
PRE-COUNCIL WORK SESSION — 7:00 P.M.

Agenda of the Regular Meeting
of the City Council of the
CITY OF DARIEN

June 20, 2016

7:30 P.M.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Declaration of Quorum
5. Questions, Comments and Announcements — **General (This is an opportunity for the public to make comments or ask questions on any issue – 3 Minute Limit Per Person, Additional Public Comment Period - Agenda Item 18)**
6. Approval of Minutes — [June 6, 2016](#)
7. Receiving of Communications
8. Mayor's Report
 - A. Eagle Scout Recognition – Thomas Bzdyk, Dean Driggers, Connor Haubenreiser, and Brian Witkowski
 - B. Consideration of a Motion to Approve the Appointment of [Jerry McDonald](#) to the Police Pension Board
 - C. Darien Chamber Update
9. City Clerk's Report
10. City Administrator's Report
11. Department Head Information/Questions
 - A. Police Department Monthly Report — [May 2016](#)
 - B. Municipal Services
12. Treasurer's Report
 - A. Warrant Number — [16-17-04](#)
13. Standing Committee Reports

14. Questions and Comments — **Agenda Related (This is an opportunity for the public to make comments or ask questions on any item on the Council’s Agenda – 3 Minute Limit Per Person)**
15. Old Business
16. Consent Agenda
 - A. Consideration of a Motion to Approve an Ordinance Approving a Variation to the Darien Zoning Ordinance (PZC 2016-07: [7722 Warwick Avenue](#))
 - B. Consideration of a Motion to Approve an Ordinance Approving a Final Plat of Subdivision and Variations to the Darien Zoning Ordinance – (PZC 2016-08: [7417 Cass Avenue](#))
17. New Business
 - A. Consideration of a Motion to Approve a Resolution Authorizing the Mayor to Enter into a [Water Main Easement Licensing Agreement with the DuPage County Forest Preserve District Adjacent to 7879 Lemont Road](#) Warehouse Development
 - B. Consideration of a Motion to Approve a [Final Site Plan Approval for 7879 Lemont Road-Office/Warehouse Building](#)
 - C. Consideration of a Motion to Approve a Resolution Authorizing a Private Property – Development [Storm Water Management Assistance Project for Portsmouth Condominium Association](#) – 8325 Portsmouth to Frontage Road with Groundskeeper Landscape Care in an Amount not to Exceed \$21,400
 - D. Consideration of a Motion to Approve [a Resolution Authorizing the Mayor to Accept a Proposal from Midwest Commercial Painting](#) for the Painting of the Interior and Exterior of the Old Lace School in an Amount not to Exceed \$8,885
 - E. Consideration of a Motion to Approve [a Resolution Authorizing the Mayor to Accept a Proposal from Belson](#) Outdoor Products for the Clock Tower, Located at Plainfield Road and Cass Avenue in an Amount not to Exceed \$8,082.47 for Three Concrete Benches, Two Concrete Bike Racks, and Three Trash Can Receptacles
 - F. Consideration of a Motion to Approve [a Resolution Authorizing the Mayor to Accept a Proposal from Architectural Bronze and Aluminum Corporation](#) for the Plaques in an Amount not to Exceed \$1,640
 - G. Consideration of a Motion to [Authorize Season Comfort Corp to Perform the Emergency Repairs to the Police Department HVAC System](#) in an Amount not to Exceed of \$7,250
18. Questions, Comments and Announcements — **General (This is an opportunity for the public to make comments or ask questions on any issue – 3 Minute Limit Per Person)**
19. Adjournment



A WORK SESSION WAS CALLED TO ORDER AT 7:00 P.M. BY MAYOR DAMIAN FOR THE PURPOSE OF REVIEWING ITEMS ON THE JUNE 6, 2016 AGENDA WITH THE CITY COUNCIL. THE WORK SESSION ADJOURNED AT 7:18 P.M.

Minutes of the Regular Meeting

of the City Council of the

CITY OF DARIEN

JUNE 6, 2016

7:30 P.M.

1. **CALL TO ORDER**

The regular meeting of the City Council of the City of Darien was called to order at 7:30 P.M. by Mayor Damian, who was gifted “Mayor for the Day” through the Rotary Club of Darien fundraiser, *TASTE OF ROUTE 66*.

2. **PLEDGE OF ALLEGIANCE**

Mayor Damian led the Council and audience in the Pledge of Allegiance.

3. **ROLL CALL** — The Roll Call of Aldermen by Clerk Ragona was as follows:

Present:	Tina Beilke	Joseph A. Marchese
	Thomas J. Belczak	Sylvia McIvor
	Thomas M. Chlystek	Ted V. Schauer
	Joseph A. Kenny	

Absent: None

Also in Attendance: Kathleen Moesle Weaver, Mayor
JoAnne E. Ragona, City Clerk
Michael J. Coren, City Treasurer
Bryon D. Vana, City Administrator
Gregory Thomas, Police Chief
Daniel Gombac, Director of Municipal Services

4. **DECLARATION OF A QUORUM** — There being seven aldermen present, Mayor Weaver declared a quorum.

5. **QUESTIONS, COMMENTS AND ANNOUNCEMENTS – GENERAL**

There were none.

6. **APPROVAL OF MINUTES** – May 16, 2016 City Council Meeting

It was moved by Alderman Schauer and seconded by Alderman Chlystek to approve the minutes of the City Council Meeting of May 16, 2016.

Roll Call: Ayes: Beilke, Belczak, Chlystek, Kenny, Marchese, Schauer

Abstain: McIvor

Nays: None

Absent: None

Results: Ayes 6 Nays 0, Abstain 1, Absent 0

MOTION DULY CARRIED

7. **RECEIVING OF COMMUNICATIONS**

Alderman Marchese received an email from Dan Hardman, resident of Sawmill Creek, regarding recycling electronics. Administrator Vana will contact current hauler for available options.

Alderman McIvor...

...received communication from a resident on Dartmouth Lane regarding the early morning construction on Manning Road. Director Gombac contacted the developer and responded to resident.

...commented about the flooding in front of Popeye's. Director Gombac is working with the property owner and DuPage County.

Alderman Kenny...

...received communication from residents Lisa Stella and Bill Lisy, 7100 block of Walden, about the flooding and upkeep of Birchwood Park. Director Gombac contacted the Park District requesting them to keep the slope box free of debris for improved water flow.

...received an email from Dolores and Jim Sennebogen, 1500 block of 73rd Street, about the professional and efficient manner the curbs were repaired and the street was resurfaced.

...inquired about the proposed easement between Brookhaven Plaza and Speedway. Director Gombac advised the ingress/egress is currently under review.

Mayor Weaver received a letter from David May, 1100 block of 69th Street, regarding decorating the downtown area during the holidays. Administrator Vana contacted Mr. May and explained future plans for Clock Tower Plaza at Cass Avenue and Plainfield Road.

8. **MAYOR'S REPORT**

A. CONSIDERATION OF A MOTION TO APPROVE THE APPOINTMENT OF BRYAN GAY TO THE PLANNING AND ZONING COMMISSION

It was moved by Alderman Marchese and seconded by Alderman Beilke to approve the motion as presented.

Roll Call: Ayes: Beilke, Belczak, Chlystek, Kenny, Marchese, McIvor, Schauer

Nays: None

Absent: None

Results: Ayes 7, Nays 0, Absent 0

MOTION DULY CARRIED

Clerk Ragona administered the Oath of Office to Bryan Gay. Commissioner Gay thanked the Council for the opportunity to serve on the Planning and Zoning Commission.

9. **CITY CLERK'S REPORT**

Clerk Ragona announced a Meet and Greet with Mayor Weaver will be held on Monday, June 20, 2016 at 6:00 P.M. at City Hall in the Conference Room.

10. **CITY ADMINISTRATOR'S REPORT**

There was no report.

Roll Call: Ayes: Beilke, Belczak, Chlystek, Kenny, Marchese, McIvor, Schauer

Nays: None

Absent: None

Results: Ayes 7, Nays 0, Absent 0

MOTION DULY CARRIED

13. **STANDING COMMITTEE REPORTS**

Administrative/Finance Committee – Chairman Schauer announced that the July 5, 2016 meeting has been cancelled. The next meeting of the Administrative/Finance Committee is scheduled for August 1, 2016 at 6:00 P.M.

Municipal Services Committee – Alderman Marchese advised the minutes of the April 27, 2016 meeting were approved and submitted to the Clerk’s Office. He announced the next meeting of the Municipal Services Committee is scheduled for June 27, 2016 at 6:30 P.M. Director Gombac advised that a Special Meeting may be scheduled for June 13, 2016.

Police Committee – Alderman McIvor advised the next meeting of the Police Committee is scheduled for June 20, 2016 at 6:00 P.M. in the Police Department Training Room.

14. **QUESTIONS AND COMMENTS – AGENDA RELATED**

Director Gombac provided the correct dollar amounts for Consent Agenda Items D & F.

15. **OLD BUSINESS**

There was no Old Business.

16. **CONSENT AGENDA**

It was moved by Alderman Schauer and seconded by Alderman McIvor to approve by Omnibus Vote the following items on the Consent Agenda:

A. CONSIDERATION OF A MOTION TO APPROVE:

- **THE ANNUAL FOURTH OF JULY PARADE ON MONDAY, JULY 4, 2016, BEGINNING AT 9:30 A.M., SPONSORED BY THE DARIEN LIONS CLUB AND**
- **AUTHORIZING THE POLICE DEPARTMENT TO ASSIST IN TRAFFIC CONTROL AND AUTHORIZING THE TEMPORARY CLOSURE OF STREETS FOR THE FOURTH OF JULY PARADE: FROM THE JEWEL PARKING LOT,**

NORTH ON CASS AVENUE TO 71ST STREET; EAST ON 71ST STREET TO CLARENDON HILLS ROAD; SOUTH ON CLARENDON HILLS ROAD TO HINSDALE SOUTH HIGH SCHOOL

- B. RESOLUTION NO. R-71-16** A RESOLUTION ACCEPTING A PROPOSAL FROM ASSOCIATED TECHNICAL SERVICES (ATS) FOR THE 2016 WATER LEAK SURVEY, IN THE AMOUNT OF \$9,472.32 FOR THE LEAK DETECTION PHASE AND A PER UNIT COST FOR THE LEAK LOCATION PHASE IN THE AMOUNT OF \$395.00 PER MAINLINE OR SERVICE LEAK, AND \$95.00 PER FIRE HYDRANT LEAK OR MAINLINE VALVE FOR A TOTAL AMOUNT NOT TO EXCEED \$15,000
- C. RESOLUTION NO. R-72-16** A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM SUPERIOR ROAD STRIPING IN AN AMOUNT NOT TO EXCEED \$13,000.00 FOR THE 2016 STREET STRIPING PROGRAM
- D. RESOLUTION NO. R-73-16** A RESOLUTION TO ENTER INTO A CONTRACT AGREEMENT WITH COMPASS MINERALS AMERICA, INC. FOR THE PURCHASE OF ROCK SALT IN AN AMOUNT NOT TO EXCEED \$191,759.10
- E. RESOLUTION NO. R-74-16** A RESOLUTION AUTHORIZING THE MAYOR THE MAYOR TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF DARIEN AND CENTER CASS SCHOOL DISTRICT #66 FOR ROCK SALT
- F. RESOLUTION NO. R-75-16** A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF DARIEN AND THE DARIEN PARK DISTRICT FOR ROCK SALT
- G. ORDINANCE NO. O-17-16** AN ORDINANCE APPROVING A VARIATION TO THE DARIEN ZONING ORDINANCE (PZC 2016-02: 7217 ELEANOR PLACE)
- H. ORDINANCE NO. O-18-16** AN ORDINANCE APPROVING A VARIATION TO THE DARIEN ZONING ORDINANCE (PZC 2016-03: 7730 BROOKHAVEN AVENUE)
- I. ORDINANCE NO. O-19-16** AN ORDINANCE APPROVING A VARIATION TO THE DARIEN ZONING ORDINANCE (PZC 2016-04: 2310 GREEN VALLEY ROAD)

- J. ORDINANCE NO. O-20-16 AN ORDINANCE APPROVING A VARIATION TO THE DARIEN ZONING ORDINANCE (PZC 2016-05: 702 PLAINFIELD ROAD)
- K. CONSIDERATION OF A MOTION AUTHORIZING THE PURCHASE OF AMMUNITION FROM: KIESLER'S POLICE SUPPLY IN THE AMOUNT OF \$11,980.84, RAY O'HERRON IN THE AMOUNT OF \$6,805.20, AND TASER INTERNATIONAL IN THE AMOUNT OF \$3,824.10
- L. CONSIDERATION OF A MOTIOIN APPROVING THE PURCHASE OF THREE (3) POLICE ADMINISTRATIVE VEHICLES FROM LANDMARK FORD IN THE AMOUNT OF \$58,440
- M. CONSIDERATION OF A MOTION APPROVING THE ELIMINATING THE POSITION OF CRIME ANALYST IN THE DARIEN POLICE DEPARTMENT

Roll Call: Ayes: Beilke, Belczak, Chlystek, Kenny, Marchese, McÍvor, Schauer
Nays: None
Absent: None

Results: Ayes 7, Nays 0, Absent 0
MOTION DULY CARRIED

17. **NEW BUSINESS**

- A. CONSIDERATION OF A MOTION TO APPROVE A RESOLUTION AUTHORIZING THE MAYOR AND CITY CLERK TO EXECUTE AN AMENDMENT TO THE CITY ADMINISTRATOR AGREEMENT BETWEEN THE CITY OF DARIEN AND BRYON D. VANA

It was moved by Alderman Schauer and seconded by Alderman Belczak to approve the motion as presented.

Aldermen Kenny and Beilke provided comments and history regarding this item.

RESOLUTION NO. R-76-16

A RESOLUTION AUTHORIZING THE MAYOR AND CITY CLERK TO EXECUTE AN AMENDMENT TO THE CITY ADMINISTRATOR AGREEMENT BETWEEN THE CITY OF DARIEN AND BRYON D. VANA

Roll Call: Ayes: Beilke, Belczak, Chlystek, Marchese, McIvor, Schauer

Nays: Kenny

Absent: None

Results: Ayes 6, Nays 1, Absent 0

MOTION DULY CARRIED

B. CONSIDERATION OF A MOTION TO APPROVE A RESOLUTION AUTHORIZING A PRIVATE PROPERTY-DEVELOPMENT STORM WATER MANAGEMENT ASSISTANCE PROJECT FOR 2988 DROVER LANE IN AN AMOUNT NOT TO EXCEED \$6,500

It was moved by Alderman Belczak and seconded by Alderman Beilke to approve the motion as presented.

Alderman McIvor commented she did not agree with City funding private property improvements (New Business Items B, C, & D), which benefit only six residents; she prefers money be used to beautify City. Aldermen Marchese, Chlystek, and Beilke expressed why they supported the Rear-Yard Drainage Projects. Alderman Kenny concurred with Alderman McIvor.

RESOLUTION NO. R-77-16

A RESOLUTION AUTHORIZING A PRIVATE PROPERTY-DEVELOPMENT STORM WATER MANAGEMENT ASSISTANCE PROJECT FOR 2988 DROVER LANE IN AN AMOUNT NOT TO EXCEED \$6,500

Roll Call: Ayes: Beilke, Belczak, Chlystek, Marchese, Schauer

Nays: Kenny, McIvor

Absent: None

Results: Ayes 5, Nays 2, Absent 0

MOTION DULY CARRIED

C. CONSIDERATION OF A MOTION TO APPROVE A RESOLUTION AUTHORIZING A PRIVATE PROPERTY-DEVELOPMENT STORM

WATER MANAGEMENT ASSISTANCE PROJECT FOR 705, 709 AND 713 70TH STREET AND 714 MAPLE LANE IN AN AMOUNT NOT TO EXCEED \$16,152

It was moved by Alderman Belczak and seconded by Alderman Beilke to approve the motion as presented.

RESOLUTION NO. R-78-16

A RESOLUTION AUTHORIZING A PRIVATE PROPERTY-DEVELOPMENT STORM WATER MANAGEMENT ASSISTANCE PROJECT FOR 705, 709 AND 713 70TH STREET AND 714 MAPLE LANE IN AN AMOUNT NOT TO EXCEED \$16,152

Roll Call: Ayes: Beilke, Belczak, Chlystek, Marchese, Schauer

Nays: Kenny, McIvor

Absent: None

Results: Ayes 5, Nays 2, Absent 0

MOTION DULY CARRIED

D. CONSIDERATION OF A MOTION TO APPROVE A RESOLUTION AUTHORIZING A PRIVATE PROPERTY-DEVELOPMENT STORM WATER MANAGEMENT ASSISTANCE PROJECT FOR 125 HOLLY AVENUE IN AN AMOUNT NOT TO EXCEED \$18,500

It was moved by Alderman Belczak and seconded by Alderman Schauer to approve the motion as presented.

RESOLUTION NO. R-79-16

A RESOLUTION AUTHORIZING A PRIVATE PROPERTY-DEVELOPMENT STORM WATER MANAGEMENT ASSISTANCE PROJECT FOR 125 HOLLY AVENUE IN AN AMOUNT NOT TO EXCEED \$18,500

Roll Call: Ayes: Beilke, Belczak, Chlystek, Marchese, Schauer
Nays: Kenny, McIvor
Absent: None

Results: Ayes 5, Nays 2, Absent 0,
MOTION DULY CARRIED

E. CONSIDERATION OF A MOTION TO APPROVE A RESOLUTION ACCEPTING A STORM SEWER EASEMENT FROM THE FOLLOWING PROPERTY: 125 HOLLY AVENUE – PIN 09-23-313-007

It was moved by Alderman Schauer and seconded by Alderman Belczak to approve the motion as presented.

Alderman McIvor inquired if there was a financial obligation on part of the City. Director Gombac advised there would be none.

RESOLUTION NO. R-80-16

A RESOLUTION AUTHORIZING ACCEPTING A STORM SEWER EASEMENT FROM THE FOLLOWING PROPERTY: 125 HOLLY AVENUE – PIN 09-23-313-007

Roll Call: Ayes: Beilke, Belczak, Chlystek, Kenny, Marchese, McIvor, Schauer
Nays: None
Absent: None

Results: Ayes 7, Nays 0, Absent 0,
MOTION DULY CARRIED

18. **QUESTIONS, COMMENTS AND ANNOUNCEMENTS – GENERAL**

Alderman Marchese reminded Council to complete the application to participate in the 4th of July Darien Lions Club parade.

19. **ADJOURNMENT**

There being no further business to come before the City Council, it was moved by Alderman McIvor and seconded by Alderman Schauer to adjourn the City Council meeting.

VIA VOICE VOTE – MOTION DULY CARRIED

The City Council meeting adjourned at 8:24 P.M.

Mayor

City Clerk

All supporting documentation and report originals of these minutes are on file in the Office of the City Clerk under File Number 6-06-16. Minutes of 6-06-16 CCM.



CITY OF DARIEN

MEMO

TO: City Council

FROM: Mayor Kathleen Moesle Weaver

DATE: June 16, 2016

SUBJECT: APPOINTMENT TO THE POLICE PENSION BOARD

I am recommending, for your consent, the appointment of [Jerry McDonald](#) to the Police Pension Board.

He has expressed an interest in serving the City in this capacity.

If you have any questions, please do not hesitate to contact me.

mg



CITY OF DARIEN

APPLICATION FOR SERVICE ON CITY COMMISSION

Are you interested in serving on a City Commission? If so, please complete this application and return it to the Darien City Hall, 1702 Plainfield Road, Darien, Illinois 60561.

Date 5-15-16

Name JERRY McDONALD

Address 8384 CRAMER LANE (Phone) _____

How long have you lived in Darien? SINCE 1987

Where did you live prior to coming to Darien? LAGRANGE PARK

If Married, Spouse's Name SUSAN Children (include ages) _____

Education: B.S. IN ACCY. If you attended college, what was your major? Accounting

Present Employer SEMI RETIRED Phone _____

Address _____ Fax _____

Nature of Occupation I HAVE OVER 35 YEARS OF ACCOUNTING AND BUSINESS

Other Employment Experience _____

Interests and Hobbies? GOLF, going to CHICAGO SPORTS.

Of what local organizations have you been a member? (Please include offices held, if any) I WAS ON THE CENTER CASS #66 SCHOOL BOARD, TREASURER FOR A YEAR

Have you served the community in any other way? I WAS A PAID ON CALL FIREFIGHTER/EMT FOR SEVERAL YEARS AND I WAS THE PRESIDENT OF OUR HOME OWNER ASSOCIATION WHEN WE ANNEXED IN TO DARIEN
Time you would have available to serve the City ALOT

In which of the following areas would you like to serve? (Please feel free to check more than one.)

- Environmental Committee
- Citizen of The Year Committee
- Planning And Zoning Commission
- Fire & Police Commission
- Police Pension Board
- Other (Please specify) _____

What are your qualifications for this position(s)?

35+ YEARS OF ACCOUNTING IN SEVERAL INDUSTRIES
AND BEING A PAID ON CALL FIGHTER/EMT FOR
28 YEARS.

Why are you interested in this position(s)?

I WANT TO CONTRIBUTE TO DARIEN'S SUCCESS.

What can you contribute to this board(s) or commissions(s)?

MY TIME AND KNOWLEDGE.

JM Donald 5/5/16

Darien Police Department

Monthly Report

May 2016



RETIREMENTS

Officer Liska retired from the police department after serving Darien honorably for over 24 years. Officer Marina Liska was hired as a peace officer on January 23, 1992 and retired March 20, 2016. During her career Officer Liska was assigned as a D.A.R.E Officer, Juvenile Officer, Evidence Technician, Elderly Service Officer and Bike Patrol Officer. She at times was assigned as the Officer in Charge.

Officer Liska received various types of recognitions. Recognition included five commendations ranging from finding a lost dog and returning the dog to the family, to apprehending burglars to dealing with an armed subject. She received several letters of thanks from other law enforcement agencies for her assistance with law enforcement endeavors. Officer Liska also received numerous letters of appreciation from citizens expressing gratitude for her professionalism, support and dedication.

Deputy Chief John Cooper submitted his letter of retirement effective July 28th after dedicating 28 years of service to Darien. John served as a patrol officer, detective, sergeant, and deputy chief for the last 12 years. In addition he served as a range officer, SWAT team member, juvenile officer, bike patrol officer, and FTO. John has a bachelor's degree from Benedictine University and attended Staff and Command at Northwestern University.

John has earned the Top Shooter from FBI Chicago Training Facility, a Commendation for the handling of a dangerous domestic dispute with shots fired, Achievement of Excellence for DUI enforcement from the Alliance Against Intoxicated Motorists (AAIM) and numerous thank you letters from citizens and other agencies for his assistance.

STRATEGIC PLAN CONTINUED

Last report I described some of what has been accomplished – evaluations, leadership development, changes to the building and audits. I also discussed items of importance for 2016 and 2017 including a complete review of all systems and equipment against a concept of return on investment. Items relating to equipment, and the building were discussed. In addition and more importantly items relative to operations and administration were discussed.

Some of these items have been put into action and the Police Committee/City Council will be asked to approve a new LASERFICHE electronic document management solution for the police department. This will allow the department to organize and replace paper documents stored in file cabinets with electronic files stored on the server. These documents will be able to be found and brought up within seconds instead of searching for files by hand. We will also request the purchase of a new drying locker and fuming hood for proper processing of evidence.

ORGANIZATIONAL STRUCTURE

The departure of Deputy Chief Cooper has created an opportunity to discuss the best means of organizing the police department to provide the best service to the community. I am recommending the elimination of the deputy chief position as well as the lieutenant position and replacing these positions with two commanders. There are a number of reasons for this change. The change flattens the hierarchy of the police department. Currently we are very vertical with the Chief, Deputy Chief, and lieutenant. Two commanders will report to the chief with one in charge of administration and one in charge of operations. Two commanders will distribute the span of control and duties and responsibilities more equitably. Changing to two commanders allows for better succession planning with two equally important yet vastly different positions of commander than a single deputy chief. A deputy chief generally runs the daily operation of a police department and is focused more internally. A deputy chief gives the chief the opportunity to look more globally at planning for the agency and looking externally, working with the

community. However, with such a small agency I have not seen the strong need for the separation of deputy chief and chief functions. A lieutenant is typically a tested civil service middle management position. I am proposing that commanders will serve as both the executive and middle manager positions. I do not believe that the work load and supervision of personnel require a chief with the span of control of one, a deputy chief with the span of control of one and a lieutenant with a span of control of six. Two commanders are more cost effective than a deputy chief and lieutenant. One commander would be in charge of the Operations Division (patrol, investigations, etc.) and the second Administration Division (records, property, etc.). The commanders would report directly to the chief.

TERRORISM PREPAREDNESS

Individuals have so many emotions after such a tragic event as the recent shooting in Orlando. People are sad to hear of the news and the senseless loss of life. It brings up the issue of prevention and preparedness for what to do when it occurs.

It also elicits many conflicting issues for discussion. For example, gun control, how do we keep guns out of the hands of the mentally disturbed, violent criminals, unsupervised youth and temporary mental restricted (e.g. drunk individual) while at the same time honoring the Second Amendment to the Constitution and freedoms we appreciate in this great country? The shooting brings up the issue of the fourth amendment where we love the ability to be free from governmental intrusion into our personal lives. We want to be free from the government listening into our conversations, looking at our e-mails, text messaging, etc., yet we want the government to know who the terrorists are and deal with them appropriately. We typically do not make laws against associations, though there are exceptions such as RICO. We generally make laws restricting behavior. This at times is problematic as we have to have a behavior – shooting of innocent people at a nightclub before we intervene. We try to separate religion from our governance allowing for freedom of religion, guaranteed by the First Amendment to the Constitution. However, what do we do when culture collides with the constitution? There are many other topics and to discuss the issues in any type of real meaningful manner in this letter. There are two issues that I do want to discuss. One, our (Darien Police) readiness for such an occurrence and two, what you can do in such a situation.

If, heaven forbid, you are confronted with a situation where there is an active shooter remember the phrase “Run – Hide – Fight.” Run if you can, hide if you cannot and fight if you must. During a situation it is going to be extremely chaotic the best thing to do is not panic (much easier to say sitting at my desk typing at a computer than being shot at) and quickly get away from the shooter. Distance is one of the best methods of defense against someone with a gun. The farther away from the shooter the better sight picture the shooter has to have in order to hit a target. With a “target rich environment” and in close proximity (such as the club in Orlando) the shooter does not have to be overly accurate – you need to create distance. If you find yourself in a situation where creating distance is not an option, then hide. Preferably somewhere that provides some level of ballistic protection. Most structures such as homes only have drywall and limited framing. For most ammunition this is only concealment and not ballistic protection. In some commercial construction the walls maybe concrete that would provide protection. If running wasn’t an option and there is nowhere to hide the last option (not much of an option) is to fight. This typically brings up the discussion, fight with what? Fight with anything you have including overwhelming force. Look for opportunities such as times the shooter is reloading, scanning for victims, etc.

I discussed our (Darien Police Department) preparedness for an active shooter shortly after the shooting that had occurred at the Walmart in 2015. Though the Walmart situation was not an active shooter it was a criminal inside a populated area firing a weapon. We consistently train on such endeavors especially at schools. We have surrounding jurisdictions that will help with the response.

Calls for Service

May 2016

Citizen Generated Events

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>1 Year</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>1 Year</u> <u>Change</u>
Beat 1	267	197	35.53%	977	935	10.98%
Beat 2	168	160	5.00%	812	772	10.98%
Beat 3	267	249	7.23%	1183	1173	10.98%
Total	702	606	15.84%	2972	2880	3.19%
Shift 1	296	256	15.63%	1313	1299	1.08%
Shift 2	330	287	14.98%	1346	1308	2.91%
Shift 3	88	75	17.33%	364	328	0.00%
Total	714	618	15.53%	3023	2935	3.00%

Top Ten Incidents

Station Report	54	63	-14.3%	318	319	-0.3%
Suspicious Vehicle	33	23	43.5%	133	82	62.2%
Accident (PD Only)	31	20	55.0%	143	133	7.5%
Burglar Alarm	31	25	24.0%	133	137	-2.9%
Well-Being Check	29	0	0.0%	89	42	111.9%
Domestic - No Weapon	28	17	64.7%	99	74	33.8%
Suspicious Person	28	19	47.4%	85	78	9.0%
Agency Assist	24	25	-4.0%	82	84	-2.4%
Vehicle Lock-Out	22	31	-29.0%	153	132	15.9%
Parking Complaint	21	26	-19.2%	67	71	-5.6%

Officer Initiated Events

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>1 Year %</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>1 Year %</u> <u>Change</u>
Building Checks	8	15	-46.7%			
Business Checks	321	392	-18.1%			
Community Engagement	12	36	-66.7%			
Directed Patrol	566	1629	-65.3%			
House Checks	91	110	-17.3%			
Park Duties	21	63	-66.7%			
Parking Enforcement	37	47	-21.3%			
School Presentations	1	1	0.0%			
School Visitation	22	38	-42.1%			
Suspicious Person	16	13	23.1%			
Suspicious Vehicle	23	12	91.7%			
Traffic Enforcement	110	143	-23.1%			
Traffic Stops	208	165	26.1%			

*** Year to Date figures not available.

Crime Report

May 2016

Part 1 Offenses

	<u>May 2016</u>	<u>May 2015</u>	<u>May 2011</u>	<u>1 Year Change</u>	<u>5 Year Change</u>	<u>YTD 2016</u>	<u>YTD 2015</u>	<u>YTD 2011</u>	<u>1 Year Change</u>	<u>5 Year Change</u>
Murder	0	0	0	0.0%	0.0%	0	0	1	0.0%	-100.0%
Sexual Assault	0	0	1	0.0%	-100.0%	0	2	1	-100.0%	-100.0%
Robbery	0	0	0	0.0%	0.0%	0	1	3	-100.0%	-100.0%
Assault & Battery	0	1	0	-100.0%	0.0%	0	1	1	-100.0%	-100.0%
Violent Crime	0	1	1	-100.0%	-100.0%	0	4	6	-100.0%	-100.0%
Burglary	4	0	8	0.0%	-50.0%	16	4	26	300.0%	-38.5%
Theft	20	41	35	-51.2%	-42.9%	83	135	135	-38.5%	-38.5%
Motor Vehicle Theft	1	3	2	-66.7%	-50.0%	4	6	4	-33.3%	0.0%
Arson	0	4	5	-100.0%	-100.0%	0	11	8	-100.0%	-100.0%
Property Crime	25	48	50	-47.9%	-50.0%	103	156	173	-34.0%	-40.5%
Part One Crime	25	49	51	-49.0%	-51.0%	103	160	179	-35.6%	-42.5%

Part 2 Offenses

	<u>May 2016</u>	<u>May 2015</u>	<u>May 2011</u>	<u>1 Year Change</u>	<u>5 Year Change</u>	<u>YTD 2016</u>	<u>YTD 2015</u>	<u>YTD 2011</u>	<u>1 Year Change</u>	<u>5 Year Change</u>
Assault	0	2	0	-100.0%	0.0%	2	4	2	-50.0%	0.0%
Battery	3	3	0	0.0%	0.0%	10	13	14	-23.1%	-28.6%
Domestic Battery	8	3	0	166.7%	0.0%	29	41	22	-29.3%	31.8%
Criminal Damage	3	7	0	-57.1%	0.0%	11	27	16	-59.3%	-31.3%
Criminal Trespass	0	2	0	-100.0%	0.0%	1	2	9	-50.0%	-88.9%
Disorderly Conduct	2	8	0	-75.0%	0.0%	18	25	17	-28.0%	5.9%

Part Two Offenses

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>May</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>YTD</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>
Assault	0	0	0	0.0%	0.0%	0	1	0	-100.0%	0.0%
Battery	0	0	0	0.0%	0.0%	0	2	3	-100.0%	-100.0%
Domestic Battery	1	3	0	-66.7%	0.0%	6	13	6	-53.8%	0.0%
Criminal Damage	0	0	0	0.0%	0.0%	9	2	4	350.0%	125.0%
Criminal Trespass	0	0	0	0.0%	0.0%	5	0	0	0.0%	0.0%
Disorderly Conduct	0	0	0	0.0%	0.0%	4	5	5	-20.0%	-20.0%
Alcohol Possession	3	0	0	0.0%	0.0%	6	3	0	100.0%	0.0%
Alcohol Consumption	0	1	0	-100.0%	0.0%	2	4	6	-50.0%	-66.7%

Arrest Report

May 2016

Part One Offenses

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>May</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>YTD</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>
Murder	0	0	0	0.0%	0.0%	0	0	0	0.0%	0.0%
Sexual Assault	0	0	0	0.0%	0.0%	0	0	0	0.0%	0.0%
Robbery	0	0	0	0.0%	0.0%	0	0	2	0.0%	-100.0%
Assault & Battery	0	0	0	0.0%	0.0%	2	0	0	0.0%	0.0%
Violent Crime	0	0	0	0.0%	0.0%	2	0	2	0.0%	0.0%
Burglary	0	0	0	0.0%	0.0%	0	0	7	0.0%	-100.0%
Theft	0	7	3	-100.0%	-100.0%	30	56	35	-46.4%	-14.3%
Motor Vehicle Theft	0	0	0	0.0%	0.0%	0	1	0	-100.0%	0.0%
Arson	0	0	0	0.0%	0.0%	0	4	10	-100.0%	-100.0%
Property Crime	0	7	3	-100.0%	-100.0%	30	61	52	-50.8%	-42.3%
Part One Crime	0	7	3	-100.0%	-100.0%	32	61	54	-47.5%	-40.7%

Part Two Offenses

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>May</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>YTD</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>
Assault	0	0	0	0.0%	0.0%	0	1	0	-100.0%	0.0%
Battery	0	0	0	0.0%	0.0%	0	2	3	-100.0%	-100.0%
Domestic Battery	1	3	0	-66.7%	0.0%	6	13	6	-53.8%	0.0%
Criminal Damage	0	0	0	0.0%	0.0%	9	2	4	350.0%	125.0%
Criminal Trespass	0	0	0	0.0%	0.0%	5	0	0	0.0%	0.0%
Disorderly Conduct	0	0	0	0.0%	0.0%	4	5	5	-20.0%	-20.0%
Alcohol Possession	3	0	0	0.0%	0.0%	6	3	0	100.0%	0.0%
Alcohol Consumption	0	1	0	-100.0%	0.0%	2	4	6	-50.0%	-66.7%

Arrest Report

May 2016

Drug Related Offenses

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>May</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>YTD</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>
Cannabis	0	2	7	100.0%	100.0%	23	24	20	-4.2%	15.0%
Controlled				-	-					
Substance	0	2	1	100.0%	100.0%	2	4	2	-50.0%	0.0%
Hypodermic				-	-					
Syringes	0	0	0	0.0%	0.0%	0	2	0	100.0%	0.0%
Drug Paraphernalia	3	0	1	0.0%	200.0%	8	11	9	-27.3%	-11.1%
Methamphetamine	0	0	0	0.0%	0.0%	0	0	0	0.0%	0.0%

Adult / Juvenile

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>May</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>YTD</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>
Adult	23	0	0	0.0%	0.0%	203	215	276	-5.6%	-26.4%
Juvenile	5	0	0	0.0%	0.0%	35	37	71	-5.4%	-50.7%

Warrants

	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>May</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>YTD</u> <u>2011</u>	<u>1 Year</u> <u>Change</u>	<u>5 Year</u> <u>Change</u>
Served	2	0	0	0.0%	0.0%	21	11	17	90.9%	23.5%

Traffic Report

May-16

Accidents						
Type of Accident	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>%</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>%</u> <u>Change</u>
Property Damage	49	39	25.64%			
Personal Injury	6	5	20.00%			
Fatal	0	0	0.00%			
Total	55	44	25.00%			
Fatalities	0	0	0.00%			
Hit & Run	5	3	66.67%			
Private Property	24	21	14.29%			
DUI	0	0	0.00%			

Enforcement						
	<u>May</u> <u>2016</u>	<u>May</u> <u>2015</u>	<u>%</u> <u>Change</u>	<u>YTD</u> <u>2016</u>	<u>YTD</u> <u>2015</u>	<u>%</u> <u>Change</u>
Traffic Stops	261	198	31.82%			0.00%
Non-Moving Warning	48	44	9.09%			0.00%
Non-Moving Citation	55	51	7.84%			0.00%
Total Non-Moving	103	95	8.42%			0.00%
Moving Warning	82	47	74.47%			0.00%
Moving Citation	76	55	38.18%			0.00%
Total Moving	158	102	54.90%			0.00%
Total Warning	130	91	42.86%			0.00%
Total Citations	131	106	23.58%			0.00%
DUI Arrests	0	0	0.00%			0.00%

Note: Yearly data is unavailable.



CITY OF DARIEN

**EXPENDITURE APPROVAL LIST
FOR CITY COUNCIL MEETING ON
June 20, 2016**

Approval is hereby given to have the City Treasurer of Darien, Illinois pay to the officers, employees, independent contractors, vendors, and other providers of goods and services in the indicated amounts as set forth.

A summary indicating the source of funds used to pay the above is as follows:

General Fund			\$243,381.56
Water Fund			\$452,501.96
Motor Fuel Tax Fund			\$184.08
Water Depreciation Fund			\$12,557.50
Impact Fee Agency Fund			
Debt Service Fund			
Capital Improvement Fund			\$238,963.39
Special Service Area Tax Fund			
Federal Equitable Sharing Fund			\$1,714.85
		Subtotal:	<u>\$949,303.34</u>
General Fund Payroll	06/09/16	\$	252,397.01
Water Fund Payroll	06/09/16	\$	25,679.91
		Subtotal:	<u>\$ 278,076.92</u>
Total to be Approved by City Council:			<u>\$ 1,227,380.26</u>

Approvals:

Kathleen Moesle Weaver, Mayor

JoAnne E. Ragona, City Clerk

Michael J. Coren, Treasurer

Bryon D. Vana, City Administrator

CITY OF DARIEN
Expenditure Journal
General Fund
Administration
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
ALPINE BANQUETS, INC.	DEPOSIT FOR 2017 CITIZEN OF THE YEAR BANQUET	AP062016	4239	Public Relations	500.00
BEST QUALITY CLEANING, INC.	JUNE 2016 CLEANING SERVICE	AP062016	4345	Janitorial Service	1,342.50
CALL ONE, INC.	MONTHLY TELEPHONE BILL FOR CITY AND SERVICE CALL	AP062016	4267	Telephone	5,285.53
CHAPMAN & CUTLER	2015 REFUNDING BOND SERIES	AP062016	4325	Consulting/Professional	8,000.00
CHASE CARD SERVICES	FRAUDULENT CHARGE-BODYBUILDI...	AP062016	4232	Miscellaneous Expenditures	(126.57)
CHASE CARD SERVICES	FRAUDULENT CHARGE-BODYBUILDI...	AP062016	4232	Miscellaneous Expenditures	(119.97)
CHASE CARD SERVICES	LEXUS BREAK IN-WINDSHIELD REPLACEMENT	AP062016	4273	Vehicle (Gas and Oil)	334.48
CHRONICLE MEDIA LLC	7417 CASS-PUBLIC HEARING NOTICE	AP062016	4221	Legal Notices	155.00
CHRONICLE MEDIA LLC	7722 WARWICK (Variation) and 7417 Cass (Buona Beef Variation	AP062016	4221	Legal Notices	95.00
EMERALD MARKETING INC.	NEIGHBORS MAGAZINE MAY/JUN 2016	AP062016	4239	Public Relations	3,145.27
EMERALD MARKETING INC.	NEIGHBORS MAGAZINE JUL/AUG 2016	AP062016	4239	Public Relations	3,145.27
GOV TEMP USA LLC	CITY PLANNER PLACEMENT FEE	AP062016	4330	Contingency	2,857.50
MUNIWEB	WEBSITE MAINTENANCE -MAY 2016	AP062016	4325	Consulting/Professional	429.50
OFFICE DEPOT	ENVELOPES-PENS FOR CITY HALL	AP062016	4253	Supplies - Office	14.10
OFFICE DEPOT	PAPER FOR CITY HALL	AP062016	4253	Supplies - Office	8.30

CITY OF DARIEN
Expenditure Journal
General Fund
Administration
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
OFFICE DEPOT	PICTURE FRAMES AND OFFICE SUPPLIES-CITY HALL	AP062016	4253	Supplies - Office	91.09
ROSENTHAL, MURPHEY, COBLENTZ	LEGAL FEES FOR MAY 2016	AP062016	4219	Liability Insurance	1,820.58
SIKICH PROFESSIONAL SERVICES	FYE16 AUDIT	AP062016	4320	Audit	1,750.00
UNLIMITED GRAPHIX, INC.	4 TONERS FOR PW-ADMIN AND MAILING LABELS	AP062016	4235	Printing and Forms	222.50
UNLIMITED GRAPHIX, INC.	4 TONERS FOR PW-ADMIN AND MAILING LABELS	AP062016	4253	Supplies - Office	183.12
VERIZON WIRELESS	MONTHLY WIRELESS BILL	AP062016	4267	Telephone	269.45
WILLOWBROOK FORD, INC.	REPAIRS	AP062016	4273	Vehicle (Gas and Oil)	<u>348.98</u>
				Total Administration	29,751.63

CITY OF DARIEN
Expenditure Journal
General Fund
City Council
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
ILLINOIS STATE POLICE	FINGERPRINTING	AP062016	4205	Boards and Commissions	29.75
				Total City Council	29.75

**CITY OF DARIEN
Expenditure Journal
General Fund
Community Development
From 6/7/2016 Through 6/20/2016**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
CHRISTOPHER B. BURKE ENG, LTD	PLAN REVIEW-PATIO RESTAURANT PARKING LOT EXPANSION	AP062016	4328	Const/Prof Reimbursable	254.50
CHRISTOPHER B. BURKE ENG, LTD	PLAN REVIEW-7879 LEMONT	AP062016	4328	Const/Prof Reimbursable	711.75
DON MORRIS ARCHITECTS P.C.	PLAN REVIEWS AND INSPECTIONS FOR MAY 2016	AP062016	4325	Consulting/Professional	4,615.00
DON MORRIS ARCHITECTS P.C.	PLAN REVIEWS AND INSPECTIONS FOR MAY 2016	AP062016	4328	Const/Prof Reimbursable	2,755.00
LEGION SERVICE PROVIDER	LAWN MAINTENANCE	AP062016	4328	Const/Prof Reimbursable	425.00
OFFICE DEPOT	HYDRANT METER BOXES	AP062016	4253	Supplies - Office	53.49
				Total Community Development	8,814.74

CITY OF DARIEN
Expenditure Journal
General Fund
Public Works, Streets
From 6/7/2016 Through 6/20/2016

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
AUTOMATED LOGIC	HVAC SERVICE CONTRACT FOR POLICE DEPT	AP062016	4223	Maintenance - Building	373.75
CASE LOTS, INC.	PAPER PRODUCTS	AP062016	4223	Maintenance - Building	275.30
CENTRAL SOD FARMS	STREET RESTORATIONS	AP062016	4257	Supplies - Other	79.00
CENTRAL SOD FARMS	SOD FOR RESTORATION	AP062016	4257	Supplies - Other	79.50
CHASE CARD SERVICES	INTERNET SERVICE FOR PUBLIC WORKS	AP062016	4267	Telephone	104.85
CINTAS #769	PUBLIC WORKS MATT RENTAL	AP062016	4223	Maintenance - Building	29.35
CINTAS #769	POLICE DEPT MATT RENTAL	AP062016	4223	Maintenance - Building	34.38
CINTAS #769	CITY HALL MATT RENTAL	AP062016	4223	Maintenance - Building	28.04
CINTAS #769	PUBLIC WORKS MATT RENTAL	AP062016	4223	Maintenance - Building	14.68
CINTAS #769	POLICE DEPT MATT RENTAL	AP062016	4223	Maintenance - Building	34.38
CINTAS #769	CITY HALL MATT RENTAL	AP062016	4223	Maintenance - Building	28.04
CINTAS FIRST AID AND SAFETY	FIRST AID	AP062016	4219	Liability Insurance	68.45
CINTAS FIRST AID AND SAFETY	FIRST AID BOX- (4-29-16)	AP062016	4219	Liability Insurance	155.65
CINTAS FIRST AID AND SAFETY	FIRST AID	AP062016	4219	Liability Insurance	106.46
CLARKE ENVIRONMENTAL MOSQUITO	MOSQUITO MANAGEMENT SERVICE - JUNE 2016	AP062016	4365	Mosquito Abatement	10,221.75
COM ED	STREET LIGHTS	AP062016	4359	Street Light Oper & Maint.	70.27
COM ED	75TH ADAMS -STREET LIGHTS	AP062016	4359	Street Light Oper & Maint.	1,640.11
COM ED	STREET LIGHTS	AP062016	4359	Street Light Oper & Maint.	400.66
CUSTOM PRODUCTS CORPORATION	SPEED LIMIT SIGNS	AP062016	4257	Supplies - Other	2,839.20
DUPAGE TOPSOIL, INC.	BEHIND CURB RESTORATIONS	AP062016	4257	Supplies - Other	640.00
DUPAGE TOPSOIL, INC.	TOPSOIL PICKED UP	AP062016	4257	Supplies - Other	340.00
DYNEGEY ENERGY SERVICES	ENERGY-STREET LIGHTS	AP062016	4359	Street Light Oper & Maint.	1,457.13

CITY OF DARIEN
Expenditure Journal
General Fund
Public Works, Streets
From 6/7/2016 Through 6/20/2016

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
FACTORY CLEANING EQUIPMENT INC	PUBLIC WORKS SWEEPER	AP062016	4225	Maintenance - Equipment	3,300.00
FLEETPRIDE	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	29.30
FLEETPRIDE	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	29.30
FORESTRY SUPPLIERS, INC.	TREE SUPPLIES	AP062016	4350	Forestry	173.92
FREEWAY FORD-STERLING TRUCK	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	26.30
GENE'S TIRE SERVICE, INC.	FLAT TIRE REPAIR/PATCHES	AP062016	4225	Maintenance - Equipment	37.74
GENE'S TIRE SERVICE, INC.	REPAIR A FLAT	AP062016	4225	Maintenance - Equipment	20.00
GENE'S TIRE SERVICE, INC.	24 INCH TUBES	AP062016	4225	Maintenance - Equipment	21.80
GENE'S TIRE SERVICE, INC.	TRAC GARD	AP062016	4225	Maintenance - Equipment	30.60
HD SUPPLY WATERWORKS, LTD	REGENCY GROVE DRAINAGE PROJECT	AP062016	4374	Drainage Projects	1,904.00
HOME DEPOT	BUILDING SUPPLIES	AP062016	4223	Maintenance - Building	258.13
HOME DEPOT	MECHANIC SUPPLIES	AP062016	4229	Maintenance - Vehicles	33.94
HOME DEPOT	MAILBOX SUPPLIES	AP062016	4257	Supplies - Other	439.39
HOME DEPOT	MECHANIC SUPPLIES, MAILBOXES, TOOLS BUILDING SUPPLIES	AP062016-2	4223	Maintenance - Building	258.13
HOME DEPOT	MECHANIC SUPPLIES, MAILBOXES, TOOLS BUILDING SUPPLIES	AP062016-2	4229	Maintenance - Vehicles	33.94
HOME DEPOT	MECHANIC SUPPLIES, MAILBOXES, TOOLS BUILDING SUPPLIES	AP062016-2	4257	Supplies - Other	439.39
HOME DEPOT	CHECK CORRECTIONS	APCREDITS 062016	4223	Maintenance - Building	(258.13)
HOME DEPOT	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(33.94)
HOME DEPOT	CHECK CORRECTIONS	APCREDITS 062016	4257	Supplies - Other	(439.39)
HOME LANDSCAPE MATERIALS	ENTRANCE SIGNS	AP062016	4223	Maintenance - Building	703.56

CITY OF DARIEN
Expenditure Journal
General Fund
Public Works, Streets
From 6/7/2016 Through 6/20/2016

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
HOMER TREE CARE, INC.	914 IRONWOOD -TREE/BUSH REMOVAL	AP062016	4374	Drainage Projects	1,775.00
HOMER TREE CARE, INC.	TREE REMOVED-7556 WAKEFIELD	AP062016	4375	Tree Trim/Removal	434.75
ILL CENTRAL SWEEPING SERVICE	STREET SWEEPING	AP062016	4373	Street Sweeping	6,413.50
JSN CONTRATORS SUPPLY	MARKING PAINT, GLASSES, GLOVES	AP062016	4219	Liability Insurance	225.42
JSN CONTRATORS SUPPLY	MARKING PAINT, GLASSES, GLOVES	AP062016	4257	Supplies - Other	520.50
KIN-KO ACE	SUPPLIES	AP062016	4257	Supplies - Other	5.99
KIN-KO ACE	SUPPLIES	AP062016	4257	Supplies - Other	6.49
MANSFIELD OIL COMPANY	DIESEL FOR PD AND CH GENERATORS	AP062016	4223	Maintenance - Building	229.11
MARTIN IMPLEMENT SALES, INC.	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4225	Maintenance - Equipment	726.06
MARTIN IMPLEMENT SALES, INC.	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4225	Maintenance - Equipment	149.52
MARTIN IMPLEMENT SALES, INC.	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4225	Maintenance - Equipment	51.19
MARTIN IMPLEMENT SALES, INC.	REPAIR PART FOR KABOTA	AP062016	4225	Maintenance - Equipment	14.87
MARTIN IMPLEMENT SALES, INC.	REPAIR PART FOR KABOTA	AP062016	4225	Maintenance - Equipment	12.95
MARTIN IMPLEMENT SALES, INC.	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4225	Maintenance - Equipment	61.15
McMASTER-CARR	EYE WASH STATION	AP062016	4219	Liability Insurance	133.41
McMASTER-CARR	MATERIALS FOR SIGNS	AP062016	4257	Supplies - Other	31.49
METROPOLITAN INDUSTRIES, INC.	SUMP PUMPS FOR POLICE DEPT	AP062016	4223	Maintenance - Building	955.50
NICOR GAS	PUBLIC WORKS SHOP	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	252.67
NORWALK TANK	IRONWOOD-PERF PIPE	AP062016	4325	Consulting/Professional	2,416.32
O'REILLY AUTOMOTIVE, INC.	PUBLIC WORKS UNIT	AP062016	4229	Maintenance - Vehicles	2.99
O'REILLY AUTOMOTIVE, INC.	PUBLIC WORKS UNIT	AP062016	4229	Maintenance - Vehicles	52.23

CITY OF DARIEN
Expenditure Journal
General Fund
Public Works, Streets
From 6/7/2016 Through 6/20/2016

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
OCCUPATIONAL HEALTH CENTERS	PRE-EMPLOYMENT SCREENING-SUMMER HELPERS	AP062016	4219	Liability Insurance	108.00
OCCUPATIONAL HEALTH CENTERS	PRE-EMPLOYMENT SCREENING-SUMMER HELPERS (1)	AP062016	4219	Liability Insurance	54.00
OCCUPATIONAL HEALTH CENTERS	PRE-EMPLOYMENT SCREENING-SUMMER HELPERS (2)	AP062016	4219	Liability Insurance	108.00
OFFICE DEPOT	FYE17 MFT STAMPS	AP062016	4253	Supplies - Office	53.98
ORKIN LLC	MAY 17 2016 SERVICE	AP062016	4223	Maintenance - Building	78.00
ORKIN LLC	JUNE DOS FOR POLICE DEPT	AP062016	4223	Maintenance - Building	78.00
PATTEN INDUSTRIES, INC.	ENDLOADER WITH FORKS AND HANDLING ARM	AP062016	4815	Equipment	147,500.00
RAGS ELECTRIC	WASH BAY-DISCONNECT AND REPLACE TO MEET CODE	AP062016	4223	Maintenance - Building	328.49
RIC MAR INDUSTRIES, INC.	SHOP SUPPLIES	AP062016	4225	Maintenance - Equipment	346.33
RIC MAR INDUSTRIES, INC.	MECHANIC SUPPLIES-CARB CLEANER	AP062016	4229	Maintenance - Vehicles	75.72
SOLAR TRAFFIC SYSTEMS	30 INCH SOLAR STOP SIGN (Fairview-Manning)	AP062016	4257	Supplies - Other	1,100.75
TRAFFIC CONTROL AND PROTECTION	STREET SIGNS	AP062016	4257	Supplies - Other	154.90
UNIQUE PRODUCTS & SERVICE CORP	TISSUE AND ROLL TOWELS-POLICE DEPT	AP062016	4223	Maintenance - Building	80.80
US GAS	OXYGEN & ACETYLENE TANK RENTAL	AP062016	4257	Supplies - Other	40.00
VERIZON WIRELESS	MONTHLY WIRELESS BILL	AP062016	4267	Telephone	422.16
WESTOWN AUTO SUPPLY COMPANY	UNIT 501	AP062016	4229	Maintenance - Vehicles	130.00
WESTOWN AUTO SUPPLY COMPANY	UNIT 501	AP062016	4229	Maintenance - Vehicles	0.70

CITY OF DARIEN
Expenditure Journal
General Fund
Public Works, Streets
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
WILLOWBROOK FORD, INC.	REPAIRS	AP062016	4229	Maintenance - Vehicles	167.95
WILLOWBROOK FORD, INC.	REPAIRS	AP062016	4229	Maintenance - Vehicles	<u>20.57</u>
				Total Public Works, Streets	191,348.39

CITY OF DARIEN
Expenditure Journal
General Fund
Police Department
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	667.99
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	63.56
ADVANTAGE CHEVROLET	AP062016	AP062016	4229	Maintenance - Vehicles	494.40
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	137.86
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	209.30
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	281.03
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	15.89
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	667.99
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	209.30
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	281.03
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	15.89
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	63.56
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	494.40
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	12.42
ADVANTAGE CHEVROLET	REPAIR PARTS FOR FLEET VEHICLES	AP062016-2	4229	Maintenance - Vehicles	137.86
ADVANTAGE CHEVROLET	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(63.56)
ADVANTAGE CHEVROLET	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(15.89)
ADVANTAGE CHEVROLET	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(137.86)

CITY OF DARIEN
Expenditure Journal
General Fund
Police Department
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
ADVANTAGE CHEVROLET	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(494.40)
ADVANTAGE CHEVROLET	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(281.03)
ADVANTAGE CHEVROLET	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(667.99)
ADVANTAGE CHEVROLET	CHECK CORRECTIONS	APCREDITS 062016	4229	Maintenance - Vehicles	(209.30)
B & B JOINT VENTURE	ADMIN TOW JUDGE -MAY 2016	AP062016	4219	Liability Insurance	150.00
CARQUEST AUTO PARTS STORES	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	74.52
CARQUEST AUTO PARTS STORES	REPAIR PARTS FOR FLEET VEHICLES	AP062016	4229	Maintenance - Vehicles	1,099.62
CHASE CARD SERVICES	STAPLES-DETECTIVES THUMBDRIVES	AP062016	4217	Investigation and Equipment	117.20
CHASE CARD SERVICES	FLASHDRIVES FOR DETECTIVES	AP062016	4217	Investigation and Equipment	21.39
CHASE CARD SERVICES	FLASHDRIVES FOR DETECTIVES	AP062016	4217	Investigation and Equipment	42.14
CHASE CARD SERVICES	DETECTIVES INTERNET SEARCHES	AP062016	4217	Investigation and Equipment	291.25
CHASE CARD SERVICES	PORTABLE RADIOS AND BELT CLIPS	AP062016	4225	Maintenance - Equipment	273.24
CHASE CARD SERVICES	PARTS FOR SQUADS	AP062016	4229	Maintenance - Vehicles	9.17
CHASE CARD SERVICES	SHIPPING FEE	AP062016	4233	Postage/Mailings	6.45
CHASE CARD SERVICES	OFFICE SUPPLIES FOR POLICE DEPT	AP062016	4253	Supplies - Office	17.26
CHASE CARD SERVICES	KEY FOR SQUAD 15	AP062016	4253	Supplies - Office	6.10
CHASE CARD SERVICES	2016 CONFERENCE FOR CHIEF THOMAS	AP062016	4265	Travel/Meetings	350.00
CHASE CARD SERVICES	OFFICER LISKA RETIREMENT CAKE	AP062016	4265	Travel/Meetings	45.99
CHASE CARD SERVICES	INTERNET SERVICE FOR POLICE DEPT	AP062016	4267	Telephone	149.85

CITY OF DARIEN
Expenditure Journal
General Fund
Police Department
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
CHRISTINE CHARKEWYCZ	PROSECUTION FEES FOR MAY 2016	AP062016	4219	Liability Insurance	1,000.00
COLLEGE OF DU PAGE	HELLMANN #331 -EVIDENCE PROPERTY COURSE	AP062016	4263	Training and Education	95.00
GOLD SHIELD DETECTIVE AGENCY	BACKGROUND INVESTIGATION -JEREMY SCHNEIDER	AP062016	4205	Boards and Commissions	984.30
JUST TIRES	2012 TAHOE ALIGNMENT	AP062016	4229	Maintenance - Vehicles	57.00
JUST TIRES	2012 TAHOE WHEEL ALIGNMENT	AP062016	4229	Maintenance - Vehicles	57.00
KING CAR WASH	SQUAD CAR WASHES	AP062016	4229	Maintenance - Vehicles	282.00
LEADS ONLINE	INVESTIGATION SYSTEM-SERVICE PACKAGE RENEWAL	AP062016	4217	Investigation and Equipment	2,238.00
NICOR GAS	NICOR-POLICE DEPT	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	193.91
PARTNERS & PAWS VETERINARY	K-9 VETERINARY BILL	AP062016	4225	Maintenance - Equipment	610.81
PUBLIC SAFETY DIRECT	K-9 UNIT - LICENSE PLATE LIGHT	AP062016	4229	Maintenance - Vehicles	104.35
PUBLIC SAFETY DIRECT	UNIT #11 - LICENSE PLATE LIGHT	AP062016	4229	Maintenance - Vehicles	150.00
RAY O'HERRON CO. INC.	THOMAS #300 -SHIRTS	AP062016	4269	Uniforms	106.50
RAY O'HERRON CO. INC.	PICCOLI #319 -SHIRTS	AP062016	4269	Uniforms	75.99
RAY O'HERRON CO. INC.	JUMP #314 -GLOCK	AP062016	4269	Uniforms	363.00
RAY O'HERRON CO. INC.	MILAZZO #311 -ARMOR SKIN	AP062016	4269	Uniforms	82.98
RAY O'HERRON CO. INC.	NORTON #334- VEST CARRIER	AP062016	4269	Uniforms	233.00
RAY O'HERRON CO. INC.	HRUBY #302- RADIO HOLDER AND DUTY BELT	AP062016	4269	Uniforms	88.97
STAPLES BUSINESS ADVANTAGE	CD SLEEVES FOR DETECTIVES	AP062016	4217	Investigation and Equipment	70.89
STAPLES BUSINESS ADVANTAGE	TONER FOR DETECTIVES COPIER	AP062016	4253	Supplies - Office	98.58

**CITY OF DARIEN
Expenditure Journal
General Fund
Police Department
From 6/7/2016 Through 6/20/2016**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
STAPLES BUSINESS ADVANTAGE	TONER FOR DETECTIVES PRINTER	AP062016	4253	Supplies - Office	161.09
STEVEN LISS	SGT LISS #315 GLOCK MAGAZINE SPRINGS AND EXTENDER	AP062016	4269	Uniforms	47.60
ULINE	EVIDENCE SUPPLIES -STORAGE BOXES	AP062016	4217	Investigation and Equipment	203.35
VERIZON WIRELESS	MONTHLY WIRELESS BILL	AP062016	4267	Telephone	1,596.10
				Total Police Department	13,437.05
				Total General Fund	243,381.56

CITY OF DARIEN
Expenditure Journal
Water Fund
Public Works, Water
From 6/7/2016 Through 6/20/2016

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
BEST QUALITY CLEANING, INC.	JUNE 2016 CLEANING SERVICE	AP062016	4223	Maintenance - Building	447.50
CASE LOTS, INC.	PAPER PRODUCTS	AP062016	4223	Maintenance - Building	275.30
CINTAS #769	PUBLIC WORKS MATT RENTAL	AP062016	4223	Maintenance - Building	14.67
CINTAS FIRST AID AND SAFETY	FIRST AID	AP062016	4219	Liability Insurance	106.46
CINTAS FIRST AID AND SAFETY	FIRST AID BOX- (4-29-16)	AP062016	4219	Liability Insurance	155.65
CINTAS FIRST AID AND SAFETY	FIRST AID	AP062016	4219	Liability Insurance	68.46
COM ED	75th STREET PUMPING STATION	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	61.08
DUPAGE COUNTY PUBLIC WORKS	BILLING AND METER READING	AP062016	4336	Data Processing	26,566.70
DUPAGE TOPSOIL, INC.	WATER DIS-RESTORATIONS	AP062016	4231	Maintenance - Water System	340.00
DUPAGE WATER COMMISSION	WATER PURCHASE	AP062016	4340	DuPage Water Commission	412,233.60
DYNEGEY ENERGY SERVICES	ENERGY-PLANT #4	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	80.94
DYNEGEY ENERGY SERVICES	ENERGY- PLANT #2	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	1,670.09
DYNEGEY ENERGY SERVICES	ENERGY -WELL #7	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	29.41
DYNEGEY ENERGY SERVICES	ENERGY-PLANT #5	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	116.92
DYNEGEY ENERGY SERVICES	ENERGY -67th STREET WATER TOWER	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	225.10
FACTORY CLEANING EQUIPMENT INC	PUBLIC WORKS SWEEPER	AP062016	4225	Maintenance - Equipment	3,300.00
HAWKINS INC	CHLORINE GAS	AP062016	4255	Supplies - Operation	266.50
HD SUPPLY WATERWORKS, LTD	3 INCH METER FOR HOTEL ON FRONTAGE	AP062016	4880	Water Meter Purchases	1,620.00
HOME DEPOT	BUILDING SUPPLIES	AP062016	4223	Maintenance - Building	69.28
HOME DEPOT	TOOLS	AP062016	4231	Maintenance - Water System	420.83
HOME DEPOT	MECHANIC SUPPLIES, MAILBOXES, TOOLS BUILDING SUPPLIES	AP062016-2	4223	Maintenance - Building	65.16
HOME DEPOT	MECHANIC SUPPLIES, MAILBOXES, TOOLS BUILDING SUPPLIES	AP062016-2	4231	Maintenance - Water System	418.24

CITY OF DARIEN
Expenditure Journal
Water Fund
Public Works, Water
From 6/7/2016 Through 6/20/2016

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
HOME DEPOT	CHECK CORRECTIONS	APCREDITS 062016	4223	Maintenance - Building	(69.28)
HOME DEPOT	CHECK CORRECTIONS	APCREDITS 062016	4231	Maintenance - Water System	(420.83)
JSN CONTRATORS SUPPLY	MARKING PAINT, GLASSES, GLOVES	AP062016	4219	Liability Insurance	225.42
JSN CONTRATORS SUPPLY	MARKING PAINT, GLASSES, GLOVES	AP062016	4231	Maintenance - Water System	580.50
KEVIN CASSIDY	RPZ LICENSE RENEWAL	AP062016	4263	Training and Education	20.00
NICOR GAS	PLANT #2	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	46.82
NICOR GAS	PLANT #5	AP062016	4271	Utilities (Elec,Gas,Wtr,Sewer)	51.83
RAGS ELECTRIC	WASH BAY-DISCONNECT AND REPLACE TO MEET CODE	AP062016	4223	Maintenance - Building	328.49
SIKICH PROFESSIONAL SERVICES	FYE16 AUDIT	AP062016	4320	Audit	1,750.00
US GAS	OXYGEN & ACETYLENE TANK RENTAL	AP062016	4257	Supplies - Other	40.00
VERIZON WIRELESS	MONTHLY WIRELESS BILL	AP062016	4267	Telephone	422.16
WATER RESOURCES, INC.	1 1/2 INCH METERS (2)	AP062016	4880	Water Meter Purchases	950.00
WILLOWBROOK FORD, INC.	REPAIRS	AP062016	4225	Maintenance - Equipment	24.96
				Total Public Works, Water	452,501.96
				Total Water Fund	452,501.96

CITY OF DARIEN
Expenditure Journal
Motor Fuel Tax
MFT Expenses
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
K-FIVE CONSTRUCTION	ASPHALT FOR PATCHING	AP062016	4245	Road Material	184.08
				Total MFT Expenses	184.08
				Total Motor Fuel Tax	184.08

CITY OF DARIEN
Expenditure Journal
Water Depreciation Fund
Depreciation Expenses
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
HBK WATER METER SERVICE	BENCH TESTS-16 METERS AND 1 HYDRANT METER	AP062016	4390	Capital Improv-Infrastructure	557.50
HD SUPPLY WATERWORKS, LTD	96 WATER METERS	AP062016	4390	Capital Improv-Infrastructure	<u>12,000.00</u>
				Total Depreciation Expenses	<u>12,557.50</u>
				Total Water Depreciation Fund	12,557.50

CITY OF DARIEN
Expenditure Journal
Federal Equitable Sharing Fund
Drug Forfeiture Expenditures
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
EMERGENCY VEHICLE TECHNOLOGIES	UPFITTING OF F-150 TACTICAL VEHICLE	AP062016	4213	Dues and Subscriptions	1,714.85
				Total Drug Forfeiture Expenditures	1,714.85
				Total Federal Equitable Sharing Fund	1,714.85

CITY OF DARIEN
Expenditure Journal
Capital Improvement Fund
Capital Fund Expenditures
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
DAS ENTERPRISES, INC.	PEONY HAULING 5-26-16	AP062016	4376	Ditch Projects	1,505.44
DAS ENTERPRISES, INC.	PEONY HAULING 5-27-16	AP062016	4376	Ditch Projects	1,649.80
DAS ENTERPRISES, INC.	PEONY HAULING 5-31-16	AP062016	4376	Ditch Projects	1,649.80
DAS ENTERPRISES, INC.	PEONY HAULING 6-1-16	AP062016	4376	Ditch Projects	2,495.32
DAS ENTERPRISES, INC.	PEONY HAULING 6-2-16	AP062016	4376	Ditch Projects	1,649.80
DAS ENTERPRISES, INC.	PEONY HAULING 6-3-16	AP062016	4376	Ditch Projects	1,649.80
DAS ENTERPRISES, INC.	72ND STREET HAULING 6-6-16	AP062016	4376	Ditch Projects	1,649.80
DAS ENTERPRISES, INC.	72ND STREET HAULING 6-7-16	AP062016	4376	Ditch Projects	1,649.80
DAS ENTERPRISES, INC.	72N STREET HAULING 6-8-16	AP062016	4376	Ditch Projects	2,474.70
DAS ENTERPRISES, INC.	72ND STREET HAULING 6-9-16	AP062016	4376	Ditch Projects	1,649.80
DAS ENTERPRISES, INC.	72ND STREET HAULING 6-10-16	AP062016	4376	Ditch Projects	2,557.19
ELMHURST CHICAGO STONE COMPANY	STONE FOR PEONY PROJECT	AP062016	4376	Ditch Projects	2,649.53
GRADE A	75TH STREET LANDSCAPE	AP062016	4390	Capital Improv-Infrastructure	18,928.57
HD SUPPLY WATERWORKS, LTD	SUNRISE PROJECT	AP062016	4376	Ditch Projects	9,643.44
HOMER TREE CARE, INC.	TREE REMOVAL	AP062016	4376	Ditch Projects	4,500.00
LAKESHORE LIGHTING	75TH STREET LIGHTING	AP062016	4390	Capital Improv-Infrastructure	74,752.00
LAKESHORE LIGHTING	75TH STREET LIGHTING	AP062016	4390	Capital Improv-Infrastructure	4,800.00
NORWALK TANK	YARD DRAIN WITH GRATE-SUNRISE	AP062016	4376	Ditch Projects	1,761.20
PAVEMENT SYSTEMS	72ND STREET-APRON/ROAD REPAIRS	AP062016	4376	Ditch Projects	41,237.00
SCORPIO CONSTRUCTION GROUP	72ND STREET (5-11-16 thru 6-8-16)	AP062016	4376	Ditch Projects	35,325.00
THE HIDDEN GARDENS	75TH STREET LANDSCAPE PROJECT	AP062016	4390	Capital Improv-Infrastructure	22,841.40
WILLCO GREEN LLC	PEONY DITCH DUMPING	AP062016	4376	Ditch Projects	<u>1,944.00</u>

CITY OF DARIEN
Expenditure Journal
Capital Improvement Fund
Capital Fund Expenditures
From 6/7/2016 Through 6/20/2016

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
				Total Capital Fund Expenditures	238,963.39
				Total Capital Improvement Fund	238,963.39
Report Total					949,303.34

ACCOUNT SUMMARY

Previous Balance	\$6,050.56
Payment, Credits	-\$6,297.10
Purchases	+\$1,769.37
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
New Balance	\$1,522.83

Opening/Closing Date	05/03/16 - 06/02/16
Credit Limit	\$50,000
Available Credit	\$48,477
Cash Access Line	\$10,000
Available for Cash	\$10,000
Past Due Amount	\$0.00
Balance over the Credit Limit	\$0.00

PAYMENT INFORMATION

New Balance	\$1,522.8
Payment Due Date	06/24/1
Minimum Payment Due	\$304.0

Late Payment Warning: If we do not receive your minimum payment by the due date, you may have to pay up to a \$39 late fee.
Minimum Payment Warning: Enroll in Auto-Pay and avoid missing a payment. To enroll, call the number on the back of your card or go to the web site listed above.

YOUR ACCOUNT MESSAGES

& Item was transferred from lost / stolen account.

FLEXIBLE REWARDS SUMMARY

Previous points balance	98,072
+ Points earned on purchases this period	1,215
= New total points balance	99,287

ACCOUNT ACTIVITY

blink Transaction

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
05/19	Payment Thank You Image Check BRYON VANA TRANSACTIONS THIS CYCLE [REDACTED] -\$5,742.62 INCLUDING PAYMENTS RECEIVED	-5,742.62
05/01	& MOTOROLA, INC. - ONLINE 800-814-0601 IL <i>Portable Radios, Belt Clips</i>	-273.24
05/03	& THE HOME DEPOT 1905 DARIEN IL <i>Parts for Squads</i>	9.17
05/10	IACP 800-843-4227 VA <i>Conference for Chief Thomas</i> JOHN COOPER TRANSACTIONS THIS CYCLE [REDACTED] \$632.41	350.00
05/10	STAPLES 00117671 WILLOW BROOK IL <i>Detectives Thumbdrives</i>	-117.20
05/17	SUBURBAN DOOR CHECK AN WESTMONT IL <i>New Key for Squad 15</i> MARY BELMONTE TRANSACTIONS THIS CYCLE [REDACTED] \$123.30	6.10
05/03	& AMAZON MKTPLACE PMTS AMZN.COM/BILL WA <i>Flashdrives</i>	21.39
05/04	& AMAZON MKTPLACE PMTS AMZN.COM/BILL WA <i>Flashdrives</i>	42.14 ✓
05/03	& LEXISNEXIS RISK DAT 888-332-8244 FL <i>Internet Searches Police</i>	291.25
05/05	& COMCAST CHICAGO CS 1X 800-266-2278 IL <i>Service for Police Dept</i>	149.85
05/12	Amazon.com AMZN.COM/BILL WA <i>Office Supplies for Police</i>	17.26
05/19	JEWEL #3123 DARIEN IL <i>Liska Retirement Cake</i>	45.99



ACCOUNT ACTIVITY

(CONTINUED)

blink Transaction

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
05/31	USPS.COM CLICK66100611 800-3447779 DC ROSE MARY GONZALEZ TRANSACTIONS THIS CYCLE ██████████ \$574.33	Shipping Fee — 6.45
05/05	& BODYBUILDING.COM 866-236-8417 ID	-126.57
05/09	BODYBUILDING.COM 866-236-8417 ID	-119.97
04/28	BODYBUILDING.COM 866-236-8417 ID	-157.27
04/27	BODYBUILDING.COM 866-236-8417 ID	-150.67
05/05	& MCGRATH LEXUS WESTMONT WESTMONT IL	New Windshield — 334.48
05/21	& COMCAST CHICAGO 800-COMCAST IL DANIEL GOMBAC TRANSACTIONS THIS CYCLE ██████████ -\$115.15	PUBLIC WORKS Internet — 104.85

2016 Totals Year-to-Date	
Total fees charged in 2016	\$78.00
Total interest charged in 2016	\$34.47

Year-to-date totals do not reflect any fee or interest refunds you may have received.

INTEREST CHARGES

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Balance Type	Annual Percentage Rate (APR)	Balance Subject To Interest Rate	Interest Charges
PURCHASES			
Purchases	13.49% (v)	-0-	-0-
CASH ADVANCES			
Cash Advances	19.49% (v)	-0-	-0-
BALANCE TRANSFERS			
Balance Transfer	13.49% (v)	-0-	-0-

(v) = Variable Rate

31 Days in Billing Period

Please see Information About Your Account section for the Calculation of Balance Subject to Interest Rate, Annual Renewal Notice, How to Avoid Interest on Purchases, and other important information, as applicable.



AGENDA MEMO
CITY COUNCIL
MEETING DATE: June 20, 2016

Issue Statement

PZC 2016-07: 7722 Warwick Avenue: Petitioner seeks approval of a variation to increase the permitted amount of rear yard coverage by accessory structures from 30% to 36% in order to construct an above-ground pool.

[ORDINANCE](#) **[BACKUP](#)**

Discussion/Overview

The Planning and Zoning Commission has considered this matter and recommends approval as presented. The Municipal Services Committee is considering this matter in a special meeting on June 20 immediately before the City Council meeting, so their recommendation has not been made as of the writing of this memo.

The full discussion follows as "Additional Information".

Draft ordinance accompanies this memo.

Decision Mode

Planning and Zoning Commission:	June 15, 2016
Municipal Services Committee:	June 20, 2016
City Council:	June 20, 2016

Additional Information

Issue Statement

PZC 2016-07: 7722 Warwick Avenue: Petitioner seeks approval of a variation to increase the permitted amount of rear yard coverage by accessory structures from 30% to 36% in order to construct an above-ground pool.

Applicable Regulations:

Zoning Ordinance: Section 5A-5-9-5: Permitted Percentage of Rear Yard Occupied by Accessory Structures.

General Information

Petitioner/
Property owner:

Robert Worley
7722 Warwick Avenue
Darien, IL 60561

Property Location:

7722 Warwick Avenue

PIN:

09-27-307-022

Existing Zoning:

R-2 Single-Family Residence

Existing Land Use:

Single-family residence

Comprehensive Plan Update:

Low Density Residential

Surrounding Zoning and Land Use:

North: R-2 Single-Family Residence: single-family detached homes

East: R-2 Single-Family Residence: single-family detached homes

South: R-2 Single-Family Residence: single-family detached homes

West: R-2 Single-Family Residence: single-family detached homes

Size of Property:

9,375 square feet

Floodplain:

None.

Natural Features:

None.

Transportation:

Property has frontage and access onto Warwick Avenue.

History:

None.

Documents Submitted

This report is based on the following information submitted to the Community Development Department by the Petitioner:

1. Plat of Survey, 1 sheet, prepared by Professional Land Surveying, Inc., dated August 11, 2014.

Planning Overview/Discussion

Subject property is located on the west side of Warwick Avenue.

The petitioner installed an above-ground pool within the rear yard before securing a building permit.

The Zoning Ordinance limits the amount of lot coverage by structures and impervious surfaces. Specific to the rear yard, the full width of a lot located behind a home, 30% is the maximum permitted amount of coverage. With the addition of the pool, the amount of rear yard coverage is 36%, or approximately 281 square feet over the permit amount.

Prior to the pool, existing structures and impervious surfaces in the rear yard included a detached garage, portion of the driveway and a patio.

The variation request must address the following criteria for approval:

1. Whether the general character of the property will be adversely altered.
2. Whether the overall value of the property will be improved and there will not be any potential adverse effects on the neighboring properties.
3. Whether the alleged need for the variation has been created by any person presently having a proprietary interest in the premises.
4. Whether the proposed variation will impair an adequate supply of light and air in adjacent property, substantially increase congestion in the public streets, increase the danger of fire or endanger the public safety.
5. Whether the proposed variation will adversely alter the essential character of the neighborhood.

Staff Findings/Recommendations

Staff finds the proposed variation will not adversely alter the general character of the property, nor will it impair the adequate supply of light and air in adjacent properties, nor will it adversely alter the essential character of the neighborhood.

Planning and Zoning Commission Review – June 15, 2016

The Planning and Zoning Commission considered this matter at their meeting on June 15, 2016. The following members were present: Raymond Mielkus – Acting Chairperson, Andrew Kelly, Ronald Kiefer, Louis Mallers, Kenneth Ritzert, Bryan Gay. Staff present: Dan Gombac – Municipal Services Director, Steve Manning – City Planner, Elizabeth Lahey – Secretary.

Absent: Beverly Meyer – Chairperson, Robert Cortez, John Laratta

The petitioner Robert Worley was present.

Steve Manning summarized the agenda memo describing the requested variation and applicable regulations. He noted that the petition had installed the pool without a permit. After being informed a permit was required and that the pool was not in conformance with the lot coverage standard, he applied for the variance and permit. The requested variance reflects existing conditions. No comments from neighbors have been received by the City.

The Commission asked why Mr. Worley installed without a permit. He said he was not aware of any such requirement. The Commission asked if there are any existing drainage issues or potential drainage issues. Mr. Worley said no. Dan Gombac said he was familiar with the area and he was not aware of any drainage issues.

No one from the public was present to offer comments.

Without further discussion, Commissioner Kiefer made the following motion seconded by Commissioner Ritzert:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-07 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

Upon a roll call vote, THE MOTION CARRIED by a vote of 6-0.

Municipal Services Committee – June 20, 2016

Based on the Planning and Zoning Commission's recommendation, staff recommends the Committee make the following recommendation granting the variation petition as presented:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-07 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

MEMO

1122 warwick Ave
Supporting document
1 of 2



DuPage County
 Information Technology Department / GIS Division
 421 N County Farm Rd.
 Wheaton, IL 60187

Ph# 1(630)407-5000
 Email gis@dupageco.org
 DuPage Maps Portal:
<http://dupage.maps.arcgis.com/home>

This map is for assessment purposes only.

DuPage Maps Portal:
<http://dupage.maps.arcgis.com/home>



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PLAT OF SURVEY

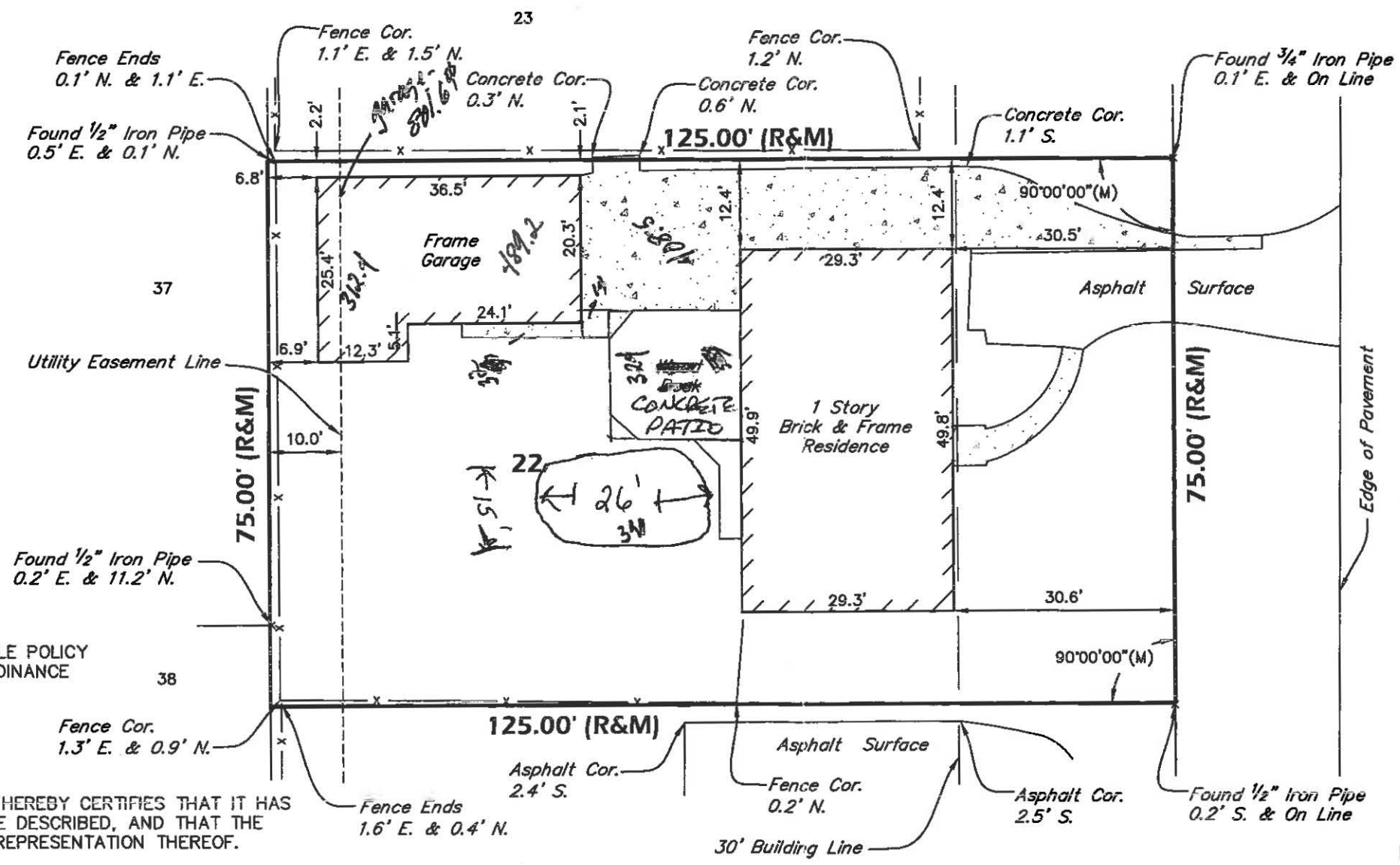
OF

7722 Warwick Ave
Supporting document
2 of 2

LOT 22 IN BRAUN AND ALDRIDGE INC RESUBDIVISION OF PART OF BROOKHAVEN MANOR A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED JULY 21, 1959 AS DOCUMENT NUMBER 932270 AND CERTIFICATE OF CORRECTION RECORDED AUGUST 3, 1959 AS DOCUMENT NUMBER 933787 IN DUPAGE COUNTY, ILLINOIS.



SCALE: 1"=20'



*Planning Review
Lot 9,375*

*Rear yard = 4,875 sq ft
30% = 1,463 sq ft
Garage + patio
driveway = 1,170 sq ft
Rear yard - deck + pool +
30% = 4,857 sq ft
30% = 1,365 sq ft
Garage + driveway +
pool = 1,648 sq ft
30%*

AREA OF SURVEY:
CONTAINING 9,375± SQ. FT.

REFER TO YOUR DEED, ABSTRACT, TITLE POLICY
AND LOCAL BUILDING AND ZONING ORDINANCE
FOR ITEMS OF RECORD NOT SHOWN.

STATE OF ILLINOIS) ss
COUNTY OF DUPAGE)

PROFESSIONAL LAND SURVEYING, INC. HEREBY CERTIFIES THAT IT HAS
SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THE
HEREON DRAWN PLAT IS A CORRECT REPRESENTATION THEREOF.

FIELD WORK COMPLETED AND DATED
THIS 6TH DAY OF AUGUST, 2014.

[Signature]
IPLS No. 3483
MY LICENSE EXPIRES 11/30/14



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

PROFESSIONAL DESIGN FIRM NO. 184-004196

SYMBOL LEGEND

- CONCRETE SURFACE
- FENCE LINE
- (R) - RECORD DATA
- (M) - MEASURED DATA
- UTILITY POLE
- OVERHEAD WIRES

PREPARED FOR: REHFELDT
JOB ADDRESS: 7722 S. WARWICK AVENUE
DARIEN, ILLINOIS

Professional Land Surveying, Inc.
3080 Ogden Avenue Suite 107
Lisle, Illinois 60532
Phone 630.778.1757 Fax 630.778.7757

DRAWN BY: AA FLD. BK./PG. NO.: 119/39
COMPLETION DATE: 08/11/14 JOB NO.: 149788
REVISED:



CITY OF DARIEN

DU PAGE COUNTY, ILLINOIS

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A VARIATION TO THE
DARIEN ZONING ORDINANCE**

(PZC 2016-07: 7722 Warwick Avenue)

ADOPTED BY THE

MAYOR AND CITY COUNCIL

OF THE

CITY OF DARIEN

THIS 20th DAY OF JUNE, 2016

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
_____ day of June, 2016.**

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A VARIATION TO THE
DARIEN ZONING ORDINANCE**

(PZC 2016-07: 7722 Warwick Avenue)

WHEREAS, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6; and

WHEREAS, the property legally described in Section 1 (the “Subject Property”), is zoned R-2 Single-Family Residence District pursuant to the Darien Zoning Ordinance; and

WHEREAS, petitioner has requested approval of a variation from the terms of the Darien Zoning Ordinance to increase the required maximum rear yard coverage by detached accessory structures from 30% to 36% in order to construct a swimming pool behind his single-family home; and

WHEREAS, pursuant to proper legal notice, a Public Hearing on said petition was held before the Planning and Zoning Commission on June 15, 2016; and

WHEREAS, the Planning and Zoning Commission at its regular meeting of June 15, 2016, recommended approval of said petition and has forwarded its findings and recommendation to the City Council; and

WHEREAS, on June 20, 2016, the Municipal Services Committee of the City Council reviewed the petition and has forwarded its recommendation of approval of said petition to the City Council; and

ORDINANCE NO. _____

WHEREAS, the City Council has reviewed the findings and recommendations described above and now determines to grant the petition subject to the terms, conditions and limitations described below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Subject Property. This Ordinance is limited and restricted to the property generally located at 7722 Warwick Avenue, Darien, Illinois, and legally described as follows:

Lot 22 in Braun and Aldridge Inc Resubdivision of Part of Brookhaven Manor a Subdivision in Sections 27 and 28, Township 38 North, Range 11, East of the Third Principal Meridian, According to the Plat of Said Resubdivision Recorded July 21, 1959 as Document Number 932270 and Certificate of Correction Recorded August 3, 1959 as Document Number 933787 in DuPage County, Illinois.

PIN: 09-27-307-022

SECTION 2: Variation from Zoning Ordinance Granted. A variation from the Zoning Ordinance, Section 5A-5-9-5: PERMITTED PERCENTAGE OF REAR YARD OCCUPIED BY ACCESSORY STRUCTURES, is hereby granted to increase the required maximum rear yard coverage by detached accessory structures from 30% to 36% in order to construct a swimming pool behind a single-family home.

SECTION 3: Home Rule. This Ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent of the terms of this

ORDINANCE NO. _____

ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supercede state law in that regard within its jurisdiction.

SECTION 4: Effective Date. This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY



AGENDA MEMO
CITY COUNCIL
MEETING DATE: June 20, 2016

Issue Statement

PZC 2016-08: 7417 Cass Avenue, Buona Beef: Petitioner seeks approval of a plat of resubdivision and the following variations:

1. A reduction in the minimum required lot area from 2.00 acres to 1.157 acres.
2. A reduction in the minimum required northern interior side yard from 30 feet to 0 feet.
3. A reduction in the minimum required rear yard from 30 feet to 0 feet.
4. An increase in the maximum permitted paved or impervious surface coverage from 75% to 83%.

ORDINANCE

BACKUP

Discussion/Overview

The Planning and Zoning Commission has considered this matter and recommends approval as presented. The Municipal Services Committee is considering this matter in a special meeting on June 20 immediately before the City Council meeting, so their recommendation has not been made as of the writing of this memo.

The full discussion follows as "Additional Information".

Draft ordinance accompanies this memo.

Decision Mode

Planning and Zoning Commission:	June 15, 2016
Municipal Services Committee:	June 20, 2016
City Council:	June 20, 2016

Additional Information

Issue Statement

PZC 2016-08: 7417 Cass Avenue, Buona Beef: Petitioner seeks approval of a plat of resubdivision and the following variations:

1. A reduction in the minimum required lot area from 2.00 acres to 1.157 acres.
2. A reduction in the minimum required northern interior side yard from 30 feet to 0 feet.
3. A reduction in the minimum required rear yard from 30 feet to 0 feet.
4. An increase in the maximum permitted paved or impervious surface coverage from 75% to 83%.

Applicable Regulations:

Subdivision Regulations: Section 5B-1-6: Final Plat Procedures and Requirements.

Zoning Ordinance: Section 5A-8-3-6: B-2 Community Shopping Center District, Area Requirements.

Zoning Ordinance: Section 5A-8-3-8(B) (1) (a): B-2 Community Shopping Center District, Yard Requirements

Zoning Ordinance: Section 5A-8-3-9: B-2 Community Shopping Center District, Height Limitations, Bulk Regulations.

General Information

Petitioner:

Mile High Beef, LLC
Mike Buonavolanto, The Buona Companies, LLC
6801 W. Roosevelt Road
Berwyn, IL 60402

Property owner:

Chicago Title & Trust Company
as Trustee under Trust No. 1086065
c/o Darien Associates
91 Hunt Trail
Barrington, IL 60010

Property Location:

7417 Cass Avenue

PIN:

09-27-108-028

Existing Zoning: B-2 Community Shopping Center District
Existing Land Use: Restaurant with drive-thru as outlot to a retail shopping center
Comprehensive Plan Update: Commercial

Surrounding Zoning and Land Use:

North: B-2 Community Shopping Center District: grocery store
East: R-2 Single-Family Residence: single-family detached homes
South: B-2 Community Shopping Center District and R-3 Multi-Family Residence: bank, multi-family dwellings
West: R-2 Single-Family Residence: elementary school, museum

Size of Property: 5.4 acres (shopping center)
Floodplain: None.
Natural Features: None.
Transportation: Shopping center has frontage and access onto Cass Avenue and 75th Street. New platted lot has frontage onto Cass Avenue, access via shopping center.
History: In 2006, the City Council granted a special use for a drive-thru and variations related to setbacks, landscaping, multiple buildings on one lot, vehicle stacking for a drive-thru requirements. In 2007, the City Council approved an amendment to the special use to permit an addition to the building.

Documents Submitted

This report is based on the following information submitted to the Community Development Department by the Petitioner:

1. Responses to Standards of Review for Zoning Variations, 2 sheets.
2. Letter from petitioner's attorney, 2 sheets, dated May 20, 2016.
3. ALTA/ACSM Land Title Survey, 1 sheet, prepared by Marchese and Sons, Inc., dated April 28, 2016.
4. Plat of Subdivision, 2 sheets, prepared by Marchese and Sons, Inc., not dated.

Planning Overview/Discussion

Buona Beef is located within the Jewel-Osco shopping center at the northeast corner of Cass Avenue and 75th Street. The shopping center includes Jewel-Osco, Sears Outlet, Concentra Immediate Care, Taco Bell and Buona Beef. Currently, the shopping center includes several parcels. Jewel-Osco is on its own lot and is owned separately from the rest of the shopping center.

The petitioner proposes to create a lot of record containing Buona Beef. Buona Beef plans to purchase the lot.

Plat of Subdivision

The ALTA/ACSM Land Title Survey best shows the relationship between the built improvements and the proposed new lot. The proposed lot contains only the improvements related to Buona Beef.

Existing ingress/egress easements are in place providing access to/from the proposed lot through the shopping center.

No physical changes to the property are being proposed, only the creation of a lot of record.

Plat of subdivision approval requires consideration by the Planning and Zoning Commission, with approval by the City Council. A public hearing is not required.

Variations

The proposed lot is 1.157 acres where 2 acres is the minimum lot area required in the B-2 zoning district.

The proposed lot also creates nonconforming setbacks along the north, east and south sides.

The proposed lot will have 83% lot coverage (buildings and impervious surface areas) where 75% is the maximum permitted in the B-2 zoning district.

The above noted variations document existing conditions and previously approved site plans.

Variations require consideration by the Planning and Zoning Commission, with approval by the City Council. A public hearing by the Commission is required.

Variation criteria:

1. Whether the general character of the property will be adversely altered.
2. Whether the overall value of the property will be improved and there will not be any potential adverse effects on the neighboring properties.
3. Whether the alleged need for the variation has been created by any person presently

- having a proprietary interest in the premises.
4. Whether the proposed variation will impair an adequate supply of light and air in adjacent property, substantially increase congestion in the public streets, increase the danger of fire or endanger the public safety.
 5. Whether the proposed variation will adversely alter the essential character of the neighborhood.

Engineering Review

Staff is waiting for comments from the City Engineer. However, since no property improvements are proposed, any comments should relate only to technical requirements of the plat and should easily be addressed by the petitioner before the plat is recorded.

Staff Findings/Recommendations

Because there are no changes to the site, only the creation of a plat of subdivision establishing a lot of record, the existing site conditions remain and the requested variations document existing conditions, staff does not object to the requested variations.

Staff finds the proposed variations do not adversely alter the character of the property, nor will they adversely alter the essential character of the neighborhood.

Therefore, staff recommends the Commission make the following motion recommending approval:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-08 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

Planning and Zoning Commission Review – June 15, 2016

The Planning and Zoning Commission considered this matter at their meeting on June 15, 2016. The following members were present: Raymond Mielkus – Acting Chairperson, Andrew Kelly, Ronald Kiefer, Louis Mallers, Kenneth Ritzert, Bryan Gay. Staff present: Dan Gombac – Municipal Services Director, Steve Manning – City Planner, Elizabeth Lahey – Secretary.

Absent: Beverly Meyer – Chairperson, Robert Cortez, John Laratta

Steven Bauer, attorney representing the petitioner Mile High Beef LLC, was present.

Steve Manning, City Planner, reviewed the agenda memo, described the requested variation,

applicable regulations. He noted there is an existing Buono Beef restaurant on the proposed Lot One that had been approved by a special use ordinance and no changes to the building and improvements were being proposed. The requested variances reflect existing conditions.

The Commission asked about access and maintenance. Steven Bauer said the owner of Lot Two has granted cross access easements to Lot One and retains responsibility for maintenance of the two driveways in the cross access easements.

No one from the public was present to offer comments.

Without further discussion, Commissioner Mellers made the following motion seconded by Commissioner Kelly:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-08 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission recommend approval of the petition as presented.

Upon a roll call vote, THE MOTION CARRIED by a vote of 6-0.

Commissioners Meyer, Cortez, and Laratta were absent

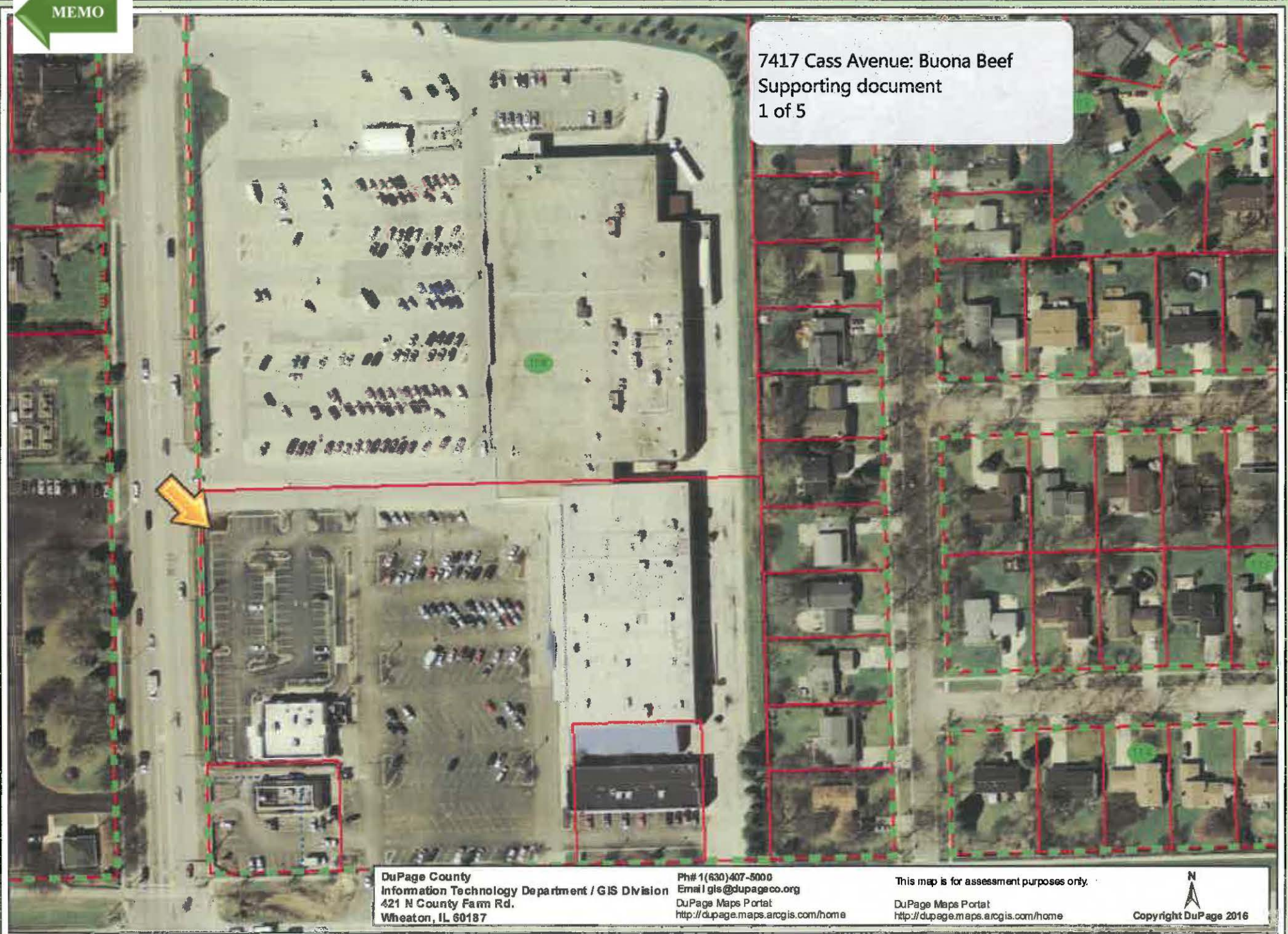
Municipal Services Committee – June 20, 2016

Based on the Planning and Zoning Commission's recommendation, staff recommends the Committee make the following recommendation granting the variation petition as presented:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-08 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

MEMO

7417 Cass Avenue: Buona Beef
Supporting document
1 of 5



DuPage County
Information Technology Department / GIS Division
421 N County Farm Rd.
Wheaton, IL 60187

Ph# 1(630)407-5000
Email gis@dupageco.org
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<http://dupage.maps.arcgis.com/home>

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Responses to Standards of Review for Zoning Variations
(7417 W. Cass Avenue)

Petitioner, Mile High Beef, LLC, provides the following responses to the standards of review for the variations from the Zoning Ordinance identified below (collectively "Variations") for proposed Lot Two of Darien Associates Subdivision ("Subject Property") due to the practical difficulty and particular hardship in carrying out the strict letter of the regulations of the B-2 Community Shopping Center District in conjunction with said subdivision, as submitted with this petition:

- (i) a reduction in the minimum required lot area from 2.00 acres to 1.157 acres;
- (ii) a reduction in the minimum required northern interior side yard from 30 feet to 0 feet;
- (iii) a reduction in the minimum required rear yard from 30 feet to 0 feet; and
- (iv) an increase in the maximum permitted paved or impervious surface coverage (i.e., lot coverage) from 75% to 83%.

Standards of Review

1. Whether the general character of the property will be adversely altered.

The Subject Property was redeveloped when leased by Petitioner approximately ten years ago and is now proposed to be subdivided to enable Petitioner's acquisition of the Subject Property such that title to the Subject Property may be held by Petitioner or its affiliate, and title to the adjacent shopping center parcel of which the Subject Property is currently a part ("Shopping Center Parcel") may continue to be held by the current owner of the Shopping Center Parcel. No site plan modifications are proposed in conjunction with the proposed subdivision and Variations, and the proposed subdivision will be indiscernible to anyone who does not have actual knowledge of its approval and the location of the associated lot lines. The Variations are required solely to allow the Subject Property to be subdivided from the Shopping Center Parcel. Without the Variations, the Subject Property cannot be subdivided even though such subdivision (i) will not result in any site plan modifications to the Subject Property, (ii) will be otherwise indiscernible and (iii) requires Variations that will by no means adversely alter the general character of the Subject Property or the Shopping Center Parcel. This result causes undue hardship on Petitioner.

2. Whether the overall value of the property will be improved and there will not be any potential adverse effects on the neighboring properties.

The overall value of the Subject Property will be improved as a result of the Variations because the Subject Property, when subdivided as proposed in conjunction with the Variations, may then be utilized and, if and when necessary, redeveloped independent of the Shopping Center Parcel. No site plan modifications are proposed

in conjunction with the proposed subdivision and Variations. As a result, the proposed subdivision and Variations will be indiscernible to anyone who does not have actual knowledge of their approval and the location of the associated lot lines. As a result, the Variations will not result in any adverse effects on the neighboring properties.

3. *Whether the alleged need for the variation has been created by any person presently having a proprietary interest in the premises.*

The need for the Variations has not been created by any person presently having a proprietary interest in the Subject Property. To the contrary, the Variations are required to allow the Subject Property to be subdivided from the Shopping Center Parcel in the most logical manner possible due to the existing improvements on both the Subject Property and the Shopping Center Parcel.

4. *Whether the proposed variation will impair an adequate supply of light and air in adjacent property, substantially increase congestion in the public streets, increase the danger of fire or endanger the public safety.*

No site plan modifications are proposed in conjunction with the Variations. As a result, the Variations will not have any impact on the supply of light and air in adjacent property, will not substantially increase congestion in the public streets and will not increase the danger of fire or endanger the public safety to any extent.

5. *Whether the proposed variation will adversely alter the essential character of the neighborhood.*

The Variations are required simply to allow the Subject Property to be subdivided as proposed. No site plan modifications are proposed in conjunction with the proposed subdivision or the Variations. The Variations are sought only to preserve the existing development conditions at the Subject Property and the Shopping Center Parcel. As a result, the Variations will not adversely alter the essential character of the neighborhood in which the Subject Property is located.

MELTZER, PURTILL & STELLE LLC

MPSLAW

ATTORNEYS AT LAW

1515 E. WOODFIELD ROAD
SECOND FLOOR
SCHAUMBURG, IL 60173-5431
PHONE (847) 330-2400
FAX (847) 330-1231

300 S. WACKER DRIVE
SUITE 3500
CHICAGO, IL 60606-6704
PHONE (312) 987-9900
FAX (312) 987-9854

File Number: 34715-001
Direct Dial: (312) 461-4302
E-mail: sbauer@mpsllaw.com

7417 Cass Avenue: Buona Beef
Supporting document
3 of 5

VIA HAND DELIVERY

May 20, 2016

Chairperson Beverly Meyer and
Members of the Planning & Zoning Commission
City of Darien
1702 Plainfield Road
Darien, IL 60561

Re: *Darien Associates Subdivision and Zoning Variations*

Dear Chairperson Meyer and Commissioners:

On behalf of Mile High Beef, LLC ("Petitioner"), which is an affiliate of the Buona Beef restaurant operating at 7417 Cass Avenue, we are pleased to submit the enclosed petitions for subdivision and associated zoning variations. More specifically, Petitioner seeks to subdivide the approximately 1.16 acres on which that restaurant operates ("Subject Property") from the approximately 5.40-acre shopping center parcel of which the Subject Property is currently a part. The proposed subdivision will yield a two-lot subdivision consisting of the 1.16-acre Subject Property as Lot One and the adjacent approximately 4.24-acre shopping center parcel as Lot Two ("Shopping Center Parcel"). Additionally, Petitioner seeks associated zoning variations to allow certain reductions in the minimum required lot area, yard setbacks and lot coverage for the Subject Property in connection with the proposed subdivision. No site plan modifications are proposed in connection with the proposed subdivision or associated variations. The requested relief is merely reflective of existing site conditions and the previously approved site plans for the Subject Property and the Shopping Center Parcel.

Petitioner seeks to subdivide the Subject Property from the Shopping Center Parcel to enable Petitioner's acquisition of the Subject Property such that title to the Subject Property may be held by Petitioner or its affiliate and title to the Shopping Center Parcel may continue to be held by the current owner of the Shopping Center Parcel.

In support of its petition for variations, Petitioner submits the attached Responses to the Standards of Review for variations as evidence of the practical difficulty and particular hardship in carrying out the strict letter of the regulations of the B-2 Community

*Chairperson Beverly Meyer and
Members of the Planning & Zoning Commission
City of Darien
May 20, 2016
Page 2*

Shopping Center District in which the Subject Property is located due to the existing site improvements on and surrounding the Subject Property.

I look forward to discussing these petitions with you in greater detail at the June 15th Planning and Zoning Commission meeting and further addressing any related questions you may have. Thank you.

Sincerely,

MELTZER, PURTILL & STELLE LLC



Steven C. Bauer

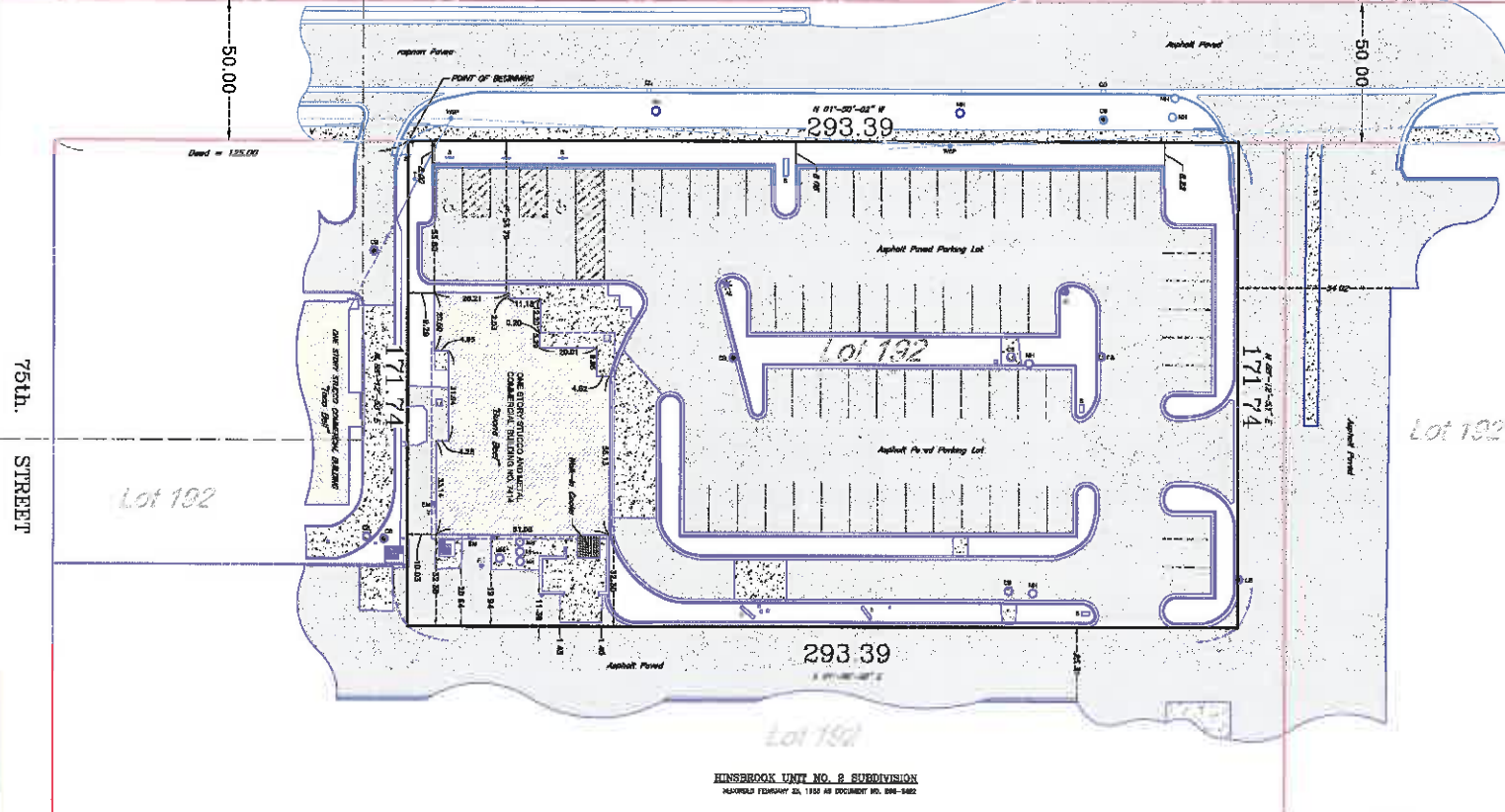
Attachments

7417 Cass Avenue: Buona Beef
 Supporting document
 4 of 5

ALTA/ACSM LAND TITLE SURVEY
 Prepared by
MARCHESE AND SONS, Inc.
 land - marine - construction surveys
 10 Meador Drive
 Knoxville, Illinois 60172
 Phone: (335) 964-9520
 Fax: (335) 914-1458



CASS AVENUE

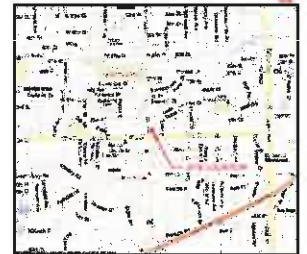


PROPERTY DESCRIPTION

THAT PART OF LOT 192 IN HINSDROOK UNIT 2, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF RECORDED FEBRUARY 25, 1966 AS DOCUMENT 196-5423, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 192 THAT IS 238.00 FEET NORTH OF THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27; THENCE NORTH ON THE WEST LINE OF SAID LOT 192 HAVING AN REBUSED BEARING OF NORTH 01 DEGREES 50 MINUTES 02 SECONDS WEST A DISTANCE OF 260.39 FEET; THENCE NORTH 86 DEGREES 12 MINUTES 53 SECONDS EAST ON A LINE PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27, A DISTANCE OF 171.74 FEET; THENCE SOUTH 01 DEGREES 50 MINUTES 02 SECONDS EAST ON A LINE PARALLEL WITH THE WEST LINE OF SAID LOT 192 A DISTANCE OF 59.63 FEET TO THE INTERSECTION WITH A LINE 238.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27; THENCE SOUTH 86 DEGREES 12 MINUTES 53 SECONDS WEST ON THE LAST DESCRIBED PARALLEL LINE A DISTANCE OF 171.73 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 5068 SQUARE FEET OR 1.17 ACRES, MORE OR LESS

SITE LOCATION MAP



SHEET : 1 OF 1
 PLAN NO.: 08 - 27 - 100 - 028 - 000
 ADDRESS: 7416 & CASS AVENUE,
 DUPAGE, ILLINOIS 60917
 SCALE: ONE INCH = TWENTY FEET
 DRAWN NO.: 16-16396
 ORDERED BY: MR. MIKE BUONAVANTURO

COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCES FOR BUILDING LAND AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR CONTRACT, DEED, TITLE INSURANCE POLICY AND ZONING ORDINANCE, BASIS OF THE BEARING BOUND HEREON HAVING BEEN ASSIGNED, MONUMENTS OR WITNESS POINTS WERE NOT MET AT THE CLIENT'S REQUEST.

"THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY."

STATE OF ILLINOIS
 COUNTY OF DUPAGE

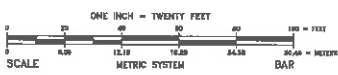
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9 AND 21 OF TABLE A PARAGRAPH
 DATE OF PLAT OR MAP, APRIL 28, 2016

ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2491
 MICHAEL J. MARCHESE, LICENSED SURVEYOR
 THE FIELD WORK WAS COMPLETED ON APRIL 28, 2016

"The Surveyor has reviewed the Public Records as well as a visual review of the site and to the best of the Surveyor's knowledge and belief the information shown hereon is true and correct and the Surveyor is not aware of any unrecorded or unobtainable records or other information which would affect the accuracy of this survey."

- LEGEND**
- AREA LIMIT (AL)
 - CURB MARK (CM)
 - CURB DRAW (CD)
 - PIPE EMBLEM (PE)
 - ONE INCH ONE (OIO)
 - HANDICAPPED PARKING SPACE
 - MANHOLE COVER (MC)
 - OVERHEAD WIRE (OW)
 - PIPE POLYAL (PP)
 - SOIL (S)
 - STREET LIGHT STANDARD ONLY
 - TRAVELER CONTROL LIGHT (TCL)
 - WATER VALVE (WV)
 - WATER SERVICE POLE (WSP)
 - TRUCK
 - EVERGREEN TREE
 - PROPERTY BOUNDARY
 - PAVED DRIVE
 - CEMENT

NOTE: UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN PLOTTED WITH THE AID OF AVAILABLE RECORDS FOR LOCATIONS OF UNDERGROUND UTILITY MARKS. PLEASE CONTACT J.A.L.L.E. BY CALLING 611 OR 1-800-692-0123.



PARKING SCHEDULE

REGULAR PARKING SPACES.....	64
HANDICAP PARKING SPACES.....	3
TOTAL PARKING SPACES.....	67

STREET STATEMENTS
 The described parcels in within Zone K are Area 2 Determined in the Outside the O.S. actual Census Tract(s) as well as parcels identified by the Federal Emergency Management Agency "National Historical Landmark Sites" (NHLS) for the County of DuPage, Illinois and Incorporated Areas, Community Parcel Number: 17945-0000 H. within the date December 18, 2014. The Board statement is for information only and the surveyor assumes no liability for the correctness of the above except the fact that the accuracy of the food market statement shown on the report is subject to some uncertainty and to any other uncertainty in location or elevation on the referenced food insurance rate maps.

R-1 COMMUNITY SHOPPING CENTER BUSINESS DISTRICT

AREA REQUIREMENTS:
 The minimum lot area in the R-1 district shall not be less than one (2) acre. (Chs. 6-45-05, 6-45-06)

WEIGHTS AND HEIGHTS REQUIREMENTS:
 There shall be no maximum weight or height requirements in the R-1 district. (Chs. 6-45-06, 6-45-06(b))

YARD REQUIREMENTS:
 The minimum yard requirements for the R-1 district shall be as follows:

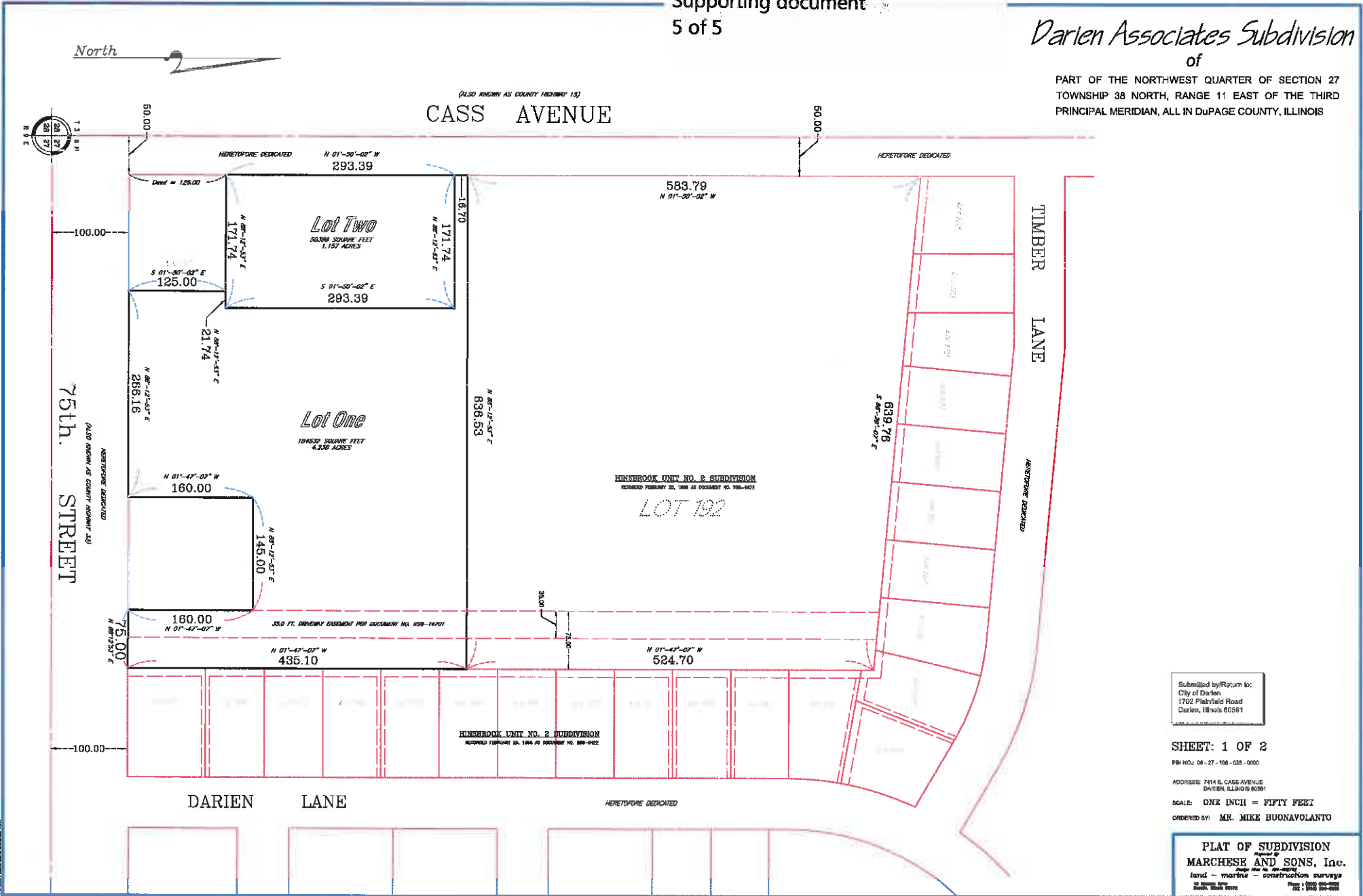
- Front and Corner Side Yards:
 1. As a percentage of the lot area.
 2. As a percentage of the lot area.
 3. Off Street Parking Facilities: Sidewalk: Off street parking facilities within the front or corner side yard are not allowed within the front forty feet (20%) of the required front yard.
- Interior Side Yard Yards:
 1. As a percentage of the lot area.
 2. As a percentage of the lot area.
 3. Off Street Parking Facilities: Off street parking facilities within the interior side yard shall not be allowed within the first twenty feet (20%) of the required front yard.
- Accessory Residential Structure:
 1. Yard Capacity: There shall be a maximum number of accessory residential structures on a lot that shall not exceed three (3) structures.
 2. Height: Accessory residential structures shall not exceed a height of thirty feet (30') from an existing building lot in a residential district.
 3. Maximum Floor Area: The maximum floor area of an accessory residential structure shall not exceed the maximum floor area of the existing building lot in a residential district, a fence of at least seventy (70%) opacity shall be provided within the yard. The height of each fence shall be at least 5'.
 4. Accessory Structures: Accessory structures shall comply with yard and setback requirements as prescribed in section 6A-5-6 of this Ordinance.
- Permitted Obstructions to Required Yard:
 1. Permitted obstructions in required yards are allowed as described herein and as prescribed in sections 6A-5-7 and 6A-5-8 of this Ordinance.
 2. Decks and Off Street Parking Facilities: Required yards may be encroached by decks and off street parking facilities when constructed in accordance with the setback requirements of the district and in compliance with the applicable code and ordinance of this Ordinance.
 3. Applications: In the case of deck parties, applications shall be submitted to the relevant authority and approved by the authority in accordance with the applicable code and ordinance of this Ordinance.
 4. Compliance: All accessory residential structures shall be in compliance with the applicable code and ordinance of this Ordinance.

HEIGHT LIMITATIONS AND REGULATIONS:
 The maximum floor area ratio for all buildings and structures in the R-1 district shall not exceed the maximum height shall be three (3) stories and to be located within the lot. Not more than the present height of the structure shall be exceeded. The maximum height shall be three (3) stories and to be located within the lot. Not more than the present height of the structure shall be exceeded. The maximum height shall be three (3) stories and to be located within the lot. Not more than the present height of the structure shall be exceeded.

7417 Cass Avenue: Buona Beef
 Supporting document
 5 of 5

Darien Associates Subdivision
 of

PART OF THE NORTHWEST QUARTER OF SECTION 27
 TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD
 PRINCIPAL MERIDIAN, ALL IN DUPAGE COUNTY, ILLINOIS



Submitted by/Return to:
 City of Darien
 1712 Plainfield Road
 Darien, Illinois 60561

SHEET: 1 OF 2
 PBN NO: 08-27-108-028-0000

ADDRESS: 7414 S. CASS AVENUE
 DARIEN, ILLINOIS 60561

SCALE: ONE INCH = FIFTY FEET
 ORDERED BY: MR. MIKE BUONAVOLANTO

PLAT OF SUBDIVISION
MARCHESE AND SONS, Inc.
 land - marine - construction surveys
 2100 N. 10th St. Suite 2000 Chicago, IL 60642
 Phone: (773) 553-2000



CITY OF DARIEN

DU PAGE COUNTY, ILLINOIS

ORDINANCE NO. _____

**AN ORDINANCE APPROVING
A FINAL PLAT OF SUBDIVISION
AND VARIATIONS TO THE
DARIEN ZONING ORDINANCE**

(PZC 2016-08: 7417 Cass Avenue)

ADOPTED BY THE

MAYOR AND CITY COUNCIL

OF THE

CITY OF DARIEN

THIS 20th DAY OF JUNE, 2016

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
_____ day of June, 2016.**

ORDINANCE NO. _____

**AN ORDINANCE APPROVING
A FINAL PLAT OF SUBDIVISION
AND VARIATIONS TO THE
DARIEN ZONING ORDINANCE**

(PZC 2016-08: 7417 Cass Avenue)

WHEREAS, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6; and

WHEREAS, the property legally described in Section 1 (the “Subject Property”), is zoned B-2 Community Shopping Center District pursuant to the Darien Zoning Ordinance; and

WHEREAS, petitioner has requested approval of a Final Plat of Subdivision and variations from the terms of the Darien Zoning Ordinance to reduce the required minimum lot area from 2.00 acres to 1.157 acres, to reduce the required minimum side yard from 30 feet to 0 feet, to reduce the required minimum rear yard from 30 feet to 0 feet, and to increase the required maximum lot coverage from 75% to 83% to reflect existing structures on the property; and

WHEREAS, the Planning and Zoning Commission at its regular meeting of June 15, 2016, recommended approval of said petition and has forwarded its findings and recommendation to the City Council; and

WHEREAS, on June 20, 2016, the Municipal Services Committee of the City Council reviewed the petition and has forwarded its recommendation of approval of said petition to the City Council; and

ORDINANCE NO. _____

WHEREAS, the City Council has reviewed the findings and recommendations described above and now determines to grant the petition subject to the terms, conditions and limitations described below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Subject Property. This Ordinance is limited and restricted to the property generally located at 7417 Cass Avenue, Darien, Illinois, and legally described as follows:

THAT PART OF LOT 192 IN HINSBROOK UNIT 2, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SUBDIVISION RECORDED FEBRUARY 25, 1966 AS DOCUMENT R666422, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 192 THAT IS 225.00 FEET NORTH OF THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27; THENCE NORTH ON THE WEST LINE OF SAID LOT 192 HAVING AN ASSUMED BEARING OF NORTH 01 DEGREES 50 MINUTES 02 SECONDS WEST A DISTANCE OF 293.39 FEET; THENCE NORTH 88 DEGREES 12 MINUTES 53 SECONDS EAST ON A LINE PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27, A DISTANCE OF 171.73 FEET; THENCE SOUTH 01 DEGREES 50 MINUTES 02 SECONDS EAST ON A LINE PARALLEL WITH THE WEST LINE OF SAID LOT 192 A DISTANCE OF 293.39 FEET TO THE INTERSECTION WITH A LINE 225.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27; THENCE SOUTH 88 DEGREES 12 MINUTES 53 SECONDS WEST ON THE LAST DESCRIBED PARALLEL LINE, A DISTANCE OF 171.73 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-27-108-028

SECTION 2: Approval of Final Plat of Subdivision Granted. Approval of a Final Plat of Subdivision is hereby granted for a two lot subdivision of a parcel of land known as the Darien Estates Subdivision with Lot One containing 1.157 acres and Lot Two containing 4.236

ORDINANCE NO. _____

acres, subject to further review and approval by the City of Darien Community Services Department.

SECTION 3: Variations from Zoning Ordinance Granted. Variations from the Zoning Ordinance are hereby granted as follows: Section 5A-8-3-6: AREA REQUIREMENTS, to reduce the required minimum lot area from 2.00 acres to 1.157 acres; Section 5A-8-3-8 (B) 1: INTERIOR SIDE AND REAR YARDS, to reduce the required minimum side yard from 30 feet to 0 feet and to reduce the required minimum rear yard from 30 feet to 0 feet; and Section 5A-8-3-9: HEIGHT LIMITATIONS, BULK REGULATIONS, to increase the required maximum lot coverage from 75 % to 83%, all to reflect existing structures on the property, and

SECTION 4: Home Rule. This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent of the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supercede state law in that regard within its jurisdiction.

SECTION 5: Effective Date. This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

ORDINANCE NO. _____

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY



AGENDA MEMO
City Council
June 20, 2016

Issue Statement

Approval of a resolution to enter into a Water Main Licensing Agreement with the DuPage County Forest Preserve District adjacent to 7879 Lemont Road Warehouse Development.

RESOLUTION

Background/History

The developer of the property located at 7879 Lemont Road is required to install a water main as part of the site improvements. In order to meet IEPA spacing requirements a temporary construction easement is required. The developer has entered into a licensing agreement with the DuPage County Forest Preserve for temporary access to the area in order to install the water main. See attached Licensing Agreement labeled as [Attachment A](#). The developer will be required to pay a one-time licensing fee directly to the Forest Preserve District and upon completion, the City would be responsible for the water main. The City is required to enter the agreement as a license as the Forest Preserve District only conducts these types of agreements with Public Agencies. The City attorney has reviewed and approved these documents.

Staff Recommendation

Municipal Service Committee recommends acceptance of the Water Main Licensing Agreement with the DuPage County Forest Preserve District.

ALTERNATE CONSIDERATION

As directed by the City Council.

DECISION MODE

This item will be on the June 20, 2016 City Council-New Business-agenda for formal consideration.

LICENSE NO. X-540-003L
<u>NOT TO BE RECORDED</u>

**A LICENSE AGREEMENT BETWEEN THE FOREST PRESERVE DISTRICT OF
DUPAGE COUNTY AND THE CITY OF DARIEN PROVIDING FOR ACCESS
ACROSS A PORTION OF THE FOX HOLLOW FOREST PRESERVE**

THIS LICENSE AGREEMENT is made and entered into by and between the Forest Preserve District of DuPage County, a body politic and corporate (hereinafter the "FOREST PRESERVE DISTRICT"), and City of Darien, a body politic and corporate (hereinafter "LICENSEE").

WITNESSETH:

WHEREAS, the FOREST PRESERVE DISTRICT owns certain property commonly known as the Fox Hollow Forest Preserve (hereinafter "Fox Hollow"); and

WHEREAS, in 1998, the District acquired a certain portion of Fox Hollow, which included a prior granted twenty (20) foot wide Easement along its southern boundary (hereinafter "Existing Easement"); and

WHEREAS, the Existing Easement was granted for the construction and maintenance of a public watermain and sanitary sewer; and

WHEREAS, Panittoni Development Company is the contract purchaser of the adjacent property that is benefitted by the Existing Easement; and

WHEREAS, Panittoni Development Company (hereinafter "LICENSEE'S Agent") has received approval from the LICENSEE to construct a public watermain within the Existing Easement; and

WHEREAS, LICENSEE will be the owner of the watermain upon its completion; and

WHEREAS, LICENSEE has requested permission to temporarily access and use a certain portion of Fox Hollow in order to facilitate the construction of the watermain; and

WHEREAS, the FOREST PRESERVE DISTRICT finds that it is reasonable, necessary and desirable to grant LICENSEE a temporary license to access a certain portion of Fox Hollow, subject to the terms and conditions set forth herein; and

WHEREAS, the Executive Director is authorized to issue licenses pursuant to the authority conferred by the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (Ordinance No. 96-096).

NOW, THEREFORE, in consideration of the promises, terms and conditions set forth herein, the parties agree as follows:

1.0 INCORPORATION OF RECITALS

1.1 The recitals set forth above are incorporated herein and made a part of this Agreement.

2.0 LICENSE GRANTED

2.1 The FOREST PRESERVE DISTRICT hereby grants LICENSEE a temporary License to utilize 0.20 +/- acres of Fox Hollow as depicted in **Exhibit "A"**, attached hereto and made a part hereof (hereinafter referred to as the "License Area"), for the purpose of providing LICENSEE and LICENSEE'S agent with access to the License Area to facilitate the construction of a public watermain.

2.2 The License granted herein shall terminate upon the FOREST PRESERVE DISTRICT acceptance of the restoration work to be performed on the License Area.

2.3 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) no less than five (5) business days prior to the first access to the License Area. LICENSEE shall make any independent contractor accessing the License Area aware of the terms and conditions of this License. Should the District's project representative determine that the LICENSEE or any of its independent contractor's activities in the License Area are inconsistent with, or in violation with the terms of this License, the Licensee will stop the use of the License Area at the direction of the District's project representative until the issue(s) associated with activities are fully resolved.

2.4 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) within two (2) days after the completion of the restoration work in order for the FOREST PRESERVE DISTRICT to inspect the License Area.

3.0 LICENSE FEE

3.1 LICENSEE'S Agent shall pay a temporary License fee in accordance with the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (No. 96-096). The fee for the temporary License is \$5,253.40, which is based on \$26,267 per acre ($\$26,267 \times 0.20 \text{ acres} = \$5,253.40$).

4.0 RESTORATION

4.1 Except as the parties may otherwise agree in writing, LICENSEE and LICENSEE'S Agent will cause its contractor to promptly repair any damage to the License Area or other FOREST PRESERVE DISTRICT property resulting, directly or indirectly, from the use of the License Area. All repairs shall be subject to the approval of the FOREST PRESERVE DISTRICT'S Executive Director. In order to ensure that all affected areas are properly restored, including any damage occurring outside the boundaries of the License Area, LICENSEE'S Agent shall provide the FOREST PRESERVE DISTRICT with a restoration deposit in the form of a check made payable to the Forest Preserve District of DuPage County in the amount of five thousand dollars (\$5,000.00). Such funds shall be released or refunded, without interest, upon the satisfactory restoration of all affected areas and the acceptance thereof by the FOREST PRESERVE DISTRICT'S Executive Director. In the event LICENSEE or LICENSEE'S Agent fails to properly repair any damage within 14 days of the effective date of written notice from the FOREST PRESERVE DISTRICT demanding the repair, the FOREST PRESERVE DISTRICT shall have the right to take such action as it deems necessary to repair the damage, which shall include the authority to engage the services of an independent contractor and to utilize the funds deposited with the FOREST PRESERVE DISTRICT. If the costs and expenses incurred by the

FOREST PRESERVE DISTRICT in repairing the damage exceed the amount of the restoration bond deposited with the FOREST PRESERVE DISTRICT, LICENSEE'S Agent shall be responsible for reimbursing the FOREST PRESERVE DISTRICT for the additional costs and expenses in excess of the amount deposited with the FOREST PRESERVE DISTRICT under this paragraph that are related to the repair work within 10 days of service of the FOREST PRESERVE DISTRICT'S written demand for payment.

5.0 INSURANCE

5.1 Except as otherwise required by the FOREST PRESERVE DISTRICT'S Executive Director, LICENSEE'S Agent will cause its independent contractors to purchase and maintain during this Agreement insurance coverage which will satisfactorily insure LICENSEE, its independent contractors and, where appropriate, the FOREST PRESERVE DISTRICT against claims and liabilities which may arise out of the use of the License Area. Such insurance shall be issued by companies licensed to do business in the State of Illinois and approved by the FOREST PRESERVE DISTRICT. The insurance coverages shall include the following:

- (A) Workers' compensation insurance with limits as required by the applicable workers' compensation statutes. The employer's liability coverage under the workers' compensation policy shall have limits of not less than \$500,000 each accident/injury; \$500,000 each employee/disease; \$500,000 policy limit.
- (B) Commercial general liability insurance protecting LICENSEE against any and all public liability claims which may arise in the course of using the License Area. The limits of liability shall be not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$2,000,000 aggregate bodily injury/property damage combined single limit. The policy of commercial general liability insurance shall include contractual liability coverage and an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured.
- (C) Commercial automobile liability insurance covering LICENSEE's owned, non-owned and leased vehicles which protects LICENSEE against automobile liability claims whether on or off the FOREST PRESERVE DISTRICT'S premises with coverage limits of not less than \$1,000,000 each accident bodily injury/property damage combined single limit.
- (D) Umbrella or Excess liability insurance with limits of not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$1,000,000 aggregate bodily injury/property damage combined single limit. The Umbrella or Excess coverage shall apply in excess of the limits stated in subparagraphs (B) and (C) above, and shall either include an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured or provide "following form" coverage.

5.2. Prior to commencing work, LICENSEE will cause its independent contractors to furnish the FOREST PRESERVE DISTRICT with certificates of insurance and, upon the FOREST PRESERVE DISTRICT's request, copies of all insurance policies and endorsements thereto evidencing the coverages required under paragraph 5.0. The insurance certificates and policies shall provide that no cancellation or modification of the policy or policies shall occur without at least 30 days' prior written notice to the FOREST PRESERVE DISTRICT. LICENSEE and its independent contractors shall not enter upon the License Area until evidence of the required insurance has been received and approved by the FOREST PRESERVE DISTRICT.

6.0 INDEMNIFICATION

6.1 LICENSEE and LICENSEE'S Agent shall defend, hold harmless, and indemnify the FOREST PRESERVE DISTRICT and all of its officers, agents, employees and elected officials from any

loss, damage, demand, liability, cause of action, fine, judgment or settlement, together with all costs and expenses related thereto (including reasonable expert witness and attorney fees), that may be incurred by the FOREST PRESERVE DISTRICT as a result of bodily injury, death or property damage or as a result of any other claim or suit of any nature whatsoever arising from or in any manner connected with, directly or indirectly, the negligent or intentional acts or omissions of LICENSEE and LICENSEE'S Agent pertaining to the use of the License Area or the negligent or intentional acts or omissions of any independent contractor or subcontractor that is engaged by LICENSEE and LICENSEE'S Agent and permitted to utilize the License Area. LICENSEE and LICENSEE'S Agent shall require all such contractors or subcontractors to agree to defend, hold harmless and indemnify the FOREST PRESERVE DISTRICT to the same extent required of LICENSEE and LICENSEE'S Agent under this paragraph.

- 6.2. LICENSEE and LICENSEE'S Agent shall indemnify the FOREST PRESERVE DISTRICT for all costs and expenses, including reasonable attorney and expert witness fees, incurred by the FOREST PRESERVE DISTRICT in any legal proceeding or action, whether at law or in equity, instituted for the purpose of enforcing any provision of this Agreement.

7.0 BREACH OF AGREEMENT

- 7.1 In the event LICENSEE, LICENSEE'S Agent or any independent contractor breaches any provision contained herein, the FOREST PRESERVE DISTRICT may immediately terminate this Agreement by serving written notice as provided for in paragraph 8.0. A waiver by the FOREST PRESERVE DISTRICT of any breach of one or more of the terms of this Agreement shall not constitute a waiver of any subsequent or other breach of the same or other term, nor shall the failure on the part of the FOREST PRESERVE DISTRICT to require exact, full and complete compliance with any of the terms contained herein be construed as changing the terms of this Agreement or estopping the FOREST PRESERVE DISTRICT from enforcing full compliance with the provisions herein. No delay, failure or omission of the FOREST PRESERVE DISTRICT to exercise any right, power, privilege or option arising from any breach shall impair any right, privilege or option, or be construed as a waiver or acquiescence in such breach or as a relinquishment of any right. No option, right, power, remedy or privilege of the FOREST PRESERVE DISTRICT shall be construed as being exhausted by the exercise thereof in one or more instances. The rights, powers, privileges and remedies given the FOREST PRESERVE DISTRICT under this Agreement and by law shall be cumulative.

8.0 NOTICES

- 8.1 All notices required to be provided under this Agreement shall be in writing and served either (a) personally during regular business hours; (b) by facsimile transmission during regular business hours; or (c) by registered or certified mail, return receipt requested, properly addressed with postage prepaid and deposited in the United States mail. Notices served upon the FOREST PRESERVE DISTRICT shall be directed to the Executive Director, Forest Preserve District of DuPage County - if personally served: 3S580 Naperville Road, Wheaton, IL 60189; if sent by mail: P.O. Box 5000, Wheaton, IL 60189-5000; if sent by facsimile: 630-933-7093; if sent by e-mail: forest@forestpreserve.org. Notices served upon LICENSEE shall be directed to Municipal Services Director, City of Darien - if mailed or personally served: City of Darien 1702 Plainfield Road, Darien, IL 60561; if sent by facsimile: dgombac@adarienil.gov. Notices served personally or by facsimile transmission shall be effective upon receipt and notices served by mail shall be effective upon receipt as verified by the United States Postal Service.

9.0 MISCELLANEOUS PROVISIONS

- 9.1 Prior to commencing work, the LICENSEE’S Agent shall designate and provide the FOREST PRESERVE DISTRICT’S project representative the name and telephone number of the LICENSEE’S Agent’s project representative who shall be available to the FOREST PRESERVE DISTRICT’S project representative Monday through Friday 8:00am to 4:30pm.
- 9.2 This Agreement or any memorandum or other document referring hereto shall not be recorded without the written consent of the FOREST PRESERVE DISTRICT'S Executive Director.
- 9.3 This Agreement shall be construed in accordance with the laws of the State of Illinois. This Agreement is a License and not an easement or lease.
- 9.4 The provisions set forth herein represent the entire agreement between the parties and may not be modified or changed in any respect unless such modification or change is in writing and signed by both parties.
- 9.5 Exclusive jurisdiction and venue for any dispute related directly or indirectly to this License shall be in the Eighteenth Judicial Circuit Court, Wheaton, DuPage County, Illinois.

IN WITNESS WHEREOF, the parties have entered into this License Agreement as of the _____ of _____, 20____.

**FOREST PRESERVE DISTRICT
OF DUPAGE COUNTY**

CITY OF DARIEN

BY: _____
Michael Hullihan, Executive Director

BY: _____

Title: _____

ATTEST: _____
Assistant Secretary

ATTEST: _____

Title: _____

PANITTONI DEVELOPMENT COMPANY

BY: _____

ITS: _____



RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE MAYOR TO ENTER INTO A WATER MAIN EASEMENT LICENSING AGREEMENT WITH THE DUPAGE COUNTY FOREST PRESERVE DISTRICT ADJACENT TO 7879 LEMONT ROAD WAREHOUSE DEVELOPMENT

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to enter into a Water Main Easement Licensing Agreement with the DuPage County Forest Preserve District adjacent to 7879 Lemont Road Warehouse Development, copy of which is attached hereto as "[Exhibit A](#)".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

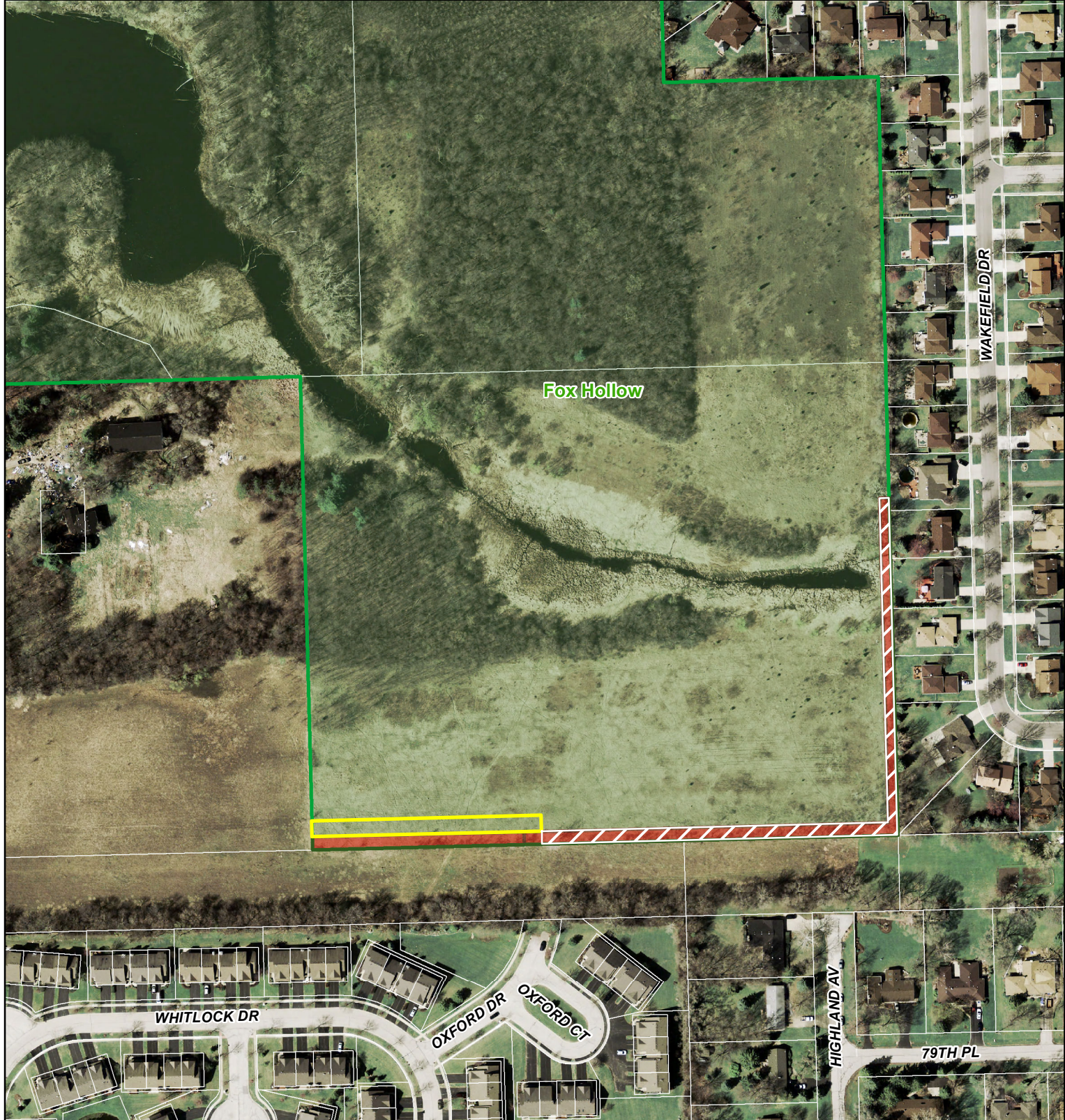
ATTEST:

JOANNE E. RAGONA, CITY CLERK

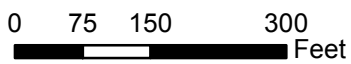
APPROVED AS TO FORM:

CITY ATTORNEY

Fox Hollow Proposed 25' License Area - Panattoni Development Co.



- FPD Bounds
- Proposed 25' License Area
- Existing Easement - Sanitary and Water Main to be constructed
- Existing Easement - Sanitary and Water Main in place



Land Preservation Department



EXHIBIT "A"

LICENSE NO. X-540-003L

NOT TO BE RECORDED

**A LICENSE AGREEMENT BETWEEN THE FOREST PRESERVE DISTRICT OF
DUPAGE COUNTY AND THE CITY OF DARIEN PROVIDING FOR ACCESS
ACROSS A PORTION OF THE FOX HOLLOW FOREST PRESERVE**

THIS LICENSE AGREEMENT is made and entered into by and between the Forest Preserve District of DuPage County, a body politic and corporate (hereinafter the "FOREST PRESERVE DISTRICT"), and City of Darien, a body politic and corporate (hereinafter "LICENSEE").

WITNESSETH:

WHEREAS, the FOREST PRESERVE DISTRICT owns certain property commonly known as the Fox Hollow Forest Preserve (hereinafter "Fox Hollow"); and

WHEREAS, in 1998, the District acquired a certain portion of Fox Hollow, which included a prior granted twenty (20) foot wide Easement along its southern boundary (hereinafter "Existing Easement"); and

WHEREAS, the Existing Easement was granted for the construction and maintenance of a public watermain and sanitary sewer; and

WHEREAS, Panittoni Development Company is the contract purchaser of the adjacent property that is benefitted by the Existing Easement; and

WHEREAS, Panittoni Development Company (hereinafter "LICENSEE'S Agent") has received approval from the LICENSEE to construct a public watermain within the Existing Easement; and

WHEREAS, LICENSEE will be the owner of the watermain upon its completion; and

WHEREAS, LICENSEE has requested permission to temporarily access and use a certain portion of Fox Hollow in order to facilitate the construction of the watermain; and

WHEREAS, the FOREST PRESERVE DISTRICT finds that it is reasonable, necessary and desirable to grant LICENSEE a temporary license to access a certain portion of Fox Hollow, subject to the terms and conditions set forth herein; and

WHEREAS, the Executive Director is authorized to issue licenses pursuant to the authority conferred by the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (Ordinance No. 96-096).

NOW, THEREFORE, in consideration of the promises, terms and conditions set forth herein, the parties agree as follows:

1.0 INCORPORATION OF RECITALS

1.1 The recitals set forth above are incorporated herein and made a part of this Agreement.

2.0 LICENSE GRANTED

2.1 The FOREST PRESERVE DISTRICT hereby grants LICENSEE a temporary License to utilize 0.20 +/- acres of Fox Hollow as depicted in **Exhibit "A"**, attached hereto and made a part hereof (hereinafter referred to as the "License Area"), for the purpose of providing LICENSEE and LICENSEE'S agent with access to the License Area to facilitate the construction of a public watermain.

2.2 The License granted herein shall terminate upon the FOREST PRESERVE DISTRICT acceptance of the restoration work to be performed on the License Area.

2.3 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) no less than five (5) business days prior to the first access to the License Area. LICENSEE shall make any independent contractor accessing the License Area aware of the terms and conditions of this License. Should the District's project representative determine that the LICENSEE or any of its independent contractor's activities in the License Area are inconsistent with, or in violation with the terms of this License, the Licensee will stop the use of the License Area at the direction of the District's project representative until the issue(s) associated with activities are fully resolved.

2.4 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) within two (2) days after the completion of the restoration work in order for the FOREST PRESERVE DISTRICT to inspect the License Area.

3.0 LICENSE FEE

3.1 LICENSEE'S Agent shall pay a temporary License fee in accordance with the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (No. 96-096). The fee for the temporary License is \$5,253.40, which is based on \$26,267 per acre ($\$26,267 \times 0.20 \text{ acres} = \$5,253.40$).

4.0 RESTORATION

4.1 Except as the parties may otherwise agree in writing, LICENSEE and LICENSEE'S Agent will cause its contractor to promptly repair any damage to the License Area or other FOREST PRESERVE DISTRICT property resulting, directly or indirectly, from the use of the License Area. All repairs shall be subject to the approval of the FOREST PRESERVE DISTRICT'S Executive Director. In order to ensure that all affected areas are properly restored, including any damage occurring outside the boundaries of the License Area, LICENSEE'S Agent shall provide the FOREST PRESERVE DISTRICT with a restoration deposit in the form of a check made payable to the Forest Preserve District of DuPage County in the amount of five thousand dollars (\$5,000.00). Such funds shall be released or refunded, without interest, upon the satisfactory restoration of all affected areas and the acceptance thereof by the FOREST PRESERVE DISTRICT'S Executive Director. In the event LICENSEE or LICENSEE'S Agent fails to properly repair any damage within 14 days of the effective date of written notice from the FOREST PRESERVE DISTRICT demanding the repair, the FOREST PRESERVE DISTRICT shall have the right to take such action as it deems necessary to repair the damage, which shall include the authority to engage the services of an independent contractor and to utilize the funds deposited with the FOREST PRESERVE DISTRICT. If the costs and expenses incurred by the

FOREST PRESERVE DISTRICT in repairing the damage exceed the amount of the restoration bond deposited with the FOREST PRESERVE DISTRICT, LICENSEE'S Agent shall be responsible for reimbursing the FOREST PRESERVE DISTRICT for the additional costs and expenses in excess of the amount deposited with the FOREST PRESERVE DISTRICT under this paragraph that are related to the repair work within 10 days of service of the FOREST PRESERVE DISTRICT'S written demand for payment.

5.0 INSURANCE

5.1 Except as otherwise required by the FOREST PRESERVE DISTRICT'S Executive Director, LICENSEE'S Agent will cause its independent contractors to purchase and maintain during this Agreement insurance coverage which will satisfactorily insure LICENSEE, its independent contractors and, where appropriate, the FOREST PRESERVE DISTRICT against claims and liabilities which may arise out of the use of the License Area. Such insurance shall be issued by companies licensed to do business in the State of Illinois and approved by the FOREST PRESERVE DISTRICT. The insurance coverages shall include the following:

- (A) Workers' compensation insurance with limits as required by the applicable workers' compensation statutes. The employer's liability coverage under the workers' compensation policy shall have limits of not less than \$500,000 each accident/injury; \$500,000 each employee/disease; \$500,000 policy limit.
- (B) Commercial general liability insurance protecting LICENSEE against any and all public liability claims which may arise in the course of using the License Area. The limits of liability shall be not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$2,000,000 aggregate bodily injury/property damage combined single limit. The policy of commercial general liability insurance shall include contractual liability coverage and an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured.
- (C) Commercial automobile liability insurance covering LICENSEE's owned, non-owned and leased vehicles which protects LICENSEE against automobile liability claims whether on or off the FOREST PRESERVE DISTRICT'S premises with coverage limits of not less than \$1,000,000 each accident bodily injury/property damage combined single limit.
- (D) Umbrella or Excess liability insurance with limits of not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$1,000,000 aggregate bodily injury/property damage combined single limit. The Umbrella or Excess coverage shall apply in excess of the limits stated in subparagraphs (B) and (C) above, and shall either include an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured or provide "following form" coverage.

5.2. Prior to commencing work, LICENSEE will cause its independent contractors to furnish the FOREST PRESERVE DISTRICT with certificates of insurance and, upon the FOREST PRESERVE DISTRICT's request, copies of all insurance policies and endorsements thereto evidencing the coverages required under paragraph 5.0. The insurance certificates and policies shall provide that no cancellation or modification of the policy or policies shall occur without at least 30 days' prior written notice to the FOREST PRESERVE DISTRICT. LICENSEE and its independent contractors shall not enter upon the License Area until evidence of the required insurance has been received and approved by the FOREST PRESERVE DISTRICT.

6.0 INDEMNIFICATION

6.1 LICENSEE and LICENSEE'S Agent shall defend, hold harmless, and indemnify the FOREST PRESERVE DISTRICT and all of its officers, agents, employees and elected officials from any

loss, damage, demand, liability, cause of action, fine, judgment or settlement, together with all costs and expenses related thereto (including reasonable expert witness and attorney fees), that may be incurred by the FOREST PRESERVE DISTRICT as a result of bodily injury, death or property damage or as a result of any other claim or suit of any nature whatsoever arising from or in any manner connected with, directly or indirectly, the negligent or intentional acts or omissions of LICENSEE and LICENSEE'S Agent pertaining to the use of the License Area or the negligent or intentional acts or omissions of any independent contractor or subcontractor that is engaged by LICENSEE and LICENSEE'S Agent and permitted to utilize the License Area. LICENSEE and LICENSEE'S Agent shall require all such contractors or subcontractors to agree to defend, hold harmless and indemnify the FOREST PRESERVE DISTRICT to the same extent required of LICENSEE and LICENSEE'S Agent under this paragraph.

- 6.2. LICENSEE and LICENSEE'S Agent shall indemnify the FOREST PRESERVE DISTRICT for all costs and expenses, including reasonable attorney and expert witness fees, incurred by the FOREST PRESERVE DISTRICT in any legal proceeding or action, whether at law or in equity, instituted for the purpose of enforcing any provision of this Agreement.

7.0 BREACH OF AGREEMENT

- 7.1 In the event LICENSEE, LICENSEE'S Agent or any independent contractor breaches any provision contained herein, the FOREST PRESERVE DISTRICT may immediately terminate this Agreement by serving written notice as provided for in paragraph 8.0. A waiver by the FOREST PRESERVE DISTRICT of any breach of one or more of the terms of this Agreement shall not constitute a waiver of any subsequent or other breach of the same or other term, nor shall the failure on the part of the FOREST PRESERVE DISTRICT to require exact, full and complete compliance with any of the terms contained herein be construed as changing the terms of this Agreement or estopping the FOREST PRESERVE DISTRICT from enforcing full compliance with the provisions herein. No delay, failure or omission of the FOREST PRESERVE DISTRICT to exercise any right, power, privilege or option arising from any breach shall impair any right, privilege or option, or be construed as a waiver or acquiescence in such breach or as a relinquishment of any right. No option, right, power, remedy or privilege of the FOREST PRESERVE DISTRICT shall be construed as being exhausted by the exercise thereof in one or more instances. The rights, powers, privileges and remedies given the FOREST PRESERVE DISTRICT under this Agreement and by law shall be cumulative.

8.0 NOTICES

- 8.1 All notices required to be provided under this Agreement shall be in writing and served either (a) personally during regular business hours; (b) by facsimile transmission during regular business hours; or (c) by registered or certified mail, return receipt requested, properly addressed with postage prepaid and deposited in the United States mail. Notices served upon the FOREST PRESERVE DISTRICT shall be directed to the Executive Director, Forest Preserve District of DuPage County - if personally served: 3S580 Naperville Road, Wheaton, IL 60189; if sent by mail: P.O. Box 5000, Wheaton, IL 60189-5000; if sent by facsimile: 630-933-7093; if sent by e-mail: forest@forestpreserve.org. Notices served upon LICENSEE shall be directed to Municipal Services Director, City of Darien - if mailed or personally served: City of Darien 1702 Plainfield Road, Darien, IL 60561; if sent by facsimile: dgombac@adarienil.gov. Notices served personally or by facsimile transmission shall be effective upon receipt and notices served by mail shall be effective upon receipt as verified by the United States Postal Service.

9.0 MISCELLANEOUS PROVISIONS

- 9.1 Prior to commencing work, the LICENSEE’S Agent shall designate and provide the FOREST PRESERVE DISTRICT’S project representative the name and telephone number of the LICENSEE’S Agent’s project representative who shall be available to the FOREST PRESERVE DISTRICT’S project representative Monday through Friday 8:00am to 4:30pm.
- 9.2 This Agreement or any memorandum or other document referring hereto shall not be recorded without the written consent of the FOREST PRESERVE DISTRICT'S Executive Director.
- 9.3 This Agreement shall be construed in accordance with the laws of the State of Illinois. This Agreement is a License and not an easement or lease.
- 9.4 The provisions set forth herein represent the entire agreement between the parties and may not be modified or changed in any respect unless such modification or change is in writing and signed by both parties.
- 9.5 Exclusive jurisdiction and venue for any dispute related directly or indirectly to this License shall be in the Eighteenth Judicial Circuit Court, Wheaton, DuPage County, Illinois.

IN WITNESS WHEREOF, the parties have entered into this License Agreement as of the _____ of _____, 20____.

**FOREST PRESERVE DISTRICT
OF DUPAGE COUNTY**

CITY OF DARIEN

BY: _____
Michael Hullihan, Executive Director

BY: _____

Title: _____

ATTEST: _____
Assistant Secretary

ATTEST: _____

Title: _____

PANITTONI DEVELOPMENT COMPANY

BY: _____

ITS: _____



AGENDA MEMO
City Council
MEETING DATE: June 20, 2016

Issue Statement

A Motion for a Final Site Plan Approval for 7879 Lemont Road-office/warehouse building. [BACKUP](#)

General Information

Petitioner: John Pagliari, Partner
Panattoni Development Company, Inc.
6250 N. River Road, Suite 4050
Rosemont, IL 60018

Property owner: George Posejpal
7879 Lemont Road
Darien, IL 60561

Property Location: 7879 Lemont Road

PIN: 09-29-302-051; -061

Existing Zoning: OR&I Office, Research and Light Industry

Existing Land Use: Single-family residence

Comprehensive Plan Update: Community Center, Municipal/Government

Surrounding Zoning and Land Use:
North: OR&I Office, Research and Light Industry: open space, Forest Preserve
East: OR&I Office, Research and Light Industry: open space, Forest Preserve
South: OR&I Office, Research and Light Industry: open space, NICOR
West: ORI Office, Research and Light Industry (Woodridge), and Forest Preserve
(DuPage County):

Size of Property: 11.67 acers

Floodplain: The far northwest and northeast corners of the property are within floodplain.

Natural Features: Floodplain encroaches onto the property as well as wetlands/wetland buffers.

Transportation: Frontage and access onto Lemont Road.

History: In 2005, the City Council denied a plan for a 58-unit multi-family

residential development in part because the developer would not make changes to the plan.

Documents Submitted

This report is based on the following information submitted to the Community Development Department by the Petitioner:

1. A.L.T.A./A.C.S.M. Land Title Survey, 1 sheet, prepared by Spaceco, Inc., dated January 11, 2016.
2. Site Improvement plans, 22 sheets, prepared by Spaceco, Inc., dated March 18, 2016.
3. Plat of Easement, 2 sheets, prepared by Spaceco, Inc., most recent revision dated May 9, 2016.
4. Landscape Plan, 1 sheet, prepared by David R. McCallum Associates, Inc., most recent revision dated May 6, 2016.
5. Photometric Plan, 2 sheets, prepared by O'Carroll Electric, most recent revision dated May 4, 2016.
6. Building Elevations, 1 sheet, prepared by Harris Architects, Inc., dated March 9, 2016.. Color Rendering of Building, 1 sheet.
7. Revised Final Site Improvement Plans revised sheets 2, 5, 6 and 20, per City comments and dated June 9, 2016

8. [Final Plans](#) – Attached

Planning Overview/Discussion

The subject property is located on the east side of Lemont Road north of Woodmere Townhomes.

The 2002 Comprehensive Plan Update designated the subject property as a Key Development Area, calling for a community center, to include: a 14,000 square foot community center building, playground, picnic area, bandshell/amphitheater/festival area, tennis and sand volleyball courts. Since then, no entity, whether public or private, has come forward with a plan to realize this plan.

Instead, several different developers have approached staff to develop the property for multi-family residential, light industry and a private indoor sports/recreational facility. Nothing came about from these developer inquiries.

Section 5A-2-2- of the Zoning Ordinance requires site plan approval by the City Council for new commercial and industrial buildings. A public hearing is not required for site plan approval. The purpose is to ensure that the details of developing commercial, office, research and industrial areas for authorized uses will be such that the operation of the uses will not offend the public interest, will be compatible and be planned in conformity with surrounding uses and will not adversely affect the flow of traffic within the community.

Site Plan, Parking

Plan includes a 185,500 square foot building, parking, loading docks and a stormwater detention basin.

Proposed building setbacks comply.

Parking is located on the west, north and east sides; driveways and vehicle maneuvering areas are required to meet parking setbacks; proposed parking setbacks comply.

Plan provides 201 parking stalls. Square footages for office and warehouse activities are not shown on the plan, therefore it is not possible to pre-rate the minimum number of required parking stalls; 62 parking stalls required if using only warehousing standard.

Based on the number of parking stalls provided, 6 handicapped accessible stalls required, 6 shown.

Loading docks are permitted within interior and rear yards. Plan provides loading docks on the east side of the building, rear yard. Loading docks meet required setback from side and rear lot lines.

Plan shows two drive-in doors on the east side of the building.

Floor Area Ratio (FAR) complies. Total lot coverage complies.

A table at the end of the memo provides the development standards in the OR&I zoning district.

Landscape Plan

The amount of perimeter yard landscaping, building foundation and landscape islands within the parking lot complies.

Photometric Plan

Plan shows wall mounted exterior lighting on all four sides of the building, as well as pole mounted lights along the east end of the parking/loading dock area. The plan shows light levels at the lot line comply, not exceeding 3 foot-candles at the lot line. Regardless, all exterior lighting is not permitted to cause glare onto adjacent properties. Light shields may be required at final inspection.

Building Elevation

Building height complies. The building is between 37-39 feet tall, 40 feet is the maximum permitted height.

The building elevation drawing needs to note exterior materials.

Signage

Sign details have not been provided. Signage will be required to comply with the Sign Code in terms of type, sizes, locations and illumination.

Engineering, Fire District

The City Engineer provided comments in a letter dated May 23, 2016, from Dan Lynch, PE, Christopher B. Burke Engineering.

The City Engineer provided an approval letter dated June 14, 2016, from Dan Lynch, PE, Christopher B. Burke Engineering.

IEPA Water Main Construction Permit-Approved
Dupage County Public Works Sanitary District-Approved

The Darien-Woodridge Fire Protection District provided comments in a letter dated June 2, 2016, their comments did not relate to the site plan.

Traffic Study, Driveway Access

Two, full access driveway entrances are proposed. The number, location and widths comply. However, Lemont Road is a DuPage County right-of-way; driveway locations, configurations and any improvements to Lemont Road are the County's jurisdiction. A permit from the County will be required.

Noise Study [\(Back Up\)](#)

Christopher B. Burke Engineering, Ltd., conducted a noise study noted in a memo dated June 1, 2016. The study concluded the anticipated noise levels from trucks entering and leaving the facility would comply with the Performance Standards under Section 5A-12-4-1 of the Zoning Ordinance.

The developer has agreed to install a board on board fence south of the dock area to reduce any sound concerns.

Staff Findings/Recommendations

The City Staff met with the Homeowners Association representatives and residents of the Woodmere Subdivision adjacent to the proposed development on April 18, 2016. The meeting was an informal meeting to answer questions regarding the development and process.

The following items are contingent upon a building permit:

1. DuPage County certification of plans related to wetlands
2. DuPage County final approval of driveway locations, configurations and improvements to Lemont Road.

Municipal Services Committee recommends approval of the Final Site Plan for 7879 Lemont Road office/warehouse building as per the plans on file and dated June 9, 2016.

The developer has requested consideration to be placed on the Municipal Services and City Council agenda for June 20, 2016 due to the contingency of his contract with the seller and would result in monetary penalties.

The Municipal Services Chairman will forward the decision made to the City Council.

Decision Mode

Municipal Services Committee:	June 20, 2016 (Re-scheduled Meeting)
City Council:	June 20, 2016

OR&I		
	Required	Proposed
Building setbacks (minimum)		
Front yard: 50 feet + 1 foot/3 feet building exceeds 30 feet in height.	52 feet	101 feet
Interior side yard: 30 feet + 1 foot/3 feet building exceeds 30 feet in height.	32 feet	61 feet (south); 110 feet (north)
Rear yard: 30 feet + 1 foot/3 feet building exceeds 30 feet in height.	32 feet	246 feet
Parking setbacks (minimum)		
Front yard:	30 feet	30 feet
Interior side yard:	20 feet	20 feet (south); 50 feet (north)
Rear yard:	20 feet	100 feet
Loading dock setbacks:		
	20 feet	113 feet (from south lot line)
Building height (maximum)		
	40 feet	39 feet
Floor Area Ratio (maximum)		
	0.6	0.37
Lot coverage (maximum)		
	75%	64%
Parking		
1 space/3,000 square foot of warehouse space (185,500 square feet building)	62	202
Driveways		
1 for the first 150 feet of street frontage, 1 additional per 100 feet of frontage (750 feet of street frontage)	7	2



**FINAL SITE IMPROVEMENT PLANS
for**

**7879 LEMONT ROAD
INDUSTRIAL BUILDING**

**DARIEN, ILLINOIS
SPACECO PROJECT NO: 8942**

DEVELOPER

PANATTONI DEVELOPMENT COMPANY
6250 N. RIVER ROAD, SUITE 4050
ROSEMONT, IL. 60018
PH: 847-292-4500
FAX: 847-292-4501
(RESPONSIBLE ENTITY FOR MAINTENANCE OF
EROSION CONTROL STRUCTURES AND MEASURES)

GENERAL CONTRACTOR

ALSTON CONSTRUCTION, INC.
6250 N. RIVER ROAD, SUITE 4050
ROSEMONT, IL. 60018
PH: 847-292-4500
FAX: 847-292-4501

CALL J.U.L.I.E. 1-800-992-0123

WITH THE FOLLOWING:
COUNTY DUPAGE
CITY, TOWNSHIP DARIEN
SEC. & 1/4 SEC. NO. T38N, R11E, SEC. 29

**48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS**

BENCHMARK

SOURCE BENCHMARK:
DUPAGE COUNTY 2006 GEODETIC SURVEY
BENCHMARK: DZ13
P.D. DK3180
BRASS DISK ON BOUGHTON ROAD (8TH STREET) WEST OF HAVENS DRIVE
AND EAST OF WOODWARD AVENUE AND IS LOCATED ON THE CONCRETE
BASE OF A LIGHT POLE. STATION IS 4.40' EAST OF BACK OF CURB,
4.50' WEST OF BACK OF CURB AND 32.50' NORTH OF THE SOUTH END
OF THE ISLAND.
ELEVATION = 766.4 NAVD83

SITE BENCHMARK:
SOUTHEAST BOLT ON FIRE HYDRANT ON THE WEST SIDE OF LEMONT
ROAD ACROSS FROM THE DRIVEWAY OF #7891 LEMONT ROAD.
ELEVATION = 760.34 NAVD83

NOTE:

SPACECO, INC. IS TO BE NOTIFIED AT LEAST
THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION
AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

DRAINAGE STATEMENT

I, DANIEL C. STEVENS, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THE DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

DANIEL C. STEVENS, P.E.
ILLINOIS REGISTRATION NO. 062-057634
EXPIRATION DATE: 11-30-17



REGISTERED PROFESSIONAL ENGINEER

OWNER OR OWNER'S DULY AUTHORIZED AGENT

REVISIONS

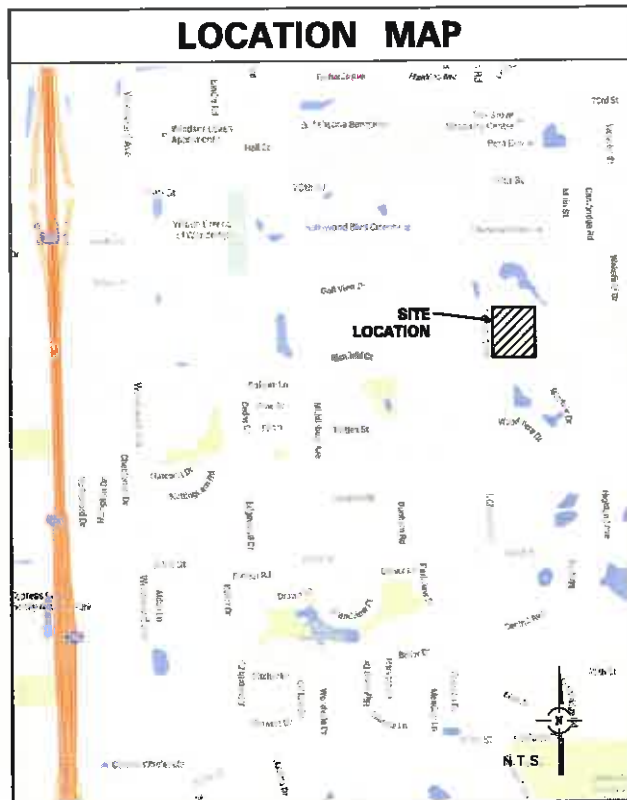
ORIGINAL PLAN DATE: SET ISSUED 03/18/2016

#	SHEET #	REMARKS	DATE
1	ALL	PER AGENCY REVIEW	5/9/16
2	2,5,6,20	PER VILLAGE REVIEW	6/9/16
3	6	ADD SOUTH FENCE	6/15/16

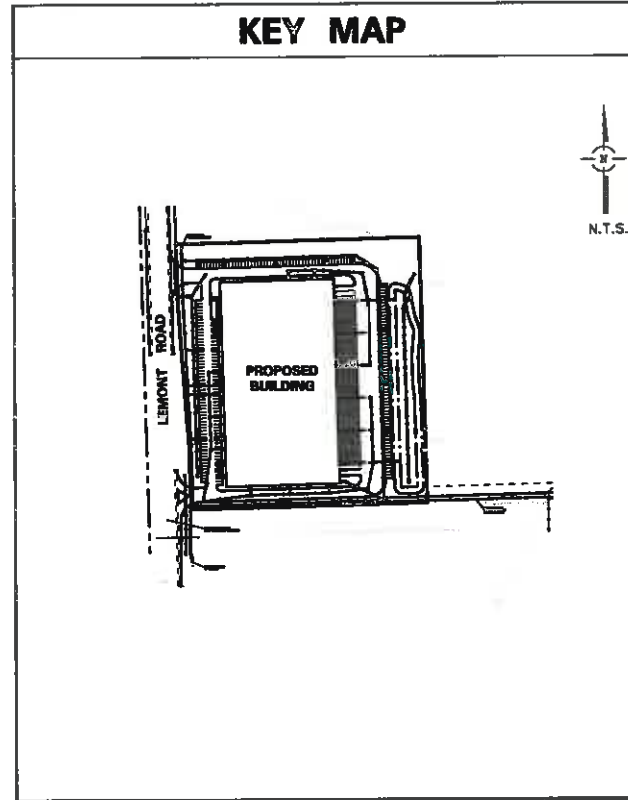
INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	TITLE SHEET
2	GN	TYPICAL SECTIONS & GENERAL NOTES
3	ET1	EXISTING CONDITIONS
4	DVSP	OVERALL SITE PLAN
5-6	GM1-GM2	GEOMETRIC PLANS
7-8	GRI-GR2	GRADING PLANS
9-10	UT1-UT2	UTILITY PLANS
11	PPI	OFFSITE UTILITY PLAN & PROFILE
12-13	RD1-RD2	LEMONT ROAD IMPROVEMENT PLANS
14-16	SE1-SE3	SOIL EROSION & SEDIMENT CONTROL PLANS
17	SPEC	SPECIFICATIONS
18-22	DET1-5	DETAILS

LOCATION MAP



KEY MAP



06-09-2016 DATE
ENGINEER DANIEL C. STEVENS, P.E.
ILLINOIS REGISTRATION NO. 062-057634
EXPIRATION DATE: 11/30/2017
PROFESSIONAL DESIGN FIRM NO.: 184-001157
EXPIRATION DATE: 04/30/2017
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER



7879 LEMONT ROAD
DARIEN, ILLINOIS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS



FILENAME: 8942TITLE.DGN
DATE: 03/07/2016
JOB NO. 8942
SHEET
C1
1 OF 22

- GENERAL NOTES**
1. REFERENCED CODES
- A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBRC), AND SUPPLEMENTAL SPECIFICATIONS AND REQUIREMENTS SPECIAL PROVISIONS ADOPTED JANUARY 11, 2011 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERE TO, IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY EXCEPT AS NOTIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.
 - B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JULY 2009, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY EXCEPT AS NOTIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.
 - C. ALL SIGNAGE AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA. ILLINOIS MANICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.
 - D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED TO CONFORM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
2. UTILITY LOCATIONS
- A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS OF THIS PROJECT. ANY OTHER UTILITIES NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, IDENTIFY, MARK, AND PROTECT THEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
 - B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL 811 (N.I.E.) AT 800-352-0123 AND THE MUNICIPALITY, FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.
 - C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
3. UTILITY COORDINATION
- A. CONCRETE SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR OF OWNER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
 - B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION WHICH OCCURS WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULES IN COMPLIANCE THEREWITH AS DIRECTED BY THE ENGINEER.
 - C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT THAT TIME THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.
4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER. NEITHER THE CONTRACTOR NOR THE ENGINEER ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND BINDING.
5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.
7. THE CONTRACTOR SHALL PLAN THEIR WORK BASED ON THEIR OWN BURNING, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.
8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
9. COMMENCING CONSTRUCTION
- A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED ENVIRONMENTAL AGENCIES IN WRITING AT LEAST THREE (3) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY OR THE OWNER'S SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.
 - B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.
11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DAMAGED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE, REPAIR OR REPLACE BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO: PAVEMENT, STORMWALL, CURB, CURB AND GUTTER, CURBS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
14. ALL FIELD TIES ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TIES OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.
16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.
18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSBRC) ARTICLE 201.05.
19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.
21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGER BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
22. GENERAL EXCAVATION/UNDERGROUND NOTES
- A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXISTING. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
 - B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRUTTERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS THROUGHOUT THE PERIOD EXCAVATIONS WILL BE OPEN. CARE WITH SHORING AND BRACING AS EXCAVATIONS PROGRESS IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.

C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SWELLING OF FOUNDATION FOOTINGS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES. RETENTION TO STABILITY OF SHORINGS AND FOUNDATIONS. PROVIDE AND MAINTAIN PROPER SLOPES, SECTION AND DISCHARGE LINES AND OTHER DEMATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DRAINAGE STRUCTURES OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

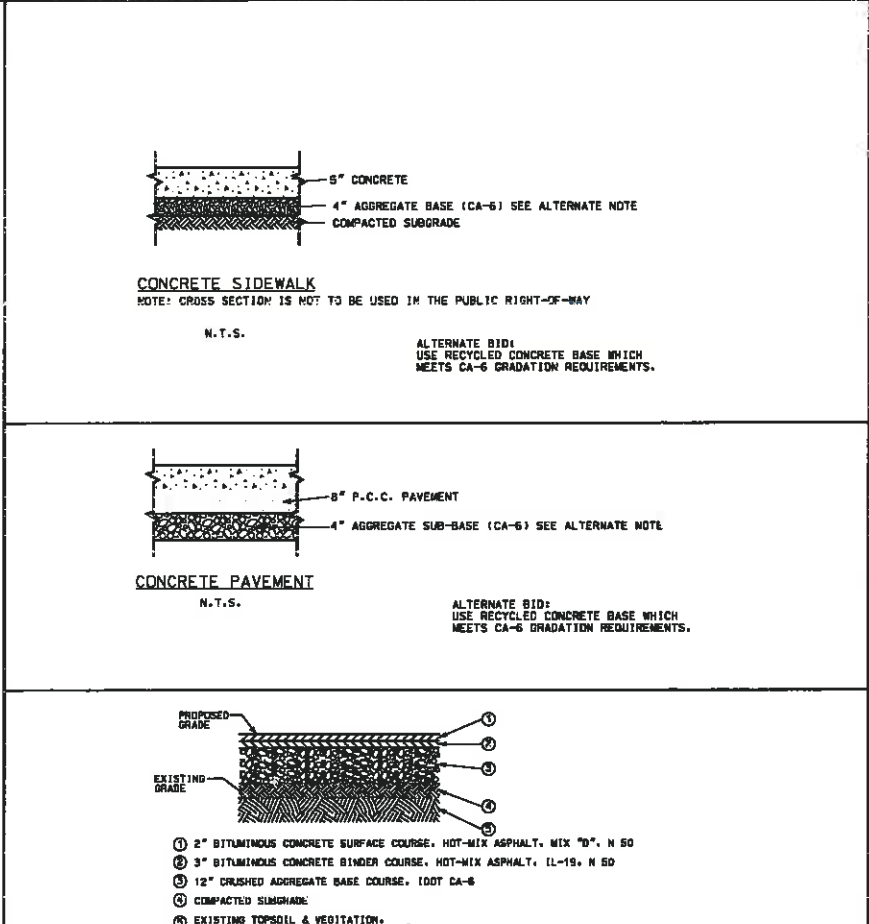
D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.

23. FINAL ACCEPTANCE

- A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.
- B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL WORK CONTRACT'S WORK HAS BEEN APPROVED AND ACCEPTED.
- C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
- D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

24. UNDERGROUND NOTES

- A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS, FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
- B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEARED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND CURBS. PROTECTIVE STRUCTURES CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.
- C. ANY DEMATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR DEMATERING. IN THE EVENT THAT SOFT MATERIALS WITH UNKNOW-ING COMPRESSIVE STRENGTH LESS THAN 0.5 TSI ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
- D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND STRUCTURES AND EXTENDING A DISTANCE EQUAL TO A 1:11 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSBRC) SPECIFICATIONS. TRENCHING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.
- E. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8" (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICES, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POSTS SHALL EXTEND 4' ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.
- F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT NEAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.
- G. HYDRANTS SHALL NOT BE FLEASH DIRECTLY ON THE ROAD SURFACES. WHENEVER POSSIBLE, HIDES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS ON THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SURFACE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM INWARD FLOWING-ON FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.
- H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. (TYP. SEWERS TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.)
- I. SLEEVES FOR UTILITY (CABLE, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 8" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.
- J. THE CONTRACTOR SHALL VERIFY THE SIZE AND JUNCTURE ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.



EXISTING	DESCRIPTION	PROPOSED
---	DRAIN TILE	---
---	STORM SEWER	---
---	SANITARY SEWER	---
---	SANITARY TRUNK SEWER	---
---	SANITARY MAIN (WITH SOFF)	---
---	PIPE TRENCH BACKFILL	---
---	GAS MAIN	---
---	TELEPHONE LINES	---
---	ELECTRIC LINE	---
---	FENCE	---
---	RIGHT-OF-WAY	---
---	EASEMENT	---
---	PROPERTY LINE	---
---	SETBACK LINE	---
---	CENTERLINE	---
---	CONTOUR	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	CATCH BASIN	---
---	INLET	---
---	W/CT HYDRANT	---
---	PRESSURE CONNECTION	---
---	PIPE REDUCER	---
---	VALVE AND VALVE VALVE	---
---	FLARED END SECTION	---
---	STREET LIGHT	---
---	UTILITY POLE	---
---	CONTROL POINT	---
---	SIGN	---
---	SPOT ELEVATION	XXX.XX
---	SOIL BORING	---
---	OVERLAND FLOW ROUTE	---
---	DRAINAGE SLOPE	OR
---	GUARDRAIL	---
---	WATERS EDGE	---
---	CONCRETE	---
---	REVERSE PITCH CURB	---
---	TREE, FR TREE, BUSH & PROPOSED TREE TO REMOVE	---

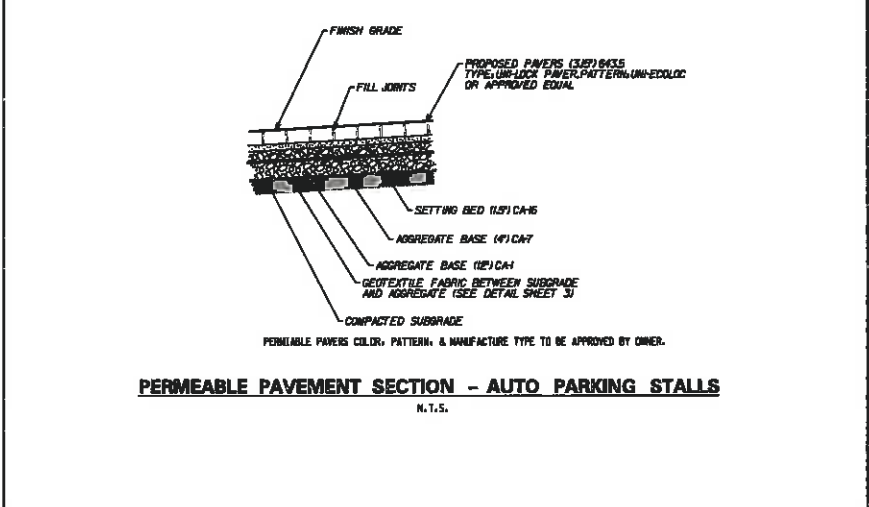
M - STORM MANHOLE	I - INVERT OR INLET	T/P - TOP OF PIPE
S - SANITARY MANHOLE	TF - TOP OF FOUNDATION	B/P - BOTTOM OF PIPE
CB - CATCH BASIN	GF - GARAGE FLOOR	WM - WATERMAN
LP - LIGHT POLE	TC - TOP OF CURB	SM - SANITARY SEWER
VV - VALVE VAULT	TD - TOP OF DEPRESSED CURB	STM - STORM SEWER
E - END SECTION	TW - TOP OF RETAINING WALL	LO - LOOK OUT
FH - FIRE HYDRANT	BW - BOTTOM OF RETAINING WALL	PLD - PARTIAL LOOK OUT
GR - GRADE RING (HYDRANT)	OP - OUTLET OF PIPE	

DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED

CONTACT INFORMATION

DADE COUNTY DEPT. OF TRANSPORTATION
150 McCOUNTY FARM ROAD
E. ROAD 208
WHEATON, IL 60187
(630) 407-6800
CONTACT PERSON: DAVID FUREY

CITY OF DAREN
7702 PLAINFIELD ROAD
DAREN, IL 60551
(630) 353-8113
CONTACT PERSON: MICHAEL GRIFFITH

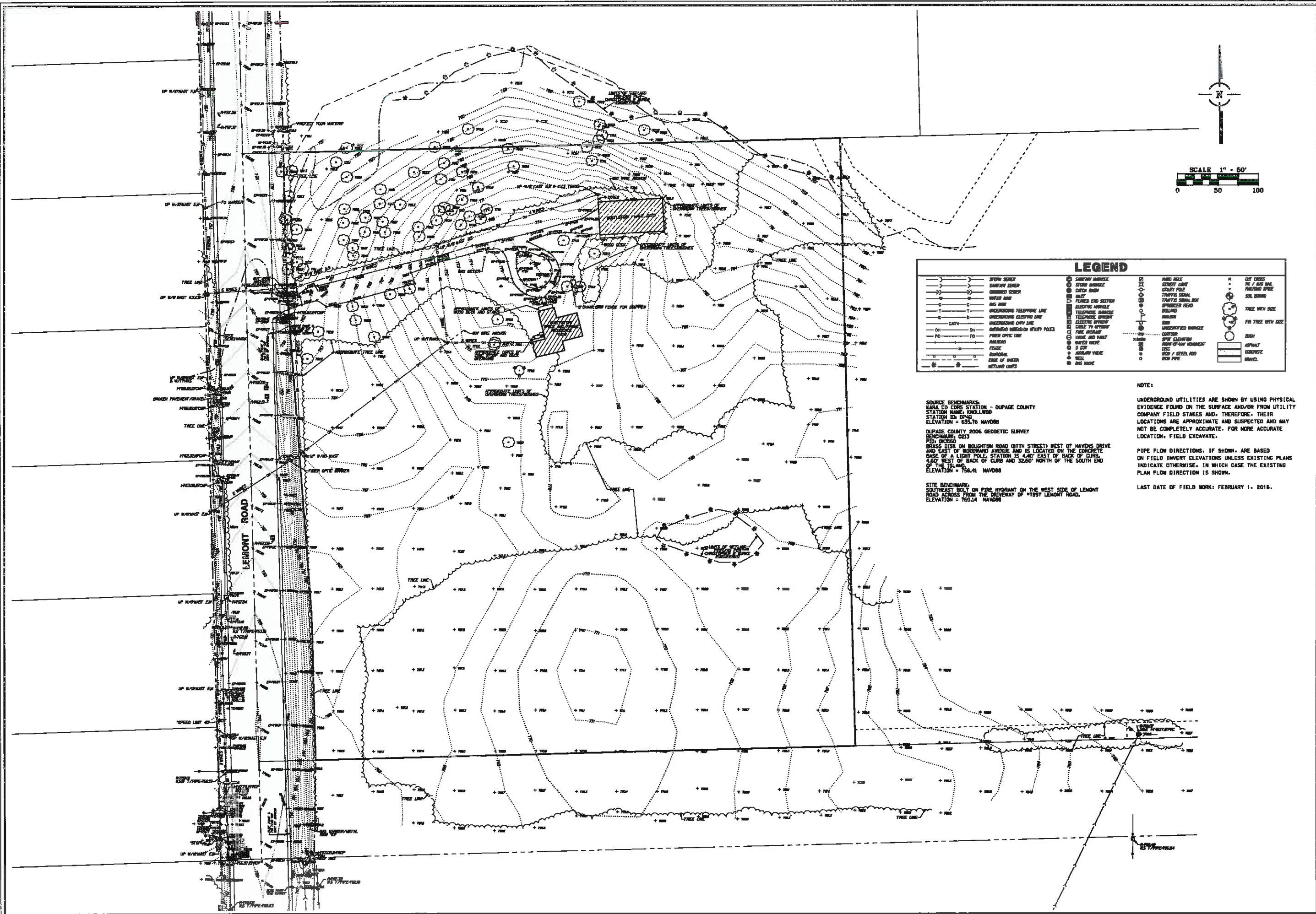


TYPICAL SECTIONS AND GENERAL NOTES

7879 LEMONT ROAD INDUSTRIAL BUILDING
DAREN, ILLINOIS

CONSULTING ENGINEERS: SPACECO INC.
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4680 Fax: (847) 676-4685

FILE NAME: B942GN.DGN
DATE: 03/16/2016
JOB NO. B942
SHEET GN
2 OF 22



LEGEND

STORM SEWER	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND CABLE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE
SEWER	UNDERGROUND CABLE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE
SEWER	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE
SEWER	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE
SEWER	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE	STORM MANHOLE	UNDERGROUND TELEPHONE LINE

SOURCE BENCHMARK:
 KARA CD CORS STATION - DUPAGE COUNTY
 STATION NAME: KROLLWOOD
 STATION ID: 8540
 ELEVATION = 635.76 NAVD83

DUPAGE COUNTY 2006 GEODETIC SURVEY
 BENCHMARK: 0213
 PDI: 020150
 BRASS BUSH ON BLOUNT ROAD (8TH STREET) WEST OF HAVENS DRIVE
 AND EAST OF WOODWARD AVENUE, AND IS LOCATED ON THE CONCRETE
 BASE OF A LIGHT POLE. STATION IS 4.40' EAST OF BACK OF CURB,
 4.50' WEST OF BACK OF CURB AND 35.50' NORTH OF THE SOUTH END
 OF THE ISLAND.
 ELEVATION = 756.41 NAVD83

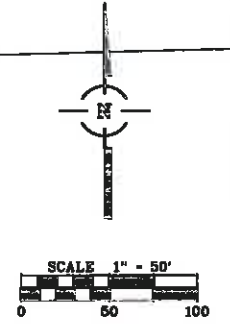
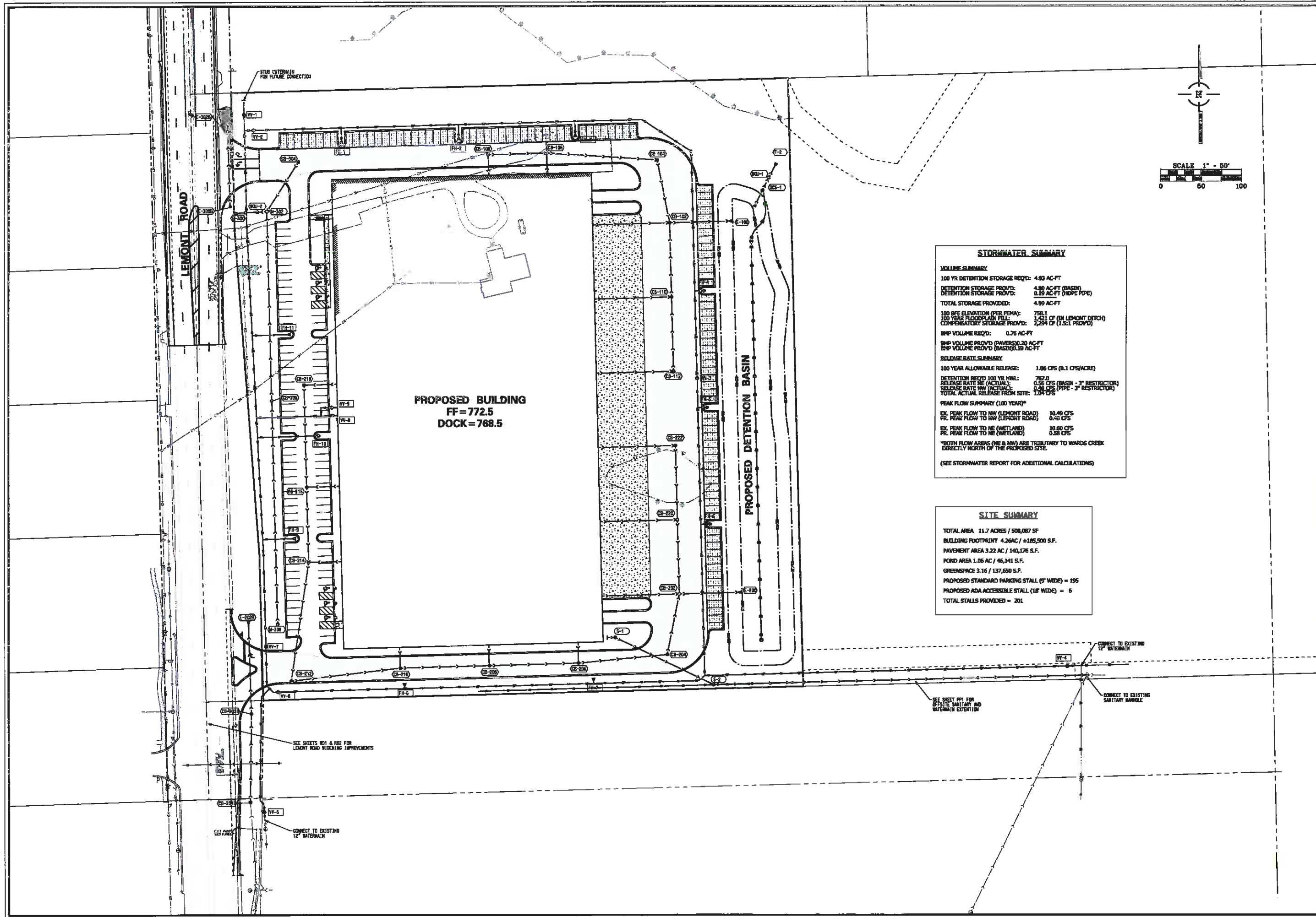
SITE BENCHMARK:
 SOUTHEAST BOLT ON FIRE HYDRANT ON THE WEST SIDE OF LEMONT
 ROAD ACROSS FROM THE DRIVEWAY OF 7879 LEMONT ROAD.
 ELEVATION = 760.14 NAVD83

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL
 EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY
 COMPANY FIELD STAKES AND, THEREFORE, THEIR
 LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY
 NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE
 LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED
 ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS
 INDICATE OTHERWISE. IN WHICH CASE THE EXISTING
 PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: FEBRUARY 1, 2016.

EXISTING CONDITIONS 7879 LEMONT ROAD INDUSTRIAL BUILDING DARIEN, ILLINOIS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">CONSULTING ENGINEERS - 1</td> <td style="width: 50%; text-align: center;">SITE DEVELOPMENT ENGINEERS</td> </tr> <tr> <td style="width: 50%; text-align: center;">LAND SURVEYORS</td> <td style="width: 50%; text-align: center;">LAND SURVEYORS</td> </tr> <tr> <td colspan="2" style="font-size: small;">9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-6660 Fax: (847) 676-6665</td> </tr> </table> <div style="text-align: center;"> <p>SPACECO INC.</p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: x-small;">FILENAME:</td> <td>B942ET01</td> </tr> <tr> <td style="font-size: x-small;">DATE:</td> <td>03/18/2016</td> </tr> <tr> <td style="font-size: x-small;">JOB NO.</td> <td>B942</td> </tr> <tr> <td style="font-size: x-small;">SHEET</td> <td>ET1</td> </tr> <tr> <td style="font-size: x-small;">3 OF 22</td> <td></td> </tr> </table>	CONSULTING ENGINEERS - 1	SITE DEVELOPMENT ENGINEERS	LAND SURVEYORS	LAND SURVEYORS	9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-6660 Fax: (847) 676-6665		FILENAME:	B942ET01	DATE:	03/18/2016	JOB NO.	B942	SHEET	ET1	3 OF 22	
CONSULTING ENGINEERS - 1	SITE DEVELOPMENT ENGINEERS																
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FILENAME:	B942ET01																
DATE:	03/18/2016																
JOB NO.	B942																
SHEET	ET1																
3 OF 22																	



STORMWATER SUMMARY

VOLUME SUMMARY
 100 YR DETENTION STORAGE REQ'D: 4.93 AC-FT
 DETENTION STORAGE PROVID'D: 4.93 AC-FT (BASIN)
 DETENTION STORAGE PROVID'D: 0.19 AC-FT (HOPE PIPE)
 TOTAL STORAGE PROVIDED: 4.99 AC-FT
 100 RFE ELEVATION (PER FEMA): 758.1
 100 YEAR FLOODPLAIN FILL: 1.431 CF (IN LEMONT DITCH)
 COMPENSATORY STORAGE PROVID'D: 2.294 CF (1.5:1 PROVID'D)
 BMP VOLUME REQ'D: 0.76 AC-FT
 BMP VOLUME PROVID'D (PAVERS) 0.20 AC-FT
 BMP VOLUME PROVID'D (BASIN) 0.59 AC-FT

RELEASE RATE SUMMARY
 100 YEAR ALLOWABLE RELEASE: 1.06 CFS (0.1 CFS/ACRE)
 DETENTION REQ'D 100 YR HWL: 767.0
 RELEASE RATE NE (ACTUAL): 0.56 CFS (BASIN - 3" RESTRICTOR)
 RELEASE RATE NW (ACTUAL): 0.46 CFS (PIPE - 3" RESTRICTOR)
 TOTAL ACTUAL RELEASE FROM SITE: 1.04 CFS

PEAK FLOW SUMMARY (100 YEAR)*
 EX. PEAK FLOW TO NW (LEMONT ROAD) 10.49 CFS
 PR. PEAK FLOW TO NW (LEMONT ROAD) 0.46 CFS
 EX. PEAK FLOW TO NE (WETLAND) 10.60 CFS
 PR. PEAK FLOW TO NE (WETLAND) 0.58 CFS

*BOTH FLOW AREAS (NE & NW) ARE TRIBUTARY TO WARDS CREEK DIRECTLY NORTH OF THE PROPOSED SITE.
 (SEE STORMWATER REPORT FOR ADDITIONAL CALCULATIONS)

SITE SUMMARY

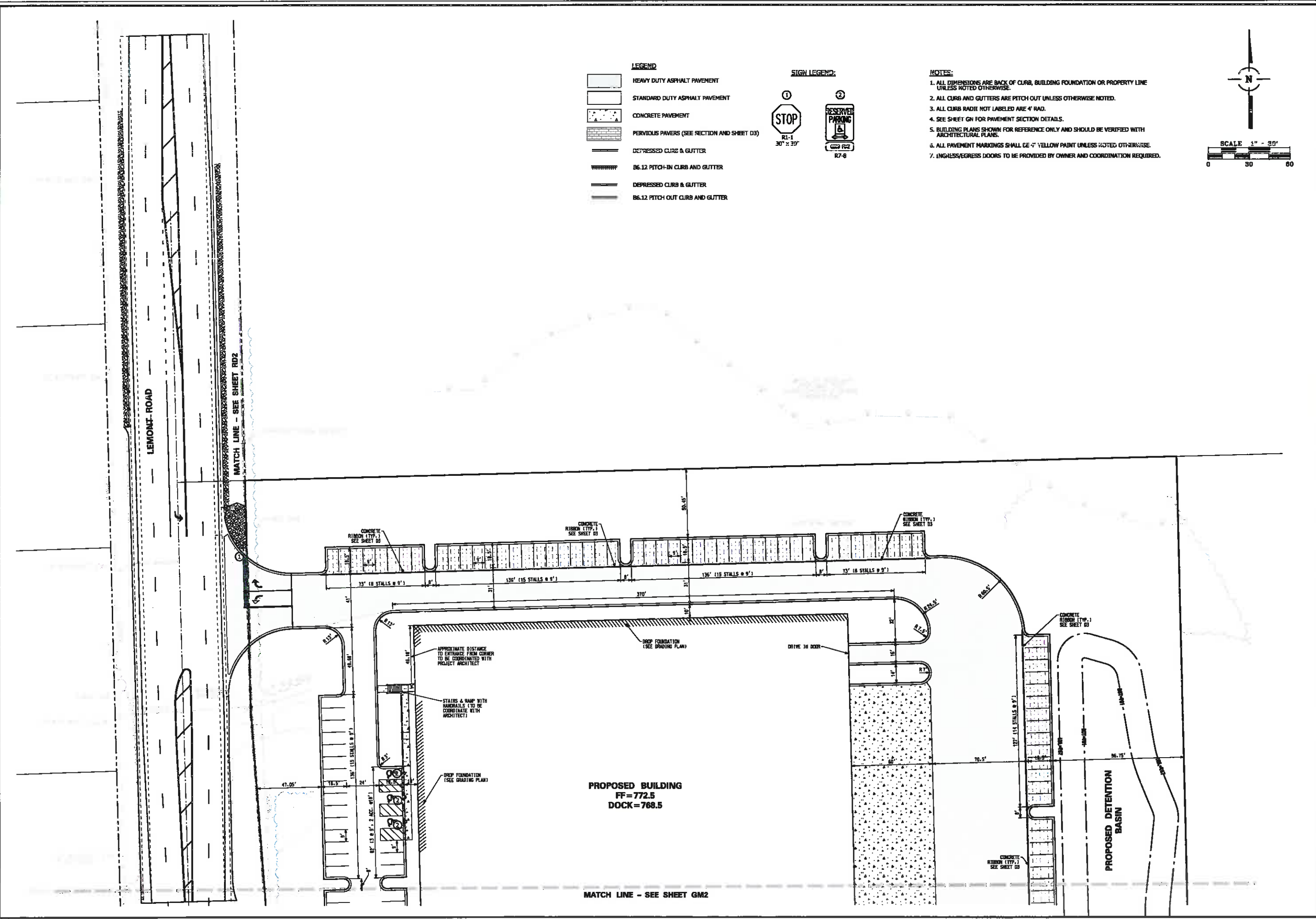
TOTAL AREA 11.7 ACRES / 508,087 SF
 BUILDING FOOTPRINT 4.26AC / ±165,500 S.F.
 PAVEMENT AREA 3.22 AC / 140,176 S.F.
 POND AREA 1.06 AC / 46,141 S.F.
 GREENSPACE 3.16 / 137,650 S.F.
 PROPOSED STANDARD PARKING STALL (5' WIDE) = 195
 PROPOSED ADA ACCESSIBLE STALL (18' WIDE) = 6
 TOTAL STALLS PROVIDED = 201

LEMONT ROAD

PROPOSED BUILDING
FF=772.5
DOCK=768.5

PROPOSED DETENTION BASIN

OVERALL SITE PLAN 7879 LEMONT ROAD INDUSTRIAL BUILDING DARIEN, ILLINOIS	CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS
9975 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 674-4660 Fax: (847) 674-4065	
SPACECO INC.	
FILENAME: B942OVSP DATE: 03/18/2016 JOB NO. 8942 SHEET OVSP 4 OF 22	
NO. DATE REMARKS 1 03/08/2016 PER AGENCY REVIEW	NO. DATE REMARKS



GEOMETRIC PLAN - 1
7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

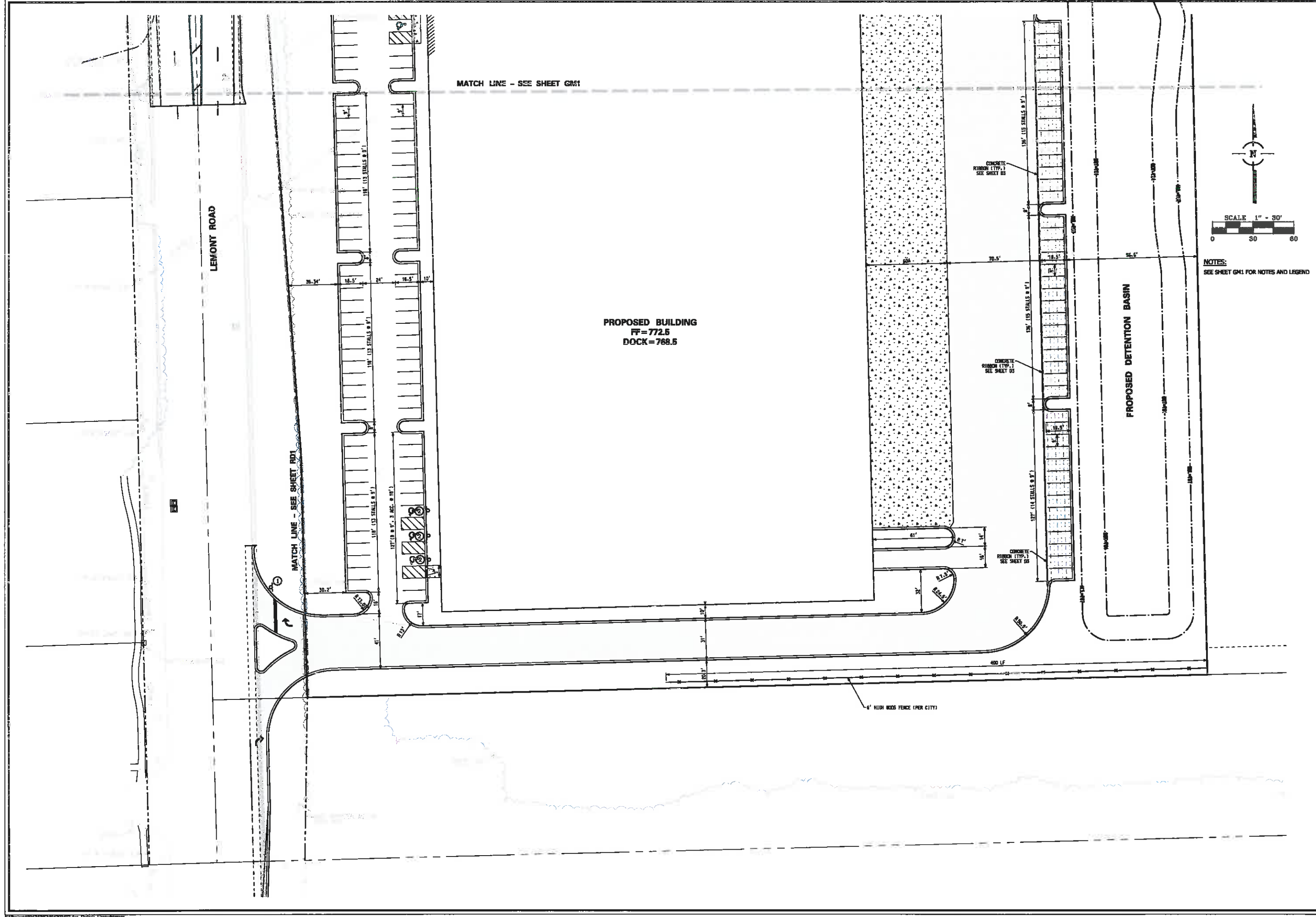
NO.	DATE	REMARKS
2	03/09/2016	PER VILLAGE REVIEW
1	03/09/2016	PER AGENCY REVIEW

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9376 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4065

SPACECO INC.

FILENAME: B942GM01
DATE: 03/18/2016
JOB NO. B942
SHEET **GM1**
5 OF 22

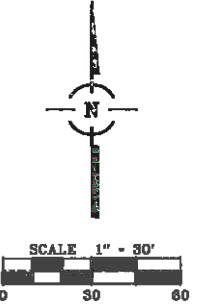


MATCH LINE - SEE SHEET GM1

PROPOSED BUILDING
 FF=772.5
 DOCK=768.5

LEMONT ROAD

MATCH LINE - SEE SHEET RD1



NOTES:
 SEE SHEET GM1 FOR NOTES AND LEGEND

NO.	DATE	REMARKS

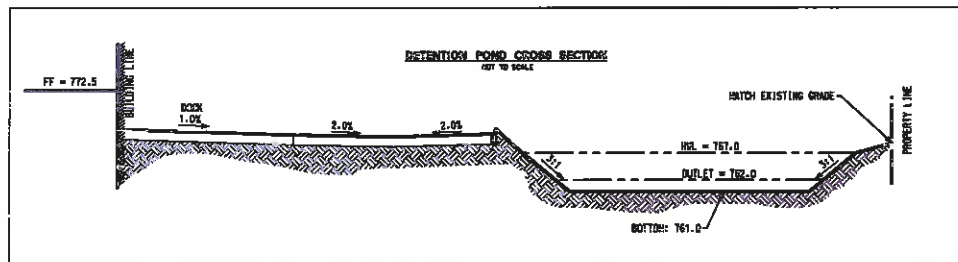
NO.	DATE	REMARKS
3	06/16/2016	ADD SOUTH FENCE
2	06/09/2016	PER VILLAGE REVIEW
1	05/09/2016	PER AGENCY REVIEW

GEOMETRIC PLAN - 2
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



FILENAME:
 B942GMO2
 DATE:
 03/18/2016
 JOB NO.
 B942
 SHEET
GM2
 6 OF 22

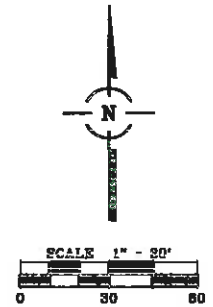


NOTES:

1. ALL CURB AND GUTTER IS PITCH-OUT UNLESS NOTED OTHERWISE.
2. ALL SPOT GRADES ALONG CURB LINE ARE FLOW LINE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
4. ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
6. ALL COMPENSATORY STORAGE SHOULD BE OPERATIONAL PRIOR TO PLACEMENT OF FILL, STRUCTURES, OR OTHER MATERIALS IN THE REGULATORY FLOOD PLAIN. GRADINGS IN SPECIAL MANAGEMENT AREAS SHALL BE DONE IN SUCH A MANNER THAT THE EXISTING FLOOD PLAIN STORAGE IS MAINTAINED AT ALL TIMES.

LEGEND:

- FF FINISHED FLOOR
- LOCAL DRAINAGE
- EMERGENCY OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB EDGE OF PAVEMENT
- PITCH-IN 06.12 CURB & GUTTER
- PITCH-OUT 06.12 CURB & GUTTER
- FUTURE STORM STRUCTURE
- BORING LOCATION



LEMONT ROAD

MATCH LINE - SEE SHEET GR2

WARD'S CREEK 100 YEAR FLOOD PLAIN ELEVATION = 756.5
WARD'S CREEK 100 YEAR FLOOD PLAIN ELEVATION = 756.1

EXISTING WETLAND LIMIT

WARD'S CREEK 100 YEAR FLOOD PLAIN ELEVATION = 756.1

100 YEAR OVERFLOW ELEVATION 767.0 (SEE DETAIL)

INSTALL LEVEL STREAMER (SEE INGS DETAIL ON SHEET GR2)

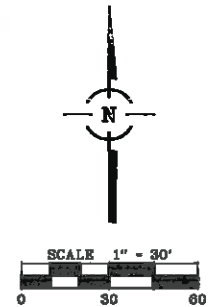
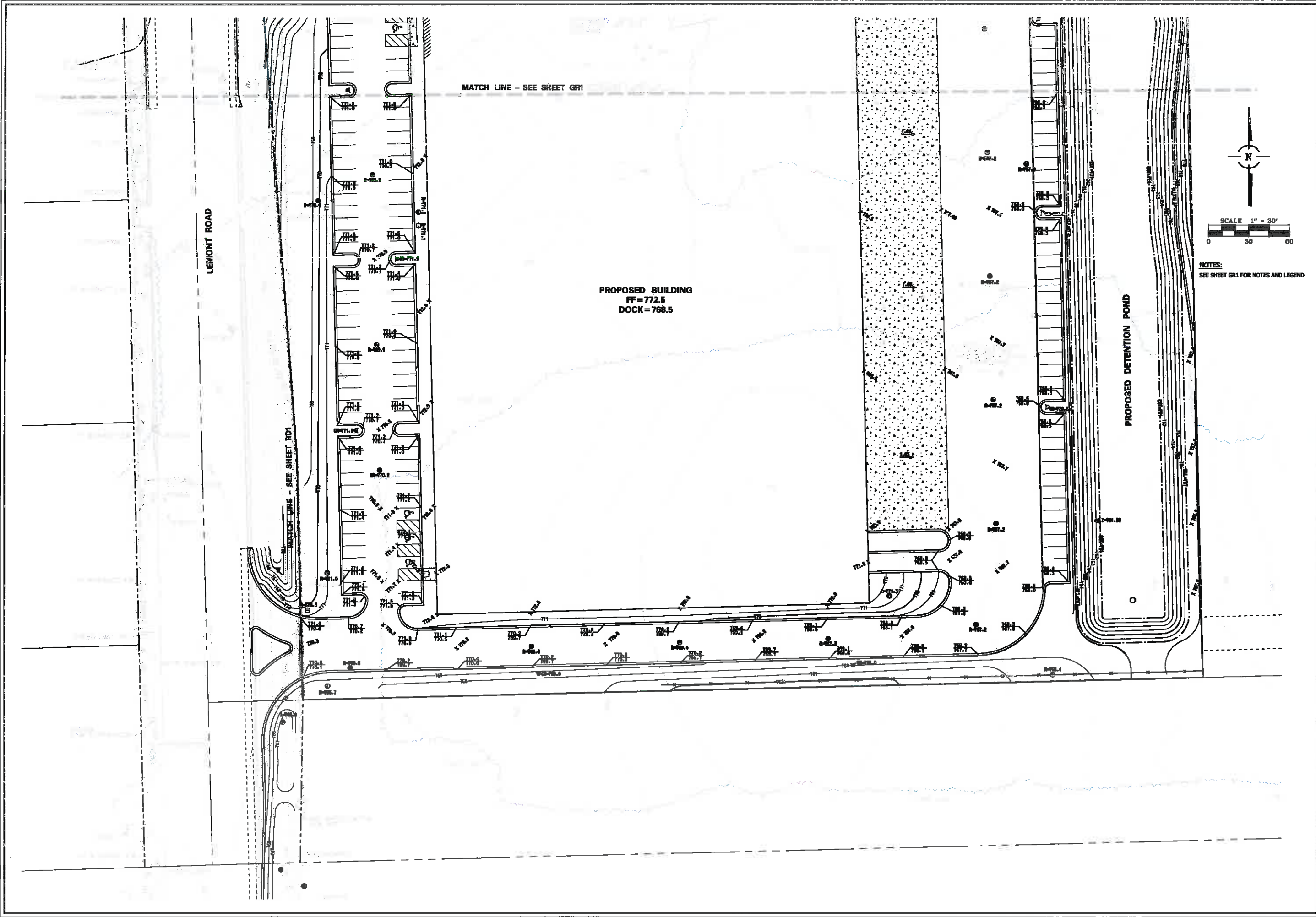
1111 - 1' WIDE STEPS @ 7" HIGH
7/2016 = 772.50
8/2016 = 768.50

PROPOSED BUILDING
FF=772.5
DOCK=768.5

PROPOSED DETENTION BASIN

MATCH LINE - SEE SHEET GR2

GRADING PLAN - 1		7879 LEMONT ROAD INDUSTRIAL BUILDING DARIEN, ILLINOIS	
CONSULTING ENGINEERS	SITE DEVELOPMENT ENGINEERS	LAND SURVEYORS	
9575 W. Higgins Road, Suite 700 Rosemont, Illinois 60018 Phone: (847) 676-4567 Fax: (847) 676-4568			
FILENAME: 8942GR01			
DATE: 03/18/2016			
JOB NO. 8942			
SHEET			
GR1			
7 OF 22			



NOTES:
SEE SHEET GR1 FOR NOTES AND LEGEND

NO.	DATE	REMARKS

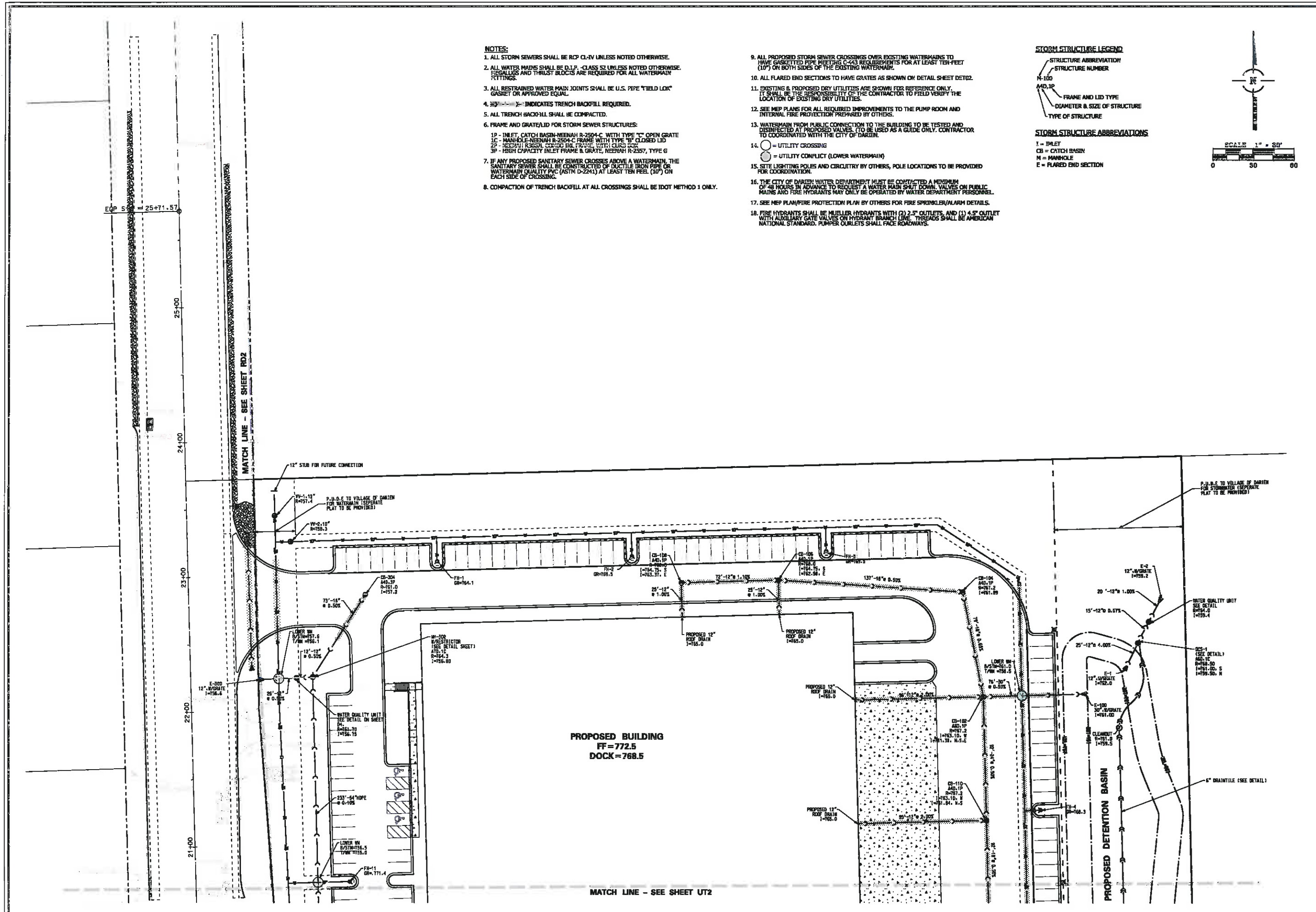
NO.	DATE	PER AGENCY REVIEW	REMARKS
1	03/18/2016		

GRADING PLAN - 2
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9575 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 676-4060 Fax: (847) 676-4066



SPACECO INC.
 FILENAME:
 8942GR02
 DATE:
 03/18/2016
 JOB NO.
 8942
 SHEET
GR2
 8 OF 22



- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
 2. ALL WATER MAINS SHALL BE D.I.P. CLASS 52 UNLESS NOTED OTHERWISE. REGULAS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
 3. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
 4. INDICATES TRENCH BACKFILL REQUIRED.
 5. ALL TRENCH BACKFILL SHALL BE COMPACTED.
 6. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES:
 1P - INLET CATCH BASIN-NEENAH R-2504-C WITH TYPE "C" OPEN GRATE
 1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID
 2P - RESPAH R3007L CORROD. INL. FRAME WITH CLRD COP
 3P - HIGH CAPACITY INLET FRAME & GRATE, NEENAH R-2507, TYPE G
 7. IF ANY PROPOSED SANITARY SEWER CROSSES ABOVE A WATERMAIN, THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE OR WATERMAIN QUALITY PVC (ASTM D-2241) AT LEAST TEN FEET (10') ON EACH SIDE OF CROSSING.
 8. COMPACTION OF TRENCH BACKFILL AT ALL CROSSINGS SHALL BE IDOT METHOD 1 ONLY.

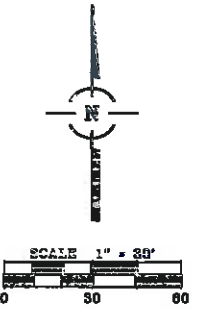
9. ALL PROPOSED STORM SEWER CROSSINGS OVER EXISTING WATERMAINS TO HAVE GASKETTED PIPE MEETING C-43 REQUIREMENTS FOR AT LEAST TEN FEET (10') ON BOTH SIDES OF THE EXISTING WATERMAIN.
10. ALL FLARED END SECTIONS TO HAVE GRATES AS SHOWN ON DETAIL SHEET DET02.
11. EXISTING & PROPOSED DRY UTILITIES ARE SHOWN FOR REFERENCE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF EXISTING DRY UTILITIES.
12. SEE MEP PLANS FOR ALL REQUIRED IMPROVEMENTS TO THE PUMP ROOM AND INTERNAL FIRE PROTECTION PREPARED BY OTHERS.
13. WATERMAIN FROM PUBLIC CONNECTION TO THE BUILDING TO BE TESTED AND DISINFECTED AT PROPOSED VALVES. (TO BE USED AS A GUIDE ONLY. CONTRACTOR TO COORDINATE WITH THE CITY OF DARIEN).
14. = UTILITY CROSSING
 = UTILITY CONFLICT (LOWER WATERMAIN)
15. SITE LIGHTING POLES AND CIRCUITRY BY OTHERS, POLE LOCATIONS TO BE PROVIDED FOR COORDINATION.
16. THE CITY OF DARIEN WATER DEPARTMENT MUST BE CONTACTED A MINIMUM OF 48 HOURS IN ADVANCE TO REQUEST A WATER MAIN SHUT DOWN. VALVES ON PUBLIC MAINS AND FIRE HYDRANTS MAY ONLY BE OPERATED BY WATER DEPARTMENT PERSONNEL.
17. SEE MEP PLAN/FIRE PROTECTION PLAN BY OTHERS FOR FIRE SPRINKLER/ALARM DETAILS.
18. FIRE HYDRANTS SHALL BE MUELLER HYDRANTS WITH (2) 2.5" OUTLETS, AND (1) 4.5" OUTLET WITH AUXILIARY GATE VALVES ON HYDRANT BRANCH LINE. THREADS SHALL BE AMERICAN NATIONAL STANDARD. PUMPER OUTLETS SHALL FACE ROADWAYS.

STORM STRUCTURE LEGEND

STRUCTURE ABBREVIATION
 STRUCTURE NUMBER
 ADD. IP
 FRAME AND LID TYPE
 DIAMETER & SIZE OF STRUCTURE
 TYPE OF STRUCTURE

STORM STRUCTURE ABBREVIATIONS

I = INLET
 CB = CATCH BASIN
 M = MANHOLE
 E = FLARED END SECTION



UTILITY PLAN - 1

7879 LEMONT ROAD INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

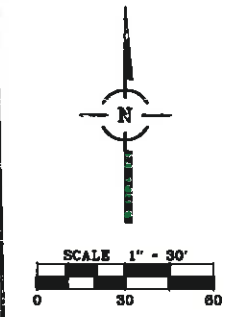
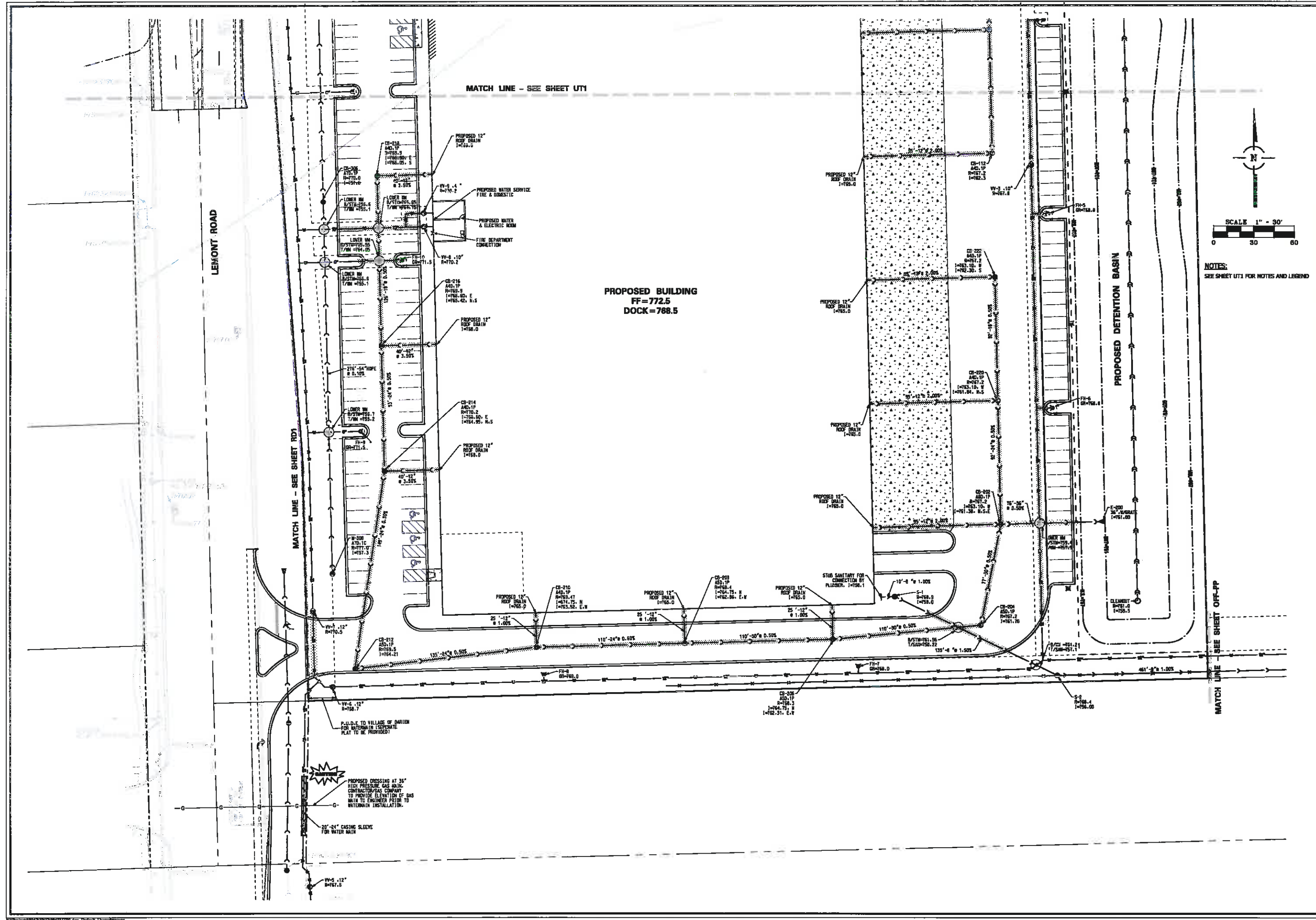
CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9515 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 692-4667 Fax: (847) 692-4668

SPACECO, INC.

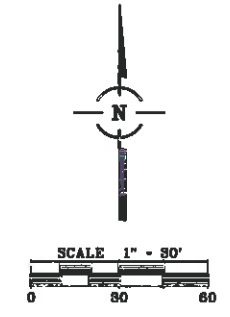
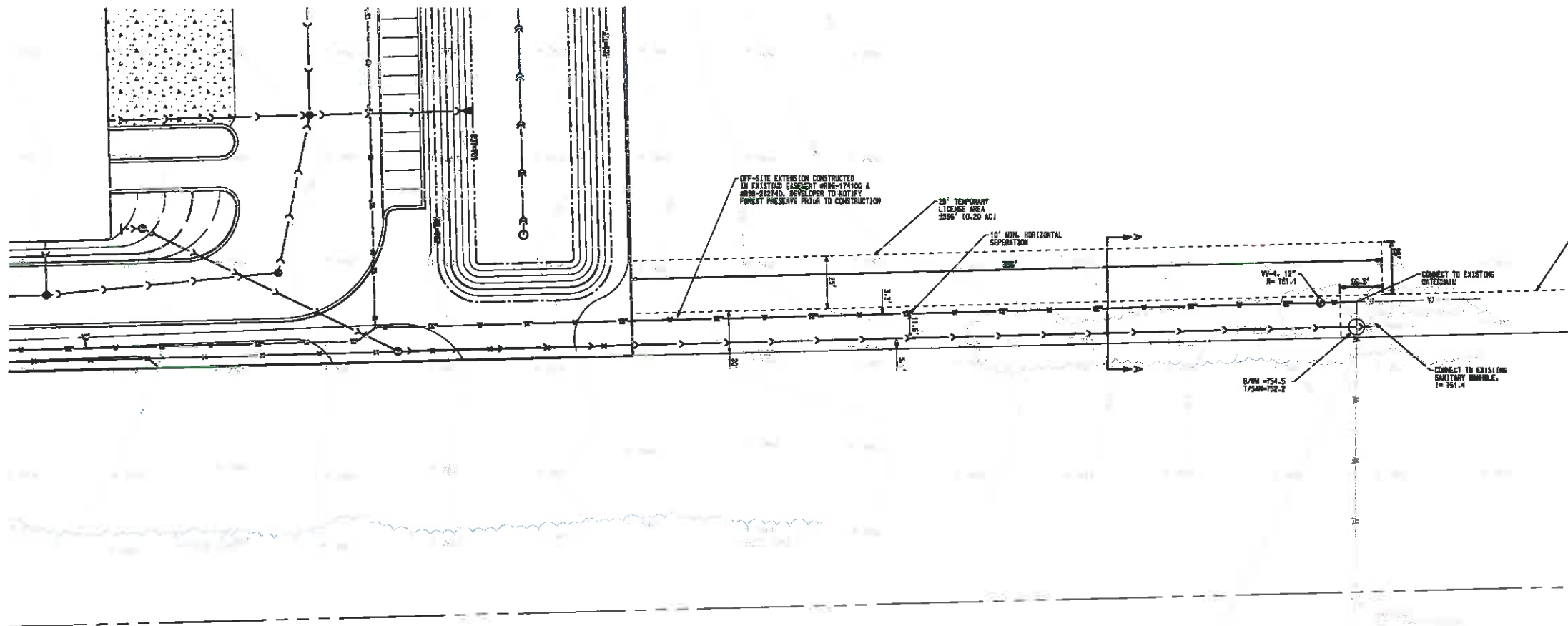
FILENAME: 8942UT01
 DATE: 03/18/2016
 JOB NO. 8942
 SHEET UT1
 9 OF 22

NO.	DATE	REMARKS
1	03/09/2016	PER AGENCY REVIEW

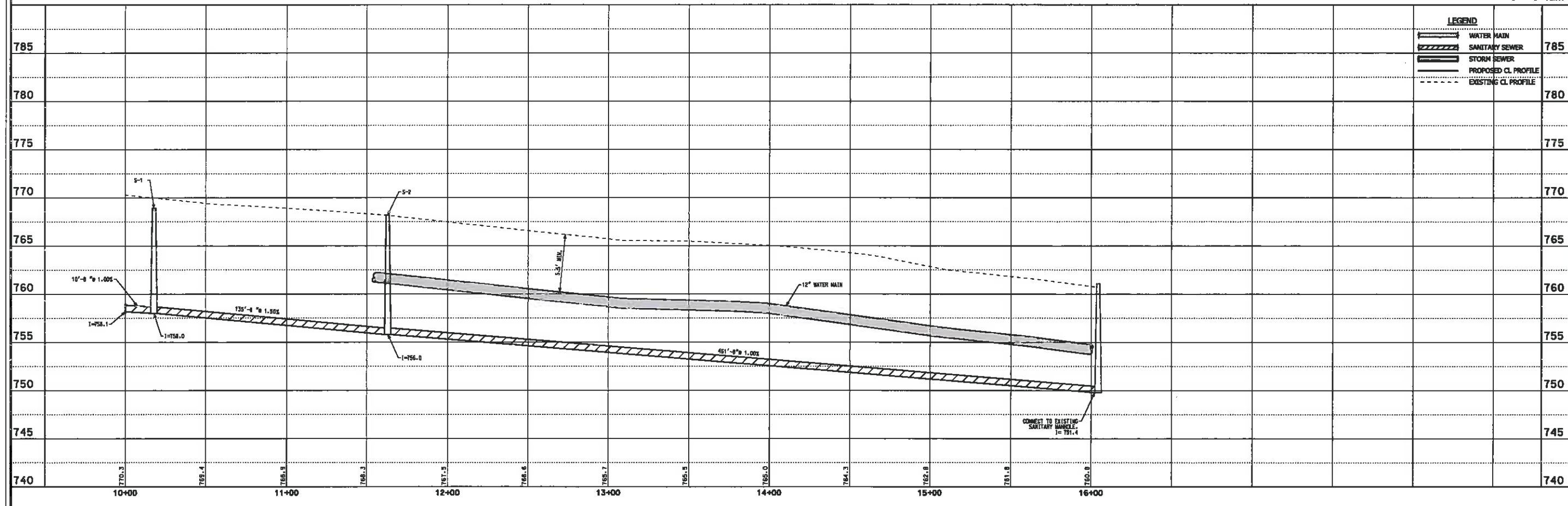
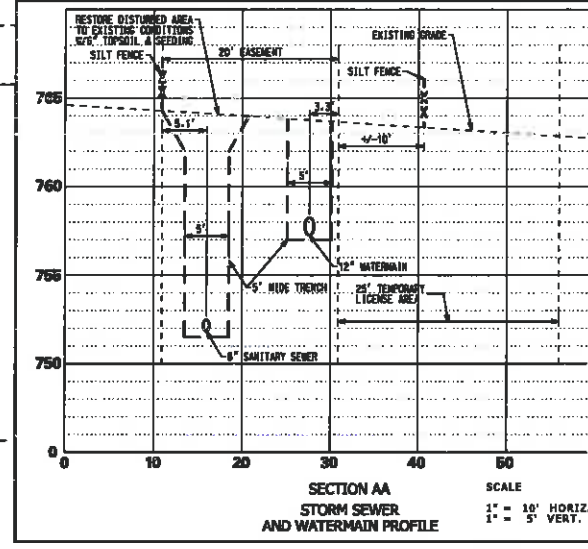


NOTES:
SEE SHEET UT1 FOR NOTES AND LEGEND

UTILITY PLAN - 2 7879 LEMONT ROAD INDUSTRIAL BUILDING DARIEN, ILLINOIS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS </td> <td style="width: 50%; text-align: center;"> SPACECO, INC. </td> </tr> <tr> <td colspan="2" style="font-size: 8px;"> 9573 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-4060 Fax: (847) 676-4068 </td> </tr> <tr> <td>FILENAME: 8942UT02</td> <td>DATE: 03/18/2016</td> </tr> <tr> <td>JOB NO. 8942</td> <td>SHEET UT2</td> </tr> <tr> <td colspan="2" style="text-align: right;">10 OF 22</td> </tr> </table>	CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	 SPACECO, INC.	9573 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-4060 Fax: (847) 676-4068		FILENAME: 8942UT02	DATE: 03/18/2016	JOB NO. 8942	SHEET UT2	10 OF 22	
CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	 SPACECO, INC.										
9573 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-4060 Fax: (847) 676-4068											
FILENAME: 8942UT02	DATE: 03/18/2016										
JOB NO. 8942	SHEET UT2										
10 OF 22											
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NO. DATE	REMARKS										
1	06/09/2016										
PER AGENCY REVIEW											
NO. DATE	REMARKS										



NOTES:
SEE SHEET UT1 FOR NOTES AND LEGEND



LEGEND	
	WATER MAIN
	SANITARY SEWER
	STORM SEWER
	PROPOSED CL PROFILE
	EXISTING CL PROFILE

NO.	DATE	REMARKS

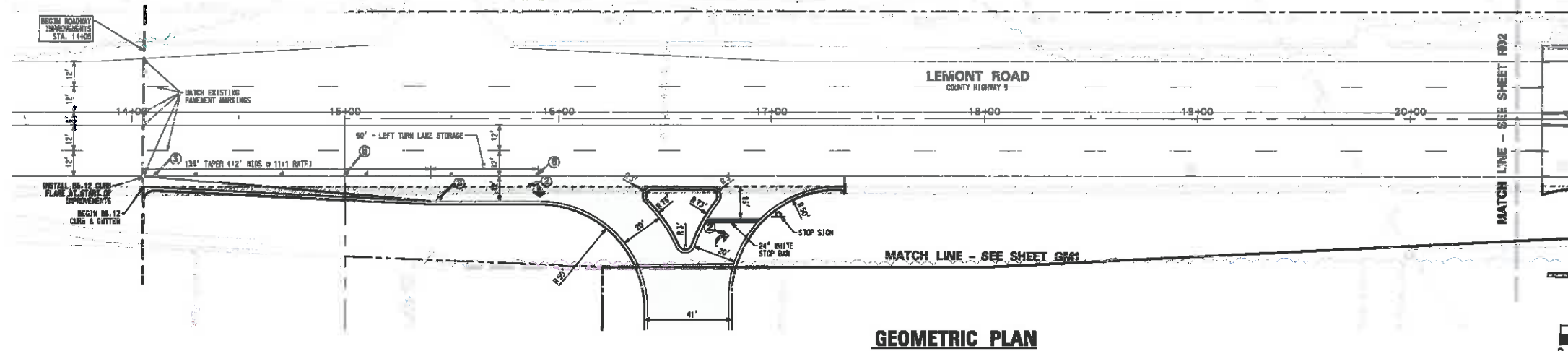
NO.	DATE	PER AGENCY REVIEW	REMARKS
1	05/09/2016		

**OFFSITE PLAN AND PROFILE
SANITARY AND WATERMAIN EXTENSION
7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS**

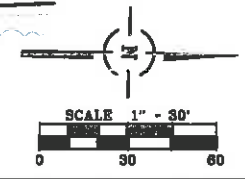
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9375 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 694-4566 Fax: (847) 694-4058



FILENAME:
8942OFFSITEPP01
DATE:
03/16/2016
JOB NO.
8942



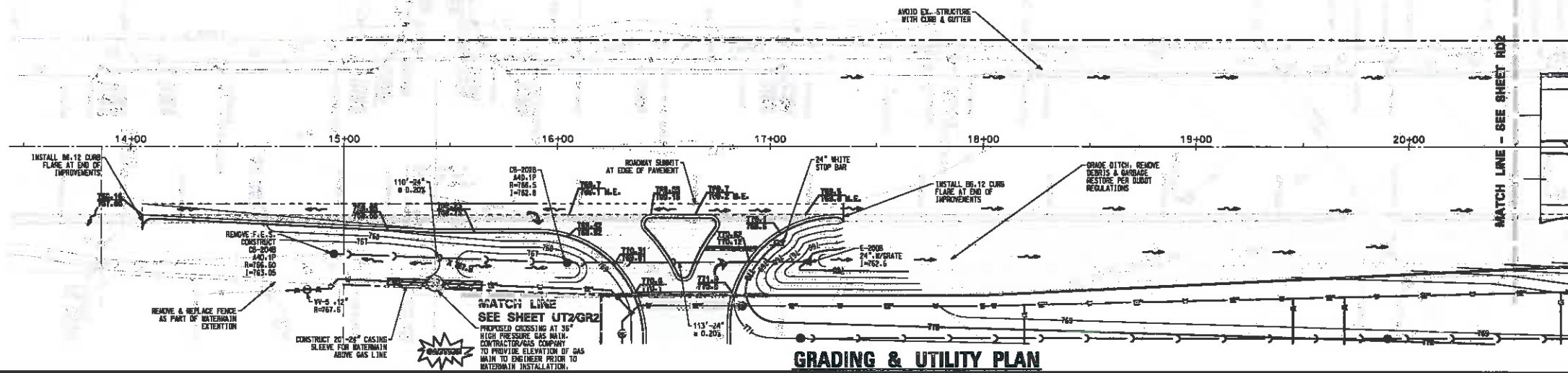
GEOMETRIC PLAN



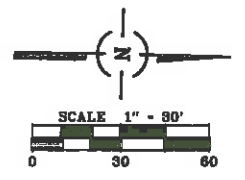
- LEGEND**
- PROPOSED FULL DEPT PAVEMENT SECTION TO REPLACE EX. PAVED SHOULDER (3\"/>
 - COMBINATION CONCRETE CURB & GUTTER 8.6.12
 - RAISED REFLECTIVE PAVEMENT MARKER (SEE DETAILS ON SHEET D-4, 22 OF 22)
 - LIMIT OF CONSTRUCTION

- NOTES:**
1. SEE SHEETS GR1 AND UT1 FOR NOTES AND LEGEND
 2. SEE DETAIL SHEETS D 4 & D 5 FOR STANDARD DETAILS

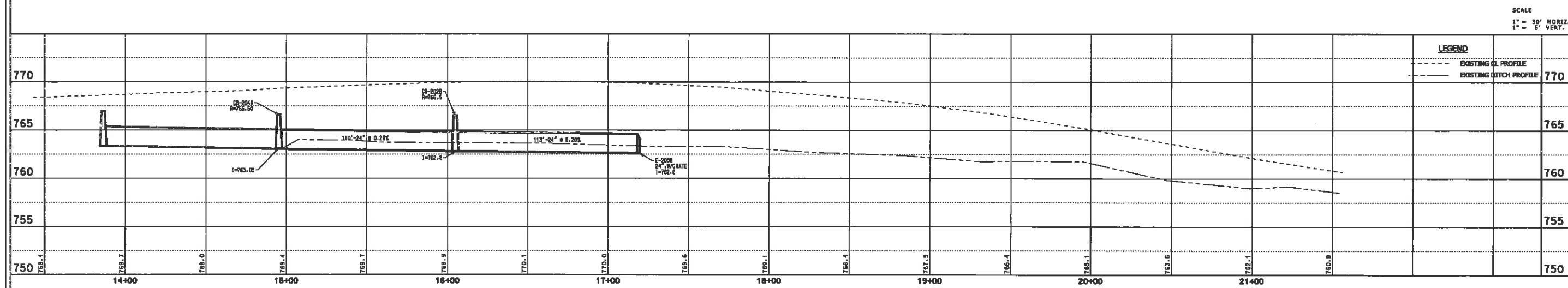
- PAVEMENT MARKING LEGEND**
- ① THERMOPLASTIC PAVEMENT MARKING - LINE 4", DOUBLE YELLOW
 - ② THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS, WHITE
 - ③ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE SOLID LINE
 - ④ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE DASHED LINE (10' LINE, 30' SKIP)
 - ⑤ THERMOPLASTIC PAVEMENT MARKING - LINE 4", DASHED WHITE LINE (2' LINE, 6' SKIP)
 - ⑥ THERMOPLASTIC PAVEMENT MARKING - LINE 12", DIAGONAL CROSSHATCH YELLOW SOLID LINE @ 450, 30' C-C
 - ⑦ 3M SERIES 150 REFLECTOR AND MARKER OR 3M SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (80 FEET ON CENTER UNLESS OTHERWISE NOTED)
 - ⑧ 3M SERIES 150 REFLECTOR AND MARKER OR 3M SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (40 FEET ON CENTER UNLESS OTHERWISE NOTED)



GRADING & UTILITY PLAN



- NOTES:**
1. SEE SHEETS GR1 AND UT1 FOR NOTES AND LEGEND
 2. ALL DISTURBED PREVIOUS AREAS TO BE RESTORED PER DUDOT REQUIREMENTS AS NOTED ON SHEET D4

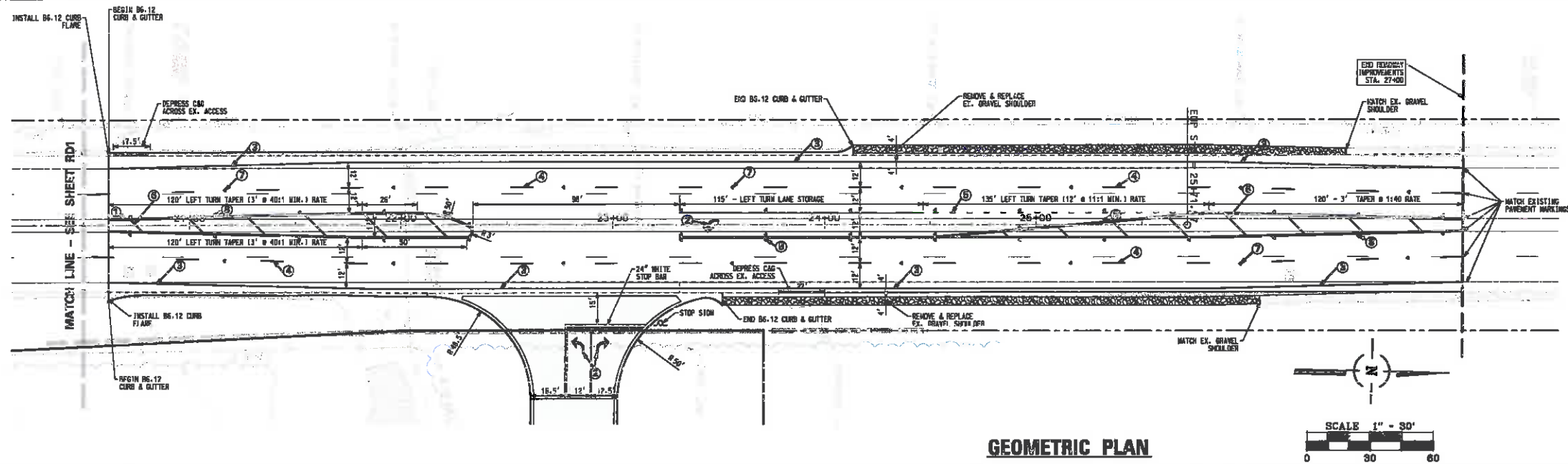


PROFILE

SCALE
1" = 30' HORIZ.
1" = 5' VERT.

- LEGEND**
- EXISTING GROUND PROFILE
 - EXISTING DITCH PROFILE

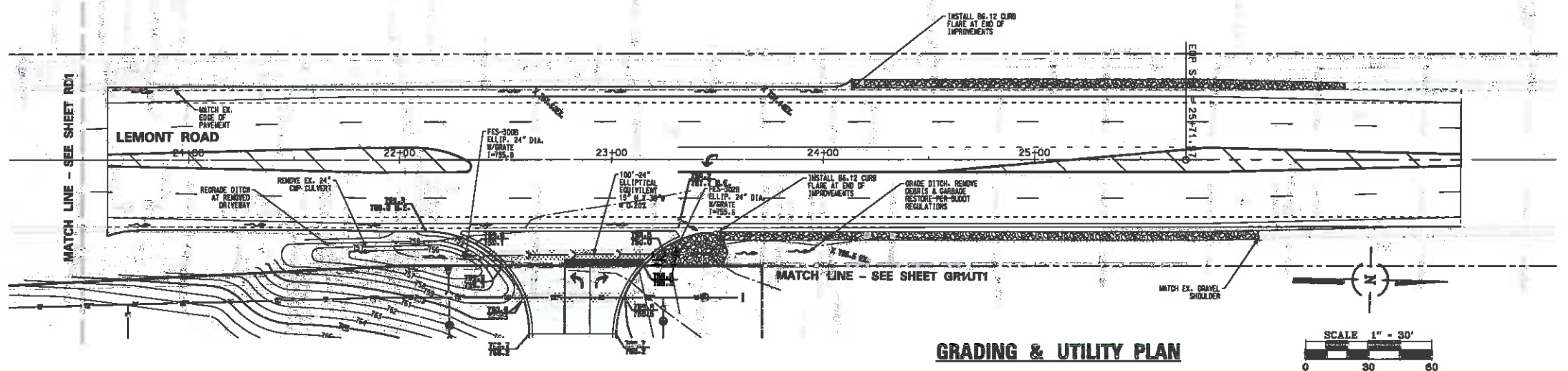
NO.	DATE	REMARKS		
1	03/18/2016	PER AGENCY REVIEW		
NO.	DATE	REMARKS		
LEMONT ROAD IMPROVEMENT PLAN - 1				
7879 LEMONT ROAD				
INDUSTRIAL BUILDING				
DARIEN, ILLINOIS				
CONSULTING ENGINEERS & SURVEYORS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS				
9375 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (630) 865-4660 Fax: (630) 865-4065				
FILENAME: 8942GRUT01				
DATE: 03/18/2016				
JOB NO. 8942				
SHEET RD1 12 OF 22				



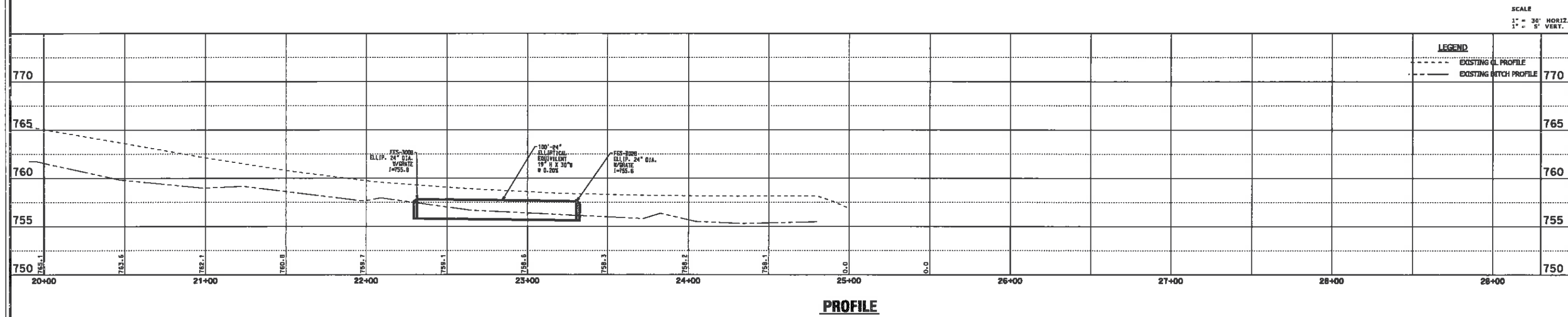
- LEGEND**
- PROPOSED FULL DEPTH PAVEMENT SECTION TO REPLACE EX. PAVED SHOULDER (3" ASPHALT, 12" CONCRETE, 4" AGG. BASE, SEE DUDOT DETAIL ON SHEET D-4, 22 OF 22)
 - COMBINATION CONCRETE CURB & GUTTER B.6.12
 - RAISED REFLECTIVE PAVEMENT MARKER (SEE DETAILS ON SHEET D-4, 22 OF 22)
 - LIMIT OF CONSTRUCTION

- NOTES:**
1. SEE DETAIL SHEET FOR ALL DUDOT.
 2. ALL EXISTING PAVEMENT MARKINGS & REFLECTORS TO BE REMOVED & PATCHED WITHIN LIMITS OF IMPROVEMENTS, AS NEEDED.

- PAVEMENT MARKING LEGEND**
- ① THERMOPLASTIC PAVEMENT MARKING - LINE 4", DOUBLE YELLOW
 - ② THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS, WHITE
 - ③ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE SOLID LINE
 - ④ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE DASHED LINE (10' LINE, 30' SKIP)
 - ⑤ THERMOPLASTIC PAVEMENT MARKING - LINE 4", DASHED WHITE LINE (2' LINE, 6' SKIP)
 - ⑥ THERMOPLASTIC PAVEMENT MARKING - LINE 12", DIAGONAL CROSSHATCH YELLOW SOLID LINE @ 45D, 30' C-C
 - ⑦ 3M SERIES 150 REFLECTOR AND MARKERONE SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (80 FEET ON CENTER UNLESS OTHERWISE NOTED)
 - ⑧ 3M SERIES 150 REFLECTOR AND MARKERONE SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (40 FEET ON CENTER UNLESS OTHERWISE NOTED)



- NOTES:**
1. SEE SHEETS GR1 AND UT1 FOR NOTES AND LEGEND
 2. ALL DISTURBED PERVIOUS AREAS TO BE RESTORED PER DUDOT REQUIREMENTS AS NOTED ON SHEET D4



NO.	DATE	REMARKS
1	03/09/2016	PER AGENCY REVIEW

LEMONT ROAD IMPROVEMENT PLAN - 2

7879 LEMONT ROAD INDUSTRIAL BUILDING

DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4561 Fax: (847) 676-4066

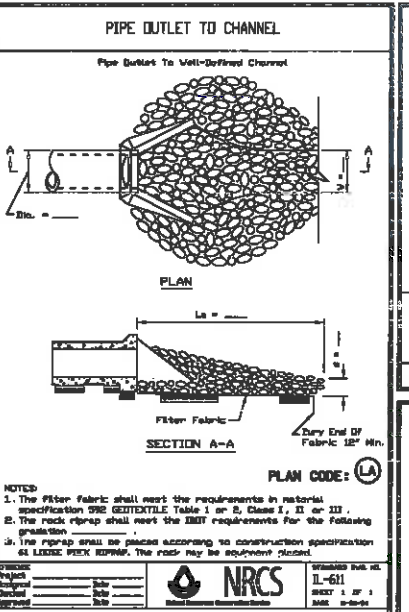
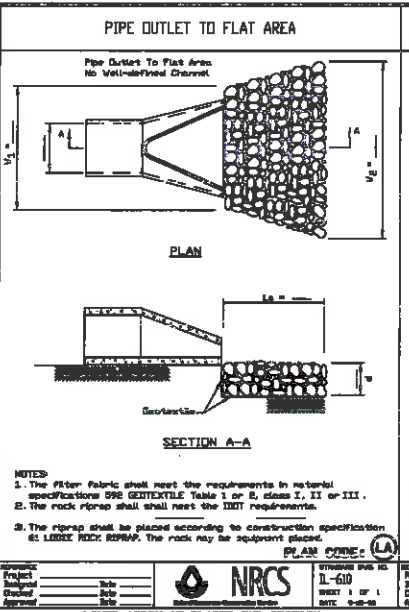
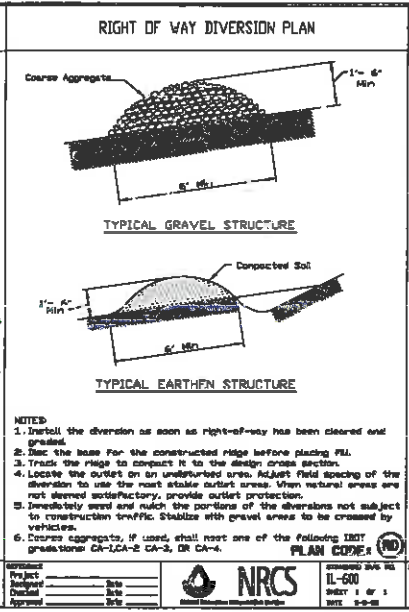
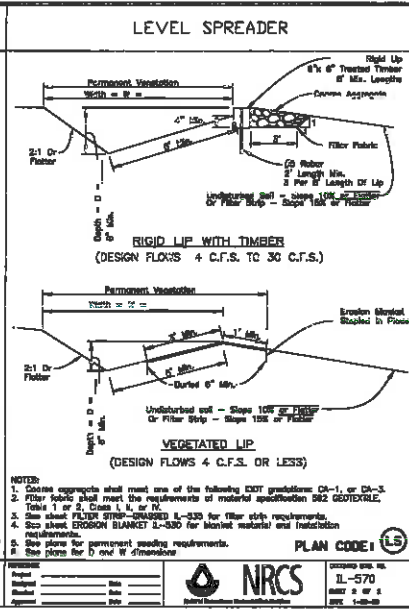
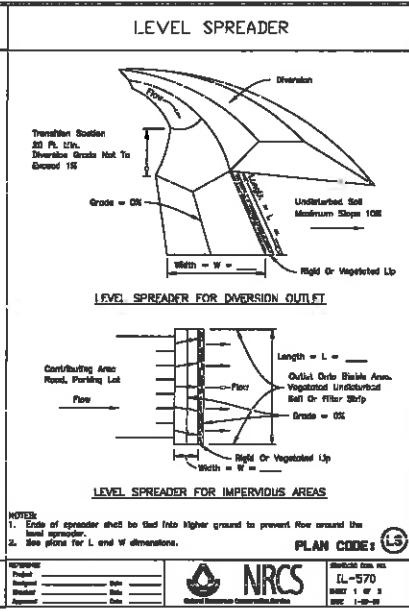
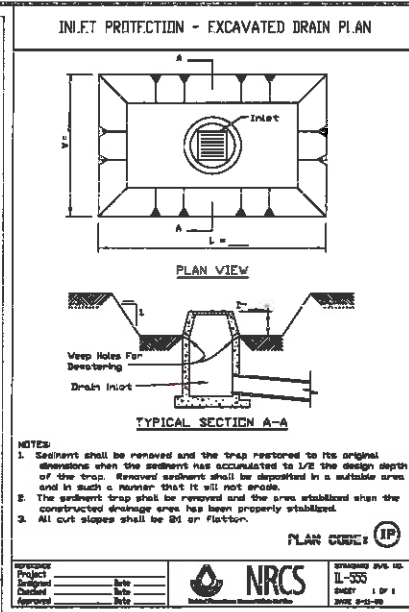
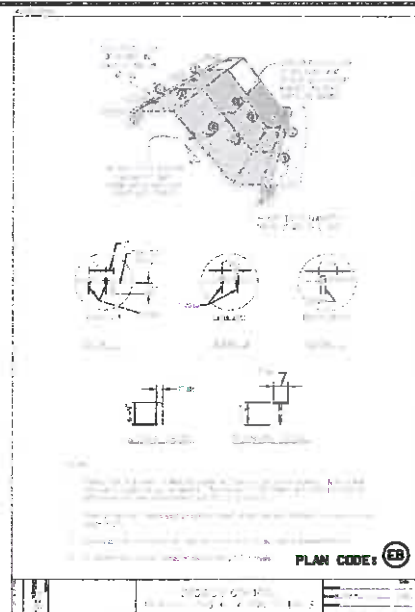
SPACECO INC.

FILENAME: 8942GRUT02

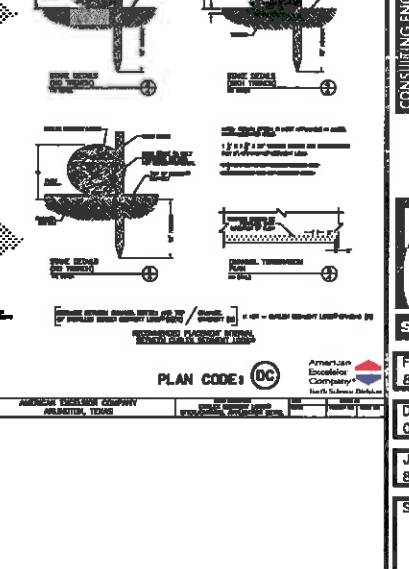
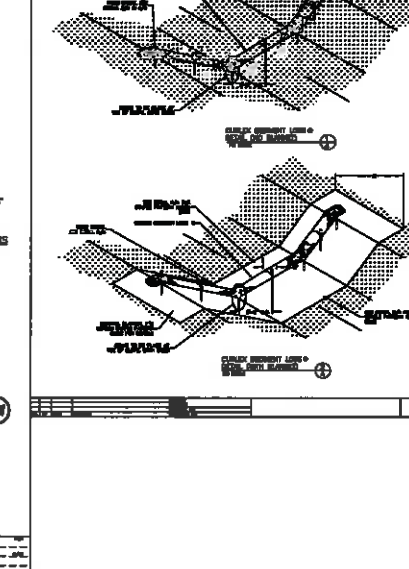
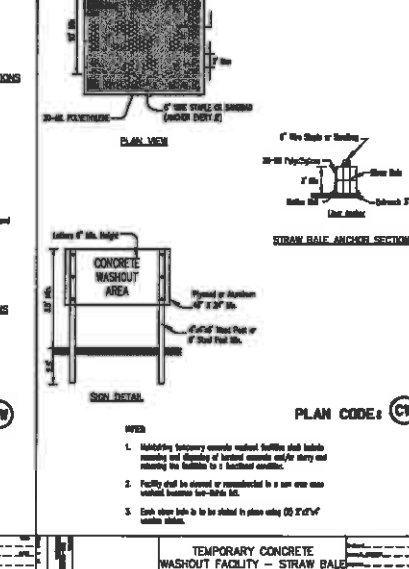
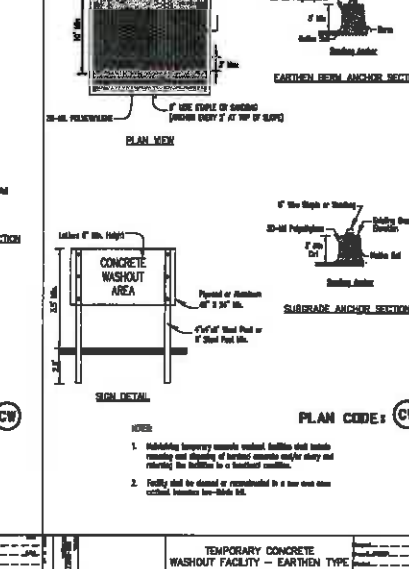
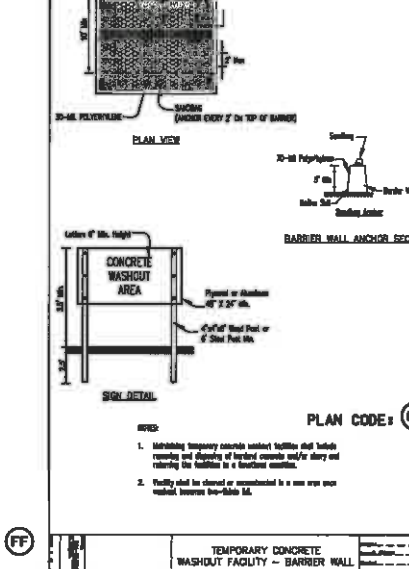
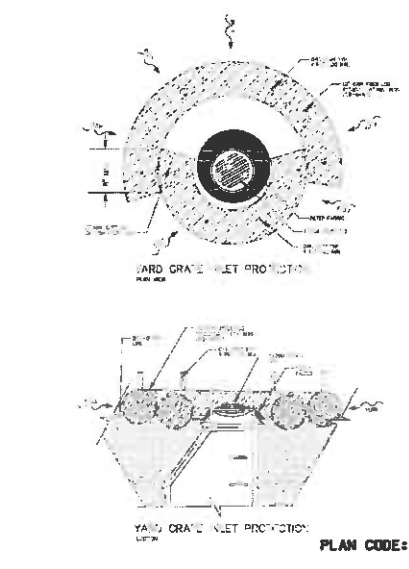
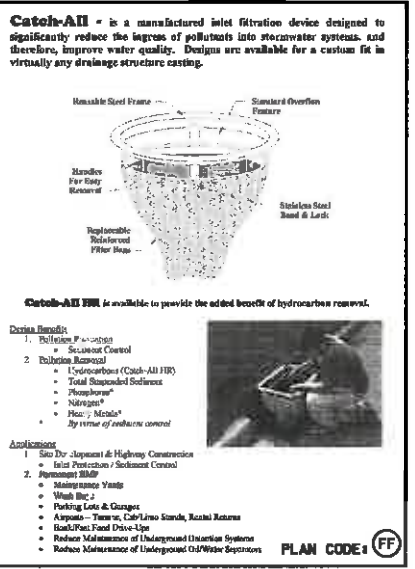
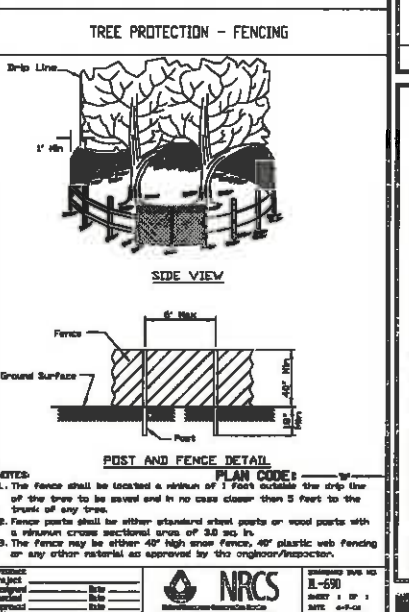
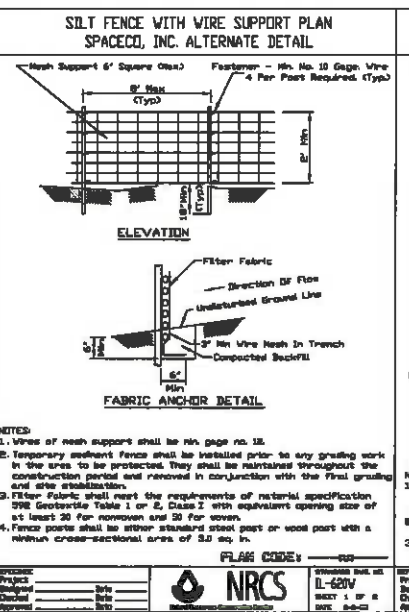
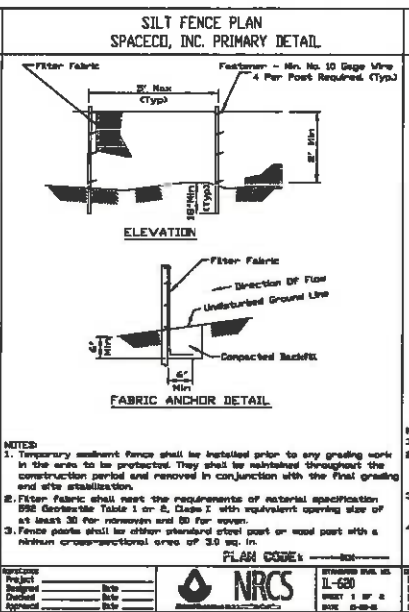
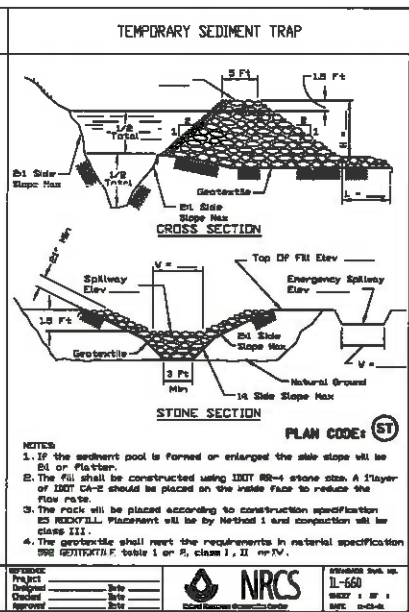
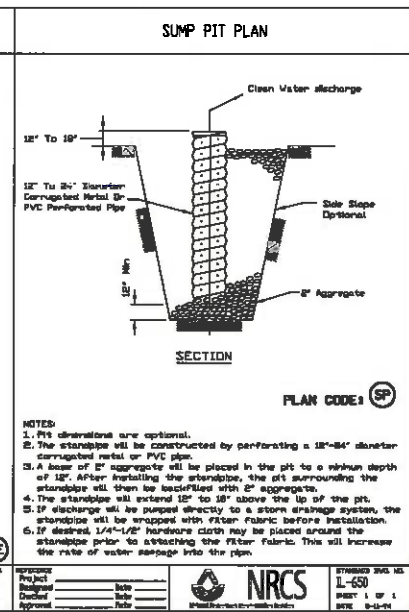
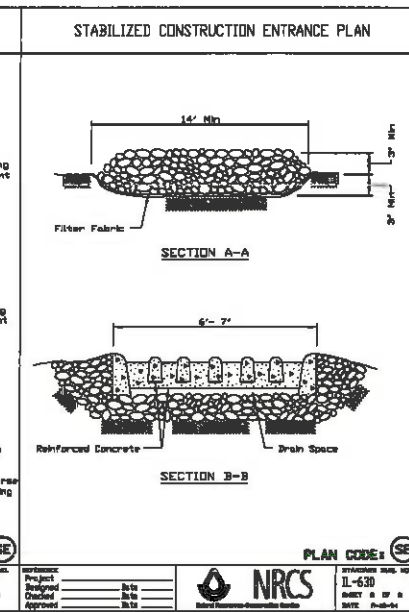
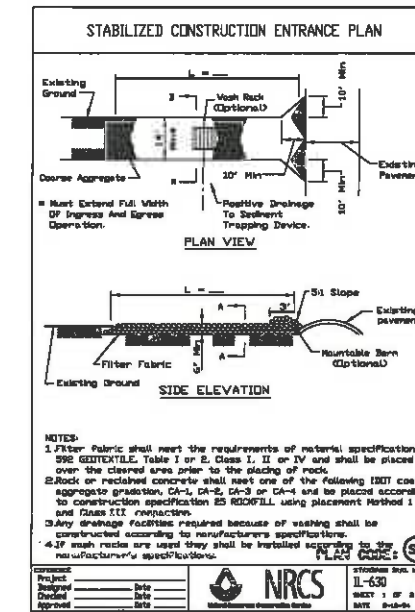
DATE: 03/18/2016

JOB NO. 8942

SHEET **RD2**
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CUTFILL RISE OR HEIGHT	INLET PIPE SIZE (IN)	DISCHARGE Q (CFS)	10-YEAR VELOCITY (FPS)	100-YEAR VELOCITY (FPS)	LENGTH OF LIP (FT)	MEDIAN RIPRAP SIZE (IN)	WIDTH OF RIPRAP (FT)	WIDTH OF APPROACH (FT)	MINIMUM DEPTH OF RIPRAP (FT)
2-100	18"	4-50	4-50	4-21	14	18-24	10-12	10	1



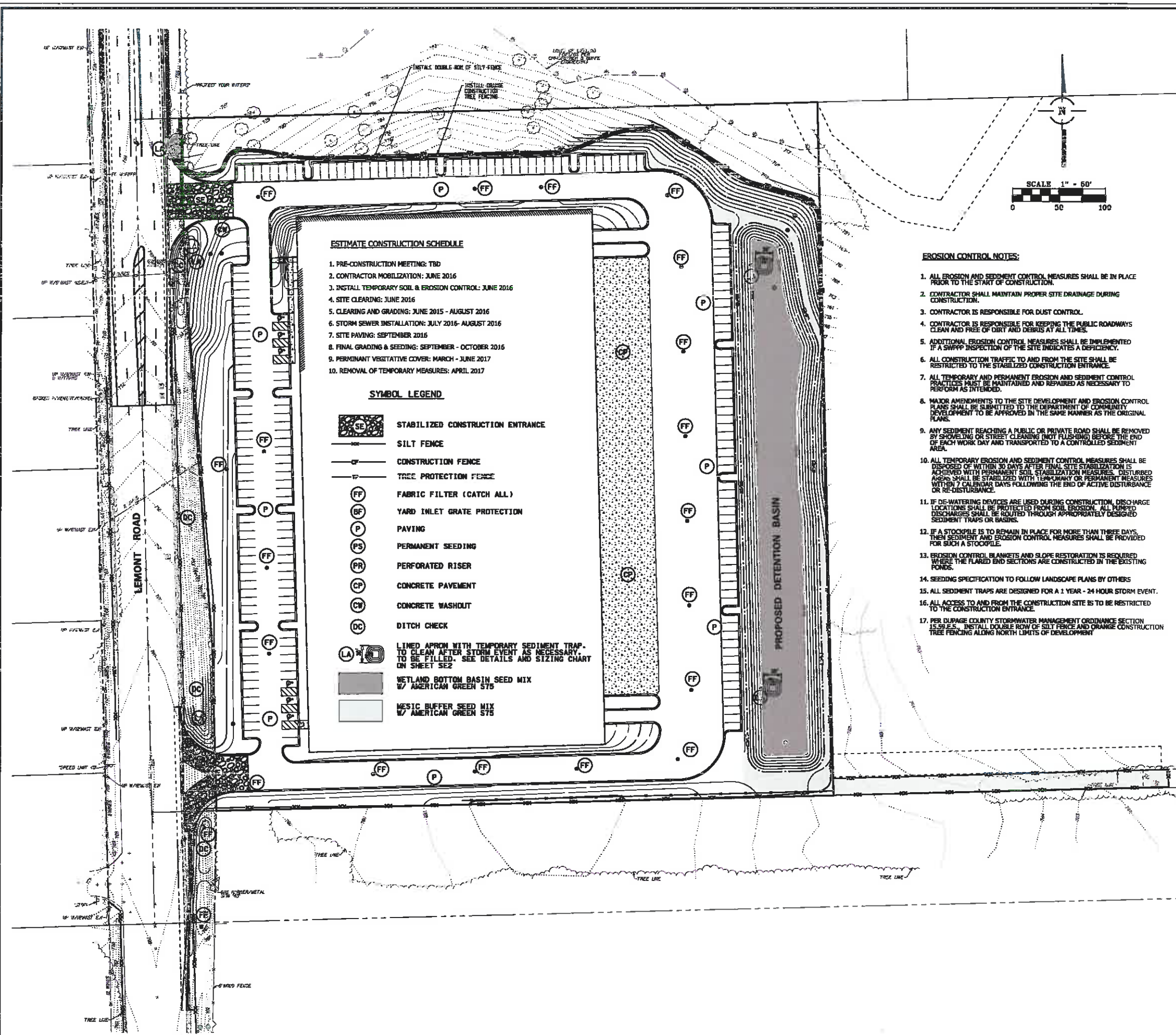
SOIL EROSION AND SEDIMENT CONTROL PLAN
7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS - SITE DEVELOPMENT ENGINEERS - LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4066

SPACECO INC.

FILENAME: 8942SE02.DGN
 DATE: 03/18/2016
 JOB NO: 8942
 SHEET: SE2
 15 OF 22



ESTIMATE CONSTRUCTION SCHEDULE

1. PRE-CONSTRUCTION MEETING: TBD
2. CONTRACTOR MOBILIZATION: JUNE 2016
3. INSTALL TEMPORARY SOIL & EROSION CONTROL: JUNE 2016
4. SITE CLEARING: JUNE 2016
5. CLEARING AND GRADING: JUNE 2015 - AUGUST 2016
6. STORM SEWER INSTALLATION: JULY 2016 - AUGUST 2016
7. SITE PAVING: SEPTEMBER 2016
8. FINAL GRADING & SEEDING: SEPTEMBER - OCTOBER 2016
9. PERMANENT VEGETATIVE COVER: MARCH - JUNE 2017
10. REMOVAL OF TEMPORARY MEASURES: APRIL 2017

SYMBOL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- FABRIC FILTER (CATCH ALL)
- YARD INLET GRATE PROTECTION
- PAVING
- PERMANENT SEEDING
- PERFORATED RISER
- CONCRETE PAVEMENT
- CONCRETE WASHOUT
- DITCH CHECK
- LINED APRON WITH TEMPORARY SEDIMENT TRAP. TO CLEAN AFTER STORM EVENT AS NECESSARY. TO BE FILLED. SEE DETAILS AND SIZING CHART ON SHEET SE2
- WETLAND BOTTOM BASIN SEED MIX W/ AMERICAN GREEN 575
- MESIC BUFFER SEED MIX W/ AMERICAN GREEN 575

EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IF A SWPPP INSPECTION OF THE SITE INDICATES A DEFICIENCY.
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.
8. MAJOR AMENDMENTS TO THE SITE DEVELOPMENT AND EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
9. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORK DAY AND TRANSPORTED TO A CONTROLLED SEDIMENT AREA.
10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
11. IF DE-WATERING DEVICES ARE USED DURING CONSTRUCTION, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM SOIL EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
12. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.
13. EROSION CONTROL BLANKETS AND SLOPE RESTORATION IS REQUIRED WHERE THE FLARED END SECTIONS ARE CONSTRUCTED IN THE EXISTING PONDS.
14. SEEDING SPECIFICATION TO FOLLOW LANDSCAPE PLANS BY OTHERS
15. ALL SEDIMENT TRAPS ARE DESIGNED FOR A 1 YEAR - 24 HOUR STORM EVENT.
16. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
17. PER DUPAGE COUNTY STORMWATER MANAGEMENT ORDINANCE SECTION 15.59 I.E.S., INSTALL DOUBLE ROW OF SILT FENCE AND ORANGE CONSTRUCTION TREE FENCING ALONG NORTH LIMITS OF DEVELOPMENT

Wetland Bottom Basin Seed Mix:

Botanical Name	Common Name	PLS Dunnets/Acre
Permanent Grasses/Sedges:		
<i>Carex canadensis</i>	Bristly Sedge	1.00
<i>Carex cristata</i>	Crested Oval Sedge	2.00
<i>Carex frankii</i>	Bristly Cattail Sedge	6.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	3.00
<i>Elymus polystachyus</i>	Great Spike Rush	0.50
<i>Elymus virginicus</i>	Virginia Wild Rye	12.00
<i>Glyceria striata</i>	Fowl Manna Grass	1.00
<i>Lycopus arundinaceus</i>	Rice Cut Grass	1.50
<i>Scirpus atrovirens</i>	Dark Green Rush	1.00
<i>Scirpus cyperinus</i>	Wood Grass	0.75
<i>Scirpus pungens</i>	Chernobyl's rush	1.00
<i>Scirpus validus</i>	Great Bulrush	2.50
<i>Spartanum eurycarpum</i>	Common Bur Reed	4.00
		Total
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	480.00
		Total
		480.00

Forbes:

Botanical Name	Common Name	PLS Dunnets/Acre
<i>Acorus calamus</i>	Sweet Flag	0.50
<i>Alfalfa spp.</i>	Water Plantain	2.00
<i>Azorella racemosa</i>	Swamp Mallowweed	1.00
<i>Aster paniculatus</i>	Bristly Aster	1.00
<i>Bidens spp.</i>	Bidens (Various Mix)	2.00
<i>Equisetum perfoliatum</i>	Common Horsetail	1.00
<i>Helenium autumnale</i>	Snowweed	2.00
<i>Urtica virginica</i>	Blue Flag	2.50
<i>Lobelia siphilitica</i>	Great Blue Lobelia	1.00
<i>Lycopus americanus</i>	Water Horhound	0.25
<i>Mimulus sp.</i>	Milkweed	1.50
<i>Pentstemon sp.</i>	Ditch Stonecrop	0.50
<i>Polygonum spp.</i>	Pinkweed (Various mix)	0.50
<i>Rudbeckia laciniata</i>	Wild Golden Glow	0.75
<i>Sagittaria latifolia</i>	Common Arrowhead	2.00
<i>Senecio jacobaea</i>	Wild Seneca	2.00
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	0.50
<i>Verbena hastata</i>	Blue Vervain	1.50
<i>Vernonia spp.</i>	Ironweed (Various mix)	2.00
		Total
		24.50

Mesic Buffer Seed Mix:

Botanical Name	Common Name	PLS Dunnets/Acre
Permanent Grasses:		
<i>Andropogon gerardii</i>	Big Bluestem	13.00
<i>Bouteloua curtipendula</i>	Side Oats Grass	14.00
<i>Carex spp.</i>	Prairie Sedge Mix	2.00
<i>Elymus canadensis</i>	Canada Wild Rye	22.00
<i>Panicum virgatum</i>	Switch Grass	2.50
<i>Schizanthus scoparium</i>	Little Bluestem	28.00
<i>Sorghastrum nutans</i>	Indian Grass	15.00
		Total
		97.50
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	480.00
		Total
		480.00

Forbes:

Botanical Name	Common Name	PLS Dunnets/Acre
<i>Asclepias tuberosa</i>	Butterfly Weed	1.50
<i>Aster novae-angliae</i>	New England Aster	1.50
<i>Chamaecrista fasciculata</i>	Partridge Pea	10.75
<i>Carex sp.</i>	Sand Coreopsis	5.00
<i>Coreopsis tripteris</i>	Tall Coreopsis	1.50
<i>Dalea purpurea</i>	Purple Prairie Clover	2.00
<i>Desmodium illinoense</i>	Illinois Sensitive Plant	1.50
<i>Echinacea purpurea</i>	Broad Purple Coneflower	8.00
<i>Eryngium yuccifolium</i>	Rattlesnake Master	1.00
<i>Helianthus scaberrimus</i>	False Sunflower	0.25
<i>Lespedeza capitata</i>	Round-headed Bush Clover	1.00
<i>Liatris spicata</i>	Rough blazing Star	1.00
<i>Lupinus perennis</i>	Wild Lupine	0.25
<i>Monarda fistulosa</i>	Wild Bergamot	1.00
<i>Polygonum arguta</i>	Prairie Cinquefoil	0.75
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	0.50
<i>Rubus cuneifolius</i>	Yellow Cowslip	4.83
<i>Rudbeckia hirta</i>	Black-eyed Susan	6.00
<i>Silphium laciniatum</i>	Prairie Dock	0.75
<i>Solidago nemoralis</i>	Old-Field Goldenrod	0.50
<i>Vernonia spp.</i>	Ironweed (Various Mix)	2.00
		Total
		51.25

SOIL EROSION AND SEDIMENT CONTROL PLAN
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

NO.	DATE	REMARKS
1	03/18/2016	PER AGENCY REVIEW

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 864-4860 Fax: (847) 874-4065

SPACEO INC.

FILENAME:
 8942SE03

DATE:
 03/18/2016

JOB NO.
 8942

SHEET
SE3
 16 OF 22

EARTHWORK NOTES

- 1. GENERAL
A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.

SIGNING AND PAVEMENT MARKING

- 1. ALL SIGNS AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBSC), MUNICIPAL CODE AND THESE PLANS.

SANITARY SEWER NOTES

- 1. GENERAL
A. SANITARY SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DRAINAGE RATIO (SDR) OF 20 CONFORMING TO ASTM D-3035 OR WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3032 AND PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DRAINAGE RATIO (SDR) OF 21 CONFORMING TO ASTM D-3031 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3139 AS SHOWN ON THE PLANS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF SANITARY SEWER COMPLETE IN PLACE.

- 12. FINAL ACCEPTANCE AND TESTING OF SANITARY SEWER
BEFORE FINAL ACCEPTANCE, THE SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 311-1.1 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS. SPECIFICALLY, ALL PIPELINES CONSTRUCTED OF FLEXIBLE MATERIALS SHALL BE SUBJECT TO AIR EXPLORATION TESTS, TELEVISION TESTING, AND DEFLECTION TESTING.

PAVING NOTES

- 1. GENERAL
A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION AND COMPACTION; PLACEMENT OF SUB-BASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FINISHING; FINISHING AND CURING CONCRETE PAVEMENT; CURBS AND SIDEWALKS; AND ALL RELATED WORK.

STORM SEWER NOTES

- 1. GENERAL
A. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCCP) UNLESS OTHERWISE NOTED ON THE PLANS. IN ACCORDANCE WITH THE FOLLOWING:
PLAN CODE MATERIAL:
RCCP REINFORCED CONCRETE PIPE (ASTM C-756) WITH FLEXIBLE D-RING RUBBER GASKET JOINTS PER ASTM C261, ASTM C-443, AND ASTM C1247 TYPE 1, CLASS IV, PER SDR305 POLYETHYLENE GLASS FIBER REINFORCED CONCRETE PIPE SHALL BE TYPE 1, 10-11 PER SDR305 EXCEPT FOR THE SEWER TO BE CONSTRUCTED WITH A 12" DIA. PIPE. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF STORM SEWER COMPLETE IN PLACE.

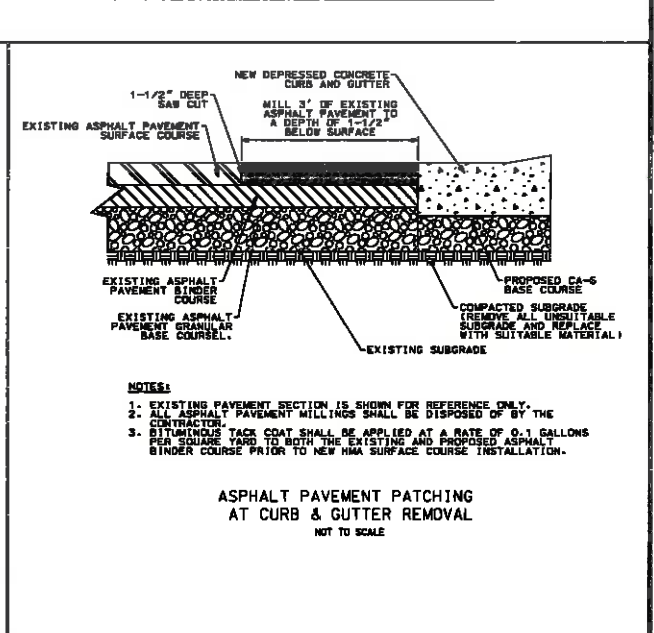
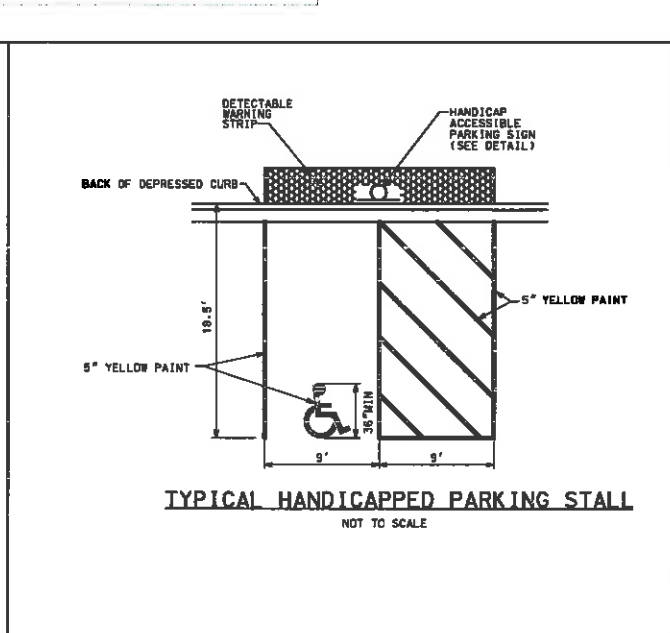
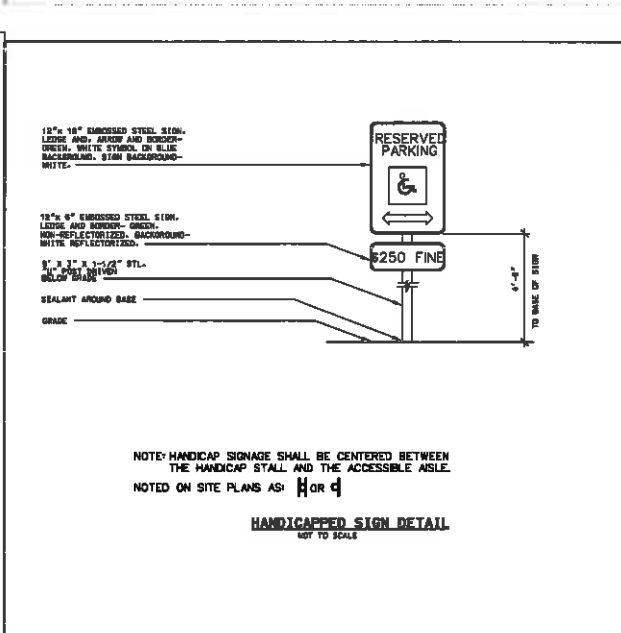
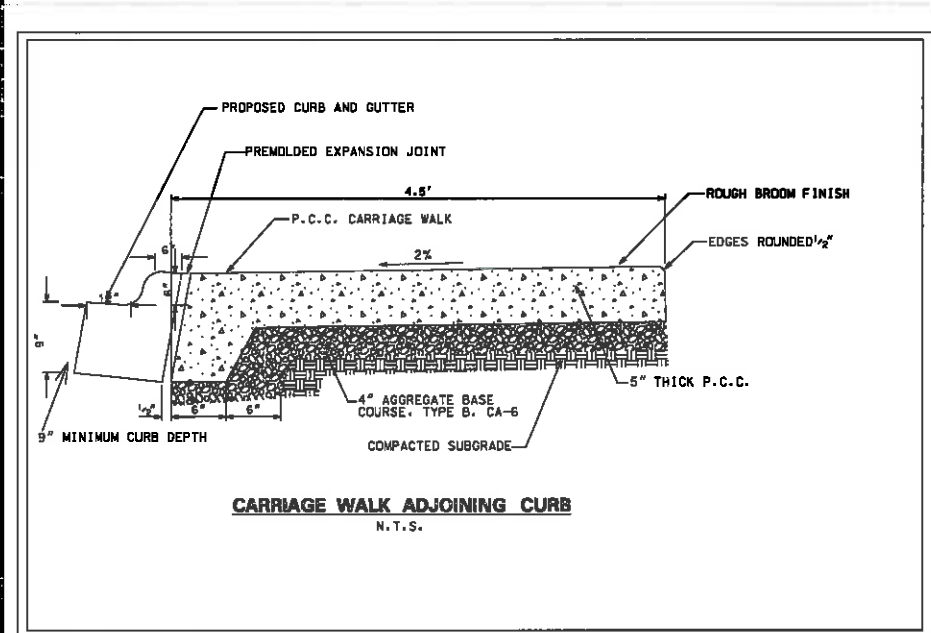
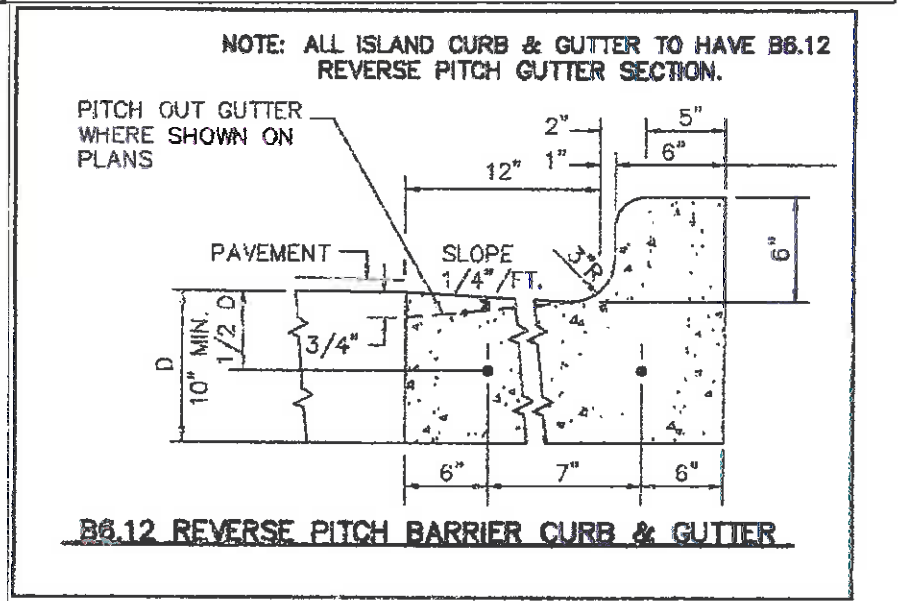
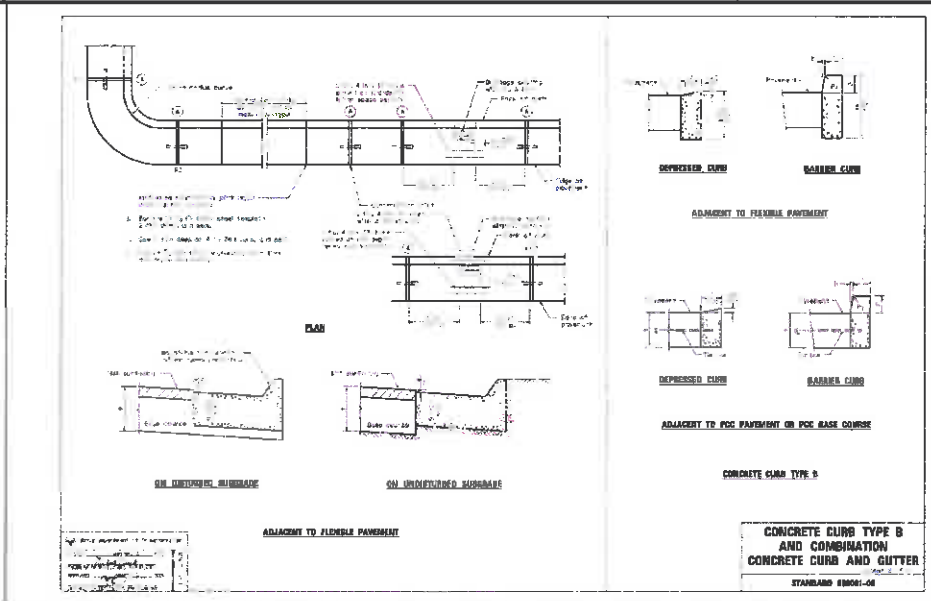
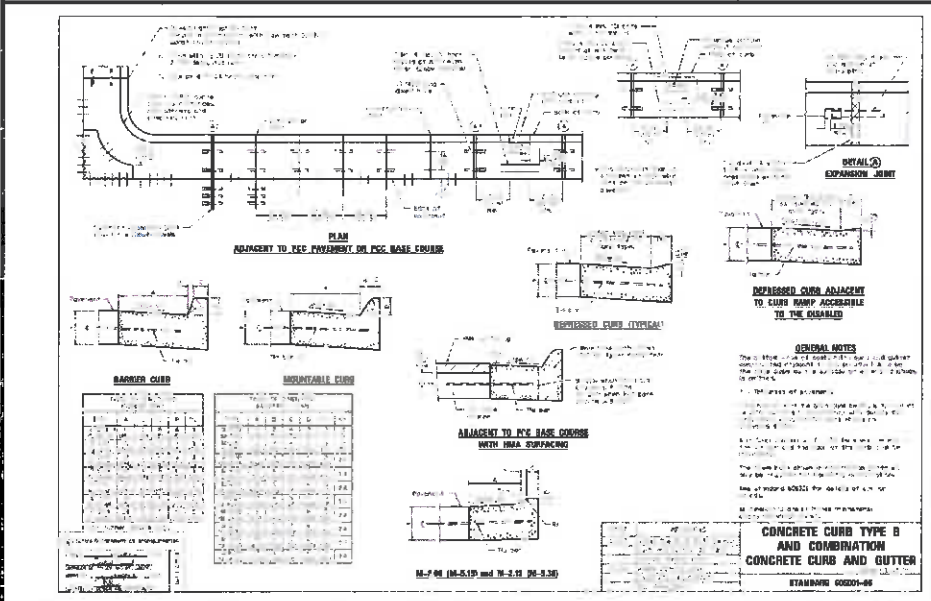
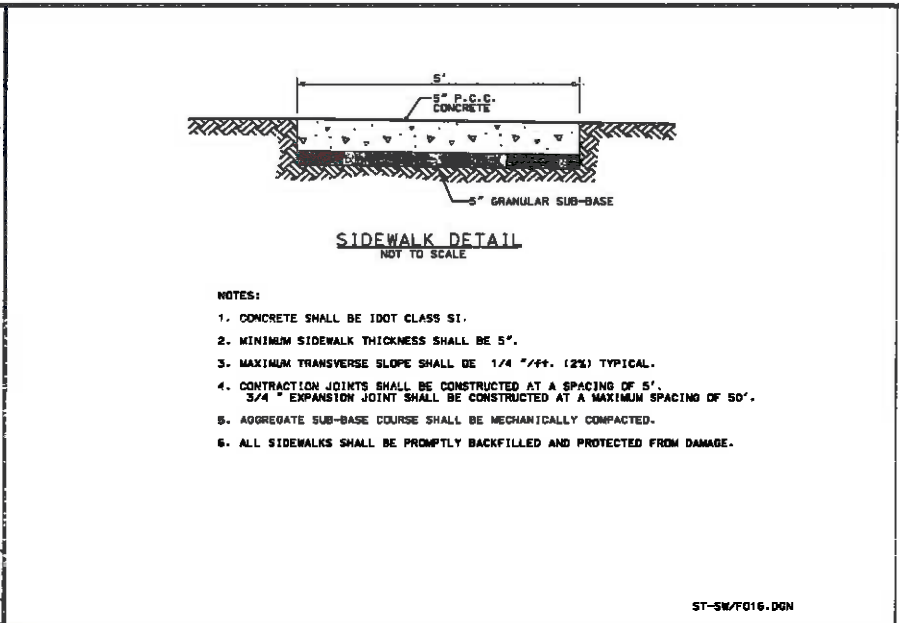
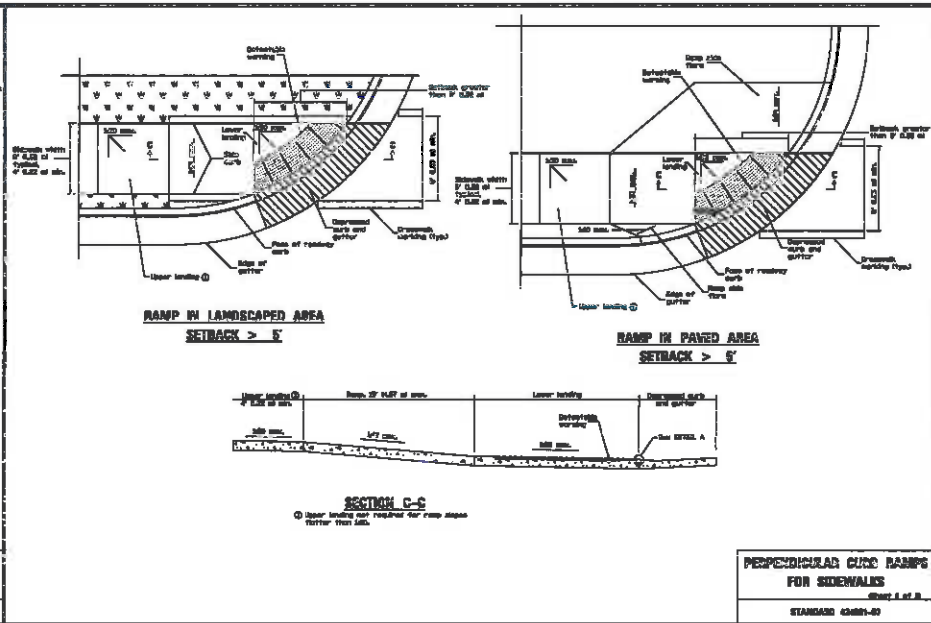
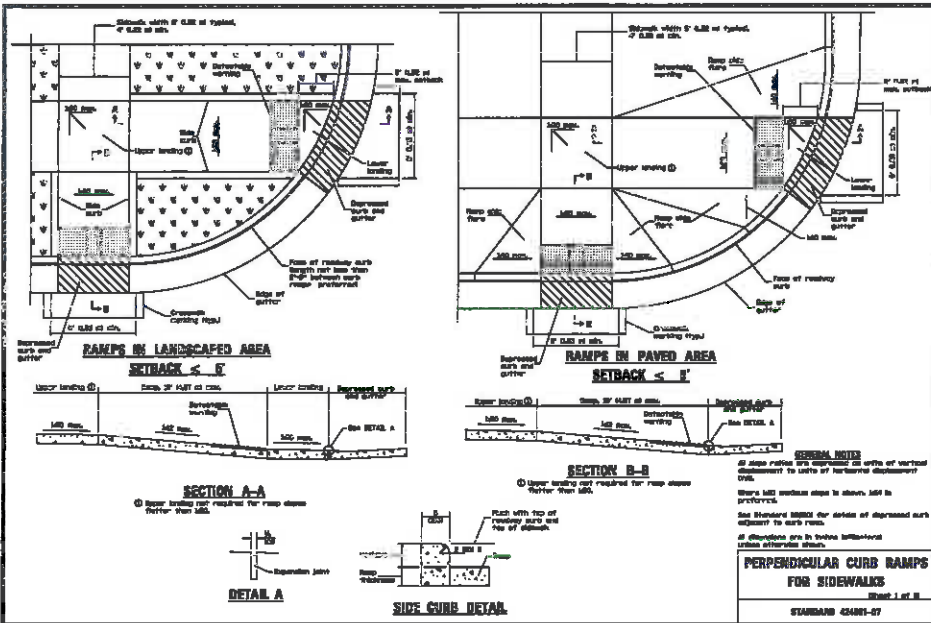
STORM SEWER NOTES

- 2. BEDDING/BACKFILL
A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING: 1 1/2" TO 3/4" IN SIZE (10-131) WITH A MINIMUM THICKNESS OF 12" OVER THE ENTIRE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4".

WATERMAIN NOTES

- 1. PIPE MATERIALS
A. WATERMAINS ON SERVICES 3" OR LARGER IN DIAMETER SHALL BE CONSTRUCTED OF BITUMINOUS COATED, CHEM LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A-21.50 (AWWA C150) AND ANSI A-21.51 (AWWA C151), CHEM LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A-21.4 (AWWA C100).

Vertical sidebar containing project information: SPECIFICATIONS, 7879 LEMONT ROAD INDUSTRIAL BUILDING DARIEN, ILLINOIS, CONSULTING ENGINEERS, SITE DEVELOPMENT ENGINEERS, LAND SURVEYORS, SPACECO INC., FILENAME: 8942SPEC.DGN, DATE: 05/18/2016, JOB NO: 8942, SHEET: 17 OF 22



NO.	DATE	REMARKS
1	06/09/2016	PER AGENCY REVIEW

DETAILS - 1

7879 LEMONT ROAD

INDUSTRIAL BUILDING

DARIEN, ILLINOIS

CONSULTING ENGINEERS

SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

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SPACECO INC.

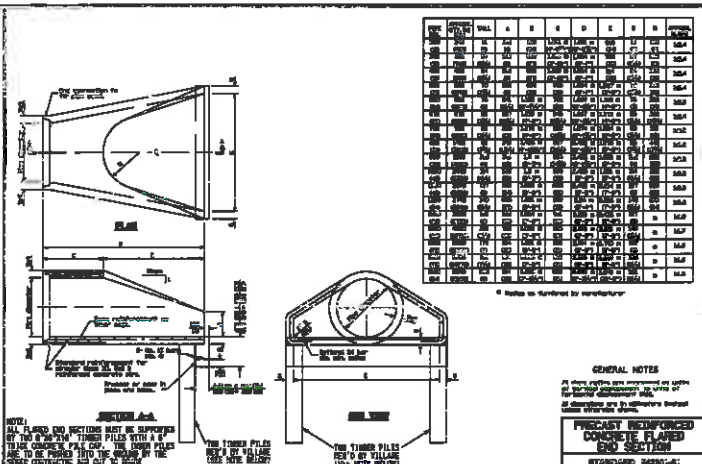
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8942DET01.DGN

DATE:
03/16/2016

JOB NO.
8942

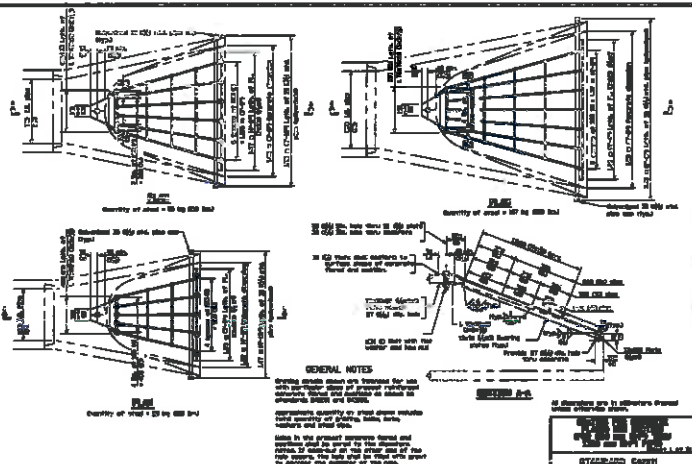
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18 OF 22

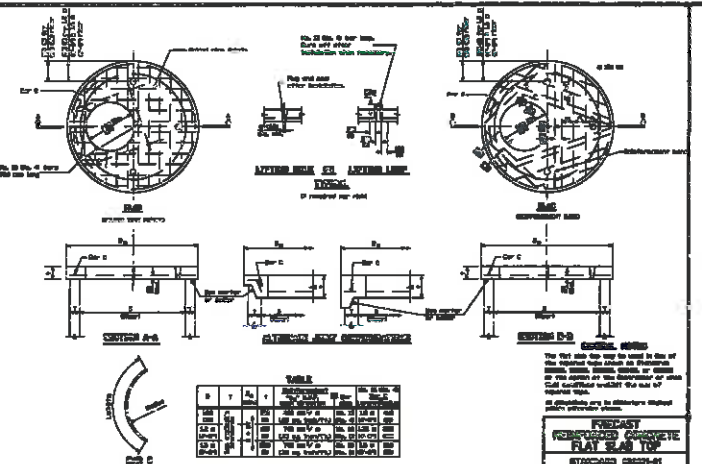


NO.	DESCRIPTION	QTY.	REMARKS
1	SECTION A-A	1	PRECAST REINFORCED CONCRETE FLARED END SECTION

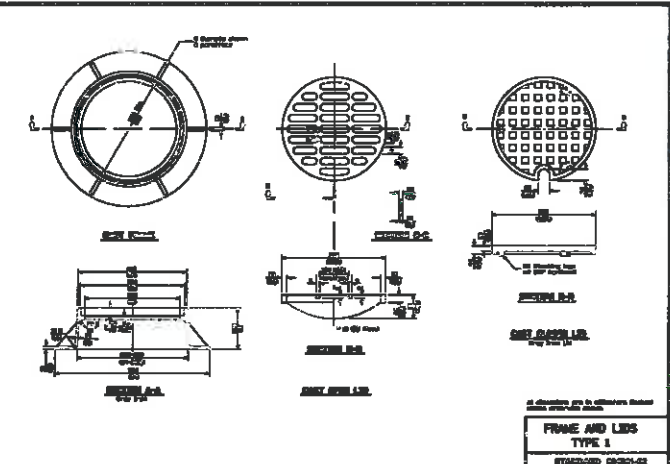
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 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.



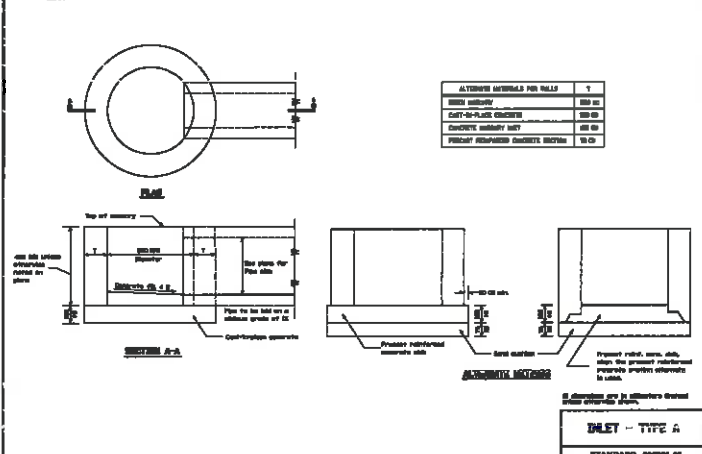
GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE FLARED END SECTION SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.



GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE CATCH BASIN SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.

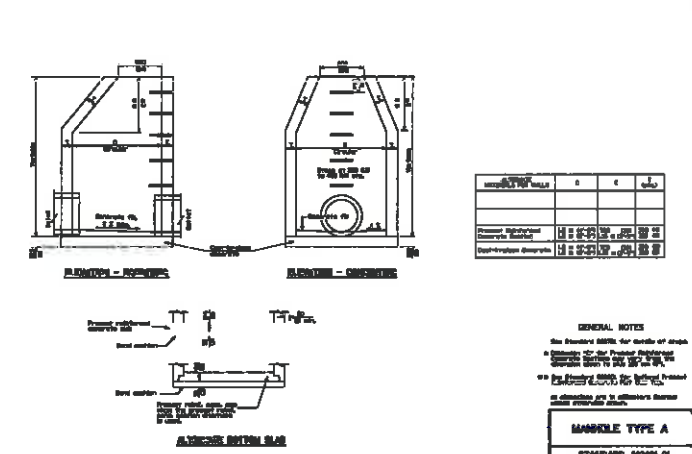


GENERAL NOTES:
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 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.

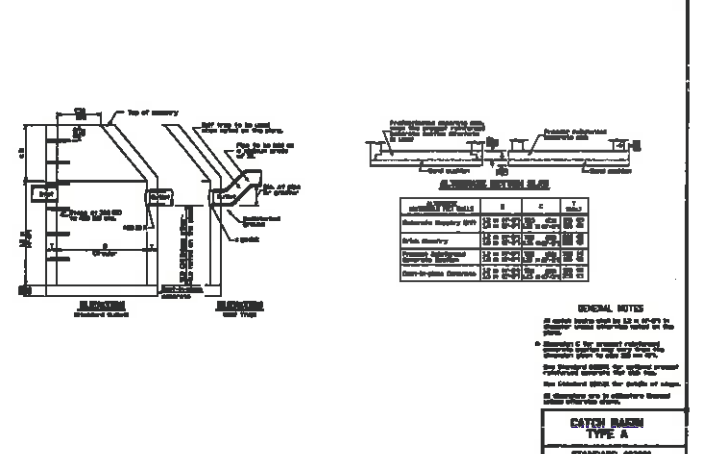


NO.	DESCRIPTION	QTY.	REMARKS
1	SECTION A-A	1	MANHOLE TYPE A

GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE MANHOLE TYPE A SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.



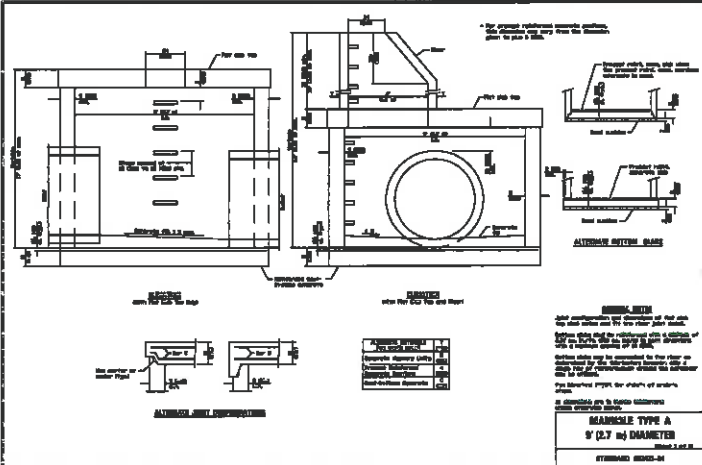
GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE MANHOLE TYPE A SHALL BE CAST IN PLACE.
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GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE MANHOLE TYPE A SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.

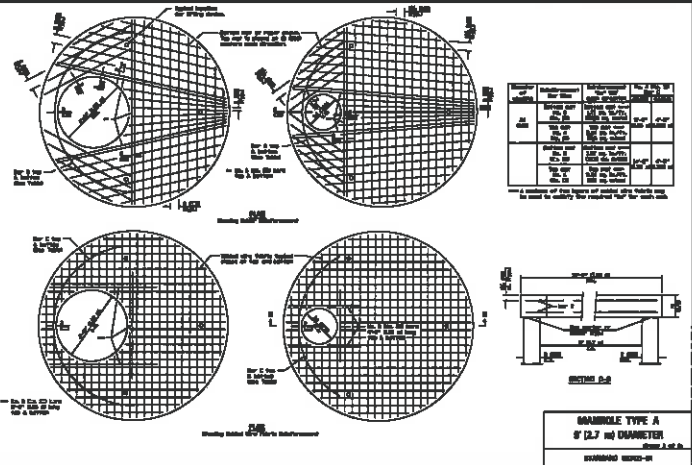


GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE MANHOLE TYPE A SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.

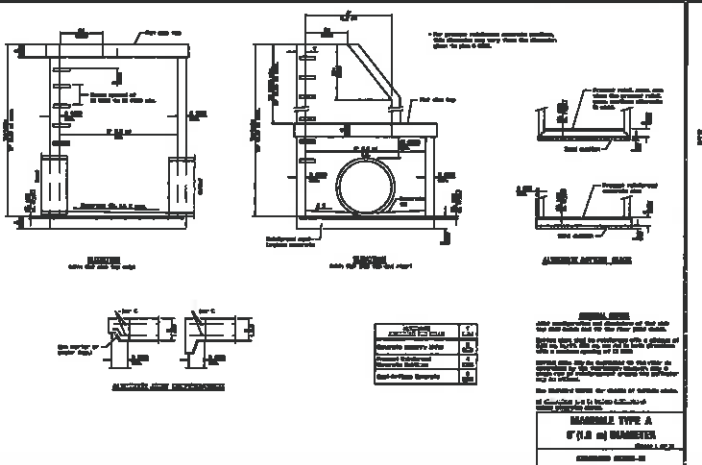


NO.	DESCRIPTION	QTY.	REMARKS
1	SECTION A-A	1	MANHOLE TYPE A

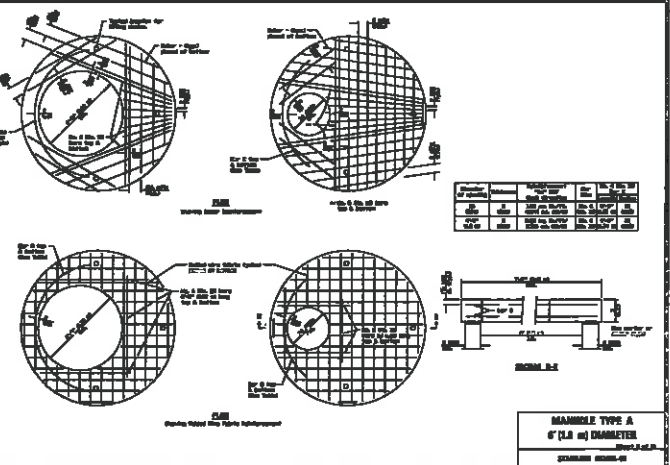
GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE MANHOLE TYPE A SHALL BE CAST IN PLACE.
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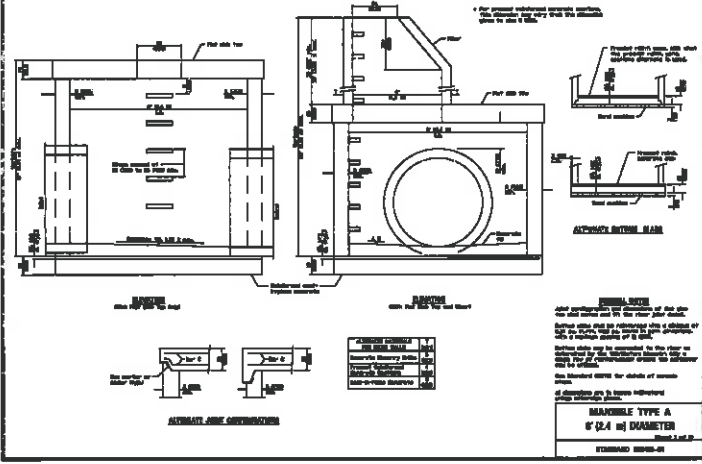
GENERAL NOTES:
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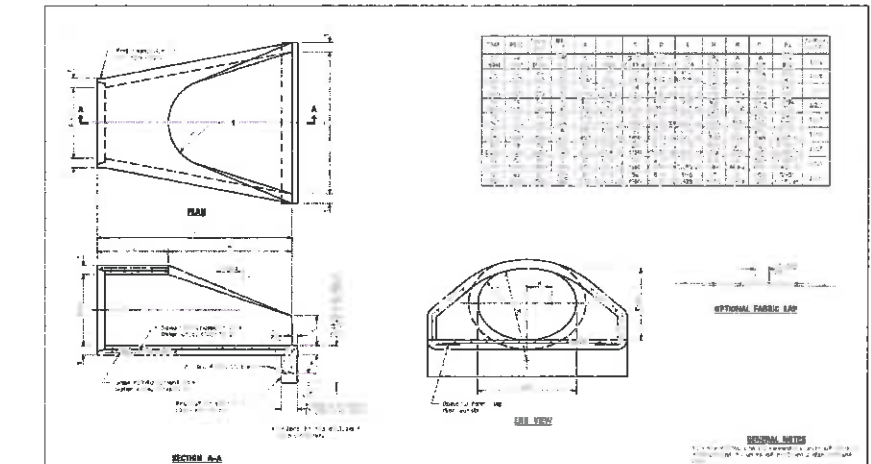


GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE MANHOLE TYPE A SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.



NO.	DESCRIPTION	QTY.	REMARKS
1	SECTION A-A	1	MANHOLE TYPE A

GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE MANHOLE TYPE A SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.



GENERAL NOTES:
 1. PRECAST REINFORCED CONCRETE ELLIPTICAL FLARED END SECTION SHALL BE CAST IN PLACE.
 2. REINFORCEMENT SHALL BE AS SHOWN AND SHALL BE CAST WITH PROPER COORDINATION.

NO.	DATE	REMARKS
-----	------	---------

NO.	DATE	PER AGENCY REVIEW	REMARKS
1	03/08/2016		

DETAILS - 2
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

CONSULTING ENGINEERS -
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax (847) 696-4065

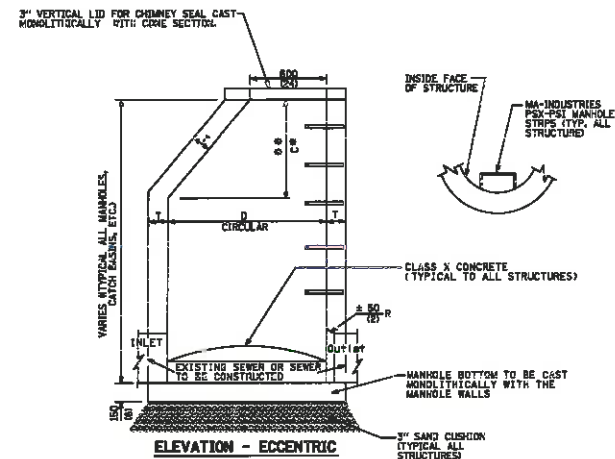


FILENAME:
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DATE:
 03/18/2016

JOB NO.
 B942

SHEET
D2
 19 OF 22



ALTERNATE MATERIALS FOR WALLS	D	C	I (MIN.)
PRECAST REINFORCED CONCRETE SECTIONS	1.2 M (4'-0")	150 (50)	125 (5)
	1.5 M (5'-0")	115 M (3'-9")	125 (5)

NOTES:

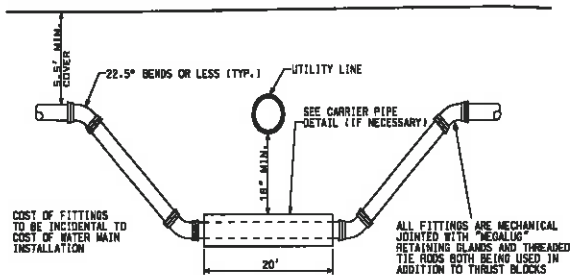
- SEWER PIPE TO BE CARRIED THROUGH MANHOLE TO 6" OUTSIDE FACE, FOLLOWED BY 2" LONG STUBS ON EITHER END (SANITARY MANHOLE PRECAST ONLY).
- MANHOLES TO HAVE PRECAST "RUBBER BOOTS" CONFORMING TO ASTM C-923 AT ALL PIPE CONNECTIONS.
- MANHOLES TO HAVE "CRATEX" EXTERNAL MANHOLE CHIMNEY SEAL, OR "SURSEAL" EXTERNAL CHIMNEY SEAL AS MANUFACTURED BY MAR MAC CONSTRUCTION PRODUCTS, INC.
- "MAC WRAP" EXTERNAL SEAL BANDS AS MANUFACTURED BY MAR MAC MANUFACTURING SHALL BE CENTERED OVER ALL PRECAST MANHOLE SECTION JOINTS. THE MINIMUM WIDTH OF THE EXTERNAL SEAL BANDS SHALL BE 600 INCHES.
- SANITARY MANHOLES SHALL HAVE BITUMINOUS SEALCOAT OR EQUAL ON EXTERIOR.

GENERAL NOTES

- SEE STANDARD 602701 FOR DETAILS OF STEPS.
- DIMENSION "C" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS 150 MM (6").
- SEE STANDARD 602501 FOR OPTIONAL PRECAST REINFORCED CONCRETE PLAT SLAB TOP.
- ALL DIMENSIONS ARE IN MILLIMETERS (INCHES) UNLESS OTHERWISE SHOWN.

SANITARY MANHOLE TYPE A

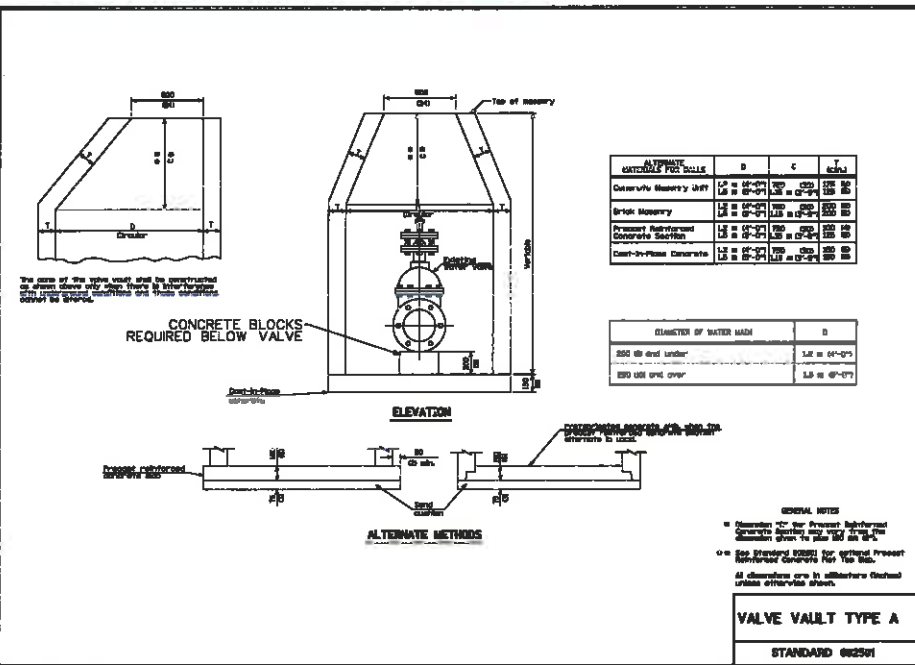
STANDARD 602401



WATER MAIN OFF-SET DETAIL

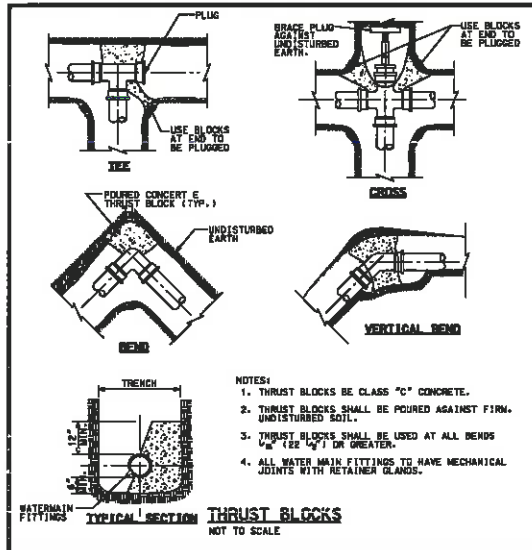
NOT TO SCALE

TO BE USED WHERE EXISTING UTILITY LINE CANNOT BE MOVED OR EXISTING WATER MAIN MUST BE RELOCATED TO ALLOW NEW UTILITY LINE TO BE CONSTRUCTED.



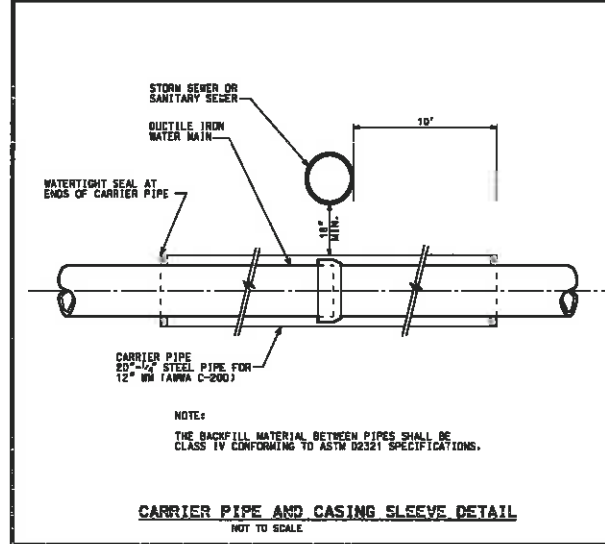
VALVE VAULT TYPE A

STANDARD 602501



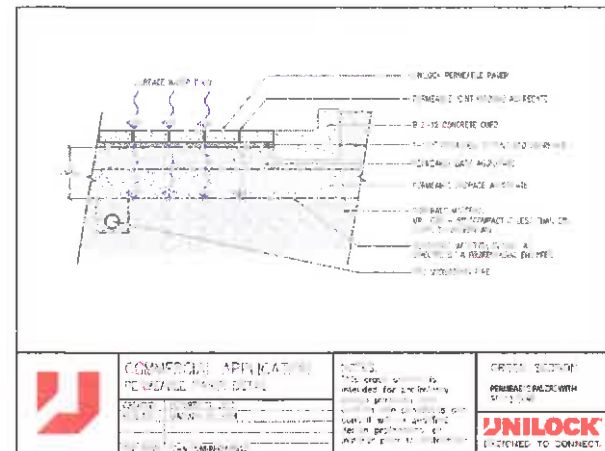
THRUST BLOCKS

NOT TO SCALE



CARRIER PIPE AND CASING SLEEVE DETAIL

NOT TO SCALE

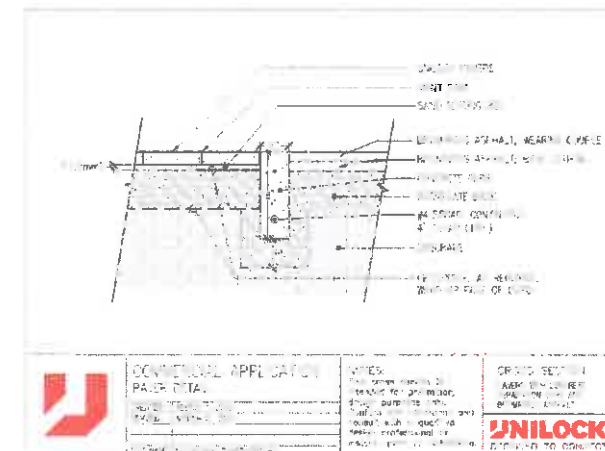


CONVENTIONAL APPLICATION

Pressure connection valve vault detail. Notes specify that the vault shall be constructed of concrete blocks and shall be finished with a smooth surface. The Unilock logo is present.

CONVENTIONAL APPLICATION

Pressure connection valve vault detail. Notes specify that the vault shall be constructed of concrete blocks and shall be finished with a smooth surface. The Unilock logo is present.



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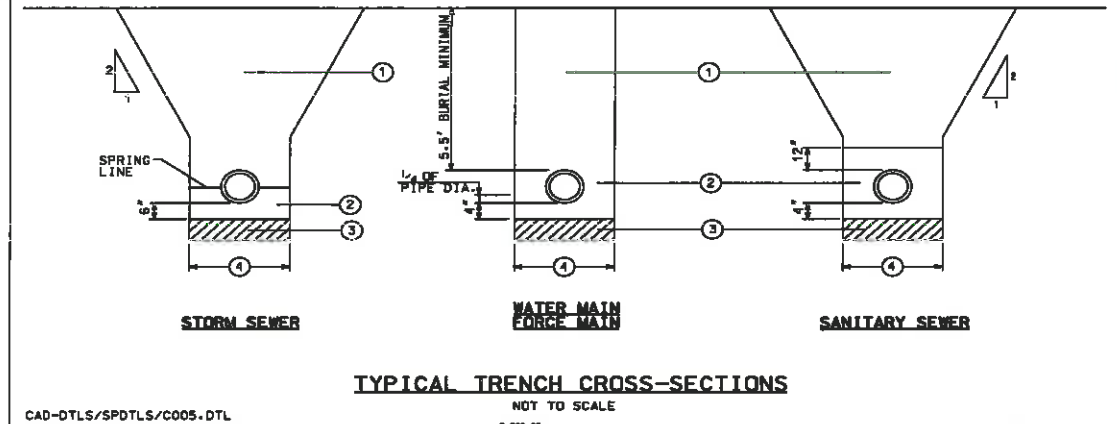
CONVENTIONAL APPLICATION

Pressure connection valve vault detail. Notes specify that the vault shall be constructed of concrete blocks and shall be finished with a smooth surface. The Unilock logo is present.

- GRANULAR TRENCH BACKFILL WITHIN TWO (2) FEET OF EXISTING OR PROPOSED PAVEMENT, CURB & GUTTER, AND SIDEWALK. MACHINE BACKFILL OF EXCAVATED MATERIAL IN OTHER LOCATIONS.
- GRANULAR BEDDING MATERIAL SHALL CONFORM TO ASTM D 2321 CLASS 1 FOR SANITARY SEWER AND TDDT CA-11 OR CA-13, CRUSHED STONE 3/4" TO 1 1/4" IN SIZE (INDUST. ASTM D-440) FOR STORM AND WATERMAIN TAMPED INTO PLACE AS SHOWN. (ONLY TO 1/4 POINT OF PIPE IF DUCTILE IRON PIPE IS USED).
- UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED (WHERE DIRECTED) WITH GRANULAR MATERIAL AND PAID FOR SEPARATELY.
- PIPE DIAMETER 8" AND LESS — TRENCH WIDTH = 18" X PIPE DIA. + 8"
PIPE DIAMETER 8" AND LARGER — TRENCH WIDTH = (1.5 X PIPE DIA.) + 8"

NOTES:

- THE COST OF ALL GRANULAR BEDDING (ITEM 2) TO BE MERGED WITH THE PIPE.
- THE COST OF ALL GRANULAR TRENCH BACKFILL (ITEM 1) TO BE PAID PER LINEAR FOOT OTHERWISE NOTED IN SPECIAL PROVISIONS.

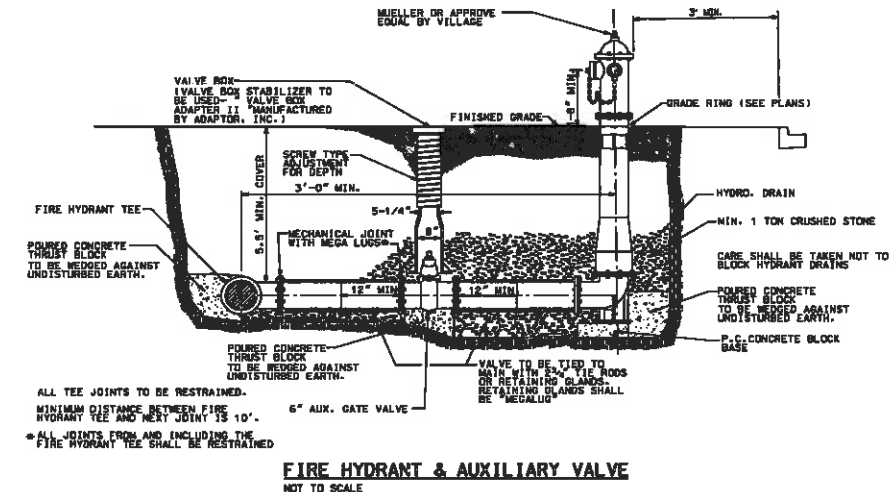


TYPICAL TRENCH CROSS-SECTIONS

NOT TO SCALE

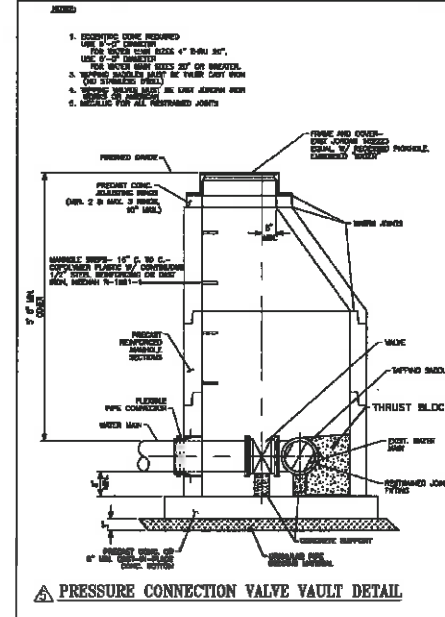
CAD-DTLS/SPDTLS/CO05.DTL

9-200-00



FIRE HYDRANT & AUXILIARY VALVE

NOT TO SCALE



PRESSURE CONNECTION VALVE VAULT DETAIL

DETAILS - 3

7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 686-4050 Fax: (847) 686-4055

SPACECO INC.

FILENAME:
8942DET03.dgn

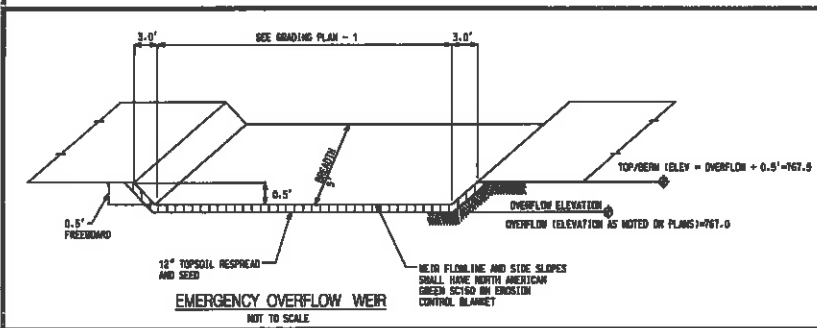
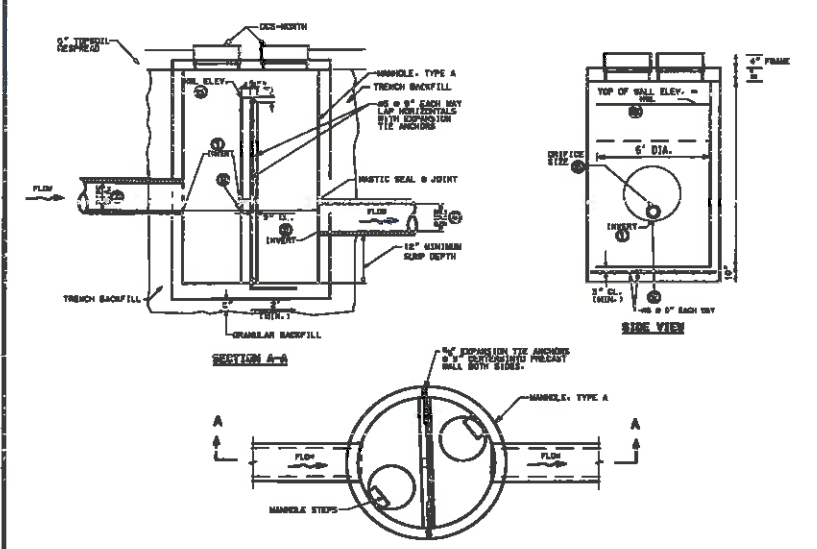
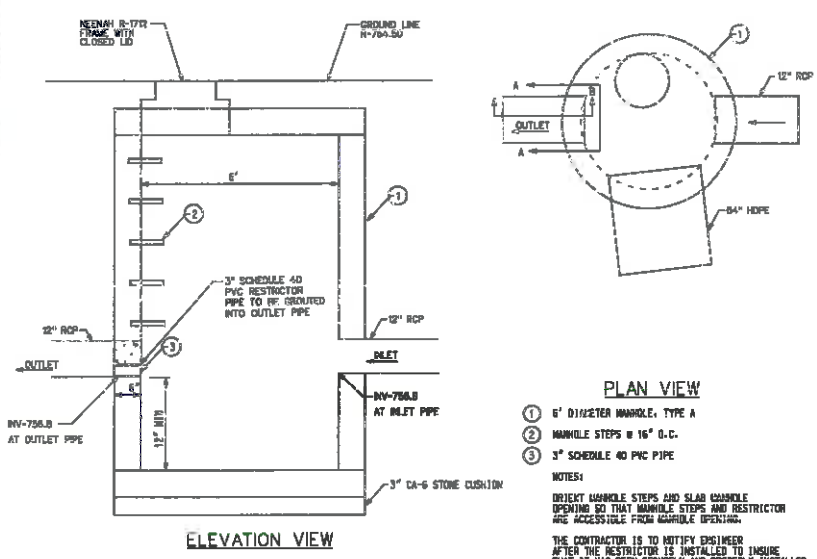
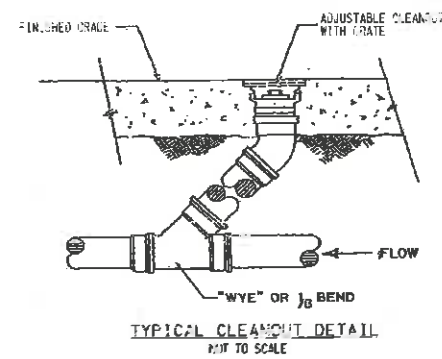
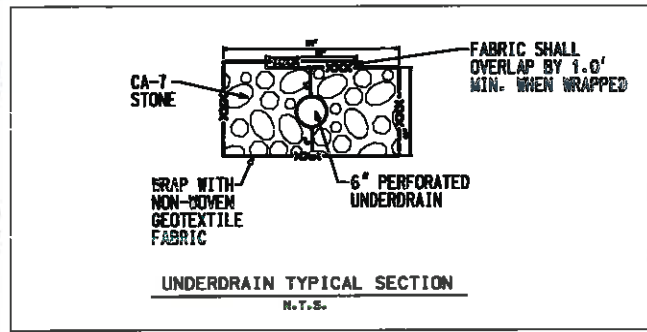
DATE:
03/18/2016

JOB NO.
8942

SHEET

D3

20 OF 22



Hydro International

First Defense
Cost-effective stormwater treatment with adaptability to meet demanding site requirements

Product Details:
The First Defense is an advanced stormwater separator that combines an inlet pipe, flow control, and a filter media to remove sediment, debris, and pollutants. It is designed for use in residential, commercial, and industrial applications. The unit is made of high-strength polypropylene and is available in various sizes to meet different flow requirements. It is easy to install and maintain, and it provides a long service life.

Applications:
• Residential applications: driveway, garage, and parking areas.
• Commercial applications: parking lots, loading docks, and service areas.
• Industrial applications: manufacturing facilities, construction sites, and parking areas.

Design Options for Inlet and Inlet/Outlet Arrangements:
The First Defense is available in various configurations to meet different site requirements. It can be installed with a standard inlet pipe or a more complex inlet/outlet arrangement. The unit is designed to be installed in a trench, and it can be adapted to fit into existing infrastructure.

Benefits:
• Reduces sediment and debris entering the stormwater system.
• Removes oil, grease, and other pollutants.
• Prevents clogging of the stormwater system.
• Extends the life of the stormwater system.
• Easy to install and maintain.

How it Works:
The First Defense uses a combination of physical and chemical processes to remove pollutants. As stormwater flows through the unit, larger particles are trapped by the filter media. Smaller particles are captured by the unit's internal components. The clean water then flows out of the unit and into the stormwater system.

Table 1: First Defense - Models and Dimensions

Model	Length (ft)	Width (ft)	Height (ft)	Flow Capacity (gpm)	Weight (lbs)
FD-4	4.112	0.750	1.7	6,100	18,400
FD-6	6.112	0.750	1.7	9,100	27,400
FD-8	8.112	0.750	1.7	12,100	36,400
FD-10	10.112	0.750	1.7	15,100	45,400
FD-12	12.112	0.750	1.7	18,100	54,400

Table 2: First Defense - Materials and Dimensions

Material	Dimensions
Filter Media	1/4" to 1/2" diameter
Structural Components	High-strength polypropylene
Manhole	6" diameter, Type A

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Structural Components	High-strength polypropylene
Manhole	6" diameter, Type A

RECESSED REFLECTIVE PAVEMENT MARKERS

DESCRIPTION: This work shall consist of installing recessed reflective pavement markers in a recessed groove in the pavement. The recessed pavement markers shall be used to supplement other pavement markings, such as the use of painted lines and reflective pavement markers.

MATERIALS: The recessed pavement marker shall be a 1 1/2" wide x 1 1/2" high x 1/2" thick, square, reflective pavement marker. The marker shall be made of a high-strength, reflective material. The marker shall be installed in a recessed groove in the pavement. The recessed groove shall be 1/2" wide x 1/2" deep x 1/2" high. The marker shall be installed in the center of the recessed groove.

INSTALLATION: The recessed pavement marker shall be installed in a recessed groove in the pavement. The recessed groove shall be 1/2" wide x 1/2" deep x 1/2" high. The marker shall be installed in the center of the recessed groove. The marker shall be installed in a recessed groove in the pavement. The recessed groove shall be 1/2" wide x 1/2" deep x 1/2" high. The marker shall be installed in the center of the recessed groove.

PAVEMENT MARKINGS

MATERIALS FOR PAVEMENT MARKINGS:

LOCATION	MATERIAL
ALL MARKINGS ON BITUMINOUS PAVEMENT	THERMOPLASTIC PAVEMENT MARKINGS
ALL MARKINGS ON CONCRETE SURFACES	URETHANE PAVEMENT MARKINGS

INSTALLATION OF PAVEMENT MARKINGS:

LOCATION	TYPE OF MARKING
PAINTED ISLANDS	4" DOUBLE YELLOW, 11" OR AND 12" YELLOW @ 45° TO 90°
ALL TURN BAY TAPERS ALONG FRRD LANES	6" WHITE 2" LONG, 6" APART (DOTTED WHITE)
END OF TURN BAYS 150'-300' LONG	TURN ARROW 30' FROM END
ALL OTHER MARKINGS PER MANUAL OF CONSTRUCTION OF THE ILLINOIS HIGHWAY DEPARTMENT	

INSTALLATION OF RECESSED REFLECTIVE PAVEMENT MARKERS:

LOCATION	SPACING	TYPE
DOUBLY YELLOW CENTERLINE	20'-30'	1-WAY YELLOW
MEDIANS > 4'	10'-40'	1-WAY YELLOW
END OF MEDIANS	3' @ 3' LATERAL	1-WAY YELLOW
SKIP-DASH WHITE LANE LINES	10'-40'	1-WAY WHITE
AT LONG BARRIER MEDIANS	VARIABLE	WHITE/RED
SOLID LANE LINES	10'-40'	1-WAY WHITE

PAVEMENT MARKINGS

MATERIALS FOR PAVEMENT MARKINGS:

LOCATION	MATERIAL
ALL MARKINGS ON BITUMINOUS PAVEMENT	THERMOPLASTIC PAVEMENT MARKINGS
ALL MARKINGS ON CONCRETE SURFACES	URETHANE PAVEMENT MARKINGS

INSTALLATION OF PAVEMENT MARKINGS:

LOCATION	TYPE OF MARKING
PAINTED ISLANDS	4" DOUBLE YELLOW, 11" OR AND 12" YELLOW @ 45° TO 90°
ALL TURN BAY TAPERS ALONG FRRD LANES	6" WHITE 2" LONG, 6" APART (DOTTED WHITE)
END OF TURN BAYS 150'-300' LONG	TURN ARROW 30' FROM END
ALL OTHER MARKINGS PER MANUAL OF CONSTRUCTION OF THE ILLINOIS HIGHWAY DEPARTMENT	

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SKIP-DASH WHITE LANE LINES	10'-40'	1-WAY WHITE
AT LONG BARRIER MEDIANS	VARIABLE	WHITE/RED
SOLID LANE LINES	10'-40'	1-WAY WHITE

DuPage County Division of Transportation General Notes and Specifications

- All construction within the County's right-of-way shall be performed according to IDOT's "Standard Specifications for Road and Bridge Construction" (Latest Edition) and the "Supplemental Specifications and Recurring Special Provisions" (Latest Edition).
- Daily lane closures are permitted between 6:00 a.m. and 4:00 p.m. ONLY. Traffic control shall conform to IDOT's Highway Standards and the FHWA's Manual for Uniform Traffic Control Devices and IDOT's Supplement at all times during construction. Traffic control shall include use of advance warning lane closure signage, an arrow board and Type I barricades with sandbags.
- Lane closures are not permitted on County roadways during snowfall or within 2 hours prior to predicted snowfall or precipitation conditions between November 15 and April 15 for maintenance of the roadway pavement by County Highway Maintenance Department staff and equipment.
- Disturbed areas of the right-of-way shall be dressed with a minimum of 6" topsoil and Class 2A (not tolerant seed) or 8" (not tolerant and tilled) in place.
- The Division of Transportation operates/maintains traffic signals and related equipment within a vicinity of the project. Contact the Division of Transportation a minimum of 48 hours prior to the start of construction within the County's right-of-way and within 300' of any County maintained signal to locate said equipment. Traffic signals and related equipment are NOT on the J.U.L.I.E. system.
- Erosion control measures shall comply with the minimum requirements of the DuPage County Stormwater and Floodplain Ordinance specifications at all times.
- Equipment and materials shall not be stored within the County's right-of-way at any time without the express written permission of the County Engineer, or his duly authorized assign.
- Pavement, curb/gutter and storm structures within the County's right-of-way shall be maintained free of mud/debris at all times and shall be cleaned as is required and/or as directed by DuPage County.
- Contact DuPage County (630)467-6800 a minimum of 48 hours prior to the start of construction to arrange for inspections of and at the completion of the described work within the County's right-of-way.
- Trench backfill for non-paved areas shall be installed within the County's right-of-way per DuPage County's standard.
- Trench backfill below existing or proposed pavement, curb/gutter and/or a sidewalk shall be installed within the County's right-of-way per DuPage County's standard.

DUPAGE COUNTY DIVISION OF TRANSPORTATION TRENCH BACKFILL STANDARD IN PAVED AREAS

DUPAGE COUNTY DIVISION OF TRANSPORTATION TRENCH BACKFILL STANDARD IN NON-PAVED AREAS (PARKWAYS, ETC.)

NOTES:

- All materials per IDOT's "Standard Specifications for Road & Bridge Construction" (latest edition) and "Supplemental Recurring Special Provisions" (latest edition).
- Refrain from pavement markings, striping, symbols and pavement markers in kind.

DETAILS - 4

7879 LEMONT ROAD INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9375 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 697-4660 Fax: (847) 697-4065

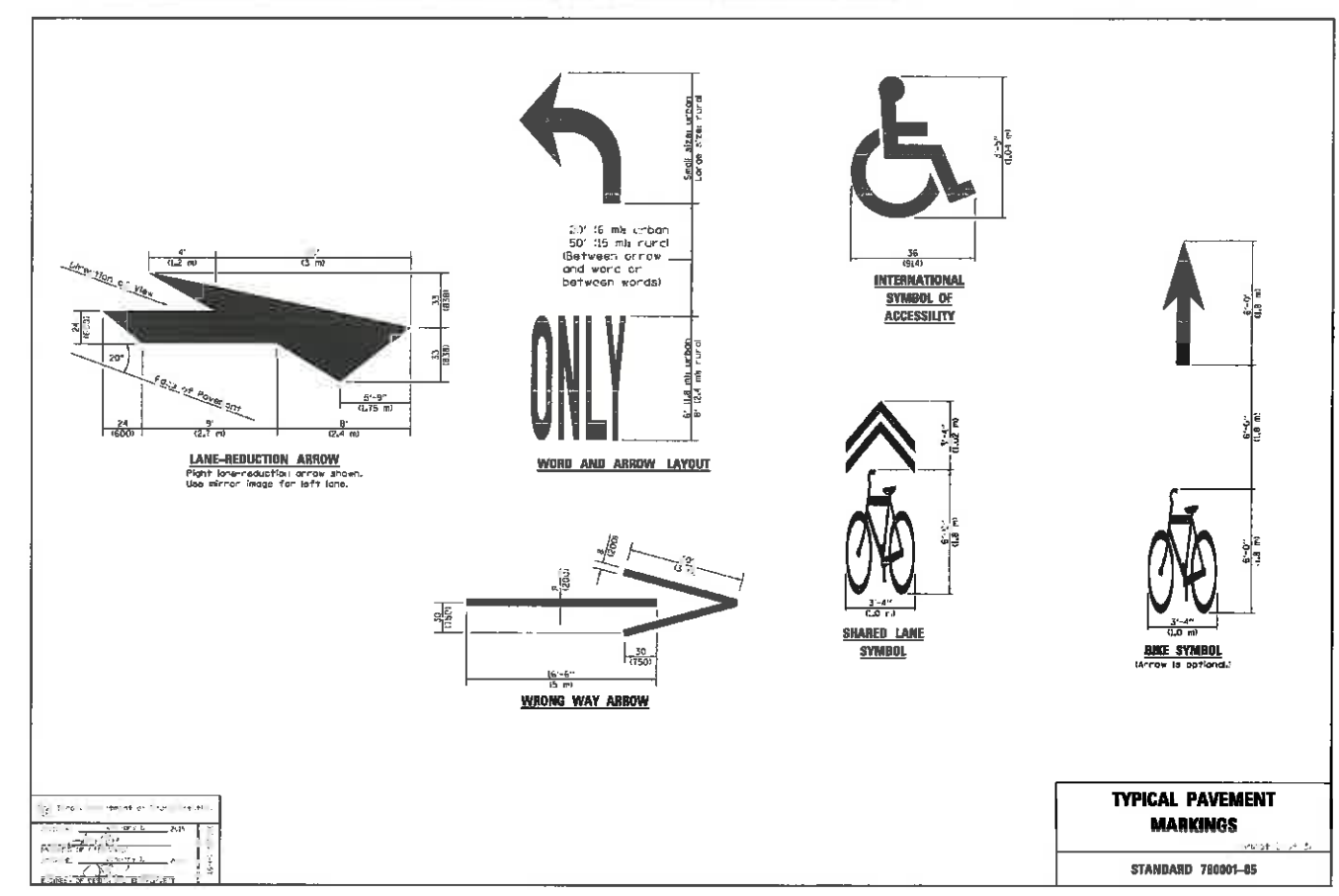
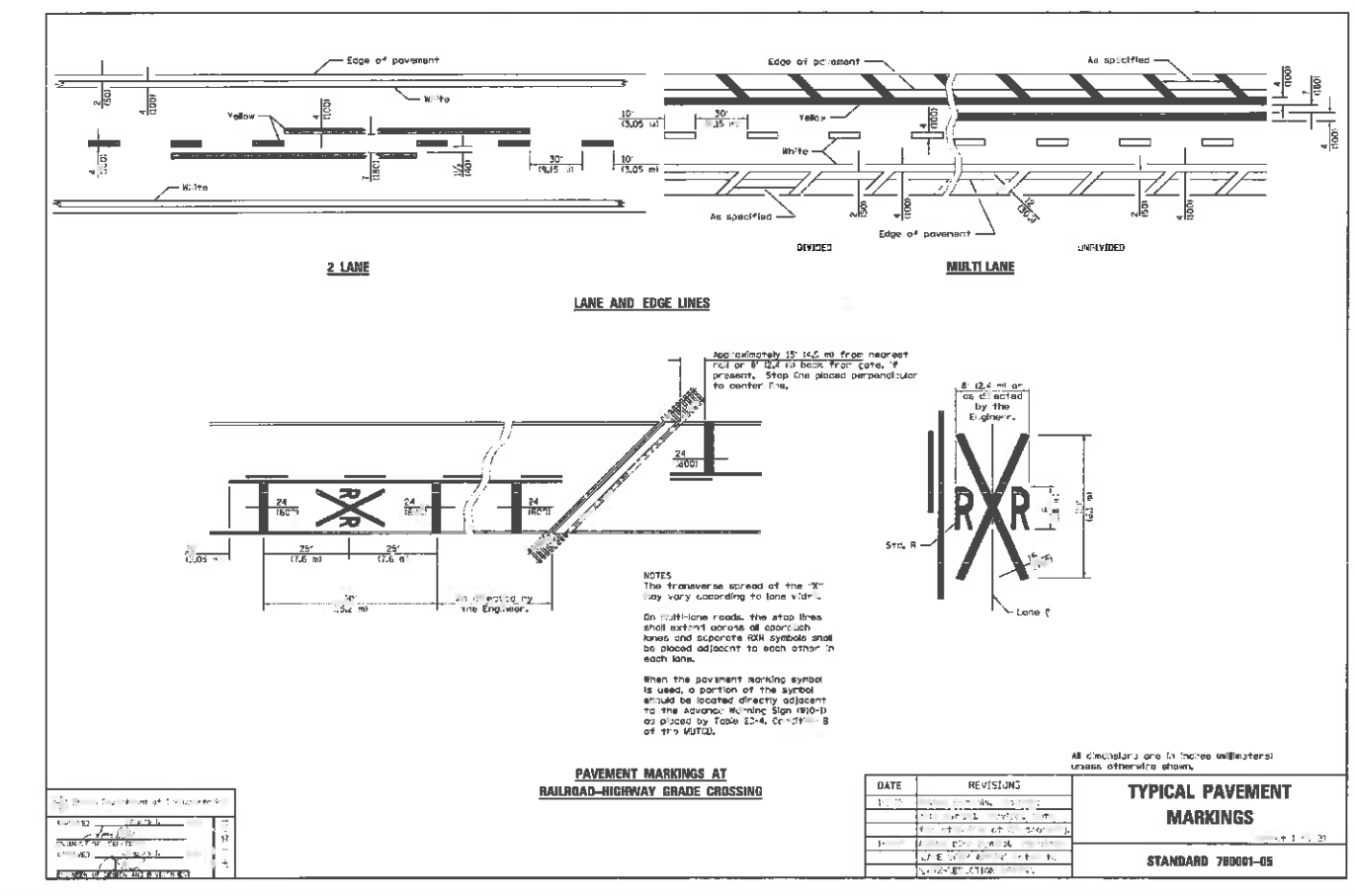
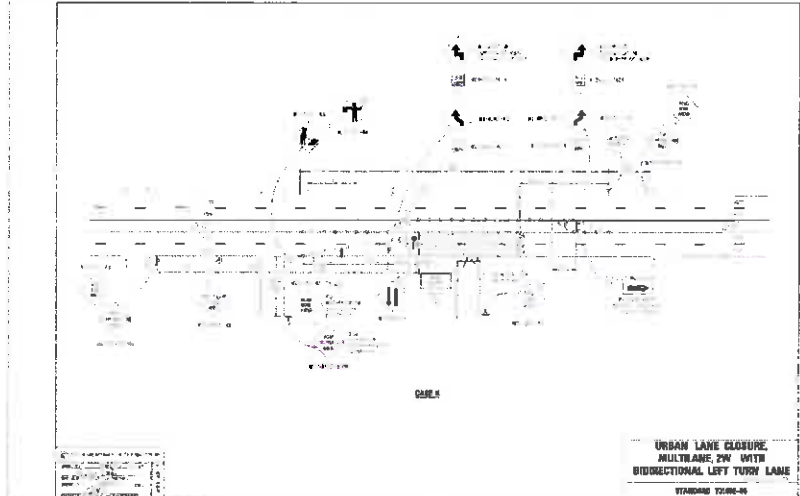
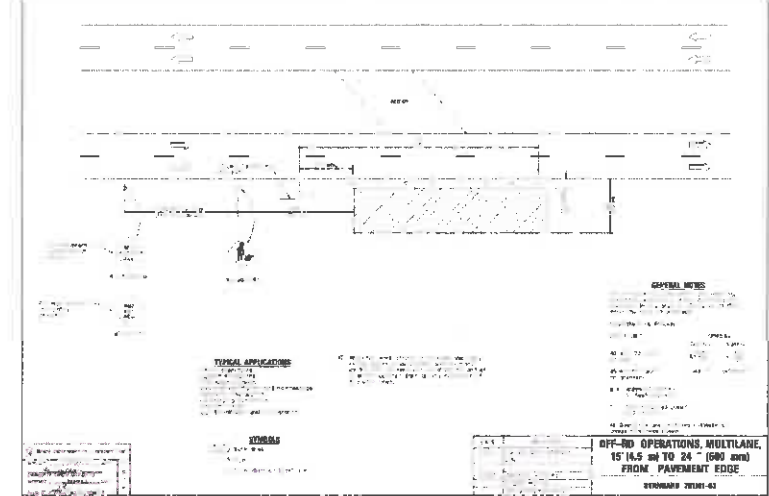
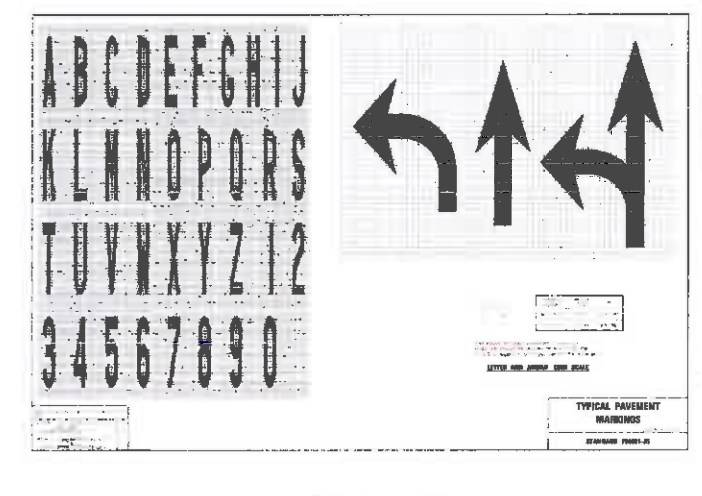
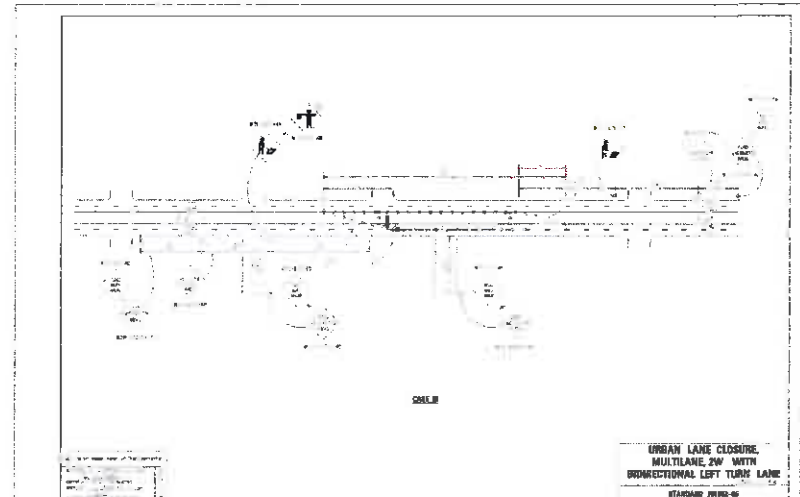
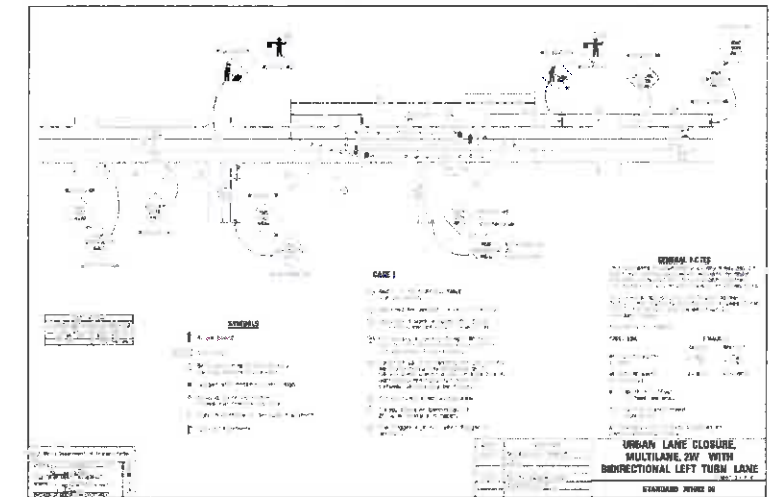
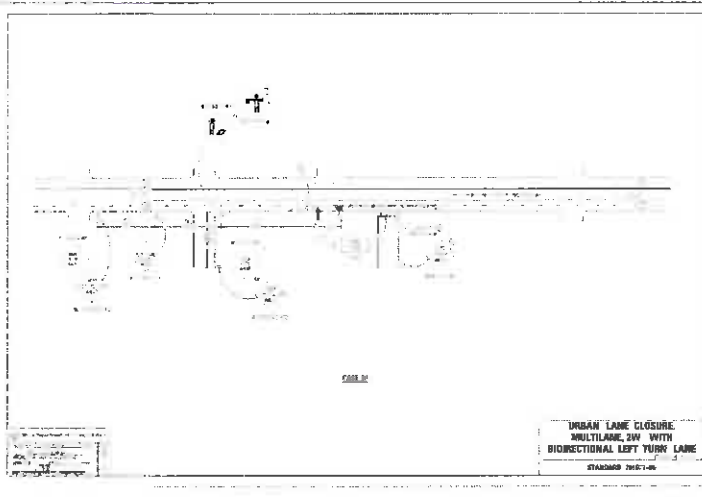
SPACECO INC.

FILENAME: 8893DET04.dgn

DATE: 03/18/2016

JOB NO. 8942

SHEET **D4**
21 OF 22



DETAILS - 5

7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

SPACECO INC.

FILENAME:
8942DET05

DATE:
03/18/2016

JOB NO.
8942

SHEET
D5

22 OF 22

NO.	DATE	REMARKS
1	06/09/2016	PER AGENCY REVIEW

June 1, 2016

TO: Dan Gombac
City of Darien
Director of Community Development

FROM: Kevin Baldwin, PE

SUBJECT: Sound Study for the Proposed Development at 7879 Lemont Road
(CBBEL Project No. 16-0238)

OBJECTIVE:

Christopher B. Burke Engineering, Ltd. (CBBEL) has conducted a sound study for the potential noises that are produced from the proposed office / warehouse facility to be located at the subject address. The purpose of this Memorandum is to show the process and background information involved with this sound study.

SITE LOCATION AND LAYOUT:

The proposed location resides east of Lemont Road and north of Whitlock Drive as shown in the layout below in Figure 1.

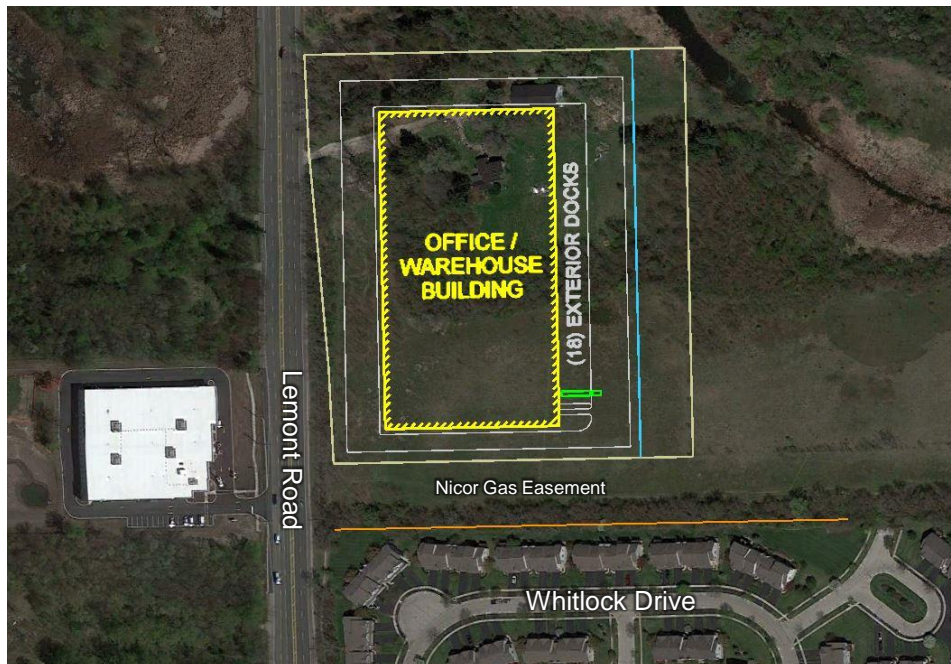


Figure 1: Proposed Office / Warehouse Facility Location Map

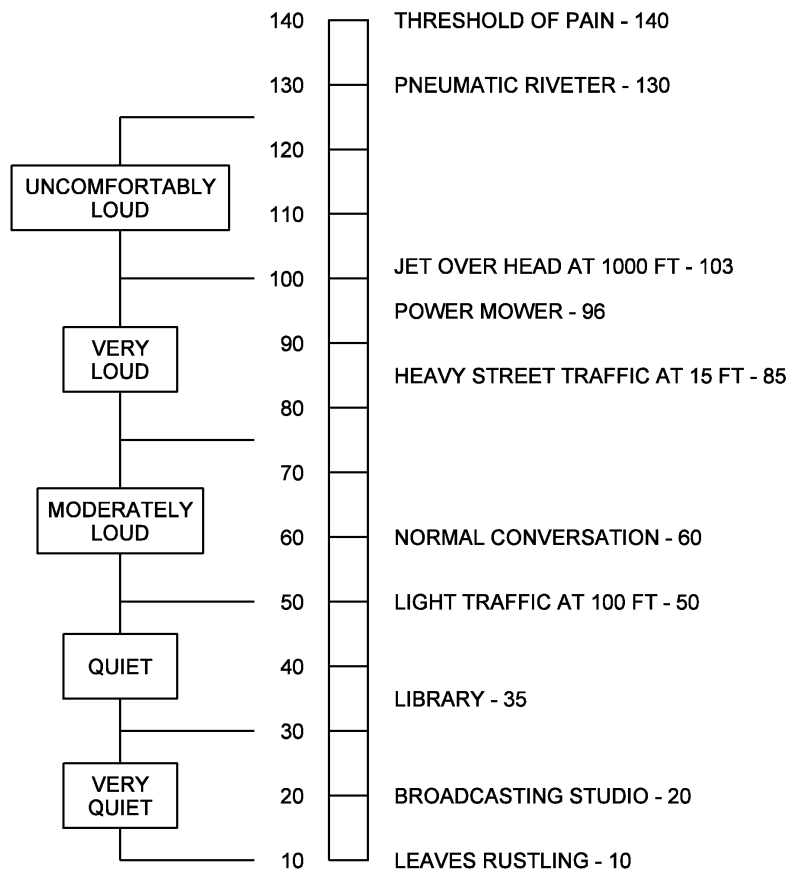


MEMORANDUM

There is a 120 foot Nicor Gas easement between the southern property line of the proposed location and the northern property line of the residential homes. From the plans prepared by Panattoni, the southern face of the proposed building is approximately 61.5 feet from the proposed property line. For the purpose of this sound study, the assumption of the closest sound source centerline to the southern face of the proposed building is approximately 58.5 feet to the first exterior docking bay location. From the closest sound source to residential property line directly south totals 240 feet.

NOISE LEVEL COMPARISONS:

To associate noise levels with the results of the sound study, the diagram below shows typical noise levels from everyday situations for reference.



TYPICAL NOISE LEVELS IN DECIBELS (dBA)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

MEMORANDUM

DARIEN NOISE ORDINANCE:

For quick reference, the below table states Darien's Noise Ordinance under Chapter 12, Performance Standards, 5A-12-4-1: Noise.

At no point on the property line on which the operation is located shall the sound intensity level of any individual operation or plant (other than the operation of motor vehicles or other transportation vehicles) exceed the decibel levels in the designated octave bands as hereinafter shown in the following table:

MAXIMUM PERMITTED SOUND LEVEL (DECIBELS)

<u>Octave Bank (Frequency) Cycles Per Sound</u>	<u>Industrial Or Commercial Adjoining Nonresidential District</u>	<u>Industrial, Commercial Or Residence Adjoining Residence Properties</u>
0 to 75	79	72
75 to 150	74	67
150 to 300	66	59
300 to 600	59	52
600 to 1,200	53	46
1,200 to 2,400	47	42
2,400 to 4,800	41	38
Above 4,800	39	38
<i>Total SPL dB</i>	<i>80.4</i>	<i>73.4</i>

Noise testing is to be accomplished at the property line of the noise emitting source, with an octave band analyzer operated by an independently employed person, trained, and skilled in the operation of this equipment. (Ord. 0-35-13, 12-2-2013)



MEMORANDUM

TRUCK NOISE ANALYSIS:

The following truck noise scenarios were researched to find a corresponding average A-weighted decibel (dBA) level in normal conditions:

- Semi-Trailer Trucks without a muffler installed;
- Semi-Trailer Trucks with a muffler installed;
- Back up alarms from reversing trucks.

Table 1 shows the average decibel levels for each scenario for one (1) truck sound source.

Table 1: Trucking Noise Scenarios

<i>Scenario</i>	<i>Average dBA Level</i>	<i>dBA Level Used</i>	<i>At a Distance of</i>
Typical Truck with no Muffler	96 - 101	100	50 feet
Typical Truck with Muffler	80 - 87	86	50 feet
Typical Backup Alarm	112	112	3 feet

From Table 1, the reduction in loudness can be determined for the direct path of sound in air. Further in-depth calculations and sound level chart are attached to this Memorandum.

Table 2: Direct Path Noise Reduction

<i>Direct Path (No Barriers)</i>	<i>Distance to Property</i>	<i>Reduction of Sound Pressure Level to Distance (dBA)</i>
Typical Truck with no Muffler	240 feet	86.4
Typical Truck with Muffler	240 feet	72.4
Typical Backup Alarm	240 feet	73.9

Upon investigating into the existing conditions of the area, there are existing barriers between the proposed location and existing residential homes. A 4' high wooden fence and various species of dense trees paralleling the entire length of the south residential property line. With these existing dense barriers, it is presumed to reduce the sound pressure level approximately 6 dBA for all scenarios at the residential property line.



MEMORANDUM

Table 3: Noise Reduction with Existing Noise Barriers

<i>Existing Noise Barriers</i>	<i>Distance to Property</i>	<i>Reduction of Sound Pressure Level to Distance (dBA)</i>
Typical Truck with no Muffler	240 feet	80.4
Typical Truck with Muffler	240 feet	66.4
Typical Backup Alarm	240 feet	67.9

MULTIPLE SOUND SOURCES

For the discussion of multiple sound sources for this study, it is assumed that the trucks coming entering and exiting the proposed location are similar in nature. Therefore, Table 4 shows the increase in sound pressure level compared to how many sources are on site.

Table 4: Addition of Identical Sound Sources

<i>Number of Sources [N]</i>	<i>Increase in Sound Power Level (dB) [10 log (N)]</i>
2	3
3	4.8
4	6
5	7
10	10

According to the proposed plans, there are 18 proposed exterior docking locations for this building. It would be unusual for more than 3 or 4 trucks moving and backing-out of a docking area at the same time due to space limitations of the pavement area.



MEMORANDUM

CONCLUSION:

From the worst case scenarios of sound source locations for the proposed facility along with existing vegetation barriers in place between the existing residences of Whitlock Drive, it appears the noise level of the trucks entering and leaving the facility would be closely below the total Sound Pressure Level of the City's Ordinance.

Table 5: Sound Pressure Level Comparisons

<i>Scenarios</i>	<i>Sound Pressure Level at Residential Property Line (dBA)</i>	<i>City's Noise Ordinance Total Sound Pressure Level (dBA)</i>	<i>Above / Below Ordinance</i>
Typical Truck with no Muffler	80.4	73.4	Above
Typical Truck with Muffler	66.4	73.4	Below
Typical Backup Alarm	67.9	73.4	Below

Further determinations of exact type of frequencies generated by the truck engines and backup alarm would pinpoint exact octave band sound levels permitted. The combination of multiple truck sources on site does bring the sound pressure level of the area up closer to the threshold of the City's Ordinance. The actual operations of the facility traffic rate and hours are unknown at the time of this study.

It is presumed the noise ordinance restrictions are enforced at all hours of the day since it is not specifically stated within the ordinance.

To further reduce the sound levels of the facility, it is recommended a noise attenuation barrier wall similar to a back-to-back, board-on-board wolmanized wood fence approximately 8 to 10 feet above grade for approximately 400 feet be located at the southeast corner of the proposed facility to direct the truck noises above the existing residential homes.

KWB/kwb

N:\DARIEN\160238\Admin\M1.060116.docx



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

CITY OF DARIEN
PROPOSED DEVELOPMENT AT 7879 LEMONT ROAD
CBBEL PROJECT NO. 16-0238

SOUND STUDY ANALYSIS

TRUCK ENGINE RAISED 4'-0" ABOVE GRADE

DIRECT PATH (NO BARRIERS)

Truck with No Muffler

Total A-Weighted Sound Pressure Level	L1	100	dB
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	86.38	dB
Difference of dBA	Delta	13.62	dB
Median	Air		
Any walls between barrier	No		

Truck with Muffler

Total A-Weighted Sound Pressure Level	L1	86	dB
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	72.38	dB
Difference of dBA	Delta	13.62	dB
Median	Air		
Any walls between barrier	No		

Backup Alarm

Total A-Weighted Sound Pressure Level	L1	112	dB
Horizontal Distance from Unit to Recorder	d1	3	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	73.94	dB
Difference of dBA	Delta	38.06	dB
Median	Air		
Any walls between barrier	No		

$$L2 = L1 - ABS(20 * LOG(d1 / d2))$$

Noise Level Comparisons

Power Tools, Lawn Mower	90 db
Factory, Alarm Clock, Busy Traffic	80 db
Car at 30 ft, Vacuum Cleaner	70 db
Conversation, TV Sound at Home	60 db
Moderate Rainfall	50 db
Refrigerator	40 db
Whisper, Quiet Room, Library	30 db
Watch Ticking	20 db
Leaves Rustling, Human Breathing	10 db

CITY OF DARIEN
PROPOSED DEVELOPMENT AT 7879 LEMONT ROAD
CBBEL PROJECT NO. 16-0238

SOUND STUDY ANALYSIS

TRUCK ENGINE RAISED 4'-0" ABOVE GRADE

EXISTING NOISE BARRIERS

Truck with No Muffler

Total A-Weighted Sound Pressure Level	L1	100	dBA
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	86.38	dBA
Difference of dBA	Delta	13.62	dBA
Median	Air		
Any trees between barrier	Yes	Various Heights	
Reduction of SPL due to trees	-4		
Any walls between barrier	Yes	Wooden Fence	
Reduction of SPL due to barrier	-2	80.38	dBA

Truck with Muffler

Total A-Weighted Sound Pressure Level	L1	86	dBA
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	72.38	dBA
Difference of dBA	Delta	13.62	dBA
Median	Air		
Any trees between barrier	Yes	Various Heights	
Reduction of SPL due to trees	-4		
Any walls between barrier	Yes	Wooden Fence	
Reduction of SPL due to barrier	-2	66.38	dBA

Backup Alarm

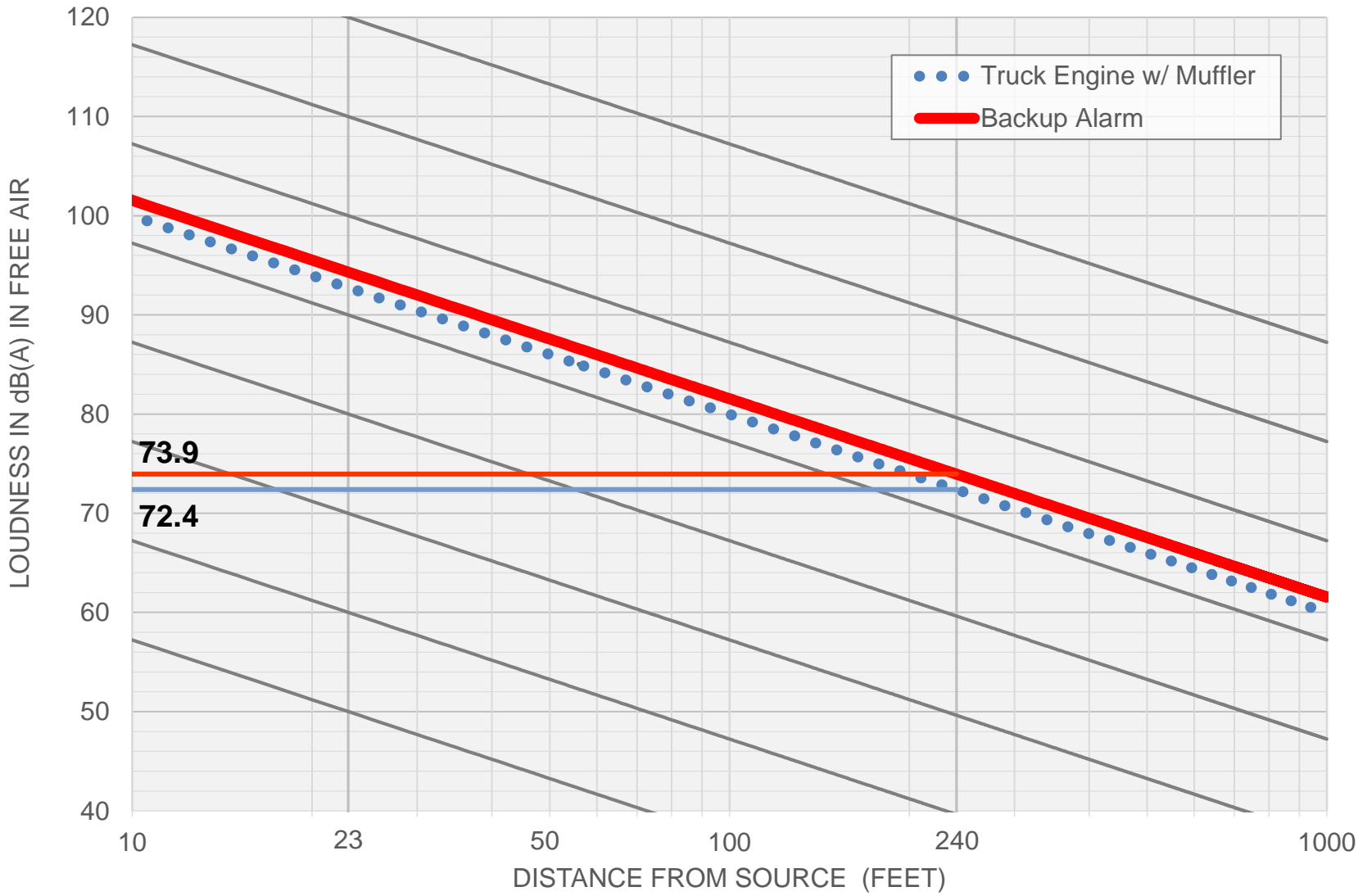
Total A-Weighted Sound Pressure Level	L1	112	dBA
Horizontal Distance from Unit to Recorder	d1	3	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	73.94	dBA
Difference of dBA	Delta	38.06	dBA
Median	Air		
Any trees between barrier	Yes	Various Heights	
Reduction of SPL due to trees	-4		
Any walls between barrier	Yes	Wooden Fence	
Reduction of SPL due to barrier	-2	67.94	dBA

$$L2 = L1 - ABS(20 * \text{LOG}(d1 / d2))$$

Noise Level Comparisons

Power Tools, Lawn Mower	90 db
Factory, Alarm Clock, Busy Traffic	80 db
Car at 30 ft, Vacuum Cleaner	70 db
Conversation, TV Sound at Home	60 db
Moderate Rainfall	50 db
Refrigerator	40 db
Whisper, Quiet Room, Library	30 db
Watch Ticking	20 db
Leaves Rustling, Human Breathing	10 db

SOUND LEVEL CHART





CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

June 14, 2016

City of Darien
1702 Plainfield Road
Darien, IL 60561

Attention: Dan Gombac

Subject: 7879 Lemont Road
(CBBEL Project No. 950323H197)

Dear Dan:

As requested, we have reviewed the revised Site Improvement Plans for the aforementioned property prepared by SPACECO, Inc. and dated June 9, 2016. Please note that SPACECO, Inc. is an affiliate company of Christopher B. Burke Engineering, Ltd. (CBBEL). Our previous comments have been addressed and we have no objection to the project being approved, subject to the following items:

- Approvals must be secured from all outside permitting agencies including, but not limited to: DuPage County Stormwater (wetlands), DuPage County Public Works (sanitary sewer), DuPage County DOT, and IEPA.
- A development security for all stormwater related items must be posted.
- An easement plat must be recorded to grant the various easements necessary for the project.

If you have any questions, please feel free to contact me.

Sincerely,

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department



AGENDA MEMO
City Council
June 20, 2016

ISSUE STATEMENT

Approval of a resolution authorizing a Private Property Development Storm Water Management Assistance Project for Portsmouth Condominium Association - 8325 Portsmouth to Frontage Road with GroundsKeeper Landscape Care in an amount not to exceed \$21,400.

RESOLUTION

BACKGROUND

Throughout the year, the City receives complaints regarding drainage issues within the rear lot lines/easements. The complaints are due to standing water that stems from active sump pumps, grading issues and mature landscaping. The areas further stay saturated throughout the season, thereby making it difficult to mow and maintain these areas and further creates conditions for mosquito breeding. The City's Private Property-Development Storm Water Management Assistance Policy or further referred to as the *Rear Yard Drainage Program* allows residents, multifamily, commercial property owners and the City to work together in resolving these nuisance ponding and drainage issues.

The proposed project is considered a Level 2 Program and the scope of work includes the following:

- Installation of 6 and 12-inch piping
- Drainage structures
- Landscape Restoration

The project would rid the area of the nuisance ponding, and allow for positive storm water conveyance within the rear yard easement. Costs for the project are estimated to be at approximately \$21,400 and the cost share would be as follows:

1 Participant- \$11,560.00
 City of Darien-\$9,840.00

PROPOSED PROJECT COST	PROPOSED NO OF PARTICIPANTS	MULTI-FAMILY FIRST \$5,000.00 COST TO PARTICIPANTS	BALANCE BETWEEN PROJECT COST OVER \$5,000.00 PER PARTICIPANTS	COST TO CITY OF DARIEN OVER FIRST \$5,000	REMAINDER OF COST TO PARTICIPANT	TOTAL COST TO EACH PARTICIPANT WITHOUT DEDUCTIBLE	TOTAL COST TO EACH PARTICIPANT WITH DEDUCTIBLE
\$ 21,400.00	1	\$5,000.00	\$ 16,400.00	\$ 9,840.00	\$ 6,560.00	\$ 6,560.00	\$ 11,560.00

The City of Darien would be responsible for administering the proposal, which includes material, outsourced labor, and restoration for the proposed project.

Staff requested proposals for the installation of the material and restoration services for the project and received three (3) competitive quotes, see attached, labeled as [Attachment A](#). GroundsKeeper Landscape Care provided the lowest responsive quote.

The proposed expenditure would be expended from the following line account:

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY 16/17 BUDGET	PROPOSED EXPENDITURE	RESIDENT REIMBURSEMENT	ACCOUNT BALANCE
01-30-4374	DRAINAGE ASSISTANT PROJECTS	\$ 72,300	\$ 9,840.00	\$ 11,560.00	\$19,111.41

***PROJECT 6**

STAFF RECOMMENDATION

A resolution authorizing a Private Property Development Storm Water Management Assistance Project for Portsmouth Condominium Association - 8325 Portsmouth to Frontage Road with GroundsKeeper Landscape Care in an amount not to exceed \$21,400.

Projects for the Private Property-Development Storm Water Management Assistance Program are not reviewed by the Committee and brought forth to the City Council for consideration.

ALTERNATE CONSIDERATION

As directed by the City Council.

DECISION MODE

This item will be on the June 20, 2016 City Council-New Business-agenda for formal consideration.



JOB LOCATION

8325 Portsmouth Drive

DESCRIPTION	QUANTITY	UNIT	GroundsKeeper Landscape		WillCraft Construction		Grade A Grading LLC	
			UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST
INSTALLATION OF 6-INCH PIPE	300	LINEAL FT	\$ 15.00	\$ 4,500.00	\$ 40.00	\$ 12,000.00	\$ 16.00	\$ 4,800.00
INSTALLATION OF 12x12 GARDEN INLETS	4	EACH	\$ 30.00	\$ 120.00	\$ 100.00	\$ 400.00	\$ 25.00	\$ 100.00
INSTALLATION OF TOPSOIL	3	EACH	\$ 250.00	\$ 750.00	\$ 200.00	\$ 600.00	\$ 150.00	\$ 450.00
RESTORATION-INCLUDES SOD	55	CUBIC YARDS	\$ 20.00	\$ 1,100.00	\$ 45.00	\$ 2,475.00	\$ 25.00	\$ 1,375.00
	500	SQUARE YARDS	\$ 6.00	\$ 3,000.00	\$ 20.00	\$ 10,000.00	\$ 6.50	\$ 3,250.00
TOTAL COST				\$ 9,470.00		\$ 25,475.00		\$ 9,975.00



RESOLUTION NO. _____

A RESOLUTION AUTHORIZING A PRIVATE PROPERTY-DEVELOPMENT STORM WATER MANAGEMENT ASSISTANCE PROJECT FOR PORTSMOUTH CONDOMINIUM ASSOCIATION – 8325 PORTSMOUTH TO FRONTAGE ROAD WITH GROUNDSKEEPER LANDSCAPE CARE IN AN AMOUNT NOT TO EXCEED \$21,400

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes a Private Property-Development Storm Water Management Assistance Project for Portsmouth Condominium Association – 8325 Portsmouth to Frontage Road with GroundsKeeper Landscape Care. in an amount not to exceed \$21,400.00, a copy of which is attached hereto as “**Exhibit A**”.

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY



CITY OF DARIEN

In the County of DuPage and the State of Illinois
Incorporated 1969

June 3, 2016

Mr. Scott Possen
950 Des Plaines Avenue
Forest Park, IL 60130

RE: *Final-Portsmouth Condominium Association 8325 Portsmouth to Frontage Road-Rear Yard Drainage Project*

Dear Mr. Possen:

During our recent field review it was also identified there are drainage and ponding concerns within the rear of the property. In summary, the rear yard does not have the ability to drain overland due to the existing elevation, therefore contributing to the saturation and ponding within the rear yard. Due to the lack of drainage structures and grading, the sump pump continues to be very active. Upon review, the City staff is recommending a joint project to install an under drain system with 12 x 12 inlets and restore the affected rear yard of your residence.

This letter is an *update* to our recent discussions regarding the ongoing drainage concerns within the rear yard drainage easement of 8325 Portsmouth to Frontage Road. During our recent field review it was also identified there are drainage and ponding concerns within the rear of the abovementioned properties. In summary, the rear yard does not have the ability to drain overland due to the existing elevation, therefore contributing to the saturation and ponding within the rear yard. Due to the lack of drainage structures and grading, the sump pump continues to be very active. Upon review, the City staff is recommending a joint project to install an under drain system with 12 x 12 inlets and restore the affected rear yards of the properties effected.

In order to assist in correcting the drainage deficiency, the City is proposing a joint project. The scope of the project would include the installation of a 12-inch under drain, inlets and restoration of the disturbed area within the rear yard easement of 8325 Portsmouth to Frontage Road. The project would rid the area of the nuisance ponding, and allow for positive storm water conveyance within the rear yard easement. The sump pump discharge(s) may be tied into the proposed storm sewer structures.

The proposed project has been estimated at a cost of \$21,400. The Portsmouth Condominium Association would be responsible for a shared cost of approximately \$11,560 with a total shared cost from the City of Darien in the amount of approximately \$9,840. Pending bid results the costs will be adjusted to reflect the scope of the proposed work.

Prior to the commencement of work, the City Council is required to approve the project and is scheduled for the June 20, 2016, City Council agenda. Pending approval, the work would begin the week of July 3, 2016. Payment for the project is required prior to the start date in an amount to be determined by June 16, 2016. In the event the City Council does not approve the project, you will be issued a full refund.

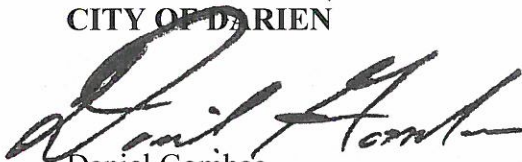
The City of Darien will manage the project, which includes; outsourcing for labor, purchasing material, and completing the restoration for the proposed project. The scope of the project includes the following:

1. Installation of a 12 inch High Density Polyethylene Pipe HDPE
2. The pipe will be installed within the easement and the route will be marked with white paint.
3. The storm sewer structures and inlet boxes will also be marked at strategic locations. Please note the structures may be moved or additional inlets may be requested.
4. No fence removal identified
5. No tree removal identified
6. Removal of an asphalt pad bump out
7. All existing private under drains within 10-feet of the proposed main line will be tied into the inlets.
8. All restoration will be replaced with sod or mulch to match existing conditions.
9. The City/vendor will repair any irrigation supply lines that may be severed during the excavation.

The placement of pipe and inlets may require field adjustments from the designated route (white paint) due to underground utilities. Participant(s) that would like to bury or replace their existing sump pump lines and connect them to the proposed inlets will be provided the awarded vendors contact information. You may also contact any other landscaper for this additional work provided they are capable of installing under drains. This additional work would be at the owner's expense.

Upon your review, please complete the attached sheet confirming authorization for the proposed project no later than June 14, 2016. Should you have any further questions regarding this matter, please feel free to contact me at (630) 353-8106 or via e-mail at dgombac@darienil.gov

Sincerely,
CITY OF DARIEN



Daniel Gombac
Director of Municipal Services

cc: Kathleen Weaver, Mayor
Tom Chlystek, Alderman Ward Four
Bryon Vana, City Administrator
Daniel Salvato, Superintendent of Municipal Services

ATT

Cost Estimate-Portsmouth Condo Association Rear Yard Drainage Rear Yard Drainage Project

--

JOB LOCATION

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL COST	ACTUAL UNITS	TOTAL COST	COMMENTS
4-INCH HDPE PIPE	15	LINEAL FT	\$ 1.20	\$ 18.00		\$ -	
12-INCH HDPE PIPE	300	LINEAL FT	\$ 4.84	\$ 1,452.00		\$ -	
	70	LINEAL FT	\$ 2.24	\$ 156.80			
12x12 GARDEN INLETS	4	EACH	\$ 75.00	\$ 300.00		\$ -	
	1	EACH	\$ 75.00	\$ 75.00			
TOP SOIL-MATERIAL	55	CUBIC YARD	\$ 16.00	\$ 880.00		\$ -	
TOTAL LENGTH (FT)=	300						
WIDTH (FT)=	15						
AREA (CY)=	55						
TOP SOIL-MATERIAL	55	CUBIC YARD	\$ 16.00	\$ (880.00)		\$ -	
TOTAL LENGTH (FT)=	300						
WIDTH (FT)=	15						
AREA (CY)=	55						
STORM INLET WITH BEEHIVE	3	LUMP SUM	\$ 250.00	\$ 750.00			
BLACK DIRT-INSTALLED	55	CUBIC YARD	\$ 25.00	\$ 1,375.00		\$ -	
TOTAL LENGTH (FT)=	300						
WIDTH (FT)=	15						
AREA (CY)=	55						
SOD-MATERIAL AND INSTALLATION	500	SQUARE YARD	\$ 4.25	\$ 2,125.00		\$ -	
TOTAL LENGTH (FT)=	300						
WIDTH (FT)=	15						
AREA (SF)=	4500						
STONE CA-7	46.23	TON	\$ 14.90	\$ 688.83		\$ -	
TOTAL LENGTH (FT)=	300						
WIDTH (FT)=	2						
AREA (SY)=	67						
STONE CA-7	22.77	TON	\$ 14.90	\$ 339.27		\$ -	
TOTAL LENGTH (FT)=	300						
WIDTH (FT)=	1						
AREA (SY)=	33						
DUMP FEES	4	PER LOAD	\$ 54.00	\$ 216.00		\$ -	
TOTAL LENGTH (FT)=	300						
WIDTH (FT)=	3						
AREA (CY)=	50						
TRUCKING	4	HOURLY	\$ 80.99	\$ 323.96		\$ -	
TREE REMOVAL	0	LS	\$ 6,000.00	\$ -			
SURVEY-EASEMENT	0	LS	\$ -	\$ -			
CATCH BASINS	3	EACH	\$ 100.00	\$ 300.00			
SUB-TOTAL COST				\$ 7,801.86		\$ -	
MISC-BRICK/ ADJ RINGS,MORTAR,MASTIC-SDWLK	\$ 780.19	EACH	10%	\$ 780.19		\$ -	
ASPHALT REMOVAL	1	LS	\$ 1,000.00	\$ 1,000.00			
TAMELING GRADING	1	LS	\$ 3,500.00	\$ 3,500.00			
CONTRACT INSTALLATION OF PIPE	300.00	LINEAL FOOT	\$ 25.00	\$ 7,500.00		\$ -	
CONTRACT INSTALLATION OF INLETS	4.00	EACH	\$ 50.00	\$ 200.00		\$ -	
CONTRACT INSTALLATION OF CONCRETE INLET	2.00	EACH	\$ 300.00	\$ 600.00		\$ -	
TOTAL COST				\$ 21,382.05		\$ -	
TOTAL ESTIMATE-SAY ADJUSTED QUANTITIES				\$ 21,400.00			
CITY COST						\$ 9,840.00	
RESIDENT COST						\$ 11,560.00	
NO OF PARTICPANTS /COST PER RESIDENT					1	\$ 11,560.00	
PROPOSED PROJECT COST	PROPOSED NO OF PARTICPANTS	FIRST \$5,000.00 COST TO PARTICPANTS	BALANCE BETWEEN PROJECT COST OVER \$1,000.00 PER PARTICPANTS	COST TO CITY OF DARIEN OVER FIRST \$1,000	REMAINDER OF COST TO PARTICIPANT	TOTAL COST TO EACH PARTICIPANT WITHOUT DEDUCTIBLE	TOTAL COST TO EACH PARTICIPANT WITH DEDUCTIBLE
\$ 21,400.00	1	\$ 5,000.00	\$ 16,400.00	\$ 9,840.00	\$ 6,560.00	\$ 6,560.00	\$ 11,560.00

Portsmouth dr. Sewer Project

300 ft of 12 in. HDPE Pipe

3 - 24 in. Catch Basins

Wet Areas

Flow to South

8317

8321

8325

8329

8333

8337

Portsmouth Dr.

Google earth
6-2-16 djs.



AGENDA MEMO
City Council
June 20, 2016

ISSUE STATEMENT

A resolution accepting a proposal from Midwest Commercial Painting for the painting of the interior and exterior of the Old Lace School in an amount not to exceed \$8,885.

RESOLUTION

BACKGROUND

The City Municipal Services Department is responsible for certain capital maintenance projects that are in excess of \$5,000, for the Darien Historical Society as they relate to the Old Lace School, located at the North West corner of 75th Street and Cass Avenue. Staff had solicited for competitive quotes in late 2015 for the painting of the interior and the exterior of the building. The goal was to have the project completed by April 30, 2016. Prior to the award of the painting, **Commercial Painting**, the responsive competitive quote, was requested to determine if the existing paint was lead based. The vendor recently identified that there was lead in the inside and exterior of the building and an additional charge would be incurred. Upon confirmation of the lead base, the Staff had revisited the quotes for lead abatement approved vendors.

Attached and labeled as [Attachment A](#) is the cost breakdown as it relates to the interior and exterior painting project. The awarded vendor, **Midwest Commercial Painting**, did not originally provide a cost to move the artifacts and display cases. Staff had contacted them and they agreed to move the items as required for an additional cost of \$300. The vendor is also certified in repair of lead based paint and the IEPA license is on file. The vendor will be required to perform spot repairs within the interior and the exterior as required and is inclusive of the total costs provided.

The proposed project was budgeted in FYE16 in the amount of \$44,500. Due to the recent confirmation of lead concerns and proper abatement techniques, the project was not started by April 30, 2016. The FYE17 Budget did not include funding for the painting project, but anticipated the expenditure in FYE 16 estimated actual. Therefore, there is no budget impact by spending the funds in FYE 17.

STAFF RECOMMENDATION

Municipal Services Committee recommends approval of this resolution with Midwest Commercial Painting.

ALTERNATE CONSIDERATION

As directed by City Council.

DECISION MODE

This item will be placed on the June 20, 2016 City Council agenda for formal approval.



COST COMPARISON - PAINTING
OLD LACE SCHOOL

VENDOR	MIDWEST COMMERCIAL PAINTING	COMMERCIAL PAINTING	LAKWOOD PAINTERS	ARCO CONSTRUCTION
DESCRIPTION				
INTERIOR PAINTING - LEAD SAFE FIRM	YES	NO	YES	NO
EXTERIOR PAINTING - LEAD SAFE FIRM	YES	NO	YES	NO
PAINTING AND PATCHING COST				
<i>INTERIOR</i>	\$4,350.00	\$4,000.00	\$5,450.00	\$6,095.00
<i>EXTERIOR</i>	\$3,950.00	\$4,141.00	\$5,900.00	\$5,175.00
MOVING OF ARTIFACTS				
<i>INTERIOR</i>	\$300.00	\$1,379.00	INCLUDED	INCLUDED
<i>EXTERIOR</i>	n/a	n/a	n/a	n/a
MINOR CARPENTRY WORK				
<i>INTERIOR</i>	n/a	n/a	n/a	n/a
<i>EXTERIOR</i>	\$285.00	not included	not included	not included
COST CENTER	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00
TOTAL PROJECT COST	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00



RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM
MIDWEST COMMERCIAL PAINTING FOR THE PAINTING OF THE INTERIOR
AND EXTERIOR OF THE OLD LACE SCHOOL IN AN AMOUNT NOT TO EXCEED
\$8,885.00**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE
COUNTY, ILLINOIS**, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Midwest Commercial Painting for the painting of the interior and exterior of the Old Lace School in an amount not to exceed \$8,885.00, copy of which is attached hereto as "[Exhibit A](#)".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY,
ILLINOIS**, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY,
ILLINOIS**, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY



COST COMPARISON - PAINTING
OLD LACE SCHOOL

EXHIBIT A

VENDOR	MIDWEST COMMERCIAL PAINTING	COMMERCIAL PAINTING	LAKWOOD PAINTERS	ARCO CONSTRUCTION
DESCRIPTION				
INTERIOR PAINTING - LEAD SAFE FIRM	YES	NO	YES	NO
EXTERIOR PAINTING - LEAD SAFE FIRM	YES	NO	YES	NO
PAINTING AND PATCHING COST				
<i>INTERIOR</i>	\$4,350.00	\$4,000.00	\$5,450.00	\$6,095.00
<i>EXTERIOR</i>	\$3,950.00	\$4,141.00	\$5,900.00	\$5,175.00
MOVING OF ARTIFACTS				
<i>INTERIOR</i>	\$300.00	\$1,379.00	INCLUDED	INCLUDED
<i>EXTERIOR</i>	n/a	n/a	n/a	n/a
MINOR CARPENTRY WORK				
<i>INTERIOR</i>	n/a	n/a	n/a	n/a
<i>EXTERIOR</i>	\$285.00	not included	not included	not included
COST CENTER	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00
TOTAL PROJECT COST	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00

AGENDA MEMO
City Council
June 20, 2016

ISSUE STATEMENT

A resolution accepting proposals in the total amount of \$9,850, including a contingency in the amount of \$127.53, from:

[Belson Outdoor Products](#) for the below Clock Tower, located at Plainfield Road and Cass Avenue in an amount not to exceed \$8,082.47.

1. Concrete Benches (3 each)
2. Concrete Bike Racks (2 each)
3. Trash Can Receptacles (3 each)

And

[Architectural Bronze and Aluminum Corporation](#) for the plaques in an amount not to exceed \$1,640.

BACKGROUND/HISTORY

During the last couple of months, the City has received a grant and several donations for amenities at the Clock Tower site, located at Cass Avenue and Plainfield Road. The color scheme is Sand Tan with an etched and smooth finish. A sample will be on display at the meeting. The amenities would include the following:

- 3-Concrete Benches-Includes an amber glass within the finish
- 2- Concrete Bike Racks
- 3-Trash Can Receptacles
- 10-Plaques

The City applied for and received a grant in the amount of \$5,000 from the Walmart Foundation. In addition, the following donations were received:

Organization/Individual	Amount
Walmart Foundation	\$5,000
Darien Lions Club	\$1,300
Darien Womans Club	\$1,300
Joanne Coleman	\$1,300
Joseph Sadowski	<u>\$ 950</u>
Total Funds Received	\$9,850

The staff has researched the above products and determined that the concrete products would be the most durable and maintenance free compared to plastic or metal based products. The concrete products are all custom products with limited manufacturers. Attached and labeled as [Attachment A](#), is a summary of two competitive quotes for the above-mentioned concrete products. Belson Outdoor

Products is the lowest competitive quote and is located in Aurora, Illinois and has been in business since 1948. The Staff had reviewed additional vendors for the concrete products and they were unable to provide limited concrete products, therefore causing a color and texture consistency concern through mixing and matching.

The organizations and private donators requested plaques to be placed on the benches and bike racks. The Walmart Foundation did not request plaques. The selected vendor for the plaques is a sole source provider for the aluminum plaques with the rear mounting studs.

STAFF RECOMMENDATION

Municipal Services Committee recommends approval of the resolution accepting the above proposals and contingency in the total amount of \$9,850.

ALTERNATE DECISION

As directed by City Council

DECISION MODE

This item will be placed on the June 20, 2016 City Council agenda for formal consideration.



DARIEN POINTE AMENITIES - PRICE COMPARISON

VENDOR	DESCRIPTION	MODEL NO	UNITS	COST PER UNIT	TOTAL COST	AWARDED TOTAL COSTS
<i>BELSON PRODUCTS</i>	DECORATIVE CONCRETE BENCH	TF-5065-CUS7	3	\$ 1,321.00	\$ 3,963.00	
	CONCRETE BICK RACK	BR3	2	\$ 688.00	\$ 1,376.00	
	CONCRETE TRASH RECEPTACLE	TCR-OCT	3	\$ 655.00	\$ 1,965.00	
	SHIPPING				\$ 778.47	
TOTAL COSTS					\$ 8,082.47	\$ 8,082.47
<i>FSI INDUSTRIES</i>	DECORATIVE CONCRETE BENCH	TF-5067-C30	3	\$ 1,508.00	\$ 4,524.00	
	CONCRETE BIke RACK	BR3	2	\$ 690.00	\$ 1,380.00	
	CONCRETE TRASH RECEPTACLE	TCH	3	\$ 587.00	\$ 1,761.00	
	SHIPPING				800	
TOTAL COSTS					\$ 8,465.00	
<i>ARCHITECTURAL BRONZE AND ALUMINUM CORP</i>	PLAQUES	8" x 8" x 1/4" CAST ALUMINUM 1/4 THICK WITH REAR MOUNT STUDS	10	\$ 164.00	\$ 1,640.00	\$ 1,640.00
TOTAL PACKAGE COST						\$ 9,722.47
TOTAL GRANTS AND DONATIONS						\$ 9,850.00
CONTINGENCY						\$ 127.53
TOTAL PACKAGE COST WITH CONTINGENCY						\$ 9,850.00

You have received this Quote per your request from Belson Outdoors (belson.com).
 If you are having trouble reading this email? [View it in your browser](#) or go to
<https://www.belson.com/Secure/Request.aspx?OrderID=170993&Key=3433.73399841691>

Quote #
WQ 170993

Here is the Quote as per your request. The 'Shipping' total has been applied.
 To place an order, simply click 'Submit Order Confirmation' below.
 Please print this page for your records.
 Customer Order Confirmation is **required** to process order.



111 North River Road
 North Aurora, IL. 60542
 sales@belson.com

Toll Free: 1-800-323-5664
 Phone: 1-630-897-8489
 Fax: 1-630-897-0573

QUOTE #
WQ 170993

Model #	Description	Lbs	Quantity	Unit Price	Unit Total
TCR-OCT	Octagon Concrete Trash Receptacle, 31-1/2"Dia. x 39"H Brown Derby Lid Etch Sand Tan Base	400	3	\$655.00	\$1,965.00
BR-3	Concrete Bike Rack, 62"L x 31"W x 19"H Brown Derby Loops Sand Tan Etch Finish	580	2	\$688.00	\$1,376.00
TF5065-CUS7	Decorative Concrete Bench, With Back, 84"L x 24"W x 36"H Weatherstone Finish Sand Matrix Emerald Glass	1,500	3	\$1,321.00	\$3,963.00

Amber

Subtotal	6,860	Subtotal	\$7,304.00
<input type="checkbox"/>	(Illinois Only) Tax		\$0.00
	Shipping		\$778.47
	Grand Total		\$8,082.47

Customer Order Confirmation is required to process order.

Your Order will not be shipped without your "Order Confirmation"



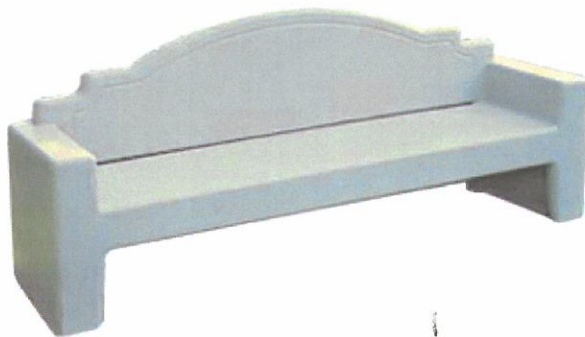
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Precast Concrete Bench



Model TF5065 | Precast Concrete Bench

Ground Glass Concrete Finish options; choose the preferred finish, select your desired matrix and then pick the recycled glass color to best suit your needs.

Concrete Park Bench with Back

The straight square seat and elegantly designed back reflects the classical styling of this precast concrete park bench. These park benches are constructed from 'built to last' steel rebar reinforced concrete construction ensuring its durability.

Dimensions

Model TF5064 - 60"L x 24"W x 36"H

Model TF5065 - 84"L x 24"W x 36"H

These precast concrete benches are ideal for your school, park or city. Available in three concrete finish options; Weatherstone, Smooth Stained Acid Wash, and Ground Glass Concrete (qualifies for [LEED® points](#)).

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Concrete Bike Rack with Steel Loops for Six Bikes



Heavy-Duty Concrete & Powder-Coated Steel Bike Rack

This freestanding precast concrete bike rack has six bike slots and 1" rolled bar loops bolted to the base which allow users to securely lock their bikes with various bike locks. Loops are powder-coated in your choice of colors shown. Concrete aggregate serves as an appealing base that blends well with any outdoor setting.

Treated with water-repellent sealer to enhance the appearance of the stones, help prevent water, salt or dirt penetration and cracking, and most importantly, extend the life of the aggregate by forming a protective barrier against the elements. Manufactured from high quality aggregates to insure all requirements are met according to ASTM standards.



Model BR-3 | Etch Sand Tan



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Octagon Concrete Trash Receptacle with Dome Top Lid



Rugged Steel Reinforced Trash Receptacle

This heavy-duty concrete trash receptacle has an appealing octagon shape with a round opening for the liner and a dome top lid which protects from the rain or snow. The sheer weight of this receptacle ensures that it will not walk off your property. Treated with water-repellent sealer to enhance the appearance of the stones, help prevent water, salt or dirt penetration and cracking, and most importantly, extend the life of the aggregate by forming a protective barrier against the elements. Rigid plastic 36 gallon round liner measures 19-1/2" Dia. x 29-3/4"H and is sold separately.

Specifications

- 36 Gallon Liner Sold Separately.
- Drain Hole at the Bottom.
- 5,000 PSI Minimum Compressive Strength.
- [Concrete Meets ASTM C33 Specifications](#)



Model TCR-OCT

Dan Gombac

From: Deb Dassow <Deb@petersenmfg.com>
Sent: Wednesday, June 15, 2016 11:07 AM
To: Dan Gombac
Subject: quote

Dan,

I had my sales team work up a quote for you...see below and please let us know if you have any questions.

2 BR3 tan etch, \$690.00 each plus tax if applicable and shipping
3 NWB, tan etch \$1508.00 each plus tax if applicable and shipping
3 TCRMD30 tan etch, \$587.00 each plus tax if applicable and shipping
Shipping for all of the above to zip code 60561 \$800.00 (off-loading not available)
Production lead time 6-8 weeks.

Best regards,

Debra Dassow
Secretary
Petersen Mfg. Company
712-263-2442

Dan Gombac

From: Ken Cooper <sales@architecturalbronze.com>
Sent: Monday, May 09, 2016 11:25 AM
To: Dan Gombac
Subject: RE: bench plates

Hi Dan, The best materials for durability in our climate are raised letter cast bronze, raised letter cast aluminum or etched stainless steel with enamel filled lettering. Proofs would be provided for your approval. Mounting is rear studs. Shipping 4-5 weeks and include ups ground shipping. Costs are as follows:

8" x 8" x 1/4" cast bronze @ \$274.00 each
8" x 8" x 1/4" cast aluminum @ \$164.00 each
8" x 8" x 1/16" @ \$179.00 each.

Ken Cooper, Pres.
Architectural Bronze & Aluminum Corp.
655 Deerfield Rd. Suite #100 PMB422
Deerfield, IL 60015
phone: 847-266-7300 fax: 847-266-7301
email: sales@architecturalbronze.com
web site: www.architecturalbronze.com

From: Dan Gombac [mailto:dgombac@darienil.gov]
Sent: Monday, May 09, 2016 10:46 AM
To: Ken Cooper
Subject: RE: bench plates

Good morning Ken:

We are looking at mounting plaques onto concrete benches and concrete bile racks within a community gathering place. The benches bile racks and trash receptacles are donations from residents. Looking for 6-12 plaques approximately 8 x 8 with the below inscription for 1. The remainder of the inscriptions may be similar with and without logos. The color of the concrete products are a sand and amber colors. Please recommend the material that you feel will last indefinitely and the best way to mount the plaques (mastic/fastners).

IN HONOR OF ORGAN DONORS AND THE LIVES THEY SAVE

If possible,. A simple logo (person with heart) can be found on the following website: <http://www.fairtransplant.org/thelogo/>

Please forward a quote with the lead times.

Daniel Gombac
Director of Municipal Services
630-353-8106

To receive important information from the City of Darien sign up for our electronic newsletter:

DARIEN DIRECT CONNECT

Follow the link below and subscribing is simple!

<http://www.darien.il.us/Departments/Administration/CityNews.html>

From: Ken Cooper [mailto:sales@architecturalbronze.com]
Sent: Monday, May 09, 2016 10:09 AM
To: Dan Gombac <dgombac@darienil.gov>
Subject: bench plates

May I be of further assistance with any bronze, aluminum or glass plaque, lettering, nameplate, award or donor recognition project? Ask about our plaque refinishing service. Free catalogs upon request. Thank you.
Ken Cooper, Pres.

Ken Cooper, Pres.



RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM BELSON OUTDOOR PRODUCTS FOR THE CLOCK TOWER, LOCATED AT PLAINFIELD ROAD AND CASS AVENUE IN AN AMOUNT NOT TO EXCEED \$8,082.47 FOR THREE CONCRETE BENCHES, TWO CONCRETE BIKE RACKS, AND THREE TRASH CAN RECEPTACLES

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Belson Outdoor Products for the Clock Tower, located at Plainfield Road and Cass Avenue in an amount not to exceed \$8,082.47 for three concrete benches, two concrete bike racks, and three trash can receptacles, copy of which is attached hereto as "[Exhibit A](#)".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____
NAYS: _____
ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY



You have received this Quote per your request from Belson Outdoors (belson.com).
 If you are having trouble reading this email? [View it in your browser](#) or go to
<https://www.belson.com/Secure/Request.aspx?OrderID=170993&Key=3433.73399841691>

Quote #
WQ 170993

Here is the Quote as per your request. The 'Shipping' total has been applied.
 To place an order, simply click 'Submit Order Confirmation' below.
 Please print this page for your records.
 Customer Order Confirmation is **required** to process order.



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 sales@belson.com

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 Fax: 1-630-897-0573

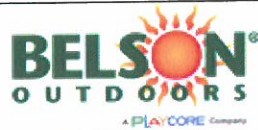
QUOTE #
WQ 170993

Model #	Description	Lbs	Quantity	Unit Price	Unit Total
TCR-OCT	Octagon Concrete Trash Receptacle, 31-1/2"Dia. x 39"H Brown Derby Lid Etch Sand Tan Base	400	3	\$655.00	\$1,965.00
BR-3	Concrete Bike Rack, 62"L x 31"W x 19"H Brown Derby Loops Sand Tan Etch Finish	580	2	\$688.00	\$1,376.00
TF5065-CUS7	Decorative Concrete Bench, With Back, 84"L x 24"W x 36"H Weatherstone Finish Sand Matrix Emerald Glass	1,500	3	\$1,321.00	\$3,963.00
Subtotal		6,860		Subtotal	\$7,304.00
					<input type="checkbox"/> (Illinois Only) Tax \$0.00
					Shipping \$778.47
					Grand Total \$8,082.47

Amber

Customer Order Confirmation is required to process order.

Your Order will not be shipped without your "Order Confirmation"



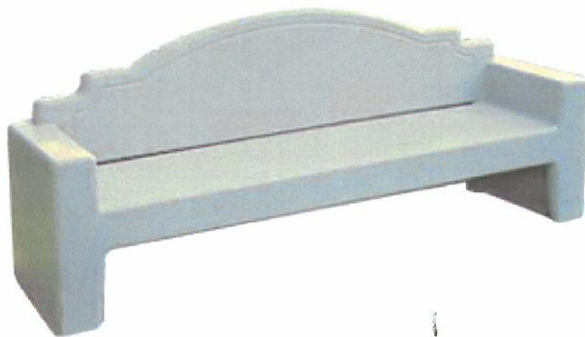
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Precast Concrete Bench



Model TF5065 | Precast Concrete Bench

Ground Glass Concrete Finish options; choose the preferred finish, select your desired matrix and then pick the recycled glass color to best suit your needs.

Concrete Park Bench with Back

The straight square seat and elegantly designed back reflects the classical styling of this precast concrete park bench. These park benches are constructed from 'built to last' steel rebar reinforced concrete construction ensuring its durability.

Dimensions

Model TF5064 - 60"L x 24"W x 36"H

Model TF5065 - 84"L x 24"W x 36"H

These precast concrete benches are ideal for your school, park or city. Available in three concrete finish options; Weatherstone, Smooth Stained Acid Wash, and Ground Glass Concrete (qualifies for [LEED® points](#)).



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Concrete Bike Rack with Steel Loops for Six Bikes



Heavy-Duty Concrete & Powder-Coated Steel Bike Rack

This freestanding precast concrete bike rack has six bike slots and 1" rolled bar loops bolted to the base which allow users to securely lock their bikes with various bike locks. Loops are powder-coated in your choice of colors shown. Concrete aggregate serves as an appealing base that blends well with any outdoor setting.

Treated with water-repellent sealer to enhance the appearance of the stones, help prevent water, salt or dirt penetration and cracking, and most importantly, extend the life of the aggregate by forming a protective barrier against the elements. Manufactured from high quality aggregates to insure all requirements are met according to ASTM standards.



Model BR-3 | Etch Sand Tan



Your Outdoor Superstore®

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M-F 8:00am - 4:30pm CST

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Octagon Concrete Trash Receptacle with Dome Top Lid



Rugged Steel Reinforced Trash Receptacle

This heavy-duty concrete trash receptacle has an appealing octagon shape with a round opening for the liner and a dome top lid which protects from the rain or snow. The sheer weight of this receptacle ensures that it will not walk off your property. Treated with water-repellent sealer to enhance the appearance of the stones, help prevent water, salt or dirt penetration and cracking, and most importantly, extend the life of the aggregate by forming a protective barrier against the elements. Rigid plastic 36 gallon round liner measures 19-1/2" Dia. x 29-3/4"H and is sold separately.

Specifications

- 36 Gallon Liner Sold Separately.
- Drain Hole at the Bottom.
- 5,000 PSI Minimum Compressive Strength.
- [Concrete Meets ASTM C33 Specifications](#)



Model TCR-OCT



RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM ARCHITECTURAL BRONZE AND ALUMINUM CORPORATION FOR THE PLAQUES IN AN AMOUNT NOT TO EXCEED \$1,640.00

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Architectural Bronze and Aluminum Corporation for the plaques in an amount not to exceed \$1,640.00, copy of which is attached hereto as "[Exhibit A](#)".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

Dan Gombac

RES

From: Ken Cooper <sales@architecturalbronze.com>
Sent: Monday, May 09, 2016 11:25 AM
To: Dan Gombac
Subject: RE: bench plates

Hi Dan, The best materials for durability in our climate are raised letter cast bronze, raised letter cast aluminum or etched stainless steel with enamel filled lettering. Proofs would be provided for your approval. Mounting is rear studs. Shipping 4-5 weeks and include ups ground shipping. Costs are as follows:

8" x 8" x 1/4" cast bronze @ \$274.00 each
 8" x 8" x 1/4" cast aluminum @ \$164.00 each
 8" x 8" x 1/16" @ \$179.00 each.

Ken Cooper, Pres.
 Architectural Bronze & Aluminum Corp.
 655 Deerfield Rd. Suite #100 PMB422
 Deerfield, IL 60015
 phone: 847-266-7300 fax: 847-266-7301
 email: sales@architecturalbronze.com
 web site: www.architecturalbronze.com

From: Dan Gombac [mailto:dgombac@darienil.gov]
Sent: Monday, May 09, 2016 10:46 AM
To: Ken Cooper
Subject: RE: bench plates

Good morning Ken:

We are looking at mounting plaques onto concrete benches and concrete bile racks within a community gathering place. The benches bile racks and trash receptacles are donations from residents. Looking for 6-12 plaques approximately 8 x 8 with the below inscription for 1. The remainder of the inscriptions may be similar with and without logos. The color of the concrete products are a sand and amber colors. Please recommend the material that you feel will last indefinitely and the best way to mount the plaques (mastic/fastners).

IN HONOR OF ORGAN DONORS AND THE LIVES THEY SAVE

If possible,. A simple logo (person with heart) can be found on the following website: <http://www.fairtransplant.org/thelogo/>

Please forward a quote with the lead times.

Daniel Gombac
Director of Municipal Services
 630-353-8106

To receive important information from the City of Darien sign up for our electronic newsletter:

DARIEN DIRECT CONNECT

Follow the link below and subscribing is simple!

<http://www.darien.il.us/Departments/Administration/CityNews.html>

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Sent: Monday, May 09, 2016 10:09 AM
To: Dan Gombac <dgombac@darienil.gov>
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May I be of further assistance with any bronze, aluminum or glass plaque, lettering, nameplate, award or donor recognition project? Ask about our plaque refinishing service. Free catalogs upon request. Thank you.
Ken Cooper, Pres.

Ken Cooper, Pres.



AGENDA MEMO
City Council
June 20, 2016

ISSUE STATEMENT

Approval of a motion authorizing Season Comfort Corp to perform the emergency repairs to the Police Department HVAC system in an amount of \$7,250.

BACKUP

BACKGROUND HISTORY

An air conditioning compressor at the Police Department became inoperable and needs to be replaced. Staff had Season's Comfort troubleshoot the unit and they identified the problem and submitted a proposal to replace the compressor. Staff was only able to obtain one quote for the repairs as 3 other vendors did not submit a proposal. Staff authorized the emergency work primarily so the other components of the HVAC system would not be affected by the blown compressor.

STAFF/COMMITTEE RECOMMENDATION

Staff recommends approval of the motion.

ALTERNATE CONSIDERATION

As directed.

DECISION MODE

This item will be on the June 20, 2016, City Council agenda for formal approval.



EQUIPMENT PURCHASE REQUEST

\$1,000.00 up to \$5,000.00

ITEM REQUESTED

Brief Description of Item:

EMERGENCY REPAIR OF
2nd STAGE COMPRESSOR FOR
PD HVAC

Budgeted Item?

YES NO

(If no, please describe the need)

COMPRESSOR FOR COOLING
FAILURE

ACCOUNT TO BE CHARGED AGAINST

ACCOUNT NUMBER	PROJECT CODE	ACCOUNT DESCRIPTION	FY 16-17 BUDGET AMOUNT	YEAR TO DATE EXPENDED	PROPOSED EXPENDITURE
30-4223		BUILD - MAINT	\$114,653	2017	\$ 7250.00
TOTAL PROPOSED EXPENDITURE					\$ 7250.00

QUOTES

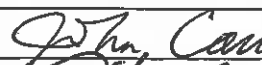
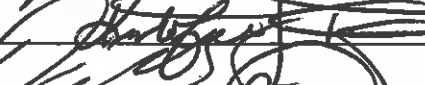

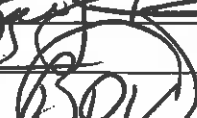
Quotes Attached?

YES NO

(If no, please describe why quotes were unavailable)

Awarded Vendor	VENDOR / MODEL NUMBER / DESCRIPTION	PRICE QUOTED
<input checked="" type="checkbox"/>	SEASON COMFORT	\$ 7250.00
<input type="checkbox"/>	AIR-RITE (DIDN'T FIND PROBLEM - WON'T BID)	\$ NO BID
<input type="checkbox"/>	FIREN JCK (TOO BIG FOR THEM)	\$ NO BID

AUTHORIZATIONS

	Signatures:	Date:
Requested by:		6/13/16
Supervisor Approval:		6/13/16
Department Head Approval:		6/13/16
City Administrator Approval:		6-12-16



Season Comfort, Corp.

107 West 61st Street • Westmont, IL 60559-2617
Telephone: 630/810-1919
Fax: 630/810-0263

Quotation

Date	Quote #
6/8/2016	5957

Customer Name
City of Darien 1702 Plainfield Rd. Darien, IL 60561

Job Name
City of Darien 1702 Plainfield Rd. Darien, IL 60561

Scope of work	
We propose to furnish Labor and Material necessary to replace One 2nd Stage Compressor for Carrier Roof Top Unit, Model # 38AH-044-50QBA, Serial # 3594F11769.	
Scope of Work: -We will Disconnect Compressor. -We will Reclaim Refrigerant according to E.P.A regulation and dispose of it. -We will set New Compressor in Place. -Reconnect Refrigeration Line, Electrical, and Controls. -Will Replace New Liquid Line Drier. -Will Evacuate and Recharge the System with New Refrigerant 22. -We will Start and Check Operation.	
TOTAL COST.....	\$7,250.00
WARRANTY: ONE YEAR LABOR AND COMPRESSOR	
We noted Stage 1 Compressor has a refrigerant leak. We need to locate and repair the leak and add refrigerant. Labor to be performed on a Time and Material Basis. At this time, we do not know how long to locate the leak, and how much additional refrigerant is needed.	
<p>THE ABOVE COST IS BASED ON STRAIGHT TIME ONLY, DURING REGULAR BUSINESS HOURS.</p> <p>THE ABOVE PRICE IS FIRM AND WILL REMAIN IN EFFECT FOR 30 DAYS.</p>	

Signature _____

John Carr

From: Dave Pluard <davep@air-rite.com>
Sent: Friday, June 10, 2016 3:14 PM
To: John Carr
Subject: Fw: Darien PD Quote

John: Our parts department doesn't feel good quoting this compressor because we did not service unit to find out what caused the compressor to fail and we have to warranty the replacement, I realize you just want a price but because of the above reasons it will be very high, hope you understand, thanks DaveP

From: "John Carr" <johncarr@darienil.gov>
Sent: Friday, June 10, 2016 2:25 PM
To: <DaveP@air-rite.com>
Subject: FW: Darien PD Quote

>
> Hi Dave,
>
> Please respond if you get this email. We are kind of in an emergency
> to get this fixed.
>
> John Carr
> Darien Municipal Services
> Certified Arborist
> 630-353-8105
> Cell: 630-514-1531
> Fax: 630-887-0091
>
>

> **From:** John Carr
> **Sent:** Thursday, June 09, 2016 2:20 PM
> **To:** DaveP@air-rite.com
> **Subject:** FW: Darien PD Quote
>
> Dave,
>
> I just realized the model info below is the complete unit. The
> defective compressor is:
> Carlyle Compressor
> Model 06ET 250-360
> Serial # 1199ME3375
>
> 208/360 volts 3 phase
>
>
>
> John Carr
> Darien Municipal Services
> Certified Arborist

> 630-353-8105
> Cell: 630-514-1531
> Fax: 630-887-0091

>

> From: John Carr
> Sent: Thursday, June 09, 2016 1:32 PM
> To: DaveP@ajr-rite.com
> Subject: Darien PD Quote

>
> Hi Dave,

>
> I need a quote to replace a defective 2nd Stage Compressor for a
> Carrier Unit. Model # 38AH-044-500BA, Serial # 3594F11769.

>
> I need a price for the compressor, install, replace New Liquid Line
> Drier, fill line with new Refrigerant 22.

>
> Any questions, do not hesitate to contact me.

>
> Thanks,

>
> John Carr
> Darien Municipal Services
> Certified Arborist
> 630-353-8105
> Cell: 630-514-1531
> Fax: 630-887-0091

>

Kris Throm

From: Bryon Vana
Sent: Tuesday, June 14, 2016 9:09 AM
To: Dan Gombac
Cc: Kris Throm
Subject: RE: Air-Rite PD Air Conditioning

Ok to proceed. Include this email with the purchase req.

Bryon D. Vana

Bryon D. Vana

City Administrator -City of Darien, Office phone – 630-353-8114

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<http://www.darien.il.us/Reference-Desk/DirectConnect.aspx>

From: Dan Gombac
Sent: Tuesday, June 14, 2016 9:04 AM
To: Bryon Vana
Subject: FW: Air-Rite PD Air Conditioning

FYI

Daniel Gombac

Director of Municipal Services

630-353-8106

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DARIEN DIRECT CONNECT

Follow the link below and subscribing is simple!

<http://www.darien.il.us/Departments/Administration/CityNews.html>

From: Kris Throm
Sent: Tuesday, June 14, 2016 7:43 AM
To: Dan Gombac <dgombac@darienil.gov>
Cc: John Carr <johncarr@darienil.gov>; Dan Salvato <dsalvato@darienil.gov>
Subject: RE: Air-Rite PD Air Conditioning

Dan,

I called an additional HVAC company that I found in the yellow pages, Leslie Heating and Cooling. Their website says that they do commercial AC. I spoke with a John from there yesterday afternoon and gave him the model and serial

number for the unit that Seasons Comfort is proposing. He said he needed to talk to the office and figure out if they wanted to give us a quote. As of this morning I have not heard back from them.

Thanks,

Kris Throm
City of Darien Municipal Services
Water Department Foreman
(630) 514-3453

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<http://www.darien.il.us/Departments/Administration/CityNews.html>

From: Kris Throm
Sent: Monday, June 13, 2016 12:40 PM
To: Dan Gombac <dgombac@darienil.gov>
Cc: John Carr <johncarr@darienil.gov>; Dan Salvato <dsalvato@darienil.gov>
Subject: Air-Rite PD Air Conditioning

Dan,

I just had John re-call Air Rite and they still will not give us a price without coming out to diagnose the problem themselves. They say that they have been burned on this issue before and will not quote it without seeing it first. I had John ask him when he could have someone come out to diagnose it and he said probably not for a few days and he would need to send two guys out. Hourly rates are approx. \$100 - \$150/guy so we are at around \$200 - \$300/hr. If they are here more than a few hours we are closing in on \$1000.00 for them to diagnose the problem prior to them quoting anything. The guy John was talking to seemed very uncooperative and said that since they no longer have a service contract with us for the 3 buildings they don't know what anyone else has done and therefore need to come out and look at what caused the compressor to go bad. If you want me to schedule them to come out we will, but we didn't want to spend additional funds if we didn't need to especially since the companies that we typically use are pretty competitive in pricing for most projects. Let me know if you want me to schedule them or if we should proceed with Season's Comfort as the awarded vendor. Additionally, I had John call Season's Comfort and they could potentially install the compressor on Wednesday if we give them the go ahead shortly today.

Thanks,

Kris Throm
City of Darien Municipal Services
Water Department Foreman
(630) 514-3453

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<http://www.darien.il.us/Departments/Administration/CityNews.html>