING IS NOT ALLOWED).  
 4. ALL TRENCH EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.  
 5. BEDDING MATERIAL FOR PVC PIPE INSTALLATION SHALL COMPLY WITH ASTM D-2321.  
 6. IF APPROVED BY VILLAGE ENGINEERING, A ONE (1) INCH THICK PLATE SHALL BE PROVIDED AND MAINTAINED BY CONTRACTOR UNTIL THE SURFACE RESTORATION IS COMPLETE. THE PLATE SHALL BE PROTECTED FROM SLIDING AND PROVED WITH BITUMINOUS RAMPS IF REQUIRED BY VILLAGE ENGINEERING.  
 7. PRIOR TO PLACEMENT OF PAVEMENT MATERIALS, THE EXISTING EXPOSED EDGES SHALL BE SAWCUT TO PROVIDE A SMOOTH CLEAN EDGE, FREE OF LOOSE MATERIAL.  
 8. THE PLACEMENT OF PAVEMENTS SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY VILLAGE ENGINEERING.

NOT TO SCALE  
**UTILITY TRENCH IN PAVED AREAS DETAIL**



NO.	DATE	REVISION
1	11/22/19	

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 F: (630) 212-1644  
 n.j.toberman@njta.com  
 ILL. Design Firm #: 184,0008910  
 Exp. Date: 4-30-2025

**DETAIL SHEET**  
 PROPOSED RETAIL DEVELOPMENT  
 JOHN G. MANOS  
 7532 S. CASS AVENUE, DARIEN, ILL.  
 PHONE: (630) 212-1644  
 JMANOS@ATT.NET

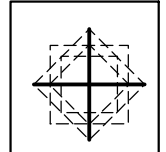
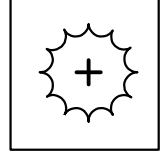
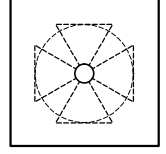
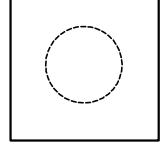
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Sheet No.  
**C-6**  
 NJT Project No.  
**19-7041**

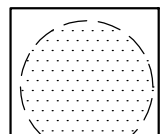
## TREES

-  **AUTUMN GOLD GINKGO BILOBA (GB)**  
(Ginkgo Biloba 'Autumn Gold') Male only (Min. 3" cal.)
-  **IMPERIAL HONEYLOCUST (HL)**  
(Gleditsia triacanthos var. inermis 'Imperial') (Min. 3" cal.)
-  **COLORADO SPRUCE (SPR)**  
(Picea pungens) (Min. 6' ht.)
-  **CHINA SNOW PEKING LILAC (PL)**  
(Syringa pekinensis 'Morton') (Min. 2" cal.)

## SHRUBS

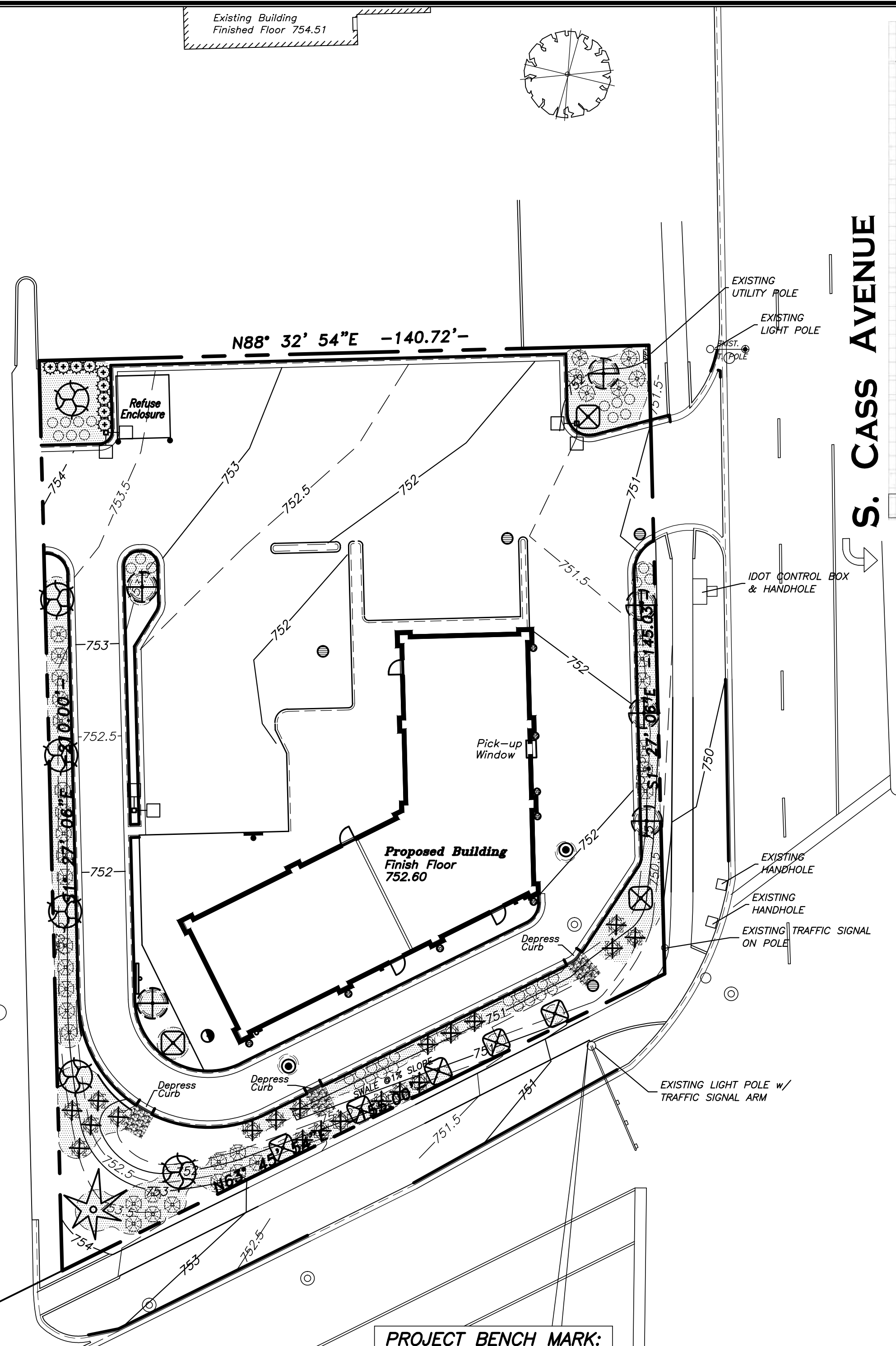
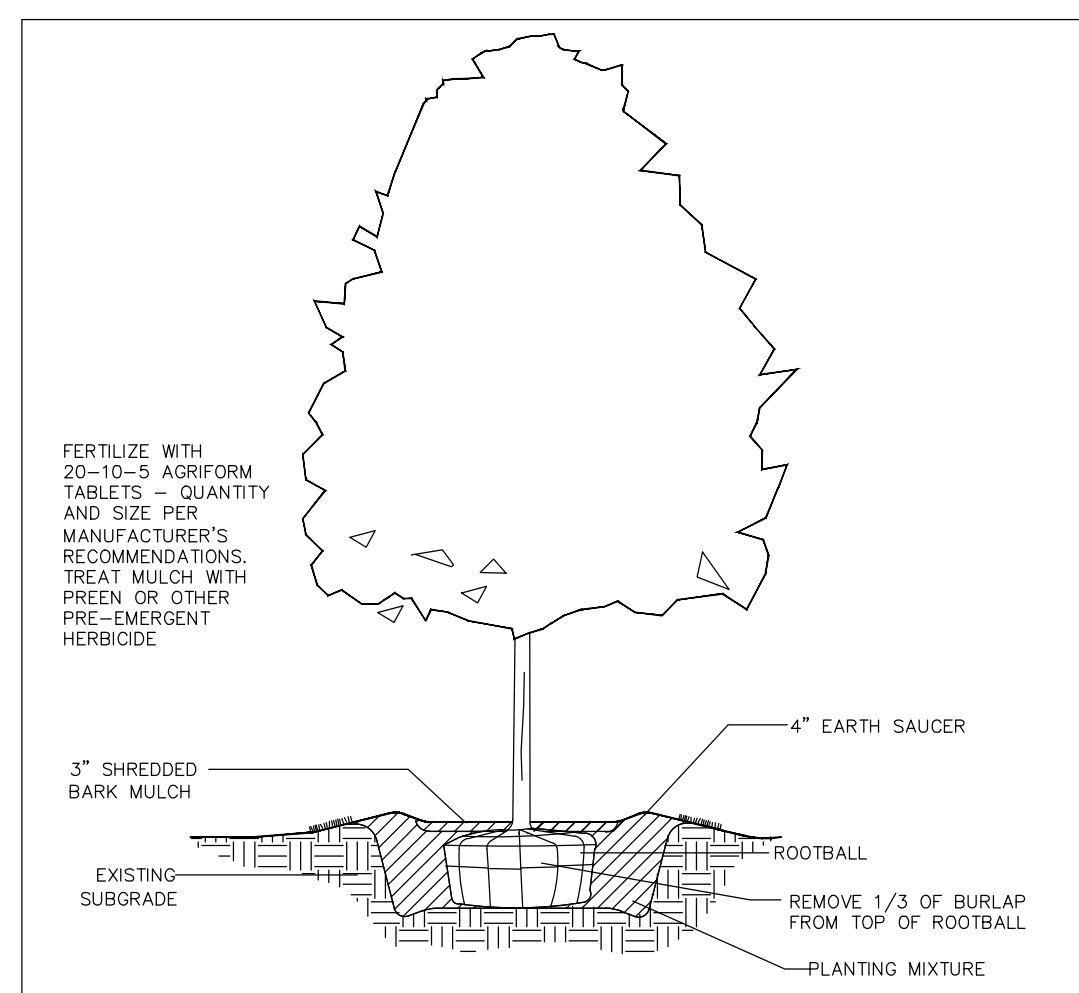
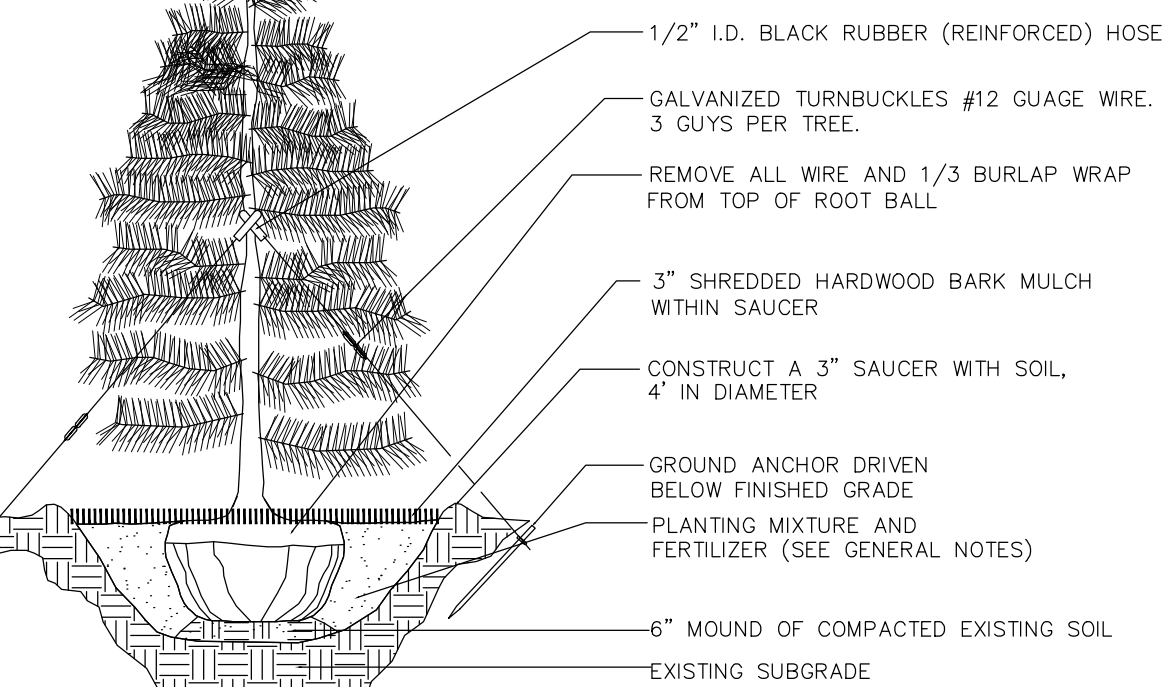
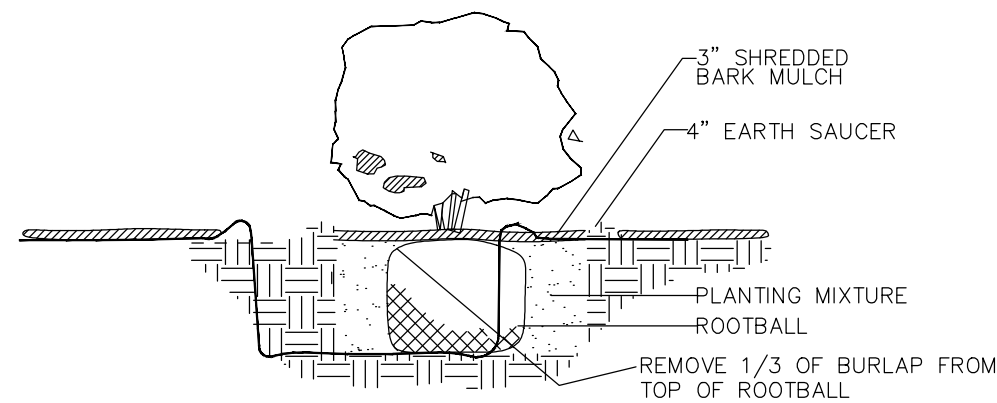
-  **SEA GREEN JUNIPER (JC)**  
(Juniperus chinensis 'Sea Green') 47 shrubs (Min. 24" ht.)
-  **BEANPOLE YEW (BY)**  
(Taxus x Media 'Beanpole') (Min. 36" ht.)
-  **DWARF BURNING BUSH (EA)**  
(Euonymus alatus 'Compactus') 95 shrubs (Min. 36" ht.)
-  **CRANBERRY COTONEASTER (CC)**  
(Cotoneaster apiculatus) 40 shrubs (Min. 24" ht.)

## GROUND COVER

-  **SHREDDED HARDWOOD MULCH**  
(Application Depth - see note below)

**\*\*NOTE:**  
ALL PLANTING AREAS WITH SHRUBS ARE TO BE FINISHED WITH HARDWOOD MULCH AT MINIMUM 2" DEPTH.  
ALL TREES ARE TO BE FINISHED WITH HARDWOOD MULCH AT MINIMUM 4" DEPTH.

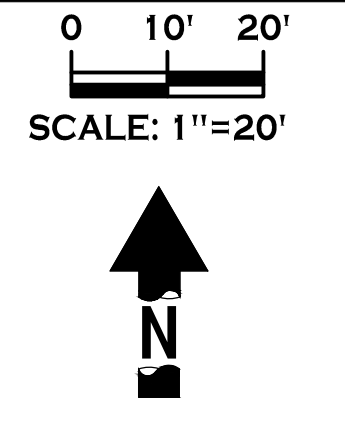
FERTILIZE WITH 20-10-5 AGRIFORM TABLETS - QUANTITY AND SIZE PER MANUFACTURER'S RECOMMENDATIONS TREAT WITH PREEN OR OTHER PRE-EMERGENT HERBICIDE



**PROJECT BENCH MARK:**  
CUT CROSS ON POLE BASE  
-ELEVATION- 751.47

4.5 x (the foot length of the yard measured at the lot line) = number of points required for landscape materials

Yard:	Lot Line Length	Point Req. (Length * 4.5)	Common Name	Botanical Name	Qty.	Species Points *	Total Points
Interior Side Yard (North lot line)	140.72	633	1	Autumn Gold Ginkgo	Ginkgo Biloba 'Autumn Gold'	1	100
			2	Imperial Honeylocust	Gleditsia triacanthos 'Imperial'	1	100
			3	China Snow Peeking Lilac	Syringa pekinensis 'Morton'	1	50
			4	Dwarf Burning Bush	Euonymus alatus 'Compactus'	6	15
			5	Beanpole Yew	Taxus x media 'Beanpole'	9	15
			6	Cranberry Cotoneaster	Cotoneaster apiculatus	14	140
<b>Total Interior Side Yard (North lot line)</b>							<b>615</b>
Rear Yard (West lot line)	210.00	945	1	Autumn Gold Ginkgo	Ginkgo Biloba 'Autumn Gold'	2	100
			2	Imperial Honeylocust	Gleditsia triacanthos 'Imperial'	4	100
			3	China Snow Peeking Lilac	Syringa pekinensis 'Morton'	1	50
			4	Dwarf Burning Bush	Euonymus alatus 'Compactus'	15	15
			5	Sea Green Juniper	Juniperus chinensis 'Sea Green'	5	10
			6	Cranberry Cotoneaster	Cotoneaster apiculatus	3	10
<b>Total Rear Yard (West lot line)</b>							<b>955</b>
Corner Side Yard (South lot line)	155.00	698	1	Imperial Honeylocust	Gleditsia triacanthos 'Imperial'	1	100
			2	China Snow Peeking Lilac	Syringa pekinensis 'Morton'	5	50
			3	Colorado Spruce	Picea pungens	1	60
			4	Dwarf Burning Bush	Euonymus alatus 'Compactus'	10	15
			5	Sea Green Juniper	Juniperus chinensis 'Sea Green'	12	10
			6	Cranberry Cotoneaster	Cotoneaster apiculatus	18	10
<b>Total Corner Side Yard (South lot line)</b>							<b>860</b>
Front Yard (East lot line)	145.03	653	1	Autumn Gold Ginkgo	Ginkgo Biloba 'Autumn Gold'	3	100
			2	China Snow Peeking Lilac	Syringa pekinensis 'Morton'	1	50
			3	Dwarf Burning Bush	Euonymus alatus 'Compactus'	6	15
			4	Sea Green Juniper	Juniperus chinensis 'Sea Green'	3	10
			5	Cranberry Cotoneaster	Cotoneaster apiculatus	3	10
<b>Total Front Yard (East lot line)</b>							<b>500</b>
<b>Total Landscape Points Required:</b>							<b>2928</b>
<b>Total Landscape Points Provided:</b>							<b>2930</b>



NO.	DATE	REVISION
1	11/22/19	

**NORMAN J. TOBERMAN & ASSOCIATES, LLC**  
CIVIL ENGINEERS & SURVEYORS  
110 S. WASHINGTON AVE., SUITE 200  
MADISON, IL 62202  
P: (617) 484-8228 F: (617) 746-4164  
mailto:njtoberman@att.net  
IL-ES-00000048-00000000

**LANDSCAPE PLAN**  
PROPOSED DUNKIN DONUTS  
JOHN G. MANOS  
7532 S. CASS AVENUE, DARIEN, IL  
JMANOS@ATT.NET PHONE: (630) 212-1644

THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS

Sheet No.  
**L-1**  
NJ Project No.  
**19-7043**

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
▶	5	3M-4L	SINGLE	1.000	4270	33	XSPW-B-WM-3ME-4L-30K-UL-BZ
◀	3	4-2(90)	GO 4/6	1.000	10738	86	OSQ-A-NM-4ME-B-30K-UL-BZ w/OSQ-DABZ

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.78	7.8	0.0	N.A.	N.A.
Pavement	Fc	2.54	6.5	1.0	2.54	6.50

**CREE LIGHTING**

A COMPANY OF IDEAL INDUSTRIES, INC.

9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

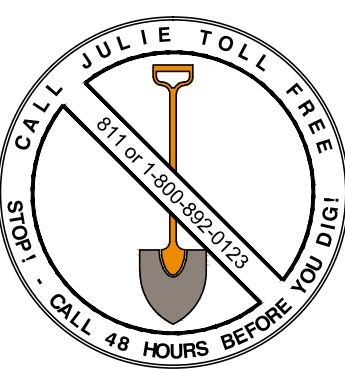
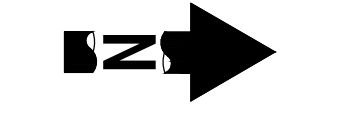
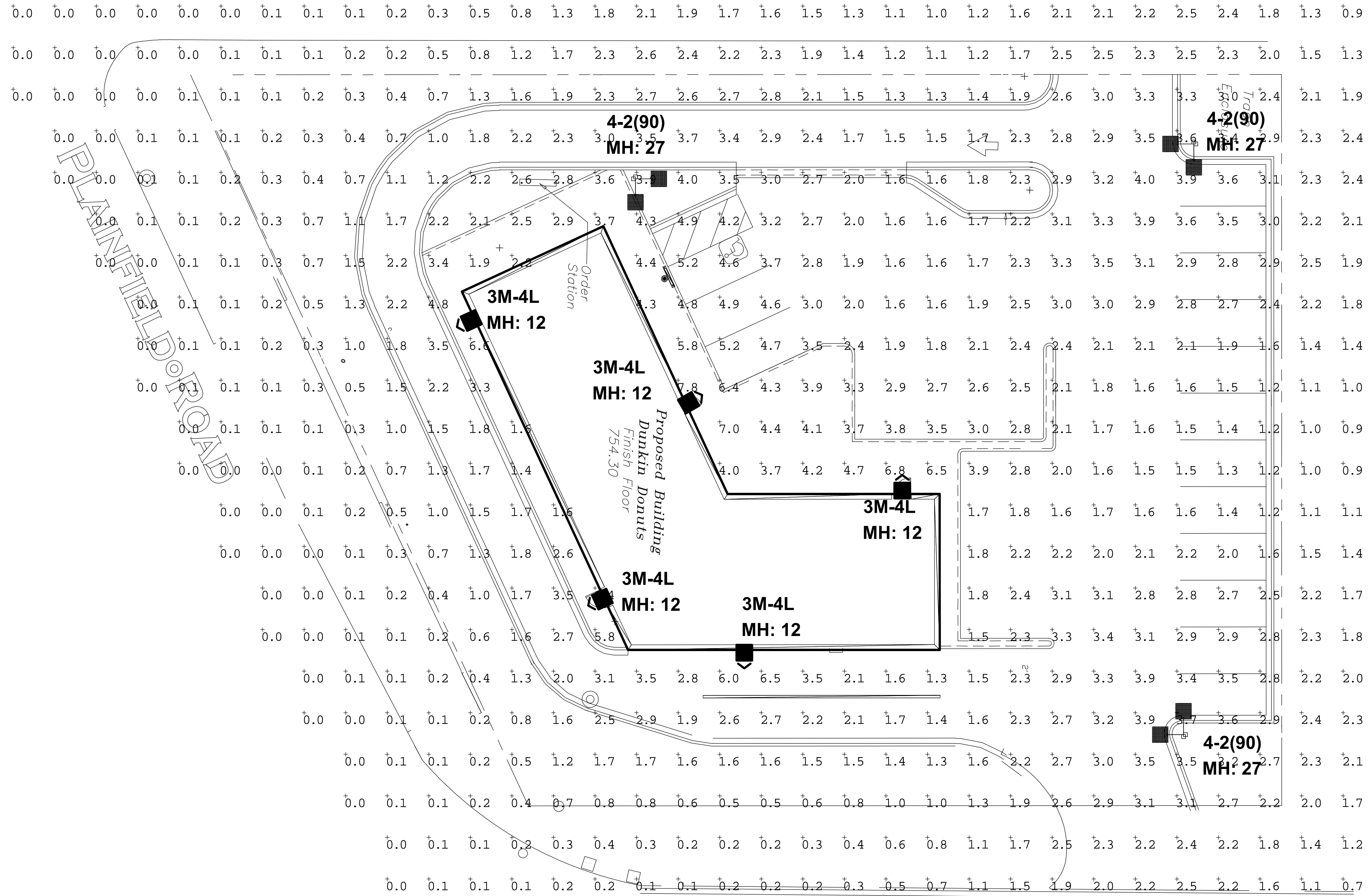
Illustration results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Fixture Mounting Height: 27' AFG (25' Pole + 2.0' Base)

Pole Schedule  
 (3) - CL-SSP-4011-25-D6-BZ-ABL (25' x 4" x 11ga; Steel Square Pole)  
 Proposed poles meet 120 MPH sustained winds.

Additional Equipment:  
 (6) - OSQ-DABZ - (Direct Arm Mount)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

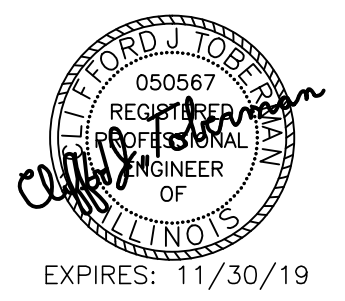


NO.	DATE	REVISION

**NORMAN J. TOBERMAN & ASSOCIATES, LLC**  
 CIVIL ENGINEERS & SURVEYORS  
 118 S. WYOMING STREET, CHICAGO, ILL. 60605  
 TEL: (312) 462-2000 FAX: (312) 462-0404  
 nman@norman-j.com  
 ILL. Design Firm: 184,0088910  
 Engineer: 4-30-2021

**LIGHTING PLAN**  
 PROPOSED RETAIL DEVELOPMENT  
 JOHN G. MANOS  
 7532 S. CASS AVENUE, DARIEN, ILL  
 JMANOS@ATT.NET PHONE: (630) 212-1644

THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS



Sheet No.  
**LT-1**  
 NJT Project No.  
**19-7041**



DuPage County  
 Information Technology Department / GIS Division  
 421 N County Farm Rd.  
 Wheaton, IL 60187

Ph# 1(630)407-5000  
 Email [gis@dupageco.org](mailto:gis@dupageco.org)  
 DuPage Maps Portal :  
<http://dupage.maps.arcgis.com/home>

This map is for assessment purposes only.  
 DuPage County Web Site :  
[www.dupageco.org](http://www.dupageco.org)

  
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**CITY OF DARIEN**  
**ZONING VARIATIONS**  
**JUSTIFICATION NARRATIVE**

**Purpose**

To be consistent and fair, the City is obligated to make decisions on zoning variation requests based on findings-of-fact. The Applicant should write a justification narrative that contains evidence (facts) that support a conclusion (finding) that the variation is necessary and would not cause problems. It should include: a) explanation of why the variation is being requested, b) describe the 'hardship condition' of the property that makes it difficult to conform, c) estimate the impact on neighbors, and d) respond to each of the decision criteria below.

**Decision Criteria** (See City Code Section 5A-2-2-3)

2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

---

2b. The plight of the owner is due to unique circumstances.

---

2c. The variation if granted will not alter the essential character of the locality.

---

3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

---

3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.

---

3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

---

3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

---

3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

---

3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.

---

3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

---



# CITY OF DARIEN

In the County of DuPage and the State of Illinois  
Incorporated 1969

## SPECIAL USE STANDARDS

Zoning Code Section 5A-2-2-6(G)

No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. That the special use is deemed necessary for the public convenience at the location specified.
2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.
7. That adequate measures have been or will be taken to provide ingress and egress so designed to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and the Planning and Development Committee.

**AGENDA MEMO**  
**Municipal Services Committee**  
**December 23, 2019**

**ISSUE STATEMENT**

A [resolution](#) accepting a proposal from Underground Pipe & Valve Co., for the Clow Eddy fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.

**BACKGROUND**

During the year, the department requires the use of manufacturer-specified fire hydrant repair parts for fire hydrant repairs.

Competitive quotes were requested for the various repair items, and staff received one (1) quote. See [Attachment A](#). The sole bidder was provided by Underground Pipe & Valve Co. The request for quotes stipulated that pricing be held in place through April 30, 2021.

The expenditure would come from the Water System Maintenance Account. The total estimated costs for the specified Clow Eddy fire hydrant repair parts would not exceed \$6,000.

**STAFF RECOMMENDATION**

Staff recommends approval of this resolution with Underground Pipe & Valve Co., for Clow Eddy fire hydrant repair parts.

**ALTERNATE CONSIDERATION**

As directed by the Municipal Services Committee.

**DECISION MODE**

This item will be placed on the January 6, 2020 City Council agenda for formal approval.

MEMO

# City of Darien - Clow Eddy Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 Underground Pipe & Valve, Co.
1	Hold Down Bolt	\$ 5.00
2	Operating Nut	\$ 19.75
3	Packing Nut	\$ 39.50
4	Packing	\$ 13.75
5	Cover	\$ 256.00
6	Cover Bolts and Nuts	\$ 22.50
7	Swivel Ring	\$ 67.25
8	Nozzle Section	\$ 720.00
9	Pumper Nozzle	\$ 209.00
11	Pumper Nozzle Cap	\$ 142.50
12	Pumper Cap Washer	\$ 3.00
13	Flange Bolts and Nuts	\$ 32.00
14	Flange Gaskets	\$ 12.75
15	Nozzle O-Ring	\$ 3.50
16	2-1/2" Hose Nozzle	\$ 93.50
17	2-1/2" Hose Nozzle Cap	\$ 59.00
18	2-1/2" Hose Cap Washer	\$ 2.00
19	Upper Stem	\$ 220.25
20	Standpipe	\$ 1,090.00
21A	Valve Plate	\$ 186.50
22A	O-Rings	\$ 5.75
24	Valve Rubber	\$ 49.00
25	Seat Ring	\$ 61.00
26	Throttling Ring	\$ 186.50
27A	Thrust Washer	\$ 17.00
28A	Snap Ring	\$ 8.25
29A	Lower Stem	\$ 188.50
32	Lock Nut	\$ 5.00
33	Drain Spool	\$ 31.25
34	Drain Lever	\$ 5.00
35	Lever Pin	\$ 1.00
36	Clevis & Nut	\$ 31.25
37	Drain Support	\$ 76.75
38	Drain Rod	\$ 109.25
39	Drain Valve Backer	\$ 5.00
40	Drain Valve Rubber	\$ 5.00
41	Drain Cup	\$ 30.50
42	Retaining Nut	\$ 5.00
43	Bottom Bolts & Nuts	\$ 30.50
44	Bottom Gasket	\$ 3.00
45	Bottom Gasket	\$ 817.00
46	Stem Coupling	\$ 73.25
47	Stem Coupling Pin	\$ 4.00
48	Middle Stem	\$ 56.25
	Safety Flange Repair Kit	\$ 175.00
	Extension Kit	\$ 386.00
	Main Valve Seat Repair Kit	\$ 199.00
A	Main Stem	\$ 689.00
B	Hydrant Valve	\$ 199.00
C	Drain Support	\$ 160.00
D	Drain Valve	\$ 142.00
E	Complete Valve & Stem	\$ 884.00
	<b>TOTAL</b>	<b>\$ 7,836.75</b>





RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE CO., FOR THE CLOW EDDY FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien does hereby accept a proposal from Underground Pipe & Valve Co., for the Clow Eddy Fire Hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021, attached hereto as "**Exhibit A**".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

\_\_\_\_\_  
JOSEPH MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY

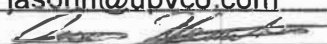
## City of Darien - Clow Eddy Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 -2021 Quoted Price (Each)	2021 -2022 Quoted Price (Each)	2022 -2023 Quoted Price (Each)
1	Hold Down Bolt	\$5.00		
2	Operating Nut	19.75		
3	Packing Nut	39.50		
4	Packing	13.75		
5	Cover	256.00		
6	Cover Bolts and Nuts	22.50		
7	Swivel Ring	67.25		
8	Nozzle Section	720.00		
9	Pumper Nozzle	209.00		
11	Pumper Nozzle Cap	142.50		
12	Pumper Cap Washer	3.00		
13	Flange Bolts and Nuts	32.00		
14	Flange Gaskets	12.75		
15	Nozzle O-Ring	3.50		
16	2-1/2" Hose Nozzle	93.50		
17	2-1/2" Hose Nozzle Cap	59.00		
18	2-1/2" Hose Cap Washer	2.00		
19	Upper Stem	220.25		
20	Standpipe	1090.00		
21A	Valve Plate	186.50		
22A	O-Rings	5.75		
24	Valve Rubber	49.00		
25	Seat Ring	61.00		
26	Throttling Ring	186.50		
27A	Thrust Washer	17.00		
28A	Snap Ring	8.25		
29A	Lower Stem	188.50		
32	Lock Nut	5.00		
33	Drain Spool	31.25		
34	Drain Lever	5.00		
35	Lever Pin	1.00		
36	Clevis & Nut	31.25		
37	Drain Support	76.75		
38	Drain Rod	109.25		
39	Drain Valve Backer	5.00		
40	Drain Valve Rubber	5.00		
41	Drain Cup	30.50		
42	Retaining Nut	5.00		
43	Bottom Bolts & Nuts	30.50		
44	Bottom Gasket	3.00		
45	Bottom Gasket	817.00		

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

# City of Darien - Clow Eddy Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 -2021 Quoted Price (Each)	2021 -2022 Quoted Price (Each)	2022 -2023 Quoted Price (Each)
46	Stem Coupling	\$73.25		
47	Stem Coupling Pin	4.00		
48	Middle Stem	56.25		
	Safety Flange Repair Kit	175.00		
	Extension Kit	386.00		
	Main Valve Seat Repair Kit	199.00		
A	Main Stem	689.00		
B	Hydrant Valve	199.00		
C	Drain Support	160.00		
D	Drain Valve	142.00		
E	Complete Valve & Stem	884.00		
<b>Company Name:</b>		Underground Pipe & Valve Co.		
<b>Address:</b>		PO Box 279, Plainfield, IL 60544		
<b>Submitted By-Print name</b>		Jason Henschen		
<b>Date:</b>		November 13, 2019		
<b>Office Telephone Number:</b>		815-730-1180		
<b>Mobile Telephone Number:</b>		815-509-9402		
<b>Fax Number:</b>		815-730-1270		
<b>E-mail address:</b>		jasonh@upvco.com		
<b>Authorized Signature</b>				

**\* 5-1/4" Main Valve Opening**

**\*\* Upper and Lower Rods should be for Typical 6' Bury Depth**

**AGENDA MEMO**  
**Municipal Services Committee**  
**December 23, 2019**

**ISSUE STATEMENT**

A [resolution](#) accepting a proposal from Underground Pipe & Valve Co., for the Clow Eddy F2500 fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.

**BACKGROUND**

During the year, the department requires the use of manufacturer-specified fire hydrant repair parts for fire hydrant repairs.

Competitive quotes were requested for the various repair items. The sole bid was provided by Underground Pipe & Valve Co. See [Attachment A](#). Staff will seek competitive quoting for the items that are not available if required. The request for quotes stipulated that pricing be held in place through April 30, 2021.

The expenditure would come from the Water System Maintenance Account. The total estimated costs for the specified Clow Eddy F2500 fire hydrant repair parts would not exceed \$6,000.

**STAFF RECOMMENDATION**

Staff recommends approval of this resolution with Underground Pipe & Valve Co., for Clow Eddy F2500 fire hydrant repair parts.

**ALTERNATE CONSIDERATION**

As directed by the Municipal Services Committee.

**DECISION MODE**

This item will be placed on the January 6, 2020 City Council agenda for formal approval.

MEMO

# City of Darien - Clow F2500 Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 Underground Pipe & Valve, Co.
1	Operating Nut	\$ 136.25
2	Cover	\$ 290.75
3	Nozzle Section (2 Nozzle)	\$ 863.00
3	Nozzle Section (3 Nozzle)	\$ 957.00
4	Thrust Nut	\$ 112.00
5	Thrust Bearing Race	\$ -
6	Standpipe	\$ 750.00
7	Lower Flange	\$ 118.00
8	Bottom	\$ -
8	Bottom (Drain Ring Option)	\$ -
9	Hex Hd. Capscrew 5/8-11 NC x 1-3/4	\$ 4.00
10	Cover Gasket	\$ 15.00
11	O-Ring - 152	\$ 5.50
12	Hex Stop Nut 1" - 8 NC	\$ 15.00
13	O-Ring - 218	\$ 4.25
14	Hex Hd. Bolt 3/4-10 NC X 3-1/4	\$ 3.00
15	Hex Hd. Nut 3/4-10 NC	\$ 3.00
16	Upper Valve Plate	\$ 158.75
17	Hex Hd. Bolt 7/16-14 NC x 2-1/2 w/nut	\$ 4.75
18	O-Ring - 214	\$ 4.25
19	Standpipe Gasket	\$ 13.00
20	O-Ring - 259	\$ 13.00
21	Hex Hd. Bolt 3/4-10 NC x 4-1/2	\$ 4.00
22	S-Hook 13 Ga. X 1"	\$ 1.00
23	O-Ring - 258	\$ 13.00
24	Valve Seat	\$ 40.00
25	Lower Valve Plate	\$ 157.75
26	Retaining Ring	\$ 32.00
27	Valve Seat Ring	\$ 241.50
28	Driv-Lok Stud #6 x 3/8	\$ 3.00
29	Drain Tube	\$ 37.50
30	Driv-Lok Pin 1/4 x 1-1/4 Type C	\$ 4.00
31	Hex Hd. Bolt 7/16-14 NC x 3	\$ 6.25
32	Hex Nut 7/16-14 NC	\$ 4.00
33	Lock Washer 7/16	\$ 3.00
34	Pin 7/16 x 2-1/4 Type E	\$ 1.00
35	Stem Coupling	\$ 37.50
36	Upper Stem OL	\$ 135.00
36	Upper Stem OR	\$ 135.00
37	Lower Stem	\$ 209.00
38	Steamer Nozzle	\$ 209.00
38	Hoze Nozzle	\$ 93.50
39	Steamer Nozzle Cap	\$ 142.50
39	Hoze Nozzle Cap	\$ 59.00
40	Steamer Nozzle Gasket	\$ 4.25
40	Hose Nozzle Gasket	\$ 2.00
42	Bearing	\$ 2.00
43	O-Ring - 177	\$ 3.00
45	O-Ring - 226	\$ 4.25
46	Hex Hd. Capscrew 3/8-16 NC x 1/2 LG	\$ 4.00
47	Drain Ring	\$ 260.75
48	Trench Depth Tag	\$ 6.25
49	Upper Stem Sleeve	\$ 24.50
50	Safety Flange (One Piece or Split)	\$ 126.75
51	Standpipe Gasket - Upper	\$ 13.00
	<b>TOTAL</b>	<b>\$ 5,489.75</b>



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE CO., FOR THE CLOW EDDY F2500 FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien does hereby accept a proposal from Underground Pipe & Valve Co., for the Clow Eddy F2500 Fire Hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021, attached hereto as "**Exhibit A**".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

\_\_\_\_\_  
JOSEPH MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY

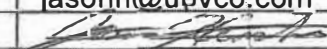
## City of Darien - Clow F2500 Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
1	Operating Nut	\$136.25		
2	Cover	290.75		
3	Nozzle Section (2 Nozzle)	863.00		
3	Nozzle Section (3 Nozzle)	957.00		
4	Thrust Nut	112.00		
5	Thrust Bearing Race	N/Q		
6	Standpipe	750.00		
7	Lower Flange	118.00		
8	Bottom	N/Q		
8	Bottom (Drain Ring Option)	N/Q		
9	Hex Hd. Capscrew 5/8-11 NC x 1-3/4	4.00		
10	Cover Gasket	15.00		
11	O-Ring - 152	5.50		
12	Hex Stop Nut 1" - 8 NC	15.00		
13	O-Ring - 218	4.25		
14	Hex Hd. Bolt 3/4-10 NC X 3-1/4	3.00		
15	Hex Hd. Nut 3/4-10 NC	3.00		
16	Upper Valve Plate	158.75		
17	Hex Hd. Bolt 7/16-14 NC x 2-1/2 w/nut	4.75		
18	O-Ring - 214	4.25		
19	Standpipe Gasket	13.00		
20	O-Ring - 259	13.00		
21	Hex Hd. Bolt 3/4-10 NC x 4-1/2	4.00		
22	S-Hook 13 Ga. X 1"	1.00		
23	O-Ring - 258	13.00		
24	Valve Seat	40.00		
25	Lower Valve Plate	157.75		
26	Retaining Ring	32.00		
27	Valve Seat Ring	241.50		
28	Driv-Lok Stud #6 x 3/8	3.00		
29	Drain Tube	37.50		
30	Driv-Lok Pin 1/4 x 1-1/4 Type C	4.00		
31	Hex Hd. Bolt 7/16-14 NC x 3	6.25		
32	Hex Nut 7/16-14 NC	4.00		
33	Lock Washer 7/16	3.00		
34	Pin 7/16 x 2-1/4 Type E	1.00		
35	Stem Coupling	37.50		
36	Upper Stem OL	135.00		
36	Upper Stem OR	135.00		
37	Lower Stem	209.00		
38	Steamer Nozzle	209.00		
38	Hoze Nozzle	93.50		

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

## City of Darien - Clow F2500 Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
39	Steamer Nozzle Cap	\$142.50		
39	Hoze Nozzle Cap	59.00		
40	Steamer Nozzle Gasket	4.25		
40	HoseNozzle Gasket	2.00		
42	Bearing	2.00		
43	O-Ring - 177	3.00		
45	O-Ring - 226	4.25		
46	Hex Hd. Capscrew 3/8-16 NC x 1/2 LG	4.00		
47	Drain Ring	260.75		
48	Trench Depth Tag	6.25		
49	Upper Stem Sleeve	24.50		
50	Safety Flange (One Piece or Split)	126.75		
51	Standpipe Gasket - Upper	13.00		
<b>Company Name:</b>		Underground Pipe & Valve Co.		
<b>Address:</b>		PO Box 279, Plainfield, IL 60544		
<b>Submitted By-Print name</b>		Jason Henschen		
<b>Date:</b>		November 13, 2019		
<b>Office Telephone Number:</b>		815-730-1180		
<b>Mobile Telephone Number:</b>		815-509-9402		
<b>Fax Number:</b>		815-730-1270		
<b>E-mail address:</b>		jasonh@upvco.com		
<b>Authorized Signature</b>				

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth



**AGENDA MEMO**  
**Municipal Services Committee**  
**December 23, 2019**

**ISSUE STATEMENT**

A [resolution](#) accepting a proposal from Underground Pipe & Valve Co., for the Clow Medallion fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.

**BACKGROUND**

During the year, the department requires the use of manufacturer-specified fire hydrant repair parts for fire hydrant repairs.

Competitive quotes were requested for the various repair items, and staff received one (1) competitive quotes. The sole bidder was Underground Pipe & Valve Co. See [Attachment A](#). The request for quotes stipulated that pricing be held in place through April 30, 2021.

The expenditure would come from the Water System Maintenance Account. The total estimated costs for the specified Clow Medallion fire hydrant repair parts would not exceed \$6,000.

**STAFF RECOMMENDATION**

Staff recommends approval of this resolution with Underground Pipe & Valve Co., for the Clow Medallion fire hydrant repair parts.

**ALTERNATE CONSIDERATION**

As directed by the Municipal Services Committee.

**DECISION MODE**

This item will be placed on the January 6, 2020 City Council agenda for formal approval.

## City of Darien - Clow Medallion Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 Underground Pipe & Valve, Co.
Reference # 42917 for all parts)		
1	Operating Nut O-Ring	\$ 6.25
2	Operating Nut Thrust Bearing	\$ 2.00
3	Operating Nut O.R.	\$ 116.00
3	Operating Nut O.L.	\$ 116.00
4	Upper Stem Jam Nut	\$ 15.00
5	Upper Stem Sleeve	\$ -
6	Upper Stem Sleeve O-Ring	\$ 1.00
7	Upper Stem O.R.	\$ 133.00
7	Upper Stem O.L.	\$ 133.00
8	Upper Stem Pin	\$ 7.50
9	Safety Coupling Cotter Pins	\$ 1.00
10	Safety Stem Coupling	\$ 41.50
11	Safety Coupling Pins	\$ 4.00
12	Lower Stem	\$ 147.75
13	Lower Stem Pin	\$ 7.50
14	Upper Valve Plate O-Ring	\$ -
15	Drain Valve Facing Screw	\$ 1.00
16	Drain Valve Facing	\$ 6.25
17	Upper Valve Plate	\$ 175.00
18	Seat Ring Upper O-Ring	\$ 8.25
19	Seat Ring	\$ 310.00
20	Seat Ring Lower O-Ring	\$ 5.50
21	Main Valve Rubber	\$ 53.75
22	Lower Valve Plate Lockwasher	\$ 3.00
24	Lower Valve Plate	\$ 139.75
25	Weather Cap Hold Down Screw	\$ 1.00
26	Weather Cap	\$ 34.00
27	Thrust Nut	\$ 93.00
28	Thrust Nut O-Ring	\$ 1.00
29	Bonnet Bolts & Nuts	\$ 2.00
30	Bonnet	\$ 256.00
31	Stem O-Rings	\$ 1.00
32	Bonnet O-Ring	\$ 3.00
33	Nozzle Section	\$ 719.00
34	Pumper Nozzle Lock	\$ 4.25
35	Pumper Nozzle O-Ring	\$ 4.00
36	Pumper Nozzle	\$ 209.00
37	Pumper Nozzle Gasket	\$ 4.25
38	Pumper Nozzle Cap	\$ 142.50
39	Hose Nozzle Lock	\$ 4.25
40	Hose Nozzle O-Ring	\$ 1.00
41	Hose Nozzle	\$ 93.50
42	Hose Nozzle Gasket	\$ 2.00
43	Hose Nozzle Cap	\$ 59.00
45	Trench Depth Tag & S-Hook	\$ 4.00
46	Safety Flange Bolts & Nuts	\$ 4.25
47	Safety Flange O-Ring	\$ 4.00
48	Barrel Upper Flange	\$ 95.75
49	Safety Flange	\$ 97.75
50	Barrel Upper Flange	\$ 532.00
51	Shoe Bolts & Nuts	\$ 4.25
52	Barrel Lower Flange	\$ 95.75
53	Drain Ring O-Rings	\$ 4.00
54	Drain Ring	\$ 343.00
56	Locking Spacer	\$ -
57	Shoe	\$ 595.00
58	Thrust Nut Screw Set	\$ 3.00
42911	5-1/4" Medallion Main Valve Repair Kit	\$ 88.75
42912	5-1/4" Medallion Safety Repair Kit	\$ 175.00
42913	5-1/4" x 6" Medallion Hyd. Extension	\$ 386.00
42914	5-1/4" x 12" Medallion Hyd. Extension	\$ 450.00
42915	5-1/4" x 18" Medallion Hyd. Extension	\$ 511.00
42916	5-1/4" x 24" Medallion Hyd. Extension	\$ 555.00
		<b>\$ 7,016.25</b>



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE CO., FOR THE CLOW MEDALLION FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien does hereby accept a proposal from Underground Pipe & Valve Co., for the Clow Medallion Fire Hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021, attached hereto as "[Exhibit A](#)".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

\_\_\_\_\_  
JOSEPH MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY


## City of Darien - Clow Medallion Fire Hydrant Parts Quote

0	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
<b>Reference # 42917 for all parts)</b>				
1	Operating Nut O-Ring	\$6.25		
2	Operating Nut Thrust Bearing	2.00		
3	Operating Nut O.R.	116.00		
3	Operating Nut O.L.	116.00		
4	Upper Stem Jam Nut	15.00		
5	Upper Stem Sleeve	N/Q		
6	Upper Stem Sleeve O-Ring	1.00		
7	Upper Stem O.R.	133.00		
7	Upper Stem O.L.	133.00		
8	Upper Stem Pin	7.50		
9	Safety Coupling Cotter Pins	1.00		
10	Safety Stem Coupling	41.50		
11	Safety Coupling Pins	4.00		
12	Lower Stem	147.75		
13	Lower Stem Pin	7.50		
14	Upper Valve Plate O-Ring	N/Q		
15	Drain Valve Facing Screw	1.00		
16	Drain Valve Facing	6.25		
17	Upper Valve Plate	175.00		
18	Seat Ring Upper O-Ring	8.25		
19	Seat Ring	310.00		
20	Seat Ring Lower O-Ring	5.50		
21	Main Valve Rubber	53.75		
22	Lower Valve Plate Lockwasher	3.00		
24	Lower Valve Plate	139.75		
25	Weather Cap Hold Down Screw	1.00		
26	Weather Cap	34.00		
27	Thrust Nut	93.00		
28	Thrust Nut O-Ring	1.00		
29	Bonnet Bolts & Nuts	2.00		
30	Bonnet	256.00		
31	Stem O-Rings	1.00		
32	Bonnet O-Ring	3.00		
33	Nozzle Section	719.00		
34	Pumper Nozzle Lock	4.25		
35	Pumper Nozzle O-Ring	4.00		
36	Pumper Nozzle	209.00		
37	Pumper Nozzle Gasket	4.25		
38	Pumper Nozzle Cap	142.50		
39	Hose Nozzle Lock	4.25		
40	Hose Nozzle O-Ring	1.00		
41	Hose Nozzle	93.50		
42	Hose Nozzle Gasket	2.00		
43	Hose Nozzle Cap	59.00		
45	Trench Depth Tag & S-Hook	4.00		
46	Safety Flange Bolts & Nuts	4.25		

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

## City of Darien - Clow Medallion Fire Hydrant Parts Quote

0	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
<b>Reference # 42917 for all parts)</b>				
47	Safety Flange O-Ring	\$4.00		
48	Barrel Upper Flange	95.75		
49	Safety Flange	97.75		
50	Barrel Upper Flange	532.00		
51	Shoe Bolts & Nuts	4.25		
52	Barrel Lower Flange	95.75		
53	Drain Ring O-Rings	4.00		
54	Drain Ring	343.00		
56	Locking Spacer	N/Q		
57	Shoe	595.00		
58	Thrust Nut Screw Set	3.00		
42911	5-1/4" Medallion Main Valve Repair Kit	88.75		
42912	5-1/4" Medallion Safety Repair Kit	175.00		
42913	5-1/4" x 6" Medallion Hyd. Extension	386.00		
42914	5-1/4" x 12" Medallion Hyd. Extension	450.00		
42915	5-1/4" x 18" Medallion Hyd. Extension	511.00		
42916	5-1/4" x 24" Medallion Hyd. Extension	555.00		
<b>Company Name:</b>		Underground Pipe & Valve Co.		
<b>Address:</b>		PO Box 279, Plainfield, IL 60544		
<b>Submitted By-Print name</b>		Jason Henschen		
<b>Date:</b>		November 13, 2019		
<b>Office Telephone Number:</b>		815-730-1180		
<b>Mobile Telephone Number:</b>		815-509-9402		
<b>Fax Number:</b>		815-730-1270		
<b>E-mail address:</b>		jasonh@upvco.com		
<b>Authorized Signature</b>				

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

**MINUTES  
CITY OF DARIEN  
MUNICIPAL SERVICES COMMITTEE MEETING  
November 25, 2019**

**PRESENT:** Alderman Thomas Belczak -Chairman, Alderman Eric Gustafson, Alderman Joseph Kenny, Dan Gombac – Director, Joe Hennerfeind – Senior Planner

**ABSENT:** None

**ESTABLISH QUORUM**

Chairperson Thomas Belczak called the meeting to order at 7:00 p.m. at City Hall Council Chambers, Darien, Illinois and declared a quorum present.

**NEW BUSINESS**

- a. **Resolution - Accepting a proposal from RGL II, Inc., at the proposed schedule of prices for the placement of topsoil and for the purchase and placement of fertilizer and sod for landscape restoration services for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution accepting a proposal from RGL II, Inc., at the proposed schedule of prices for the placement of topsoil and for the purchase and placement of fertilizer and sod for landscape restoration services for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Belczak approval accepting a proposal from RGL II, Inc., at the proposed schedule of prices for the placement of topsoil and for the purchase and placement of fertilizer and sod for landscape restoration services for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- b. **Resolution - Approving a contract extension with EJ USA, Inc. for East Jordan WaterMaster 5BR250 and WaterMaster 5CD250 fire hydrants repair parts as required for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with EJ USA, Inc. for East Jordan WaterMaster 5BR250 and WaterMaster 5CD250 fire hydrants repair parts as required for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of a Resolution for a contract extension with EJ USA, Inc. for East Jordan WaterMaster 5BR250 and WaterMaster 5CD250 fire hydrants repair parts as required for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- c. Resolution – Approving a contract extension with Core & Main LP for the Mueller Super Centurion fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with Core & Main LP for the Mueller Super Centurion fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of a Resolution for a contract extension with Core & Main LP for the Mueller Super Centurion fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- d. Resolution - Approving a contract extension with Ziebell Water Services Products for the Traverse City fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with Ziebell Water Services Products for the Traverse City fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of a Resolution for a contract extension with Ziebell Water Services Products for the Traverse City fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- e. **Resolution - Approving a contract extension with Ziebell Water Service Products, Inc. for Waterous Pacer fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with Ziebell Water Service Products, Inc. for Waterous Pacer fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of a Resolution for a contract extension with Ziebell Water Service Products, Inc. for Waterous Pacer fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- f. **Resolution - Approving a contract extension with Ziebell Water Service Products for the U.S. Pipe fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with Ziebell Water Service Products for the U.S. Pipe fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of resolution - Approving a contract extension with Ziebell Water Service Products for the U.S. Pipe fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- g. **Resolution - Approving a contract extension with Core & Main LP for general water department utility fixtures for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with Core & Main LP for general water department utility fixtures for the maintenance of the water system for a period of May 1, 2020 through April



30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of Resolution for a contract extension with Core & Main LP for general water department utility fixtures for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- h. Resolution - Approving a contract extension with Ziebell Water Service Products for general water department utility tools and marking supplies for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with Ziebell Water Service Products for general water department utility tools and marking supplies for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of a Resolution for a contract extension with Ziebell Water Service Products for general water department utility tools and marking supplies for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- i. Resolution - Approving a contract extension with Water Products Company for various water valves for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with Water Products Company for various water valves for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approval of a Resolution for a contract extension with Ziebell Water Service Products for general water department utility tools and marking supplies for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- j. Resolution - Approving a contract extension with Water Products Company for various water valves for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution approving a contract extension with EJ USA, Inc for East Jordan CD250 fire hydrants, valves and accessories as required for a period of May 1, 2020 through April 30, 2021. He reported that the proposed contract extension would be the first extension, year two (2) of a three (3) year contract.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Belczak approval of a Resolution for a contract extension with Water Products Company for various water valves for the maintenance of the water system for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- k. Resolution - Accepting a proposal from Underground Pipe & Valve Company for Culvert Metal Pipes, Metal Bands and Metal Flared End Sections and fittings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution accepting a proposal from Underground Pipe & Valve Company for Culvert Metal Pipes, Metal Bands and Metal Flared End Sections and fittings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approval of a Resolution accepting a proposal from Underground Pipe & Valve Company for Culvert Metal Pipes, Metal Bands and Metal Flared End Sections and fittings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

- I. **Resolution - Accepting a proposal from Underground Pipe & Valve Company for High Density Polyethylene Pipes, bands, flared end sections and fittings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution accepting a proposal from Underground Pipe & Valve Company for High Density Polyethylene Pipes, bands, flared end sections and fittings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approval of a Resolution accepting a proposal from Underground Pipe & Valve Company for High Density Polyethylene Pipes, bands, flared end sections and fittings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

- m. **Resolution - Accepting a proposal from EJ USA, Inc. for storm sewer structures, iron sewer grates, concrete adjusting rings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution accepting a proposal from EJ USA, Inc. for storm sewer structures, iron sewer grates, concrete adjusting rings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approving a Resolution accepting a proposal from EJ USA, Inc. for storm sewer structures, iron sewer grates, concrete adjusting rings as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

- n. **Resolution - Accepting a proposal from Pavement Systems, Inc. for the removal and replacement of bituminous aprons and road patches at the proposed unit pricing as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is for a resolution accepting a proposal from Pavement Systems, Inc. for the removal and replacement of bituminous aprons and road patches at the proposed unit pricing as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approving a Resolution accepting a proposal from Pavement Systems, Inc. for the removal and replacement of bituminous aprons and road patches at the proposed unit pricing as required for various Public Works projects for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- o. Resolution - Accepting a proposal from JC Landscaping & Tree Services, Inc. at the proposed schedule of prices for the Rear Yard Drainage Assistance Program for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is resolution accepting a proposal from JC Landscaping & Tree Services, Inc. at the proposed schedule of prices for the Rear Yard Drainage Assistance Program for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approving a Resolution accepting a proposal from JC Landscaping & Tree Services, Inc. at the proposed schedule of prices for the Rear Yard Drainage Assistance Program for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- p. Resolution - Accepting a proposal from Vulcan Construction Materials, LLC. for the purchase and delivery of stone for Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution accepting a proposal from Vulcan Construction Materials, LLC., for the purchase and delivery of stone for Public Works projects for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approving a Resolution accepting a proposal from Vulcan**

**Construction Materials, LLC. for the purchase and delivery of stone for Public Works projects for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- q. Resolution - Accepting a proposal from Vulcan Construction Materials, LLC. to purchase and pick up stone for Public Works projects for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution accepting a proposal from Vulcan Construction Materials, LLC., to purchase and pick up stone for Public Works projects for a period of May 1, 2020 through April 30, 2021.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approving a Resolution accepting a proposal from Vulcan Construction Materials, LLC. to purchase and pick up stone for Public Works projects for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

- r. Resolution - Accepting a proposal from XBE, LLC, to provide trucking services at a rate of \$95.00 per hour for services relating to hauling waste generated from excavations for a period of May 1, 2020 through April 30, 2021.**

Mr. Dan Gombac, Director reported that this is a resolution accepting a proposal from XBE, LLC. To provide trucking services at a rate of \$95.00 per hour for services relating to hauling waste generated from excavations for a period of May 1, 2020 through April 30, 2021. He reported that the pricing is up from last year and that the trucking industry is increasing.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Gustafson approving a Resolution accepting a proposal from XBE, LLC, to provide trucking services at a rate of \$95.00 per hour for services relating to hauling waste generated from excavations for a period of May 1, 2020 through April 30, 2021.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

**s. Ordinance - Approval authorizing the disposal of surplus property.**

Mr. Dan Gombac, Director reported that this is approval of an ordinance authorizing the disposal of surplus property.

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Belczak approving an Ordinance authorizing the disposal of surplus property.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

**t. Resolution - Authorizing the purchase of the deicing and anti-icing chemical product, ThermaPoint R, from Industrial Systems Ltd., in an amount not to exceed \$30,000, (27,523 gallons x \$1.09/gallon).**

Mr. Dan Gombac, Director reported that this is a resolution authorizing the purchase of the deicing and anti-icing chemical product, ThermaPoint R, from Industrial Systems Ltd., in an amount not to exceed \$30,000, (27,523 gallons x \$1.09/gallon).

There was no one in the audience wishing to present public comment.

**Alderman Kenny made a motion and it was seconded by Alderman Belczak approving a Resolution authorizing the purchase of the deicing and anti-icing chemical product, ThermaPoint R, from Industrial Systems Ltd., in an amount not to exceed \$30,000, (27,523 gallons x \$1.09/gallon).**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

**u. Petition for zoning text amendments to the City Code, New Title, Title 10-A Cannibas-Medical and Recreational.**

Chairperson Belczak reported that this is a new law which will take effect Jan, 2020. He reported that discussion is on what areas in Darien make sense.

**7800 Lemont Road – Warehouse**

Mr. Dan Gombac, Director reported that the Planning and Zoning Committee held a public hearing and looked at locations of where retail centers and warehousing can be put in. He reported that the staff agenda memo outlines the PZC recommendations.

Mr. Gombac reported that the City Council reviewed and recommended 1035 S. Frontage Road and 7800 Lemont Road as permitted uses for warehousing for

cannabis craft growers, Cannabis Cultivation Center, Cannabis Infuser Organization or Infuser, Processing Organization or Processor and Transporting Organization or Transporter.

Mr. Gombac reported that the PZC made a motion to prohibit any permitted use or special use condition that there is no business that operates any business establishment that caters to children under the age of 21 for Cannabis Craft Grower, Cannabis Cultivation Center, Cannabis Infuser Organization or Infuser, Processing Organization or Processor, Transporting Organization or Transporter and only allow retail use. He reported that the motion tied 4-4.

There was no one in the audience wishing to present public comment.

There was some discussion regarding the PZC's decision and the proximity to the Volleyball Club.

Alderman Gustafson stated that warehousing will not having people walking in and out and that he had no problem with a permitted use. Chairperson Belczak agreed.

Alderman Kenny stated that he did not like it at all.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving 7800 Lemont Road – Warehouse with a permitted use for a Cannabis Craft Grower, Cannabis Cultivation Center, Cannabis Infuser Organization or Infuser, Processing Organization or Processor, Transporting Organization or Transporter.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

### **1035 S. Frontage Road – Warehouse**

Mr. Dan Gombac, Director reported that public works is nearby and adjacent to the Forest Preserve. He stated that there is one business there presently and that they will put in walls as tenants come in.

Chairperson Belczak stated that the warehouse is not open to the public.

Alderman Kenny questioned how the distance is measured. He stated that there is a school near I-55.

Mr. Gombac reported that the State law does not limit school distance.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving 1035 S Frontage Road – Warehouse with a permitted use for a Cannabis Craft Grower, Cannabis Cultivation Center, Cannabis Infuser Organization or Infuser, Processing Organization or Processor, Transporting Organization or Transporter.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

### **Retail**

Mr. Dan Gombac, Director reported staff looked at locations. He reported that the City has been approached by various vendors in the Cannabis business and that staff looked at all locations for various reasons. Mr. Gombac reported that staff researched distances eliminating many sites within the City of Darien and proximity to schools or any locations catering to children under 21 years of age.

#### **a. 75th Street and Lemont Road-Chestnut Court Shopping Center**

Mr. Gombac reported this is the Chestnut Court Shopping Center and that the PZC recommended approval with a permitted use.

Chairperson Belczak opened the meeting to anyone wishing to present public comment.

Ms. Ann Murphy, applicant and candidate for Warehouse stated that the landlord informed her that they are not interested and that there are covenants in place.

Alderman Gustafson stated that the landlord's decision could change later.

Mr. Gombac reported that staff did not look to restrict based on covenants in place.

Alderman Kenny stated that this needs to be looked at long term.

Alderman Gustafson stated that he would like to see a corner location. He stated that Downers Grove opted out and that he does not want to restrict to fill in space.

Alderman Kenny stated that it is only one location and that it will not make or break Darien.

**Alderman Gustafson made a motion and it was seconded by Alderman Belczak approving 75th Street and Lemont Road-Chestnut Court Shopping Center with a permitted use for retail.**



**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**b. 75th Street–east of Lyman Avenue 2100 block-Darien Towne Centre**

Mr. Dan Gombac, Director reported that he spoke with the landlord and that they are currently not allowing. He reported that the PZC voted and did not recommend approval.

Alderman Gustafson reported that this should be a permitted use.

Chairperson Belczak questioned if there were any outlots.

Mr. Gombac stated that the pad between Walmart and PetSmart is open.

Chairperson Belczak stated that what the landlord says is not relevant and that he agrees it should be a permitted use.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving 75th Street-east of Lyman Avenue 2100 block-Darien Towne Centre as a permitted use for retail.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**c. 75th Street-west of Lyman Avenue 2400 block-Market Place of Darien**

Mr. Dan Gombac, Director reported that the PZC did not recommend.

Chairperson Belczak stated that there are issues with parking and traffic. Alderman Gustafson agreed.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Kenny denying 75th Street-east of Lyman Avenue 2100 block-Darien Towne Centre as a permitted use for retail.**

**Upon voice vote, THE MOTION CARRIED 3-0.**

**d. 7800 Lemont Road-Warehouse**

Mr. Dan Gombac, Director reported that this location has an opportunity for retail and warehouse. He reported that he recently learned that there is good opportunity for retail/warehousing at this location and that the tile company and a potential cosmetic firm is looking at the site for retail/test site for consumers.

Alderman Gustafson questioned what is looked at for a special use.

Mr. Gombac reported that zoning is looked at and public opportunity to give comment.

Mr. Joe Hennerfeind, City Planner also reported that parking and safety is examined.

Mr. Gombac reported that this location has a good amount of parking.

Alderman Gustafson stated that he is comfortable leaving it a special use. Chairperson Belczak agreed and stated that it would be there for discussion and decision.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving 7800 Lemont Road-Warehouse for retail with a special use regarding a business that caters to children under the age of 21.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

e. **6800-6818 Route 83-Darien Center**

Mr. Dan Gombac, Director reported that the PZC recommended approval with a permitted use.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving 6800-6818 Route 83-Darien Center for retail with a permitted use.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

Chairperson Belczak announced that these locations are for retail sale only and that there will be no lounges or tasting in these establishments.

## **Optional Dispensary Sites**

### **Option 1-Brookhaven Plaza-Existing Walgreens**

### **Option 2-Brookhaven Plaza**

### **Option 3 Brookhaven Plaza**

Mr. Dan Gombac, Director reported that this location is for the existing Walgreens. He reported on upcoming changes to the area and that the limits need to be defined. He further reported that the City received an application for a playground like Chuck E. Cheese.

Alderman Gustafson stated that liquor stores are not treated any differently regarding proximity to children.

There was much discussion regarding the businesses in the area and proximity to children and how it is measured.

Alderman Kenny stated that there has been a lot of attention and discussion as the area being the center of Darien. He stated that this one place within the City that has a school across the street with a lot of people and children. He asked the Committee to honor the PZC's recommendation.

Chairperson Belczak opened the meeting to anyone wishing to present public comment.

Ms. Ann Murphy stated that she has been in the business for five years and that they are interested in opening a business in Darien and that Brookhaven is a seamless opportunity and open to liquor and gaming. She stated that the application deadline is December 10<sup>th</sup> and by January 2<sup>nd</sup> they would have to hire an architect, security, etc. and that time is of the essence.

Alderman Kenny stated that having a business that requires extra security, it is a bad idea.

Mr. Doug Pauly, Real Estate Agent, stated that he was not involved in the business but that the location is great and that it will generate tax revenue. He stated that Walmart and Home Depot have choices to allow uses and that approval is great but years down the line you may miss a great opportunity for the City.

Ms. Murphy reported that they could probably bring in a million per year or \$600,000 in a bad year and that if they made \$2 million the City would get \$1.2 million.

Alderman Kenny noted that the City will only get 3%.

A gentleman in the audience stated that he has lived in Darien for 25 years and he does not want another indulgence like gambling and a liquor establishment.

Chairperson Belczak stated that the law will be in place January 1<sup>st</sup> and that it is not a whole lot different than liquor, gaming, etc. and allowing a business to the City is beneficial. He recommended eliminating Walgreens and Option 2 and 3 recommended as permitted use.

**Alderman Belczak made a motion and it was seconded by Alderman Kenny denying Option 1-Brookhaven Plaza-Existing Walgreens.**

**Upon voice vote, THE MOTION CARRIED 3-0.**

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving Option 2-Brookhaven Plaza and Option 3 Brookhaven Plaza with permitted use.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**Option 4-7900 S Cass Ave-EXISTING OFFICE BUILDING**

Mr. Dan Gombac, Director reported that there is a Kindercare approximately 100 feet away and a Lindenwood adjacent to the building.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving Option 4-7900 S Cass Ave-EXISTING OFFICE BUILDING with permitted use.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**Option 5-8100 S Cass Ave-OUTLOT**

Mr. Dan Gombac, Director reported that the PZC approved with a special use which is conflicting with the motion.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving Option 5-8100 S Cass Ave-OUTLOT with permitted use.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**Option 6-8100 S Cass Ave**

Mr. Dan Gombac, Director reported that the PZC approved with a special use which is conflicting with the motion.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving Option 6-8100 S Cass Ave with permitted use.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**Option 7-1220 S Plainfield Road**

Mr. Dan Gombac, Director reported that this is a site off on its own and that there does not appear to be enough parking. He reported that the PZC recommended denying this location.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson denying Option 7-1220 S Plainfield Road.**

**Upon voice vote, THE MOTION CARRIED 3-0.**

**Option 8-MID 8100 BLOCK OF CASS AVE – PIN NO 3 AND 4**

Mr. Dan Gombac, Director reported that the PZC approved with a special use which is conflicting with the motion.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving Option 8-MID 8100 BLOCK OF CASS AVE – PIN NO 3 AND 4 with permitted use.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**Option 9-7300 BLOCK OF ROUTE 83 BETWEEN 73RD AND 74TH STREET**

Mr. Dan Gombac, Director reported that the PZC did not recommend.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson denying Option 9-7300 BLOCK OF ROUTE 83 BETWEEN 73RD AND 74TH STREET.**

**Upon voice vote, THE MOTION CARRIED 3-0.**

**Option 10-2600 BLOCK OF 83RD STREET**

Mr. Dan Gombac, Director reported that the PZC did not recommend.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson denying Option 10-2600 BLOCK OF 83RD STREET.**

**Upon voice vote, THE MOTION CARRIED 3-0.**

**Option 11-8100 BLOCK OF LEMONT RD**

Mr. Dan Gombac, Director reported that this is the Rockwell International site. He reported that the PZC recommended with permitted use.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving Option 11-8100 BLOCK OF LEMONT RD with permitted use.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

**Option 12-8200 BLOCK OF LEMONT RD**

Mr. Dan Gombac, Director reported that Perfect Swing is nearby. He reported that the PZC did not recommend.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Kenny denying Option 12-8200 BLOCK OF LEMONT RD.**

**Upon voice vote, THE MOTION CARRIED 3-0.**

### **Option 13-SOUTHWEST QUADRANT OF LEMONT RD AND 83RD STREET**

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Kenny denying Option 13-SOUTHWEST QUADRANT OF LEMONT RD AND 83RD STREET.**

**Upon voice vote, THE MOTION CARRIED 3-0.**

### **Business License**

Mr. Dan Gombac, Director reported that the PZC recommended one business license for retail only.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approving one business license for retail only.**

**Upon voice vote, THE MOTION CARRIED 2-1. Alderman Kenny voted Nay.**

Mr. Gombac reported that the final ordinance will be presented to the City Council on December 16, 2019.

### **v. Minutes – October 28, 2019 Municipal Services Committee.**

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Gustafson approval of the October 28, 2019 Municipal Services Committee Meeting Minutes.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**

### **DIRECTOR'S REPORT**

Mr. Dan Gombac, Director reported on a four-story development proposal for a 40-unit apartment complex on Plainfield Road.

### **NEXT SCHEDULED MEETING**

Chairperson Belczak announced that the next meeting is scheduled for Monday, December 23, 2019.

**ADJOURNMENT**

With no further business before the Committee, Alderman Kenny made a motion and it was seconded by Alderman Gustafson to adjourn. Upon voice vote, THE MOTION CARRIED unanimously, and the meeting adjourned at 9:30 p.m.

RESPECTFULLY SUBMITTED:

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Thomas Belczak  
Chairman

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Eric Gustafson  
Alderman

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Joseph Kenny  
Alderman