

**CITY OF DARIEN**  
**PLANNING AND ZONING COMMISSION**

Wednesday, October 18, 2023

7:00 PM

City Hall Council Chambers

1702 Plainfield Road

AGENDA

- 1) Call to Order
- 2) Roll Call
- 3) Regular Meeting – New Business
  - a. **Public Hearing – PZC2023-09 (PAGE 5)**  
**2941, 2963, and 2985 87<sup>TH</sup> Street – Woodland Glen Development**  
Petitioner requests approval of a Rezone, Special Use Planned Unit Development (PUD), Preliminary Plat, and Variations/Waivers as deemed necessary. The petition specifically requests approval for a 17-lot subdivision with 34 total dwelling units, or 17 two-family dwellings (i.e. duplexes). Property is comprised of 7.34 acres and is currently zoned Single-Family Residence District (R-1). The proposed zoning is Multi-Family Residence District (R-3).
- 4) Regular Meeting – Old Business (NONE)
- 5) Staff Updates & Correspondence
- 6) Approval of Minutes                      September 20, 2023
- 7) Next Meeting                                November 1, 2023
- 8) Public Comments                        [On Any Topic Related to Planning and Zoning]
- 9) Adjournment

**MINUTES CITY OF DARIEN**  
**PLANNING & ZONING COMMISSION MEETING**

**Wednesday, September 20, 2023**

**PRESENT:** Lou Mallers – Chairperson, Robert Erickson, Shari Gillespie, Chris Jackson, Chris Green

**ABSENT:** Hilda Gonzalez, John Johnson, Julie Kasprowicz

**OTHERS:** Jordan Yanke - City Planner

Chairperson Lou Mallers called the meeting to order at 7:08 p.m. at the Darien City Hall, Council Chambers, 1702 Plainfield Road, Darien, Illinois. Chairperson Mallers declared a quorum present and swore in the audience members wishing to present public testimony.

**Regular Meeting – New Business**

- a. **Public Hearing – PZC2023-05 (CONTINUED FROM 08/16/2023) O’Brien Text Amendment & Special Use Petition from Stephen O’Brien requesting the following: 1) Zoning Text Amendment to Section 5A-9-3-4 of the Zoning Ordinance listing “motor vehicle sales” as a special use within the Office, Research, and Light Industry (OR&I) Zoning District; and 2) Special use approval for motor vehicle sales within the Office, Research, and Light Industry (OR&I) Zoning District.**

Mr. Jordan Yanke, City Planner reported that the Planning and Zoning Commission heard this petition at its meeting on August 16, 2023. He reported that during the meeting the Planning and Zoning Commission directed staff to gather additional details pertaining to automobile sales and how the use is regulated by nearby communities. He further reported that staff researched multiple zoning codes of other communities and provided an overview of automobile sales and how the use is regulated per the table on the staff agenda memo.

Mr. Yanke reported that staff researched the use and how it is regulated by other communities within comparable districts. He reported that the Zone strictly does not allow motor vehicle sales and that if the request to add to the district is approved, he also recommends that it also be applied to the special use.

The petitioner, Mr. Steve O’Brien provided an overview of the business and stated that he will fix vehicles and list them on eBay, Auto Trader and other auto websites. Mr.

O'Brien stated that the vehicles will be 1-3 years old with low mileage and that they will be stored indoors. He stated that he anticipates selling 4-6 vehicles per month.

Mr. O'Brien provided an overview of the hours of business, signage and that he will follow all State of Illinois and the City of Darien laws and that his business will not negatively impact Darien in any way.

There was no one else in the audience wishing to present public comment.

**Commissioner Jackson made a motion, and it was seconded by Commissioner Gillespie to recommend PZC2023-05 to the Municipal Services Committee with the following condition:**

**1) Zoning Text Amendment to Section 5A-9-3-4 of the Zoning Ordinance listing "motor vehicle sales" as a special use within the Office, Research, and Light Industry (OR&I) Zoning District; and Motor vehicle sales only added as a special use in the OR&I District if done in conjunction with a garage for auto repair and body shop.**

**Commissioner Jackson made a motion, and it was seconded by Commissioner Gillespie to recommend PZC2023-05 to the Municipal Services Committee with the following condition:**

**2) Special use approval for motor vehicle sales within the Office, Research, and Light Industry (OR&I) Zoning District and that all display and storage must be within the enclosed building.**

**Upon voice vote the MOTION CARRIED 5-0.**

### **Staff Updates & Correspondence**

Mr. Jordan Yanke reported that there will be a special use request on October 4, 2023 for Gerber Collision.

### **Minutes**

**Commissioner Gillespie made a motion, and it was seconded by Commissioner Jackson to approve the August 16, 2023, Regular Meeting Minutes.**

**Upon voice vote, THE MOTION CARRIED 5-0.**

### **Next Meeting**

Mr. Yanke announced that the next meeting is scheduled for October 4, 2023, at 7:00 p.m.

**Public Comments (On any topic related to Planning and Zoning)**

There was no one in the audience wishing to present public comment.

**Adjournment**

**With no further business before the Commission, Commissioner Erickson made a motion, and it was seconded by Commissioner Jackson. Upon voice vote, THE MOTION CARRIED unanimously, and the meeting adjourned at 7:42 p.m.**

**RESPECTFULLY SUBMITTED:**

**APPROVED:**

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**Elizabeth Lahey  
Secretary**

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**Lou Mallers  
Chairperson**

**AGENDA MEMO**  
**PLANNING AND ZONING COMMISSION**  
**OCTOBER 18, 2023**

**CASE**

PZC2023-09

Woodland Glen Development, LLC

(2941, 2963, & 2985 87<sup>TH</sup> Street)

Rezone, Special Use Planned Unit Development (PUD),  
Preliminary Plat, and Variations/Waivers

**ISSUE STATEMENT**

Petitioner requests approval of a Rezone, Special Use Planned Unit Development (PUD), Preliminary Plat, and Variations/Waivers as deemed necessary. The petition specifically requests approval for a 17-lot subdivision with 34 total dwelling units, or 17 two-family dwellings (i.e. duplexes). Property is comprised of 7.34 acres and is currently zoned Single-Family Residence District (R-1). The proposed zoning is Multi-Family Residence District (R-3).

Applicable Regulations: City Code Section 5A-7-3, R-3 District Standards  
City Code Section 5A-3, PUD Regulations  
City Code Section 5B, Subdivision Regulations

**GENERAL INFORMATION**

Petitioner: Woodland Glen Development, LLC  
Property Owner: Julian Saybor & Maria Sciullo  
Property Location: 2941, 2963, & 2985 87<sup>TH</sup> Street  
PIN Number(s): 10-06-200-004, 10-06-200-005, & 10-06-200-006  
Existing Zoning: Single-Family Residence District (R-1)  
Proposed Zoning: Multi-Family Residence District (R-3)  
Existing Land Use: Single-Family Residential  
Proposed Land Use: Two-Family Dwellings (i.e. Duplexes)  
Comprehensive Plan: Low Density Residential (Existing);  
Medium Density Residential (Future)

**Key Development Area #9:** This key area can include commercial development if cohesive in nature. It also presents opportunity for further residential development either through infill or subdivision.

**Surrounding Zoning & Uses**

North: Single-Family Residence District (R-2); Single-Family Residential  
East: Single-Family Residence District (R-1); Single-Family Residential  
South: R-2 Single Family (Unincorporated); Single-Family Residential  
West: R-2 Single Family (Unincorporated); Single-Family Residential  
Petition Site Acreage: 7.34 Acres  
Floodplain: According to the DuPage County Parcel Viewer System, there is no floodplain on the subject site.  
Natural Features: According to the DuPage County Parcel Viewer System, there is a small area of wetland in the far southeastern portion of the site.  
Transportation: The petition site gains access from 87<sup>TH</sup> Street with two (2) proposed ingress/egress cuts for Woodland Lane, one full access and one right-in, right-out.

**PETITIONER DOCUMENTS (ATTACHED TO MEMO)**

- 1) APPLICATION
- 2) COVER LETTER & NARRATIVE
- 3) PRELIMINARY ENGINEERING PLANS & PLAT
- 4) FLOOR PLAN
- 5) COMPARABLE IMAGE
- 6) TRAFFIC MEMORANDUM

**CITY STAFF DOCUMENTS (ATTACHED TO MEMO)**

- 7) LOCATION MAP & AERIAL IMAGE
- 8) STREET FRONTAGE IMAGES
- 9) CITY ENGINEER LETTER

**PLANNING OVERVIEW/DISCUSSION**

The petition site is located on the south side of 87<sup>TH</sup> Street, west of Lemont Road and on the edge of the City’s jurisdictional boundary. The site totals 7.34 acres and is comprised of three (3) parcels. There are existing dwellings on the parcels that would be demolished along with other structures if the proposal is approved. The proposal is to develop the site as a 17-lot subdivision containing 17 two-family dwellings (i.e. duplexes), meaning 34 total units. The zoning ordinance defines the proposed dwellings as follows:

*DWELLING, TWO-FAMILY: A detached building or structure containing two (2) dwelling units only, designed for and occupied by two (2) families.*

*DUPLEX: See definition of Dwelling, Two-Family.*

Based on the proposal, the petitioner has requested a rezone, special use (PUD), preliminary plat, and variations/waivers from the subdivision and zoning regulations. The rezone specifically requests the site to be zoned Multi-Family Residence District (R-3). The current zoning is Single-Family Residence District (R-1). The R-1 District does not permit two-family dwellings. With the rezone the petitioner requests approval of a Planned Unit Development (PUD), which is a special use. The requested variations/waivers are listed below and apply to the preliminary plat specifications and zoning:

- *Subdivision Regulation Section 5B-1-7(B)(6) – Variation Request*
  - o This section provides for a 66’ right-of-way and 30’ pavement width. The proposed plan shows Woodland Lane with a 50’ right-of-way and 27’ road width.
- *Subdivision Regulation Section 5B-1-8(G)(1) – Variation Request*
  - o This section provides for a 150’ curve radius on Minor Streets. The proposed plan shows a 53.5’ radius for Woodland Lane.
- *Zoning Section 5A-7-3-5(A) – Waiver request to minimum lot size requirement.*
  - o Waiver request to reduce the minimum lot size for two-family dwellings in the R-3 District from 20,000 square feet to 10,000 square feet. The proposal does meet gross residential density requirements.
- *Zoning Section 5A-7-3-6(A) – Waiver request to minimum setback requirements.*
  - o Waiver request to modify/reduce the minimum front yard and rear yard setbacks from the required 30’ to 25’ and 18’, respectively.

- *Zoning Section 5A-3-3-8 – Waiver request to open space standard.*
  - o Waiver request to reduce the required percentage of common open space from 25% of the total gross area to 20%.
- *Zoning Section 5A-3-3-9(B) – Waiver request to yards and spaces.*
  - o Waiver request to eliminate the following PUD stipulation: “Buildings of more than 24' in height shall provide a setback from any property line of not less than equal to the height of such buildings.”

NOTE: The planned unit development may depart from strict conformance with the required density, dimension, area, zoning district size, height, bulk, use, and other regulations of the underlying zoning district to the extent specified in the preliminary and final plans and documents authorizing the development, so long as the development will not be detrimental to or endanger the public health, safety, and welfare of the residents of the City.

The Plan Commission may recommend variations from these requirements in specific cases which, in its opinion, are in harmony with the intent and purpose of the Comprehensive Plan and Official Map of the City of Darien and in harmony with the intent of the Subdivision Regulations.

#### ***Staff Review Comments***

Staff has reviewed the submittal documents. Included with this memo is a letter from the City Engineer (dated August 17, 2023). The letter provides stipulations/conditions of approval for the project and preliminary plan prior to final planning stage. The City’s traffic consultant has also reviewed the submitted traffic memorandum and review comments will be provided in time for the public hearing.

Additionally, the petitioner submitted a cover letter and narrative detailing the request. The narrative is attached to this memo. The petitioner and other representatives will be present during the public hearing and will provide a summary presentation on the project, including details on architecture, stormwater management and detention, landscaping, traffic, and utilities, among other things. Included below are the standards for amendments and the special use criteria that the Planning and Zoning Commission is to consider for recommending on the case.

#### **Standards for Amendments:**

*The Plan Commission shall consider the following factors and other pertinent factors in developing a recommendation for the City Council:*

1. *Existing uses of property within the general area of the property in question, and the resulting character of the general area;*
2. *The zoning classifications of property within the general area of the property in question;*
3. *The suitability of the property in question to the uses permitted under the existing zoning classification including consideration of the length of time the property has been vacant as zoned;*
4. *The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classifications and the impact to surrounding property likely to result from the proposed use;*

5. *The reduction in value of the subject property resulting from the particular zoning restriction as compared to the gain to the public if the property remains restricted; and*
6. *The policies of all current official plans or plan elements of the City.*

**Special Use Criteria:**

*No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:*

1. *That the special use is deemed necessary for the public convenience at the location specified.*
2. *That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.*
3. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
4. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
5. *That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*
6. *That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
7. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
8. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.*

**DECISION MODE**

The Planning and Zoning Commission will consider this item at its meeting on October 18, 2023.

**MEETING SCHEDULE**

Planning and Zoning Commission	October 18, 2023
Municipal Services Committee	TBD
City Council	TBD





ZONING APPLICATION

RECEIVED

SEP 14 2023

Community Development  
City of Darien

CITY OF DARIEN

1782 Plainfield Road, Darien, IL 60561  
www.darien.il.us 630-852-5000

CONTACT INFORMATION

Woodland Glen Development, LLC	Maria Sciullo
Applicant's Name	Owner's Name
6432 Joliet Rd., Ste. B, Countryside, IL 60525	502 Redondo Dr., Unit 408, Downers Grove, IL 60516
Address, City, State, Zip Code	Address, City, State, Zip Code
(708) 482-0860	(630) 541-7446
Telephone	Telephone
don.stevens@donvenhomes.com	
Email	Email

PROPERTY INFORMATION

2963-2985 W. 87th St th Street, Darien, IL 60561	10-06-200-004/ 005
Property address	PIN Number(s)
R-1 Current	Single Family Residence
Zoning District	Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

REQUEST

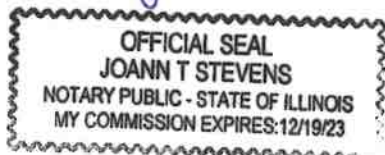
Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

Rezoning from Darien R-1 Single Family Residential to Darien R-3 Special Use PUD including Plat of Subdivision, Variation/Waiver Approval for 34 duplex attached single family residences on 17 lots served with public sanitary sewer and watermain. Variations from R-3 and PUD zoning. Preliminary/Final Plat Approval.

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that Donald A. Stevens is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.  
Given under my hand and seal, this 8 day of September 2023.

For office use only	
Date Received:	09/14/2023
Case Number:	P2C2023-09
Fee Paid:	\$1,955.00
Hearing Date:	10/19/2023

Notary Public Joann T. Stevens



CITY OF DARIEN, ILLINOIS, Community Development Department

Plat of Subdivision petition to the Mayor and City Council of the City of Darien:

RECEIVED

SEP 14 2023

Community Development  
City of Darien

Staff Use Only	
Case No.:	PZC2023-09
Date Received:	09/14/2023
Fee Paid:	\$1,955.00
Check No.:	1002
Hearing Date:	10/19/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
Petitioner's Name

Donald A. Stevens  
Contact Name

6432 Joliet Road, Ste.B, Countryside IL  
Address, City, State, Zip Code. 60525

(708) 482-0860  
Phone #

(708) 482-0872  
Phone #

Fax #

don.stevens@donvenhomes.com  
Email

Maria Sciullo  
Owner's Name

502 Redondo Drive, Unit 408, Downers Grove IL  
Address, City, State, Zip Code 60516

(630) 541-7446  
Phone #

office@clasesandclases.com  
Email

PROPERTY INFORMATION

2963-2985 W. 87th St., Darien IL 60561  
Property address

10-06-200-004/-005  
PIN(s)

4.59 acres  
Acreage

R-1 current  
Zoning

REQUEST

Check the following:  Preliminary Plat  Final Plat

Woodland Glen  
Subdivision Name

Number of Lots: 17

Right-of-way (in miles): 0.1725 miles

Minimum Lot Size: 100' x 108'

Average Lot Size: 12,106 s.f.

Public or other open space: 66,808 s.f.

Public ROW 47,157 s.f.

I, Maria Sciullo, do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Maria Sciullo  
Signature

Subscribed and sworn to before this 30th day of June, 2023

Margaret Calvello  
Notary Public



CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien:

RECEIVED  
SEP 14 2023

Community Development  
City of Darien

Staff Use Only	
Case No.:	P220003-09
Date Received:	09/14/2023
Fee Paid:	\$1,955.00
Check No.:	1002
Hearing Date:	10/19/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
 Petitioner's Name  
 Donald A. Stevens  
 Contact Name  
 6432 Joliet Rd., Ste. B., Countryside IL  
 Address, City, State, Zip Code 60525  
 (708) 482-0860  
 Phone #  
 (708) 482-0872  
 Fax #  
 don.stevens@donvenhomes.com  
 Email

Maria Sciallo  
 Owner's Name  
 502 Redondo Drive, Unit 408, Downers Grove IL  
 Address, City, State, Zip Code 60516  
 (630) 541-7446  
 Phone #  
 office@claresanddais.com  
 Email

PROPERTY INFORMATION

2963-2985 W. 87th St. Darien IL 60561  
 Property address  
 10-06-200-004/ -005  
 PIN(s)

4.59 acres  
 Acreage  
 R-1 (current)  
 Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

Woodland Glen  
 PUD Name

Preliminary PUD       PUD Amendment  
 Final PUD

Brief description of the proposed development:  
 Total 7.34 acre development consisting of 34 duplex attached single family homes on  
 17 lots, served by public sanitary, sewer and water main located in the City of Darien IL.

I, Maria Sciallo, do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Maria Sciallo  
 Signature

Subscribed and sworn to before this 30th day of June, 2023

Margaret Calvello  
 Notary Public





**ZONING APPLICATION**

RECEIVED

SEP 14 2023

Community Development  
City of Darien

**CITY OF DARIEN**

1702 Plainfield Road, Darien, IL 60561  
www.darienil.us 630-852-5000

**CONTACT INFORMATION**

Woodland Glen Development, LLC  
Applicant's Name Donald A. Stevens

Julian Saybor  
Owner's Name

6432 Joliet Rd., Ste.B, Countryside IL  
Address, City, State, Zip Code 60525

2941 W. 87th St., Darien IL 60561  
Address, City, State, Zip Code

(708) 482-0860

(630) 910-7000

Telephone

Telephone

don.stevens@donvenhomes.com

Email

Email

**PROPERTY INFORMATION**

2941 W. 87th St., Darien IL 60561  
Property address

10-06-200-006  
PIN Number(s)

R-1 (current)  
Zoning District

Single Family Residence  
Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

**REQUEST**

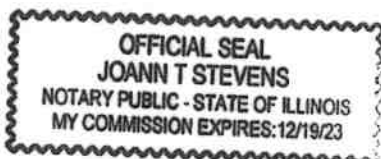
Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

Rezoning from Darien R-1 Single Family residential to Darien R-3 Special Use PUD including Plat of Subdivision, Variation/Waiver Approval for 34 duplex attached single family residences on 17 lots served with public sanitary, sewer and water main. Variations from R-3 and PUD zoning. Preliminary/Final Plat Approval.

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that Donald A. Stevens is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.  
Given under my hand and seal, this 8 day of September 2023

For office use only	
Date Received:	09/14/2023
Case Number:	PZC2023-09
Fee Paid:	\$1,955.00
Hearing Date:	10/19/2023

Joann T. Stevens  
Notary Public



CITY OF DARIEN, ILLINOIS, Community Development Department

Plat of Subdivision petition to the Mayor and City Council of the City of Darien:

RECEIVED  
SEP 14 2023  
Community Development  
City of Darien

State Use Only  
Case No. PZC2023-09  
Date Received 09/14/2023  
Fee Paid \$1,955.00  
Check No. 1002  
Hearing Date 10/19/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
Petitioner's Name  
Donald A. Stevens  
Contact Name  
6432 Joliet Rd., Ste.B, Countryside IL  
Address, City, State, Zip Code 60525  
(708) 482-0860  
Phone #  
(708) 482-0872  
Fax #  
don.stevens@donvenhomes.com  
Email

Julian Saybor  
Owner's Name  
2941 W. 87th St. Darien IL 60561  
Address, City, State, Zip Code  
(630) 919-7000  
Phone #  
Email

PROPERTY INFORMATION

2941 W. 87th St., Darien IL 60561  
Property address  
10-06-200-006  
PIN(s)

2.75 acres  
Acreage  
R-1 (current)  
Zoning

REQUEST

Check the following:  Preliminary Plat

Final Plat

Woodland Glen  
Subdivision Name  
Number of Lots: 17  
Right-of-way (in miles): 0.1725 miles

Minimum Lot Size: 100' x 108'  
Average Lot Size: 12,106 s.f.  
Public or other open space: 66,808 s.f.  
Public ROW 47,157 s.f.

I, Julian Saybor do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Signature  
Subscribed and sworn to before this 12<sup>th</sup> day of July 20 23  
Juliana Francesca Desantis  
Notary Public



CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien

RECEIVED  
2023  
Community Development  
City of Darien

Staff Use Only  
Case No: PZC2023-09  
Date Received: 09/14/2023  
Fee Paid: \$1,956.00  
Check No: 1002  
Hearing Date: 10/18/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
Petitioner's Name  
Donald A. Stevens  
Contact Name  
6432 Joliet Rd., Ste.B, Countryside IL  
Address, City, State, Zip Code 60525  
(708) 482-0860  
Phone #  
(708) 482-0872  
Fax #  
don.stevens@donvehhomes.com  
Email

Julian Saybor  
Owner's Name  
2941 W. 87th St., Darien IL 60561  
Address, City, State, Zip Code  
(630) 910-7000  
Phone #  
Email

PROPERTY INFORMATION

2941 W. 87th Street, Darien IL 60561  
Property address  
10-06-200-006  
PIN(s)

2.75 acres  
Acreage  
R-1 (current)  
Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

Woodland Glen  
PUD Name

Preliminary PUD  PUD Amendment  
 Final PUD

Brief description of the proposed development:

Total 7.34 acre development consisting of 34 duplex attached single family homes on 17 lots, served by public sanitary, sewer and watermain located in the City of Darien IL.

I, Julian Saybor do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such

Signature

Subscribed and sworn to before this 12<sup>th</sup> day of July 20 23

Juliana Francesca Desantis  
Notary Public



## ATTACHMENT (2): COVER LETTER & NARRATIVE

Woodland Glen Residential Development  
87<sup>th</sup> Street – ¼ Mile West of Lemont Road  
Darien, Illinois

The proposed Woodland Glen residential development will consist of 34 duplex single family homes, with 2 homes on each of the 17 residential lots. The proposed site will be located directly on the south side of 87<sup>th</sup> Street, approximately ¼ mile west of Lemont Road.

Woodland Glen will be an upscale, maintenance free residential community, featuring larger ranch style homes with full basements, featuring both “look out” and “walk out” option.

The proposed site for Woodland Glen is on 7.34 acres of land, currently consists of 3 separate parcels owned by 2 different individuals. The property is currently zoned R-1 single family residential, and contains 2 older single family homes. The current homes are served by well and septic systems.

The existing homes on the properties are scheduled for demolition prior to the Woodland Glen site improvements being started. The Woodland Glen development will be rezoned as an R-3 PUD residential community, with utilities served by the City of Darien for public water and DuPage County for sanitary sewers. All utility improvements required for Woodland Glen will be installed by the developer.

The existing uses on 87<sup>th</sup> Street and Lemont Road contains mixed uses, including commercial, multi-family residential and some residential properties, the majority of residential homes do not face 87<sup>th</sup> Street. Accordingly, the Woodland Glen development will not adversely impact the essential character of the 87<sup>th</sup> Street, and will be a positive addition to the corridor.

There will be no adverse effects on the adjoining properties, with open side yards between the groupings of homes allowing for the free flow of light and air through the development and the adjoining properties. The development will have a negligible increase of traffic on 87<sup>th</sup> Street, and allows for the free movement of all police and fire equipment. Working with Darien Staff, the development provides for proper ingress and egress for the development off of 87<sup>th</sup> Street .

The proposed ranch homes at Woodland Glen, with “walk out” or “look out” basements, are perfectly suited for this site, as the land slopes increasingly to the south, away from 87<sup>th</sup> Street, so drainage will not be an issue or negatively impact the area. The trend of development along major signalized roadways like 87<sup>th</sup> Street in this area is towards either commercial development, or higher density multi-family developments. Woodland Glen will therefore offer the best transitional residential zoning from the much higher densities likely to come from the Woodridge zoning areas immediately to the west. The Woodland Glen development will help stabilize and increase the remaining property values in Darien along 87<sup>th</sup> Street.

The Woodland Glen development will have the highest quality architectural design, blending this transitional residential area into the neighboring community. The proposed landscaping will provide a positive environment to the homeowners in the development, and the neighboring community. All utilities will be approved by the City of Darien and DuPage County, providing a

benefit to the future homeowners, but also for the future development of the 87<sup>th</sup> Street corridor in Darien.

The Woodland Glen development will be a positive addition to the City of Darien, and offers the best transitional residential density along the 87<sup>th</sup> Street corridor in Darien.

The Woodland Glen development will conform to all Darien codes and regulations, except those where the City of Darien will be granting a variance or change from its Zoning Code.

1. Permitted reduction to the required right of way width for minor streets to fifty (50) feet from the sixty-six (66) feet as established in Title 5B, Chapter 1, Section 5B-1-7(b)6.
2. Permitted reduction to the required pavement width for minor streets to twenty seven (27) feet from thirty (30) feet as established in Title 5B, Chapter 1, Section 5B-1-7(B)6.
3. Permitted reduction to a minimum lot size of 10,000 square feet, in lieu of the 20,000 square foot R-3 Zoning requirement, is met under PUD regulations, Title 5A, Chapter 3, Section 5A-3-3-4(A). The maximum R-3 residential zoning units per gross residential acre is 7.0, while the Woodland Glen development is only at 4.63 units per gross acre as proposed.
4. Permitted reductions to the minimum Front and Rear yard setbacks to twenty-five feet (25') and eighteen feet (18') from thirty (30) feet established in R-3 Zoning, is considered met under PUD Regulations, Title 5A, Chapter 3, Section 5A-3-3-9(A): *“Required yard or setbacks ... may receive up to fifty percent (50%) of the standards set forth in the underlying zoning districts ...”*
5. Permitted reduction to common open space to twenty percent (20%) from twenty-five percent (25%) established in PUD Regulations, Title 5A, Chapter 3, Section 5A-3-3-8, which states: *“This requirement may be partially or totally waived by the City Council whenever a substantial amount of the land of the planned unit development is proposed for development as single-family residential units.”*
6. Permitted elimination of PUD Regulation, Title 5A, Chapter 3, Section 5A-3-3-9(B) which states: *“Buildings of more that twenty-four feet (24') in height shall provide a setback from any property line not less than equal to the height of such building.”* The required yards shall meet the applicable Sections of the R-3 Zoning requirement, PUD Regulations and/or as noted in 4 above.
7. Permitted reduction to the required horizontal roadway centerline curve radius for minor streets to fifty-three and one half feet (53.5') from one hundred fifty feet (150') as established in Title 5B, Chapter 1, Section 5B-1-8(G)1(a).





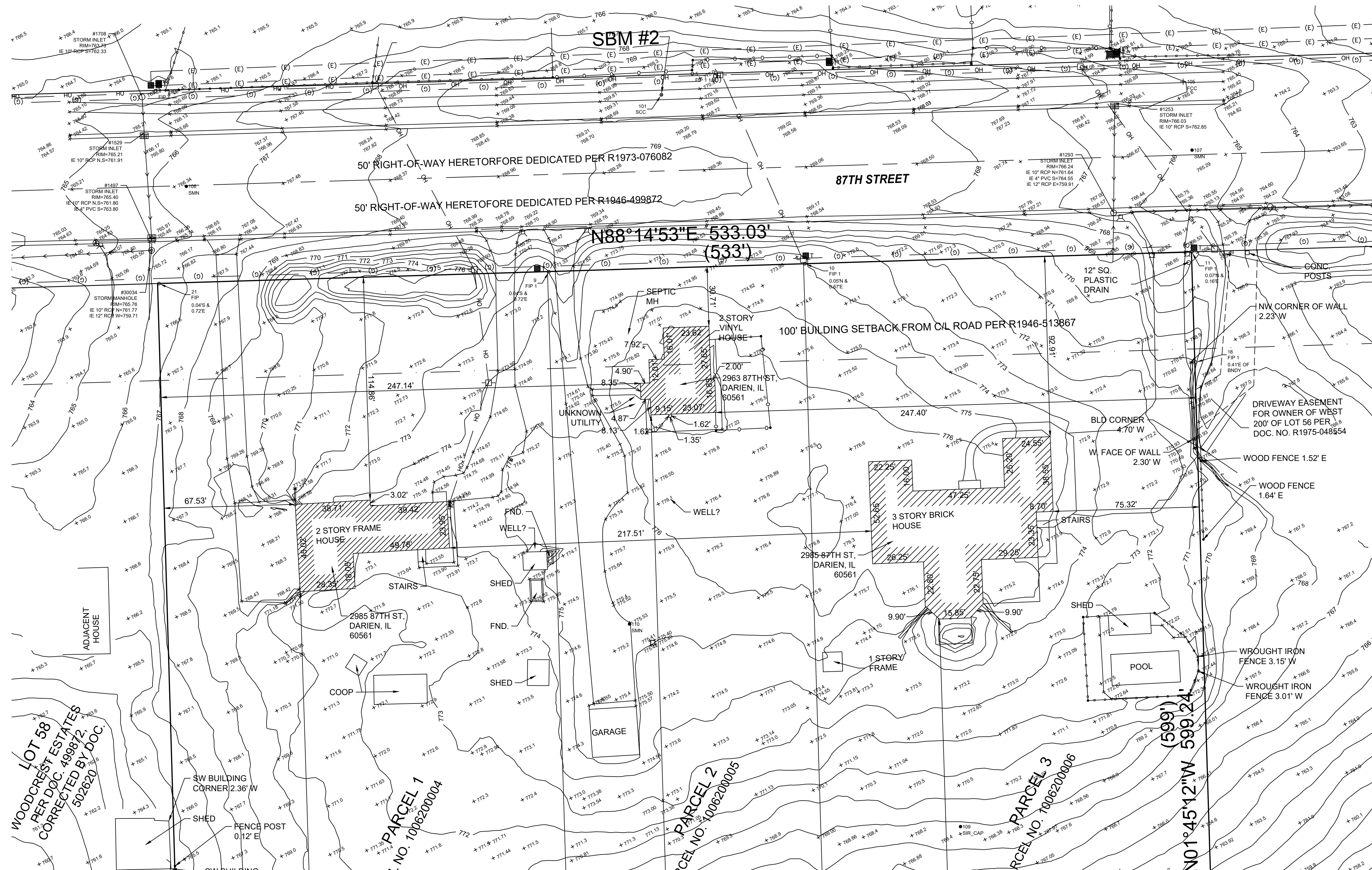
**NOTES:**

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

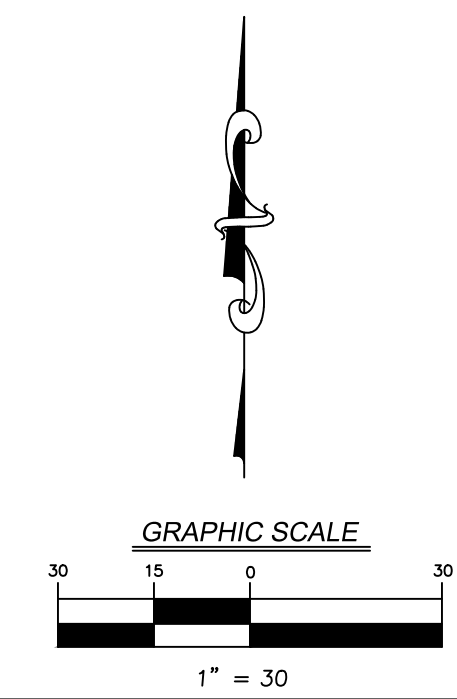
V3 COMPANIES, LTD.  
7325 JANES AVENUE  
WOODRIDGE, IL 60517

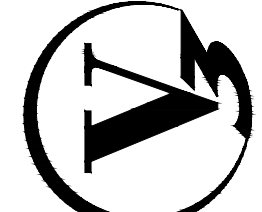
COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.



FOR CONTINUATION SEE SHEET 1.2

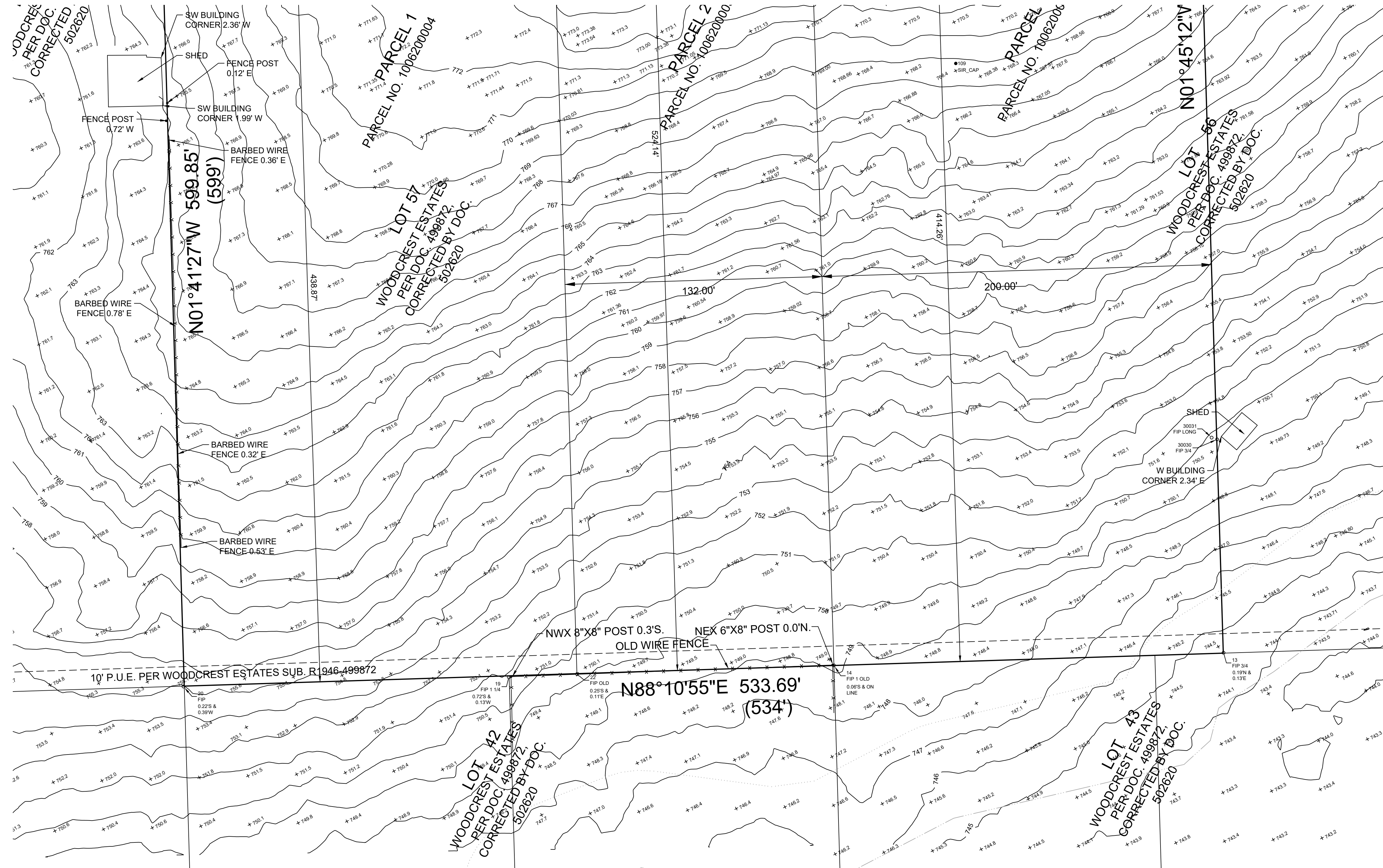


PROJECT NO.: 220945.WG.S03		ORIGINAL ISSUE DATE: 05-26-2023
PROJECT MANAGER: SAK	DESCRIPTION: EXISTING CONDITIONS PLAN - AREA 1	NO.   DATE   DESCRIPTION
DESIGNED BY: TJK	WOODLAND GLEN - DARIEN	1   06-01-23   REVISED PER CLIENT COMMENT
DRAWN BY: NRS	DARIEN	2   07-20-23   REVISED PER CITY REVIEW
ILLINOIS		
 7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com		DRAWING NO. <b>1.1</b>

**NOTES:**

- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:  
  
V3 COMPANIES, LTD.  
7325 JANES AVENUE  
WOODRIDGE, IL 60517
- COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.

FOR CONTINUATION SEE SHEET 1.1



REVISIONS		NO.	DATE	DESCRIPTION
1	06-01-23	REVISOR		REVISED PER CLIENT COMMENT
2	07-20-23	REVISOR		REVISED PER CITY REVIEW

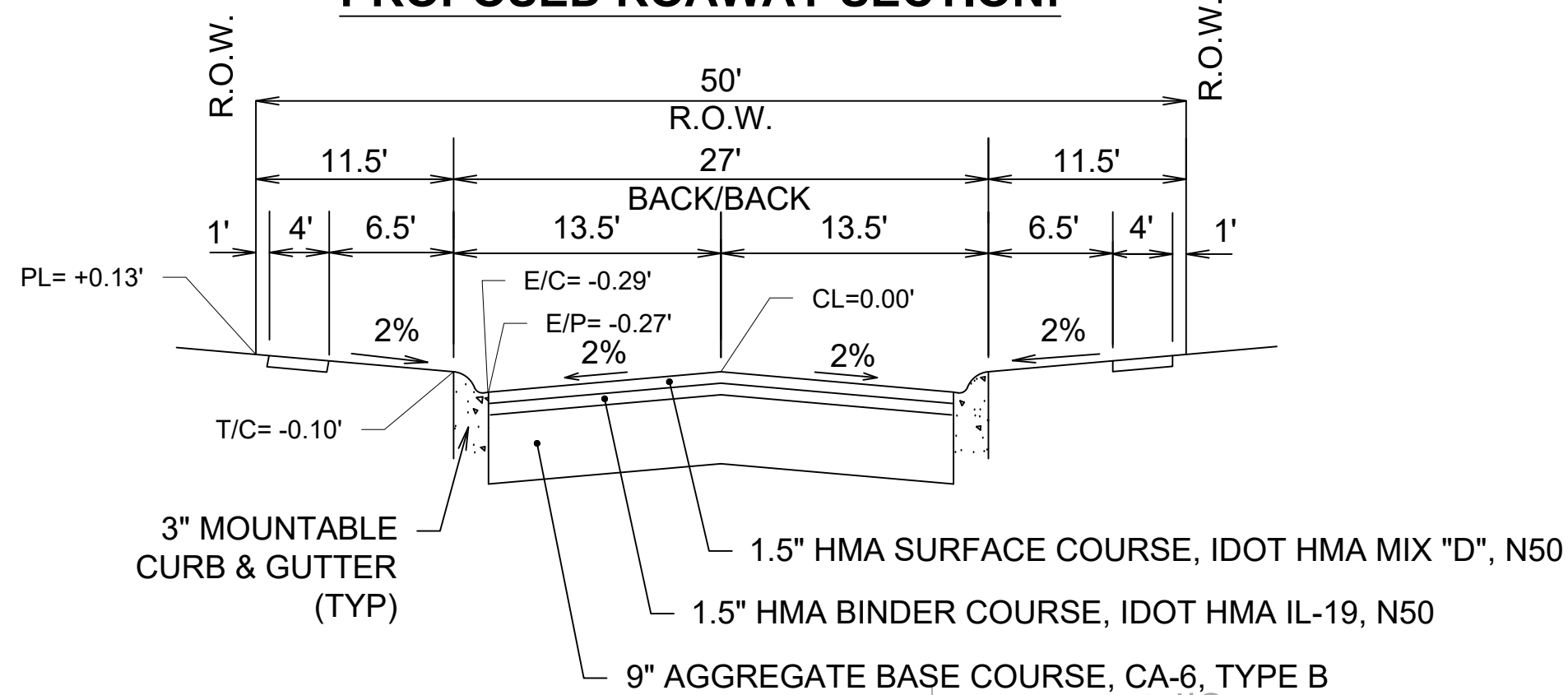
PROJECT NO.:	220945.WG.S03
PROJECT MANAGER:	SAK
DESIGNED BY:	TJK
DRAWN BY:	NRS

EXISTING CONDITIONS PLAN -  
AREA 2  
WOODLAND GLEN - DARIEN  
ILLINOIS  
DARIEN

7325 Janes Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
www.v3co.com

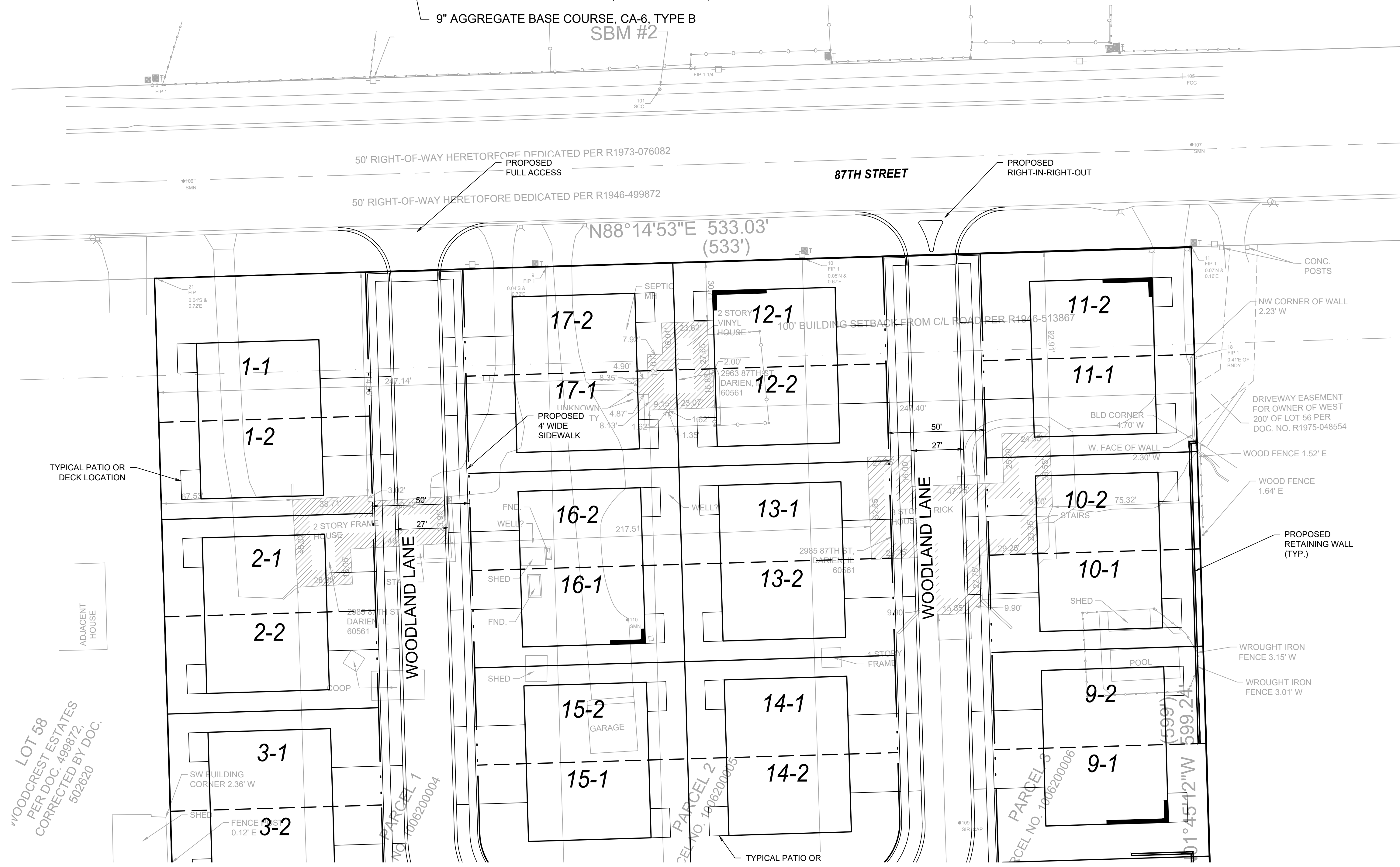
DRAWING NO.  
**1.2**

**PROPOSED ROAWAY SECTION:**



LEGEND		DESCRIPTION
---	---	EXISTING
---	---	PROPOSED
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	LIGHT STANDARD

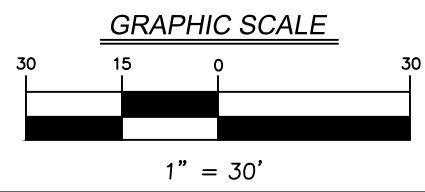
- NOTES:**
- BUILDING DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
  - ON-STREET PARKING SHALL BE LIMITED TO ONE SIDE ONLY.
  - ALL CURB AND GUTTER SHALL BE M3.12 UNLESS OTHERWISE NOTED.
  - SEE PRELIMINARY PLAT OF P.U.D. FOR EASEMENT PROVISIONS.



WOODCREST ESTATES  
PER DOC 499872,  
CORRECTED BY DOC.  
502620

FOR CONTINUATION SEE SHEET 2.2

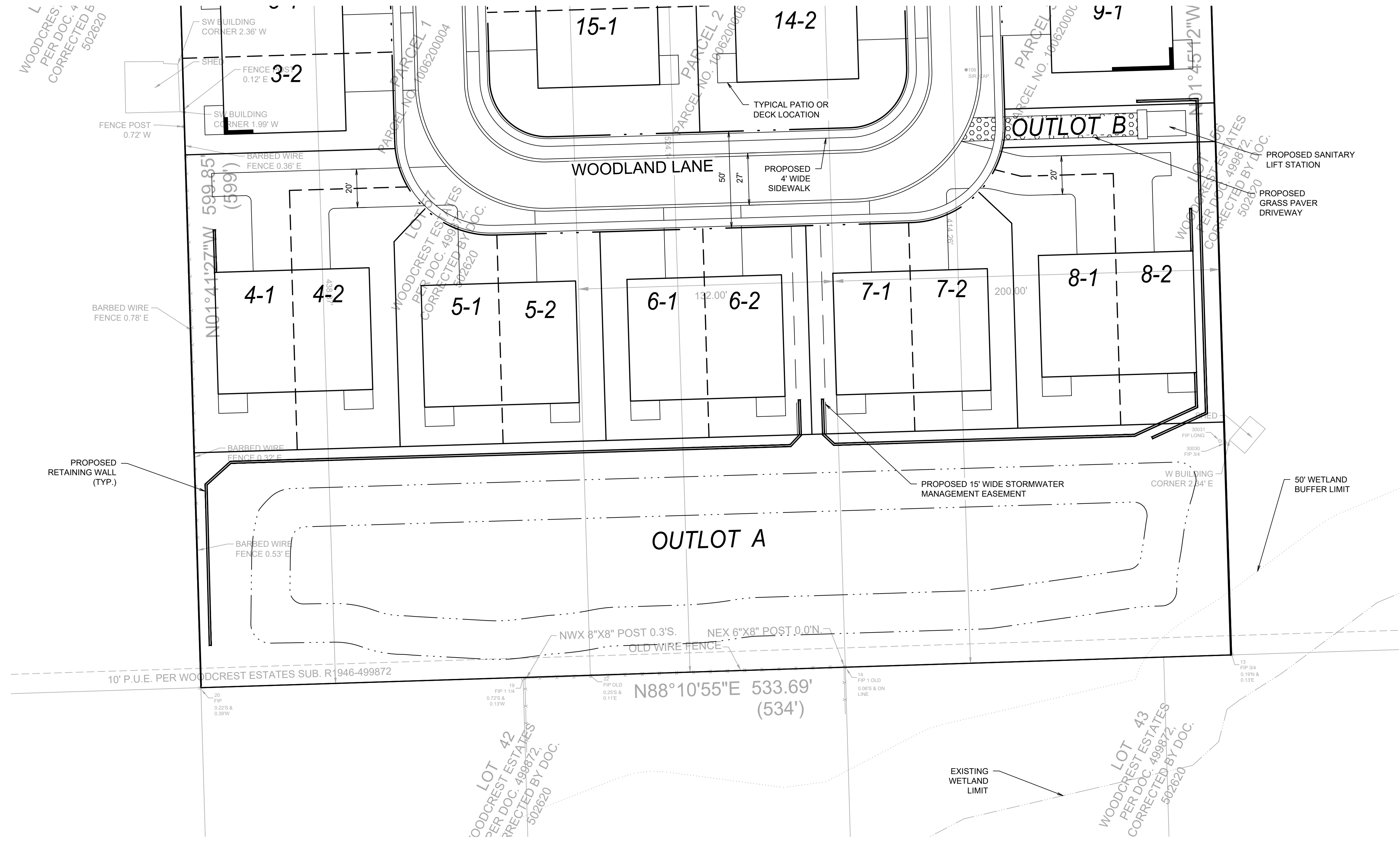
PROJECT NO.: 220945.WG.S03	ORIGINAL ISSUE DATE: 05-26-2023	REVISIONS
	PROJECT MANAGER: SAK	NO.   DATE   DESCRIPTION
DESIGNED BY: TJK	NO. 1   DATE 06-01-23   DESCRIPTION REVISED PER CLIENT COMMENT	
DRAWN BY: NRS	NO. 2   DATE 07-20-23   DESCRIPTION REVISED PER CITY REVIEW	
PRELIMINARY LAYOUT PLAN - AREA 1 WOODLAND GLEN - DARIEN ILLINOIS DARIEN		
7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com		
DRAWING NO.		2.1



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		FENCE LINE
		CENTERLINE
		CURB & GUTTER
		DEPRESSED CURB & GUTTER
		LIGHT STANDARD

- NOTES:**
- BUILDING DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
  - ON-STREET PARKING SHALL BE LIMITED TO ONE SIDE ONLY.
  - ALL CURB AND GUTTER SHALL BE M3.12 UNLESS OTHERWISE NOTED.
  - SEE PRELIMINARY PLAT OF P.U.D. FOR EASEMENT PROVISIONS.

FOR CONTINUATION SEE SHEET 2.1



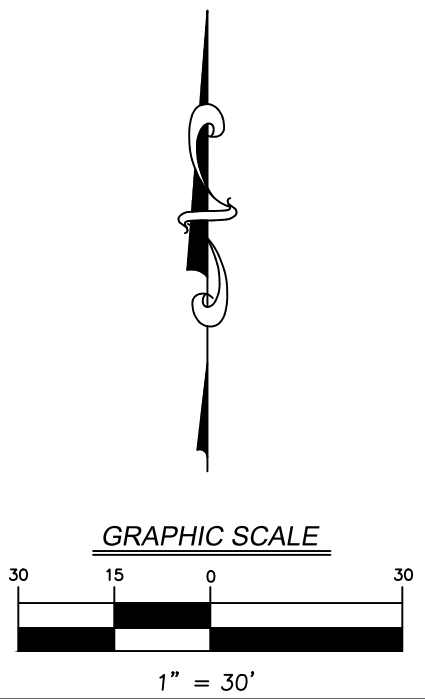
REVISIONS		
NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

PROJECT NO.:	220945.WG.S03
PROJECT MANAGER:	SAK
DESIGNED BY:	TJK
DRAWN BY:	NRS

PRELIMINARY LAYOUT PLAN -  
**AREA 2**  
 WOODLAND GLEN - DARIEN  
 ILLINOIS

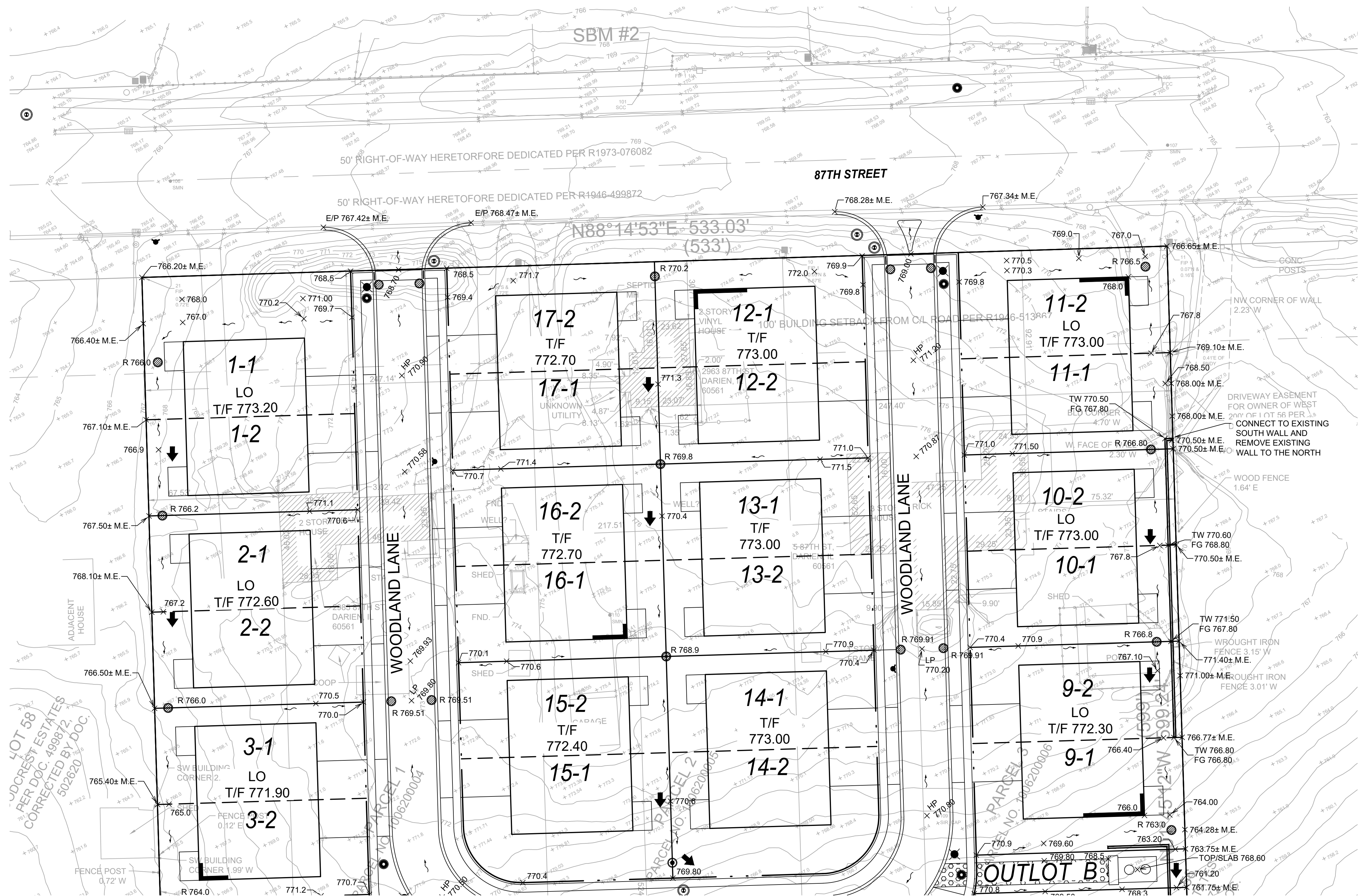
7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.8200 phone  
 www.v3co.com

DRAWING NO.  
**2.2**



**NOTES:**

1. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
2. "R" INDICATES RIM ELEVATION OF ALL STRUCTURES LOCATED OUTSIDE THE CURB LINE. FOR STRUCTURES LOCATED WITHIN THE CURB LINE, "R" INDICATES TOP OF CURB ELEVATION.
3. SPOT ELEVATIONS ALONG CURBS REFLECTS TOP OF CURB (T/C) ELEVATIONS.
4. ALL PROPOSED SIDEWALK SLOPES TO BE CONSTRUCTED TO MEET LOCAL AND STATE ACCESSIBILITY REQUIREMENTS.

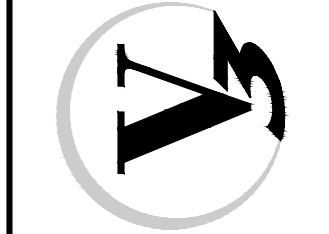


FOR CONTINUATION SEE SHEET 3.2

**PRELIMINARY GRADING PLAN -  
 AREA 1  
 WOODLAND GLEN - DARIEN**

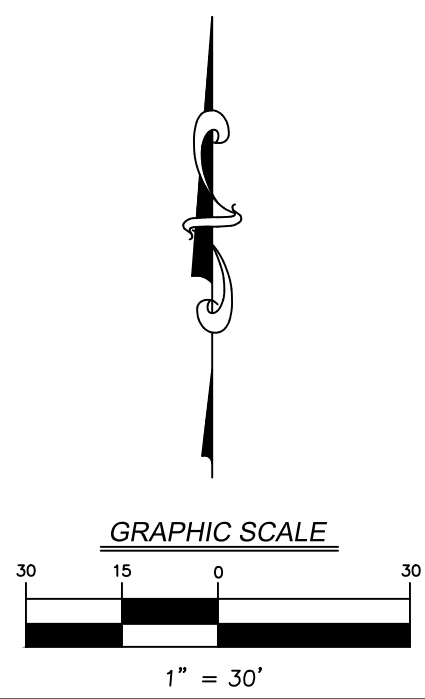
REVISIONS		NO.	DATE	DESCRIPTION
1	06-01-23	REVIS	PER CLIENT COMMENT	
2	07-20-23	REVIS	PER CITY REVIEW	

PROJECT NO.: 220945.WG.S03  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS



7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 www.v3co.com

DRAWING NO. 3.1



LOT 58  
 PER DOC. 499872,  
 CORRECTED BY DOC.  
 502620

FOR CONTINUATION SEE SHEET 3.1

**NOTES:**

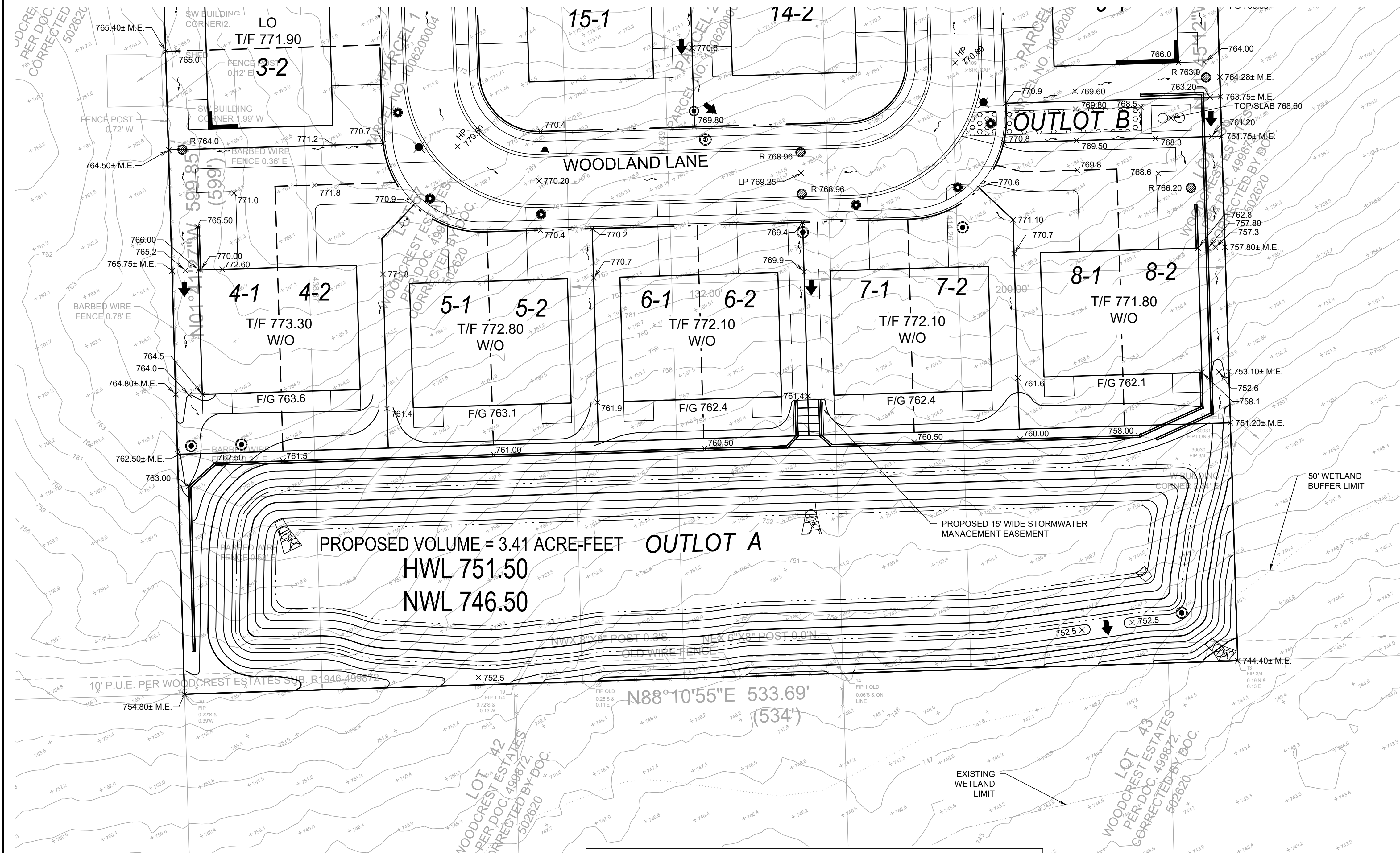
1. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
2. "R" INDICATES RIM ELEVATION OF ALL STRUCTURES LOCATED OUTSIDE THE CURB LINE. FOR STRUCTURES LOCATED WITHIN THE CURB LINE, "R" INDICATES TOP OF CURB ELEVATION.
3. SPOT ELEVATIONS ALONG CURBS REFLECTS TOP OF CURB (T/C) ELEVATIONS.
4. ALL PROPOSED SIDEWALK SLOPES TO BE CONSTRUCTED TO MEET LOCAL AND STATE ACCESSIBILITY REQUIREMENTS.

LEGEND		DESCRIPTION
	EXISTING	RIGHT-OF-WAY LINE
	PROPOSED	PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		FENCE LINE
		CENTERLINE
		CURB & GUTTER
		DEPRESSED CURB & GUTTER
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		LIGHT STANDARD
		CONTOUR
		SPOT ELEVATION
		STORMWATER FLOW DIRECTION
		STORMWATER OVERFLOW ROUTE

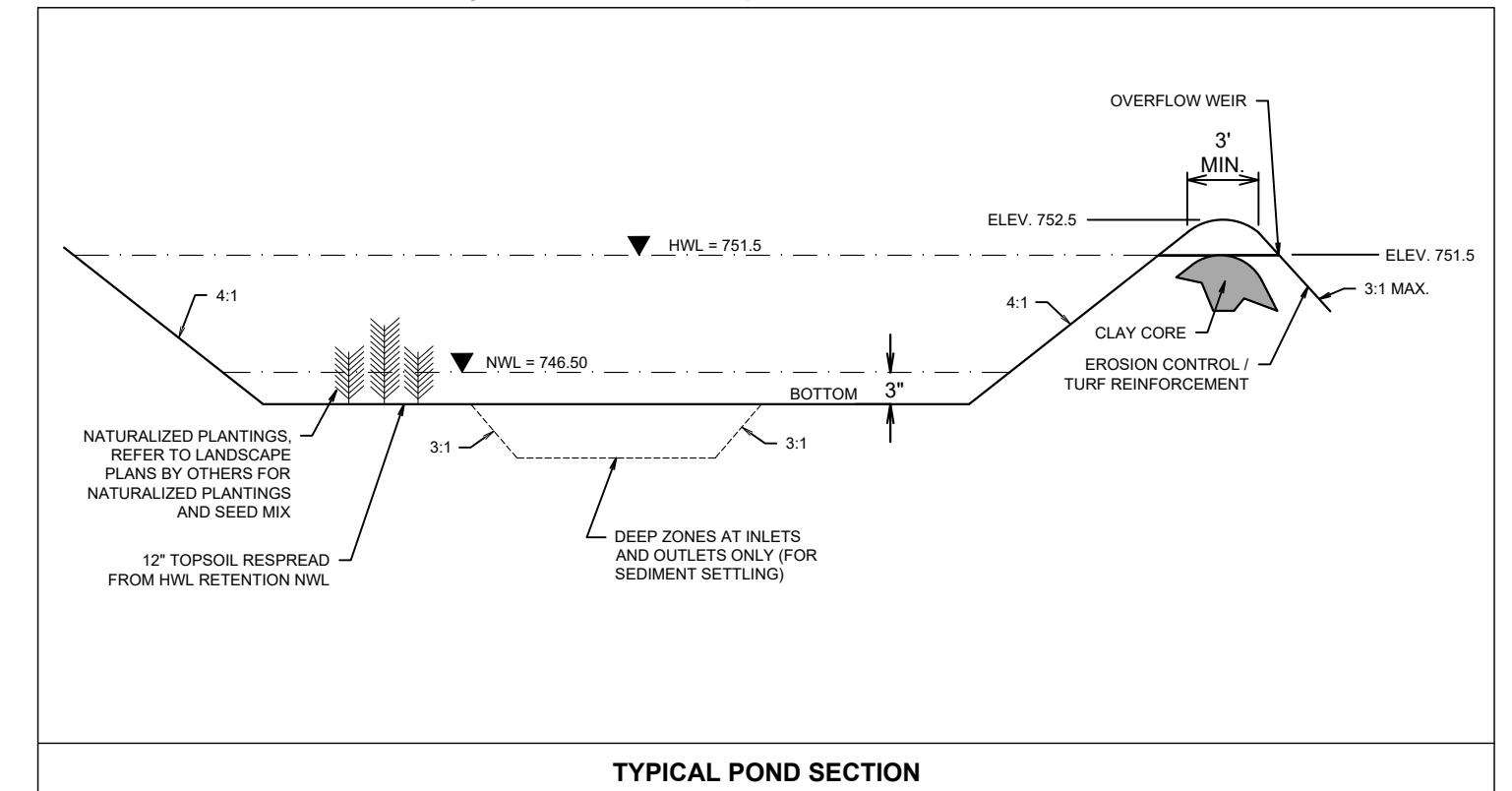
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NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

PROJECT NO.: 220945.WG 503  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS

PRELIMINARY GRADING PLAN - AREA 2  
 WOODLAND GLEN - DARIEN  
 ILLINOIS  
 7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 www.v3co.com  
 DRAWING NO. 3.2

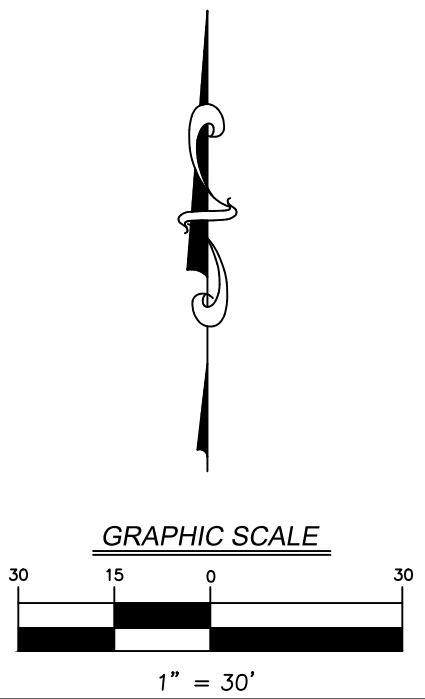


PROPOSED VOLUME = 3.41 ACRE-FEET  
 HWL 751.50  
 NWL 746.50



**NOTES:**

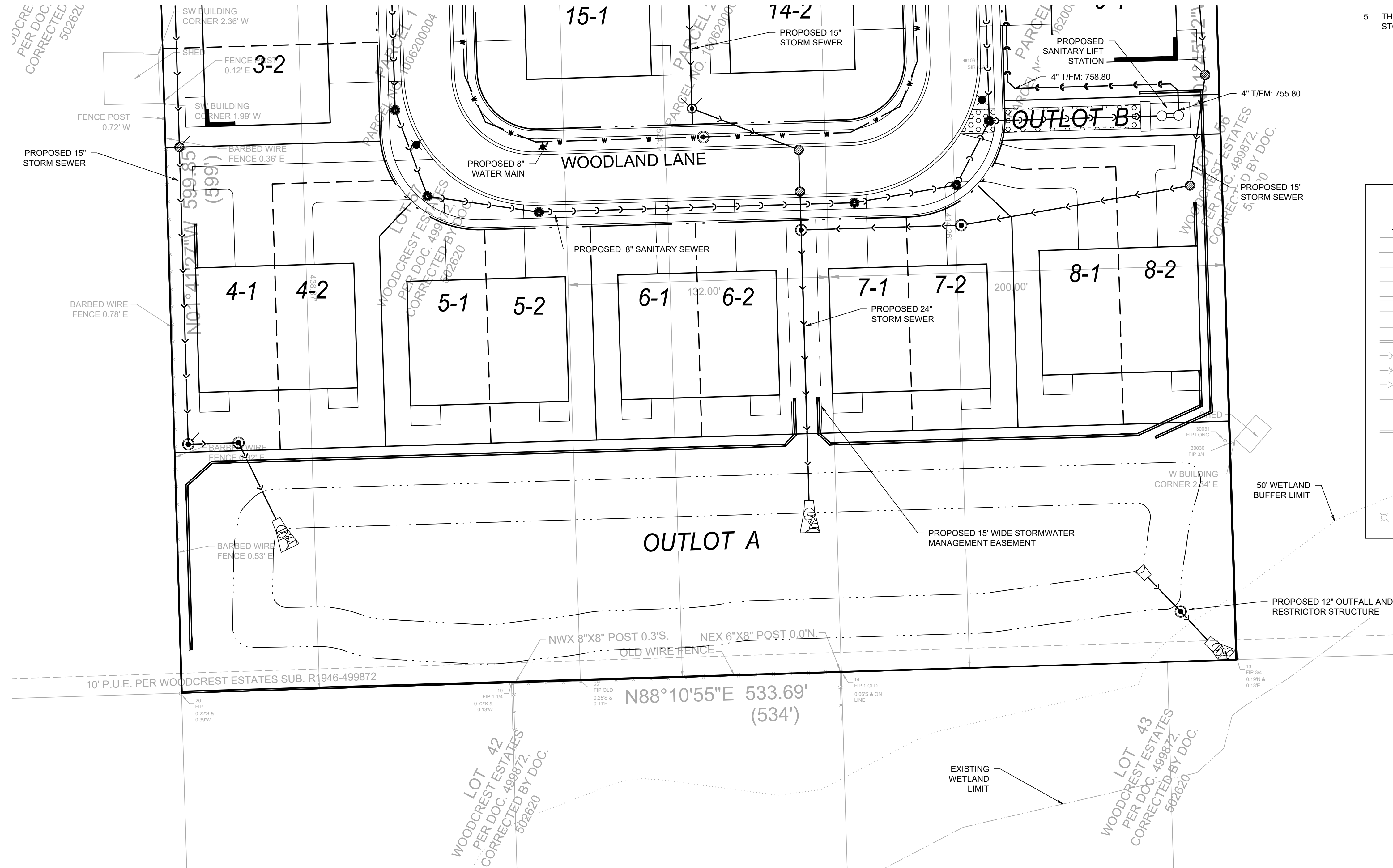
1. THE DETENTION BASIN AND ADJACENT EMBANKMENT AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT AND SPECIFICATIONS HEREIN.
2. THE CLAY CORE SHALL BE CONSTRUCTED AS REQUIRED BY THE SOILS CONSULTANT. THE MATERIAL MUST BE IDENTIFIED AND SAMPLED PRIOR TO BEGINNING WORK.
3. A PROFESSIONAL ENGINEER FROM A QUALIFIED SOILS CONSULTANT MUST BE PRESENT DURING THE CONSTRUCTION OF THIS EMBANKMENT. A STRUCTURAL ENGINEER MUST CERTIFY THE STRUCTURE UPON COMPLETION.
4. DIMENSIONS AND SIZE OF THE CLAY CORE, INCLUDING KEY (IF NECESSARY), SHALL BE PROVIDED BY THE SOILS CONSULTANT PRIOR TO START OF CONSTRUCTION.
5. EMBANKMENT FILL SHALL CONSIST OF COHESIVE SOIL.
6. COMPACTION OF THE EMBANKMENT SHALL BE CONSTRUCTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D 1557) AND SHALL BE PLACED IN APPROXIMATE 8 INCH LIFTS.







FOR CONTINUATION SEE SHEET 4.1



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	SANITARY SEWER
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	UTILITY STRUCTURE WITH CLOSED LID
---	---	CURB INLET
---	---	DRAINAGE STRUCTURE WITH OPEN LID
---	---	FIRE HYDRANT
---	---	VALVE IN VALVE BOX
---	---	GATE VALVE IN VALVE VAULT
---	---	FLARED END SECTION (F.E.S.)
---	---	LIGHT STANDARD

- NOTES:**
1. ALL SANITARY SEWER MAIN TO BE 8" PVC UNLESS OTHERWISE NOTED.
  2. ALL WATER MAIN TO BE 8" DUCTILE IRON UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 6" DUCTILE IRON UNLESS OTHERWISE NOTED.
  3. WATER SERVICE LINES TO BE MINIMUM 1.5" TYPE K, COPPER AND SHALL TERMINATE AT A SHUTOFF VALVE AND BOX TO BE LOCATED IN THE PARKWAY.
  4. ALL STORM SEWER TO BE 12" UNLESS OTHERWISE NOTED.
  5. THE SUMP DRAINS FOR BUILDINGS 1-3, AND 9-17 SHALL BE CONNECTED TO THE STORM SEWER. BUILDINGS 4-8 SHALL DAYLIGHT TO THE DETENTION BASIN.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

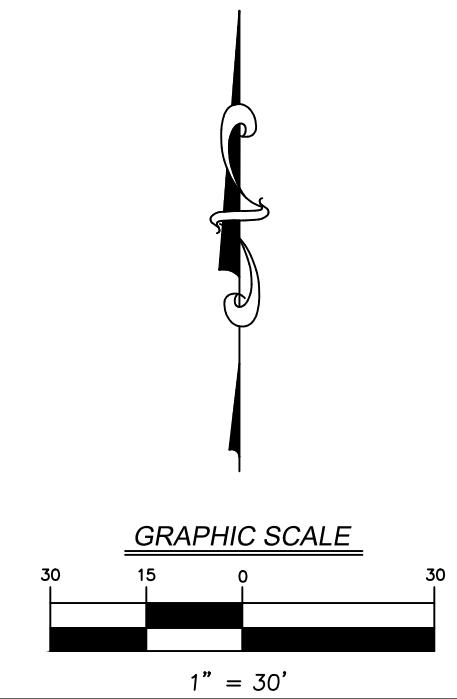
ORIGINAL ISSUE DATE: 05-26-2023

PROJECT NO.: 220945.WG.S03  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS

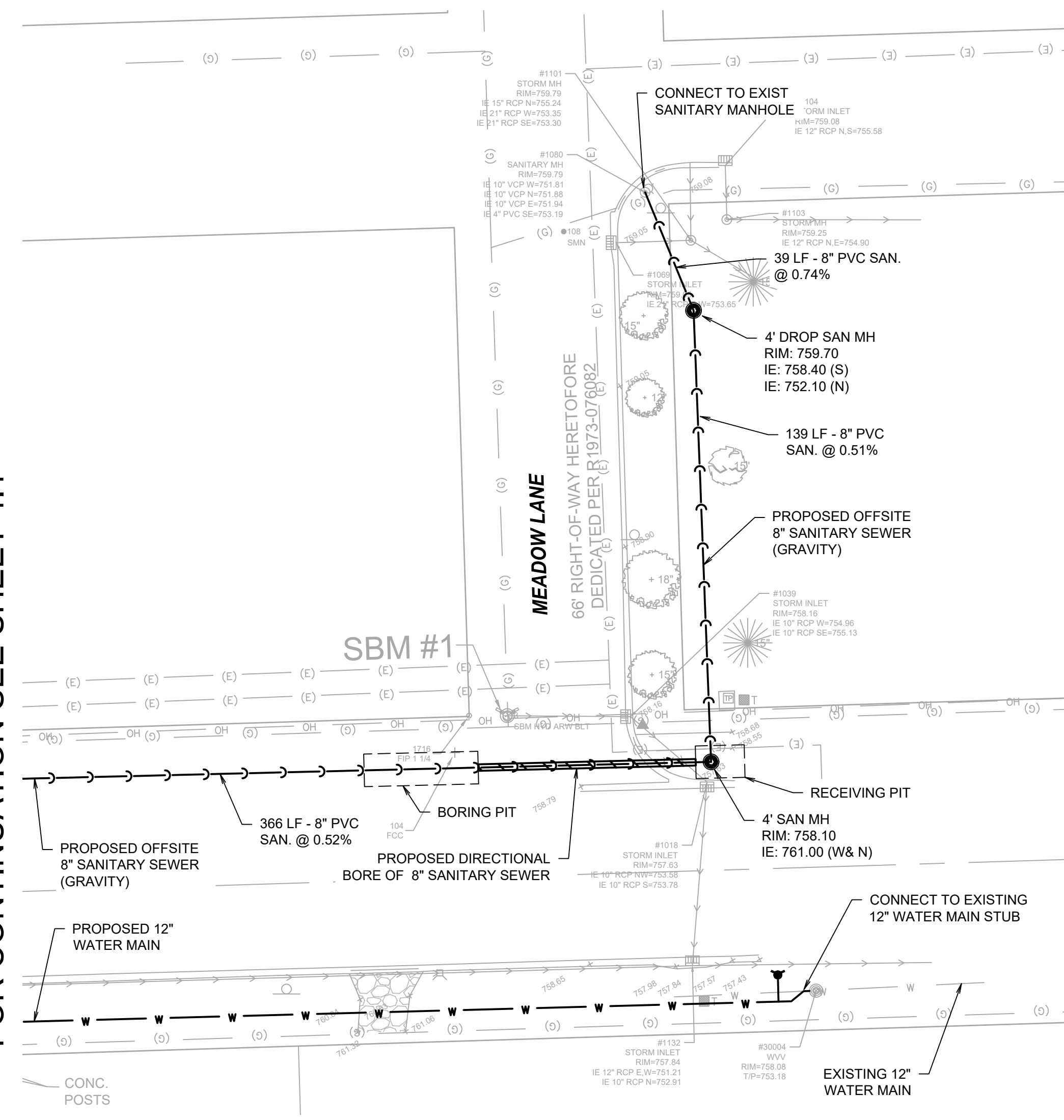
**PRELIMINARY UTILITY PLAN - AREA 2**  
**WOODLAND GLEN - DARIEN**  
 ILLINOIS

7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 www.v3co.com

DRAWING NO.  
**4.2**

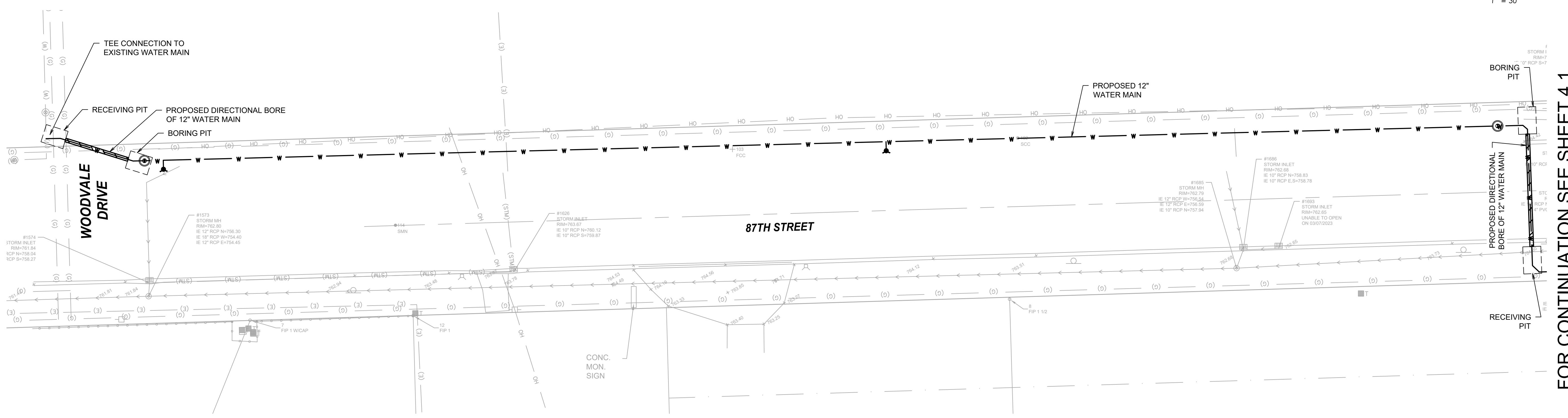
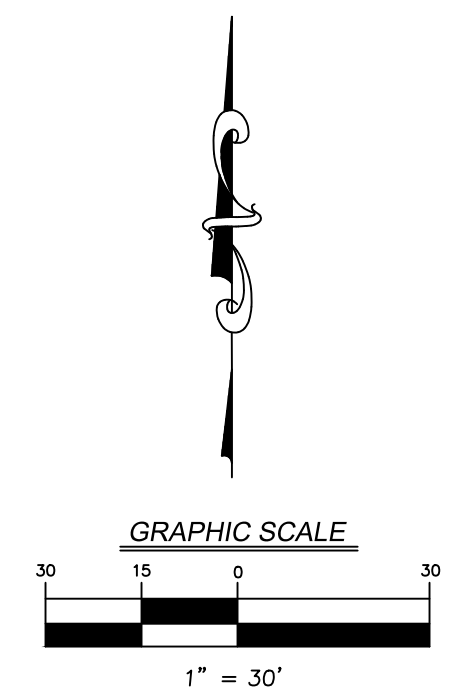


FOR CONTINUATION SEE SHEET 4.1



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	SANITARY SEWER
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	UTILITY STRUCTURE WITH CLOSED LID
---	---	CURB INLET
---	---	DRAINAGE STRUCTURE WITH OPEN LID
---	---	FIRE HYDRANT
---	---	VALVE IN VALVE BOX
---	---	GATE VALVE IN VALVE VAULT
---	---	FLARED END SECTION (F.E.S.)
---	---	LIGHT STANDARD

- NOTES:**
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  - ALL WATER MAIN TO BE 8" DUCTILE IRON UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 6" DUCTILE IRON UNLESS OTHERWISE NOTED.
  - WATER SERVICE LINES TO BE MINIMUM 1.5" TYPE K, COPPER AND SHALL TERMINATE AT A SHUTOFF VALVE AND BOX TO BE LOCATED IN THE PARKWAY.
  - ALL STORM SEWER TO BE 12" UNLESS OTHERWISE NOTED.
  - THE SUMP DRAINS FOR BUILDINGS 1-3, AND 9-17 SHALL BE CONNECTED TO THE STORM SEWER. BUILDINGS 4-8 SHALL DAYLIGHT TO THE DETENTION BASIN.



FOR CONTINUATION SEE SHEET 4.1

REVISIONS		
NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

PROJECT NO.: 220945.WG.S03  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS

**PRELIMINARY OFFSITE UTILITY PLAN - AREA 3**  
**WOODLAND GLEN - DARIEN**  
 ILLINOIS

7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.8200 phone  
 www.v3co.com

DRAWING NO.  
**4.3**

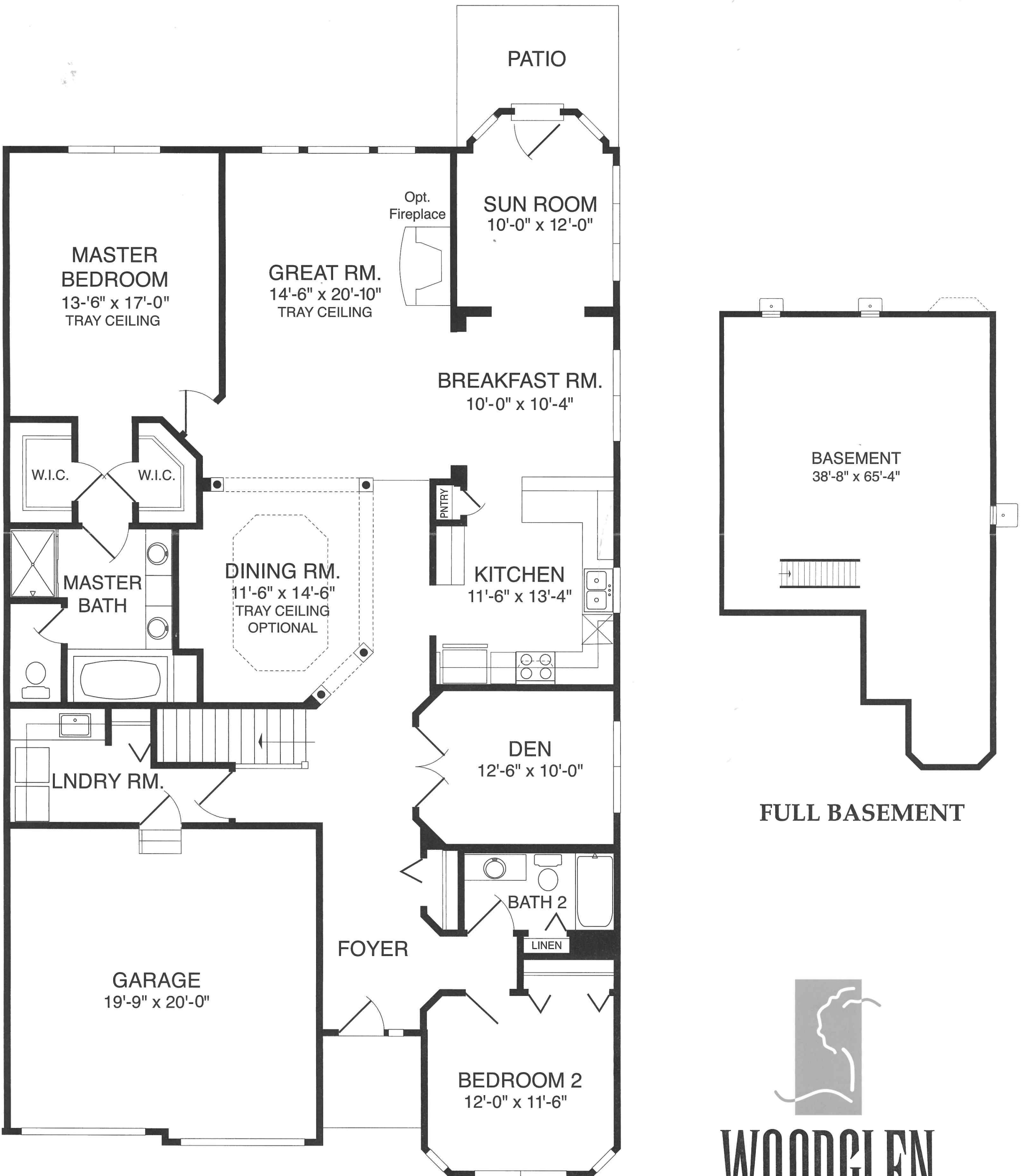


# ATTACHMENT (4): FLOOR PLAN

## THE BERKSHIRE

2,200 Sq. Ft.

A luxurious single level ranch home featuring 2 bedrooms plus den and corner sun room with french door to exterior patio or deck • 2 full baths • nine-foot ceilings spacious great room with tray ceiling • formal dining room with elegant columns and tray ceiling • gourmet kitchen including peninsula breakfast bar open to bright breakfast room • master bedroom suite with tray ceiling, 2 walk-in closets and luxurious master bath • large 1st floor laundry room with closet 2-car garage • full basement • exterior patio or deck



**ATTACHMENT (5):  
COMPARABLE IMAGE**





## TECHNICAL MEMORANDUM

---

**DATE:** May 24, 2023  
**TO:** Don Stevens, Woodland Glen Development, LLC  
**FROM:** Peter Reinhofer, P.E., V3 Companies  
**RE:** **Proposed Multifamily Residential Technical Memorandum**  
**87<sup>th</sup> Street Parcels, Darien Illinois**

---

V3 Companies has been retained by Woodland Glen Development, LLC to conduct a trip generation study for a proposed multifamily residential development located on currently-developed land west of the intersection of Lemont Road and Meadow Lane in Darien, Illinois. The site currently consists of three single family homes while the proposed redevelopment consists of 17 duplex buildings with a total of 34 dwelling units. Access to the site will be provided by two proposed driveways on 87<sup>th</sup> Street, a full access driveway and a right in/right out driveway. A site location map and conceptual site plan are attached.

The purpose of this Technical Memorandum is to evaluate the potential traffic impacts of the proposed multifamily residential redevelopment. This Technical Memorandum will evaluate the existing conditions around the site and estimate the number of vehicle trips generated by the proposed redevelopment.

### Project Conditions

*87<sup>th</sup> Street* is an east-west roadway that is classified as a minor arterial and provides two travel lanes in each direction separated by a striped median that provides left turn access to local streets and residential driveways. 87<sup>th</sup> Street has a sidewalk along the north side of the roadway, a posted speed limit of 40 mph, and is under DuPage County jurisdiction.

*Meadow Lane* is north-south local street east of the site with one travel lane in each direction. The posted speed limit on Meadow Lane is 25 mph and is under Village jurisdiction.

*Lemont Road* is a north-south roadway that is classified as a minor arterial with two travel lanes in each direction. Lemont Road has a posted speed limit of 40 mph and is under DuPage County jurisdiction.

The intersection of 87<sup>th</sup> Street and Meadow Lane is unsignalized with stop control along the southbound approach of Meadow Lane. The eastbound approach provides one left turn lane and two through lanes while the westbound approach provides one through lane and one shared through/right turn lane. The southbound approach provides one shared left turn/right turn lane.

The intersection of 87<sup>th</sup> Street and Lemont Road is a signalized intersection. The northbound and southbound approaches of Lemont Road consist of one left turn lane, one through lane, and one shared through/right turn lane. The eastbound approach provides one left turn lane and one shared through/right turn lane while the

westbound approach provides one left turn lane, one through lane, and one right turn lane. There is a marked crosswalk along the west side of the intersection with sidewalk approaches and pedestrian signals.

The existing intersection lane configurations are included in the Exhibits.

**Proposed Vehicle Trip Generation**

The proposed residential redevelopment consists of a residential complex of up to 34 dwelling units. Project traffic is estimated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. The following land use categories are used to determine project traffic:

Single-Family Attached Housing (ITE Land Use Code 215) – Single-family attached housing includes any single-family housing unit that shares a wall with an adjoining dwelling unit, whether the walls are for living space, a vehicle garage, or storage space. The database for this land use includes duplexes (defined as a single structure with two distinct dwelling units, typically joined side-by-side and each with at least one outside entrance) and townhouses/rowhouses (defined as a single structure with three or more distinct dwelling units, joined side-by-side in a row and each with an outside entrance).

The *Trip Generation Manual, 11th Edition* estimates trip generation for each land use based on a peak period and an independent variable. In this case, the applicable variable is dwelling units for multi-family housing. The weekday am and weekday pm peak hour trip generation is calculated using either the average rate or fitted curve equation when available. The am and pm peak hour trip generation equations are selected for weekday, peak hour of adjacent street traffic for one hour from 7:00 am to 9:00 am and 4:00 pm to 6:00 pm.

A summary of trip generation for the proposed development is provided in Table 1.

**Table 1: Trip Generation**

LUC	LAND USE	SIZE	Weekday AM Peak			Weekday PM Peak		
			In	Out	Total	In	Out	Total
215	Single-Family Attached Housing	34 Dwelling Unit	3	9	12	10	6	16

It should be noted that the three existing single-family homes also generate vehicle trips access 87<sup>th</sup> Street from the three residential driveways. The three homes generate three vehicle trips during the weekday am peak hour and four vehicle trips during the weekday pm peak hour. This results in the proposed redevelopment only adding nine trips and twelve trips during the weekday am peak hour and weekday pm peak hour, respectively.

**Access Evaluation**

The proposed development will be accessed through one full access driveway and one right in/right out driveway on 87<sup>th</sup> Street. It is our understanding that there are no other known planned roadway improvements or developments that will impact the existing traffic patterns in the study area. Based on the redevelopment

only adding nine and twelve vehicle trips during the weekday peak hours and 87<sup>th</sup> Street providing a two-way left turn lane at the full access driveway, it is anticipated that this redevelopment will have minimal traffic impact on the local roadway network.

### **Conclusion**

The purpose of this study is to evaluate the traffic generated by a proposed redevelopment of three existing single-family homes that are proposed to be developed with 17 duplex buildings with a total of 34 dwelling units. The site is located on 87<sup>th</sup> Street west of Meadow Lane. Access to the site will be provided by two proposed driveways on 87<sup>th</sup> Street, a full access driveway and a right in/right out driveway. 87<sup>th</sup> Street at the full access driveway includes a two-way left turn lane so left turn access is provided.

A trip generation evaluation was conducted, and based on the amount of vehicle trips generated by the proposed redevelopment, it is our professional opinion that the new traffic generated by the site will have minimal impact to the roadway network.

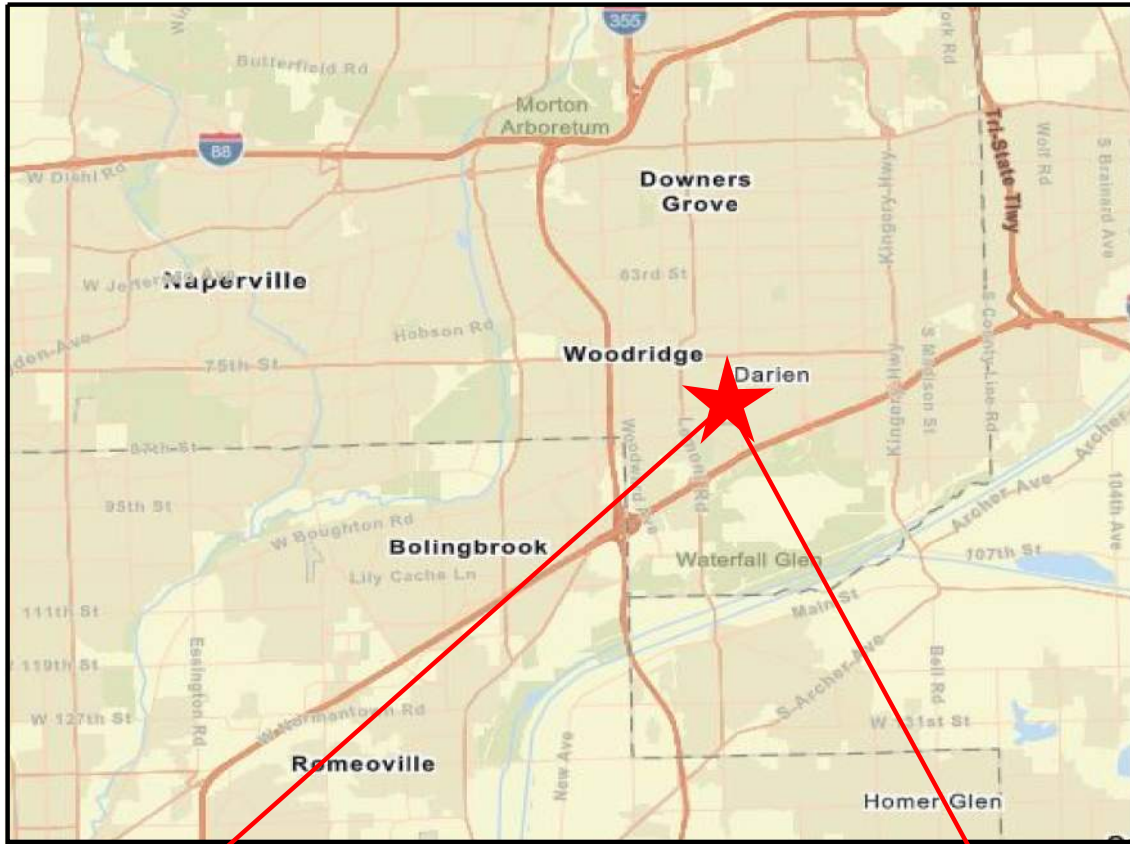
### **Exhibits**

Site Location Map

Conceptual Site Plan

Existing Lane Configuration

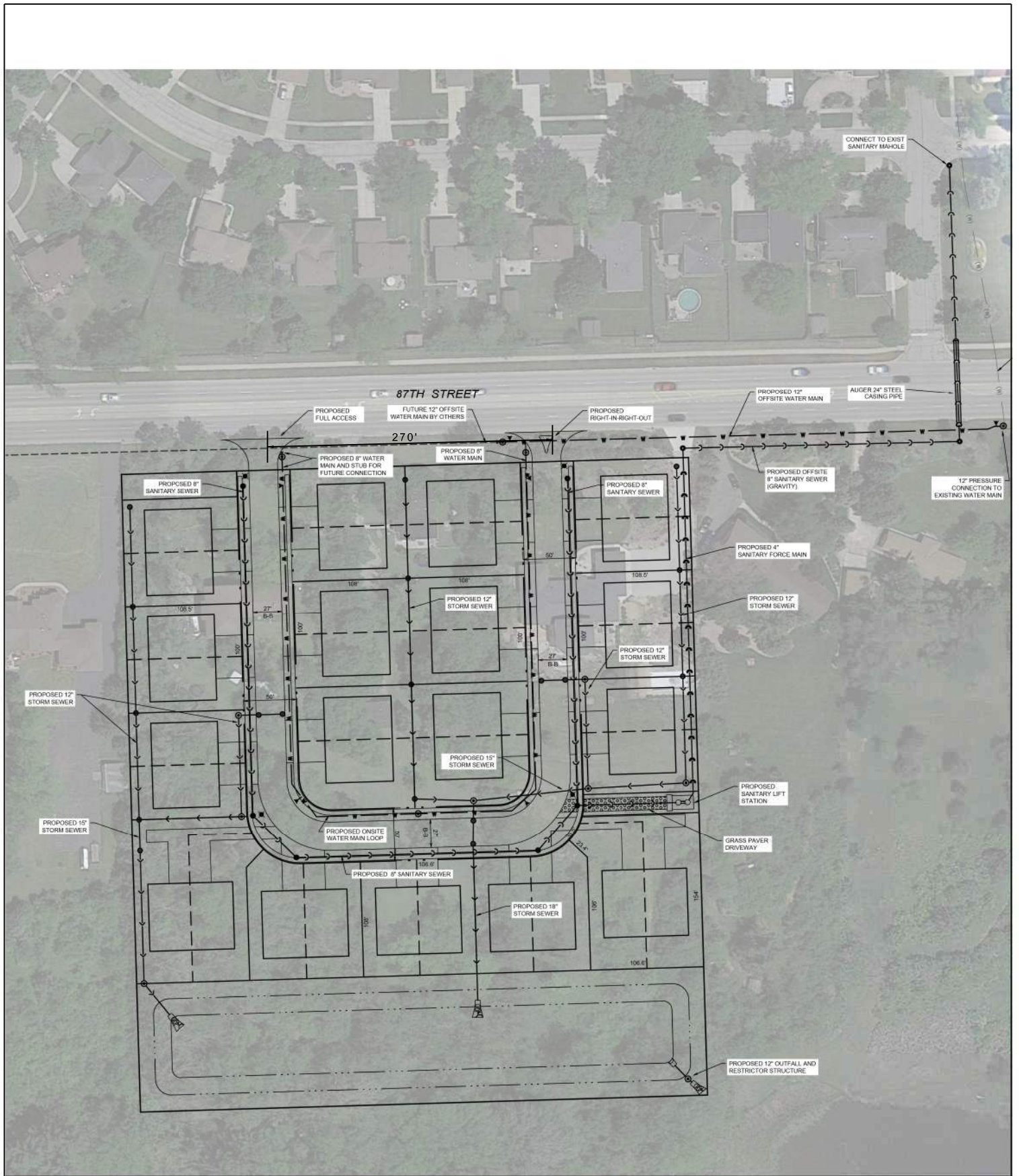




**MULTIFAMILY RESIDENTIAL  
DEVELOPMENT**

**FIGURE 1  
SITE LOCATION MAP**





NOT TO SCALE

# MULTIFAMILY RESIDENTIAL DEVELOPMENT

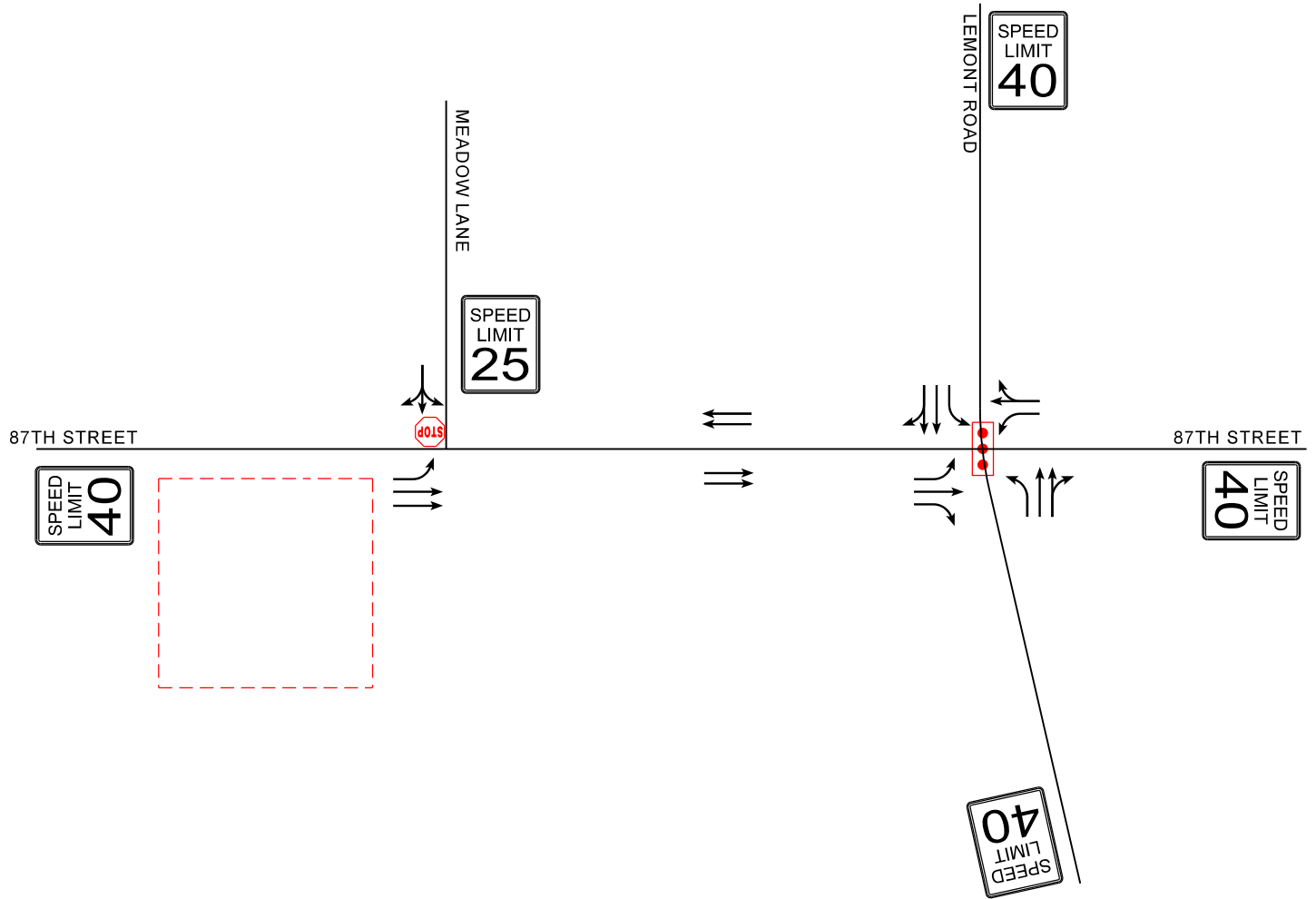
# FIGURE 2 CONCEPTUAL SITE PLAN



**LEGEND**

 - EXISTING TRAFFIC SIGNAL

 - EXISTING STOP SIGN



**MULTIFAMILY RESIDENTIAL  
DEVELOPMENT**

**EXISTING LANE CONFIGURATION**



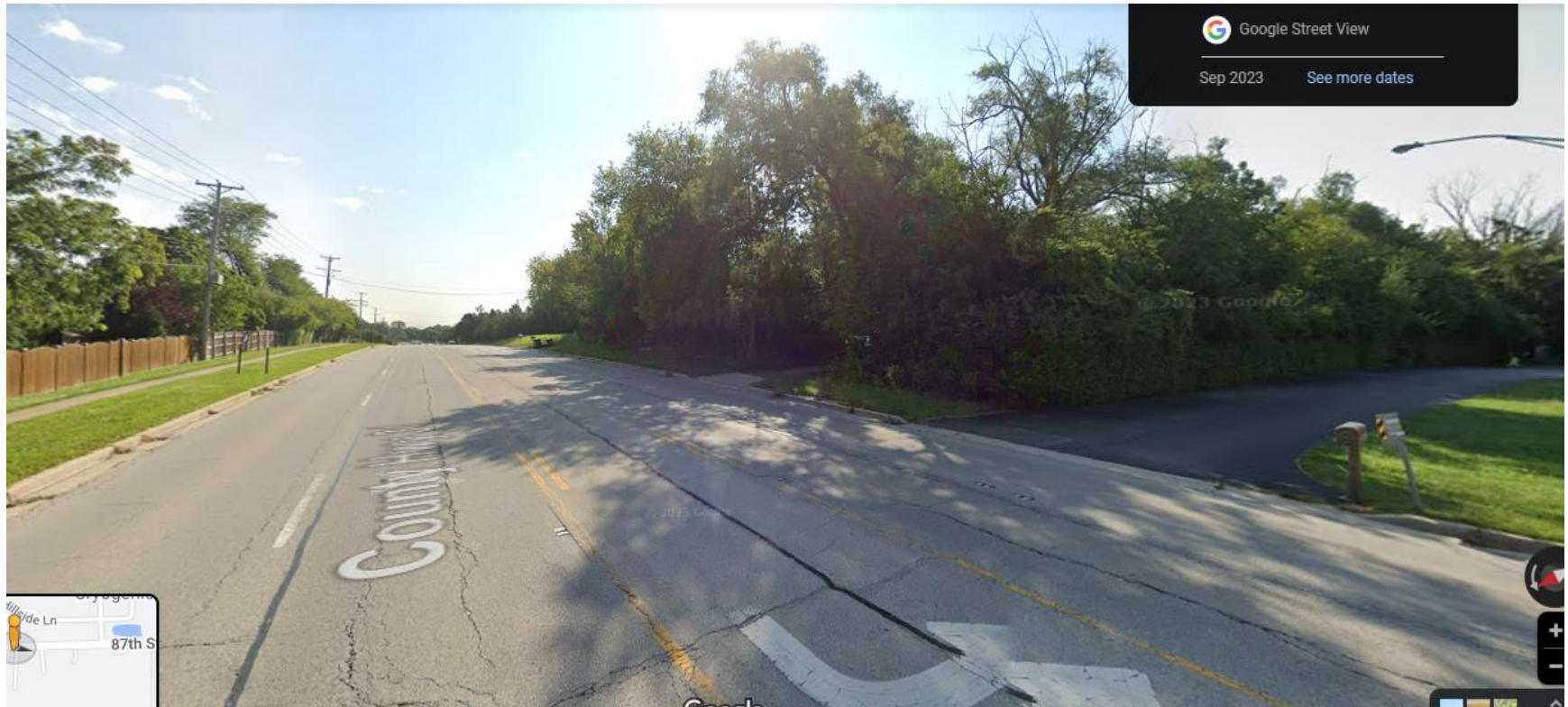
**ATTACHMENT (7): LOCATION MAP &  
AERIAL IMAGE**





# ATTACHMENT (8): STREET FRONTAGE IMAGES







# ATTACHMENT (9): CITY ENGINEER LETTER

**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

August 17, 2023

City of Darian  
1702 Plainfield Road  
Darien, Illinois

Attention: Jordan Yanke

Subject: Woodland Glen – Preliminary Plat  
(CBBEL Project No. 950323.H0255)

Dear: Jordan

As requested on July 28, 2023, we have reviewed the Preliminary Engineering Plans for the above project prepared by V3 and dated July 20, 2023. The proposed project consists of 17 duplex (two unit) homes. We have no objection to the City approving the Preliminary Plat and Preliminary Engineering Plans subject to the comments below. The following comments are submitted for your consideration, which will be addressed during Final Plat and Final Engineering stage of the approval process:

**General Development Comments**

1. It is noted that the Du Page County GIS database indicates wetlands on the property to the southeast and extending onto this property. The City is a partial waiver community under the Du Page County and therefore Du Page County review will be required. This has been acknowledged by the design engineer (V3).
2. Because 87<sup>th</sup> Street is a Du Page County highway, review and approval from DuDOT will be required for the work in the County right of way. This has been acknowledged by V3.
3. Du Page County Public Works will have to approve the proposed sanitary sewer and lift station. This has been acknowledged by V3.
4. A geotechnical report should be submitted. The Kane Du Page report indicates there may be very shallow groundwater on the property.
5. We presume that a homeowner’s association will be established to own and maintain the detention basin. Consideration should be given to establishing a special service area in the event the HOA does not adequately maintain the basin. V3 has stated that an HOA will be established to own and maintain the detention basin.
6. A Stormwater Submittal as detailed in the Du Page County Stormwater Ordinance will be required with the final engineering submittal. The design engineer is aware of this requirement.

**Preliminary Plat of Subdivision**

The Preliminary Plat has been reviewed for compliance with Section 5B-1-5 of the City Subdivision Regulations. The following comments are provided:



1. We note that the proposed street is shown to be dedicated a public right of way. Section 5B-1-7.B.6 provides for a 66 foot right of way with 30 foot pavement width. The proposed plan shows a 50 foot wide right of way and although the street width is not labeled, it scales to 27 feet from back of curb to back of curb (confirmed as 27' with dimensions on Preliminary Engineering plan). A variation would be required.
2. Section 5B-1-7.B.13 provides for street trees to be provided at a maximum 50 foot spacing. If a variation is granted for right of way width, consideration should be given to requiring a landscape easement for street trees in the 8 feet adjacent to the right of way on each side. A wider easement may be required along the frontages of buildings 9 – 11 as there is also a proposed sanitary sewer force main outside of the right of way for which Du Page County will require an easement. V3 has stated that this will be addressed on the final plat, and we suggest that it be noted in approval of the preliminary plat.
3. Section 5B-1-5-7.E.1 provides for Drainage and Utility Easements along the rear 10 feet and 6 feet along all side lot lines. Consideration should also be given to the location of private utilities (e.g. ComEd, NiCor, AT&T, Comcast). V3 has stated that this will be addressed on the final plat, and we suggest that it be noted in approval of the preliminary plat.
4. Section 5B-1-7-G.1.a provides for a 150 radius on Minor Streets. The proposed layout does not specify a centerline radius, but it is much less than 150 feet. In their response letter, V3 has stated that the radius is 53.5 feet. It is our understanding that a variance will be requested.

#### **Preliminary Engineering Plan**

1. Although the proposed retaining wall has a maximum height of 3 feet, consideration should be given to some type of barrier at the top of wall for safety. The design engineer has acknowledged the need for a barrier, which will be detailed on the final engineering plans.
2. All required outside agency permitting (Du Page Co., IEPA, etc.) will be completed during final engineering.

If you have any questions, please do not hesitate to contact me.

Sincerely,



Daniel L. Lynch, PE, CFM  
Head, Municipal Engineering Department

Cc Dan Gombac, City of Darien