

AGENDA
Municipal Services Committee
August 23, 2021
7:00 P.M. – City Council Chambers

1. **Call to Order & Roll Call**
2. **Establishment of Quorum**
3. **New Business**
 - a. **PZC2021-04** - Petitioner is seeking final approval for a Planned Unit Development (PUD), Annexation Agreement Amendment, and Plat of Consolidation. Approval would allow the construction of a 68-unit apartment complex on property zoned Planned Unit Development (PUD)/Multi-Family Residence District (R-3). Petition site comprises a total of 2.81 acres.
 - b. **Minutes - June 21, 2021** Municipal Services Committee
4. **Director's Report**
5. **Next scheduled meeting** – Monday, September 27, 2021
6. **Adjournment**

AGENDA MEMO
MUNICIPAL SERVICES COMMITTEE
AUGUST 23, 2021

CASE

PZC2021-04

Final Planned Unit Development (PUD) Approval, Annexation Agreement Amendment, and Plat of Consolidation. This petition includes waivers requests that are described in this memo.

ISSUE STATEMENT

Petitioner is seeking final approval for a Planned Unit Development (PUD), Annexation Agreement Amendment, and Plat of Consolidation. Approval would allow the construction of a 68-unit apartment complex on property zoned Planned Unit Development (PUD)/Multi-Family Residence District (R-3). Petition site comprises a total of 2.81 acres.

The City Council granted preliminary approval for this petition on May 3, 2021. Per Zoning Ordinance standards, a Planned Unit Development (PUD) must also receive final approval. *Final approval shall only be granted if the final plan conforms substantially to the preliminary plan, as approved.* For reference, the approved preliminary plan, in addition to other supporting documentation and studies from the May 3, 2021 City Council Meeting are attached, see [Exhibit A](#).

Applicable Regulations: Ordinance No. O-32-96 – Annexation/Development Agreement
 Ordinance No. O-30-05 – Annexation Agreement Amendment
 Ordinance No. O-31-05 – PUD Amendment/Preliminary Approval
 Ordinance No. O-33-05 – Final PUD Approval
 Ordinance No. O-08-21 – PUD Amendment/Preliminary Approval
 City Code Section 5A-3, PUD Regulations
 City Code Section 5B, Subdivision Regulations

ATTACHMENTS

- A. [Application, Narrative, & Special Use Criteria Statement](#)
- B. [Site Development Plan, Plat of Consolidation, & Landscape Plan](#)
- C. [Building Rendering](#)
- D. [Traffic Study, Review Letter, & Response](#)
- E. [Engineering Review Letter](#)
- F. [Preliminary PUD Approval \(Ordinance No. O-08-21\)](#)
- G. [City Memo on Stormwater \(08/18/2021\)](#)

GENERAL INFORMATION

Petitioner: Equity Trust Company (Custodian F/B/O Paul Swanson IRA)
 Property Owner: Shipper Columbus, LLC
 Property Location: 2305 Sokol Court; 2345 S Frontage Road
 PIN Number(s): 10-05-404-002; 10-05-404-024
 Existing Zoning: Planned Unit Development (PUD)/
 Multi-Family Residence District (R-3)
 Proposed Zoning: Planned Unit Development (PUD)/
 Multi-Family Residence District (R-3)
 Existing Land Use: Vacant

Proposed Land Use: 68-Unit Apartment Complex
Comprehensive Plan: Parks/Open Space (Future)
Surrounding Zoning & Uses
North: R-1 Single Family Residence District (North of I-55 Expressway);
Single Family Residential
East: Planned Unit Development (PUD)/Multi-Family Residence District
(R-3); Multi-Family Residential
South: Planned Unit Development (PUD)/Multi-Family Residence District
(R-3); Multi-Family Residential
West: Planned Unit Development (PUD)/Multi-Family Residence District
(R-3); Hotel
History: The petition site is part of the Burnside/Lemont Road Mixed Use
Planned Unit Development (PUD), originally approved under an
Annexation/Development Agreement (Ordinance No. O-32-96).
The Sokol Organization submitted plans for a gymnasium on the site
but the plans were withdrawn in 2002 after the City Council
requested changes to the proposed building's façade. Subsequently,
in 2005 the City Council adopted an amendment to the existing
Planned Unit Development (PUD) and Annexation/Development
Agreement allowing for a 66-unit condominium development. The
development was never constructed.
Total PUD Acreage: 27.9 Acres
Petition Site Acreage: 2.81 Acres
Floodplain: According to the DuPage County Parcel Viewer System, there is no
floodplain on the subject site.
Natural Features: There is a small cluster of trees on the petition site along S Frontage
Road.
Transportation: The petition site gains access from Sokol Court via S Frontage Road.

DOCUMENTS SUBMITTED

This report is based on the following information submitted to the Community Development Department by the petitioner:

- Application & Supplemental Documents, dated July 8, 2021
Prepared by Equity Trust Company (Custodian F/B/O Paul Swanson IRA)
- Site Development Plan, Plat of Consolidation, & Landscape Plan, dated August 2, 2021,
May 10, 2021, & July 26, 2021 (25 Pages)
Prepared by Bono Consulting, Inc.; R.E. Allen & Associates, LTD.; NorthWest
Electrical; Gary R. Weber Associates, Inc.
- Traffic Study & Memorandum, dated March 10, 2021, revised April 5, 2021
Prepared by Haeger Engineering

PLANNING OVERVIEW/DISCUSSION

The subject property is located at the southeast corner of the intersection of S Frontage Road and Sokol Court, east of the Extended Stay Hotel. On November 7, 2005, the City Council approved a Final Planned Unit Development (PUD) and Final Plat (Ordinance No. O-33-05) for the subject property allowing the construction of a 66-unit condominium development comprised of two (2) buildings. In addition to these approvals, the City Council also adopted an Annexation Agreement associated with the proposal (Ordinance No. O-30-05). These approvals were

technically amendments to a previously approved Planned Unit Development (PUD) and Annexation Agreement for the site.

Subsequently, the development was never constructed and the petition site is currently vacant. On February 12, 2021, a new petition was submitted by Equity Trust Company (Custodian F/B/O Paul Swanson IRA), proposing a 68-unit multi-family apartment complex comprised of one (1) building on the subject property. The petition was granted preliminary approval by the City Council on May 3, 2021, and the petitioner has since submitted the final plan for approval, which is the petition described in this memo (PZC2021-04).

Note that this petition includes exceptions/waivers to the following Zoning Ordinance Sections:

- **Zoning Section 5A-3-3-4: Exception/waiver request to increase allowed residential density.**
 - o This exception/waiver request pertains to gross residential density, which is permitted within the Planned Unit Development (PUD) at a maximum of 7.0du/residential acre. The proposed residential density is 9.9du/residential acre.
- **Zoning Section 5A-3-3-5: Exception/waiver request to off-street parking requirements.**
 - o While the proposed development meets the ordinance requirement for minimum parking ratio (two (2) spaces per dwelling unit) and ADA standards, the proposal does not include the required one (1) off-street loading berth.
- **Zoning Section 5A-3-3-9(B): Exception/waiver request to minimum setback requirement.**
 - o In addition to standard setback requirements, the ordinance specifies that buildings of more than twenty-four feet (24') in height shall provide a setback from any property line of not less than equal to the height of the building. The proposed structure is forty feet (40') in height but is setback only twenty feet (20') from the site's eastern lot line.
- **Zoning Section 5A-3-3-10: Exception/waiver request to increase maximum building height.**
 - o The maximum allowed building height per ordinance is three (3) stories not to exceed thirty-five feet (35'). The proposed building is four (4) stories and is forty feet (40') in height.

The plans have been reviewed by the City's Engineering Consultant and a comment letter has been included (dated August 10, 2021) as an attachment to this memo. The traffic study that was submitted as part of the preliminary approval process is also attached.

PZC MEETING – 08/18/2021

The Planning and Zoning Commission reviewed this petition during the August 18, 2021 meeting. The petitioner was present and gave a brief update on the color/design change to the building since the preliminary approval was granted. City staff also gave a brief presentation introducing the case.

There were members of the public present and public comments were made. The comments and discussion that ensued pertained mostly to the proposed project's stormwater facilities and how they will function and impact the surrounding area. For further detail on this subject, please reference the City Memo on Stormwater dated 08/18/2021 that is included as an attachment to this agenda memo. Note that city staff will continue to work with members of the public and address

any questions/concerns that are submitted regarding the project's stormwater facilities or other aspects.

After discussion, the Planning and Zoning Commission forwarded the case with a favorable recommendation to the Municipal Services Committee by a vote of 6-2.

CITY CODE STANDARDS

For reference purposes, the criteria for approving a Special Use (i.e. Planned Unit Development) that was applicable during the *Preliminary Approval Process* is listed under City Code Section 5A-2-2-6(G) and is provided below. No special use shall be approved unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. *That the special use is deemed necessary for the public convenience at the location specified.*
2. *That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.*
3. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
4. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
5. *That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*
6. *That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
7. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
8. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.*

If the subject case is recommended for approval, the following item/condition is recommended by staff to be included in the approval motion:

- **Applicant shall comply with the comments and recommendations listed in the letter from Christopher Burke Engineering, LTD. (Dan Lynch), City Engineer, dated August 10, 2021.**

ALTERNATE CONSIDERATION

As recommended/directed by the Municipal Services Committee.

DECISION MODE

This item will be placed on the September 7, 2021 City Council agenda for formal consideration.

AGENDA MEMO
CITY COUNCIL
MAY 3, 2021

CASE

PZC2021-02

Major Planned Unit Development (PUD) Amendment, Annexation Agreement Amendment, and Plat of Consolidation. This petition includes exceptions/waivers that are described in this memo.

ORDINANCE**ISSUE STATEMENT**

Motion to approve an ordinance authorizing a major change to a previously approved Planned Unit Development (PUD) and granting preliminary PUD approval. Petitioner is seeking approval for a Major Planned Unit Development (PUD) Amendment, Annexation Agreement Amendment, and Plat of Consolidation. Approval would allow the construction of a 68-unit apartment complex on property zoned Planned Unit Development (PUD)/Multi-Family Residence District (R-3). Petition site comprises a total of 2.81 acres.

Applicable Regulations: Ordinance No. O-32-96 – Annexation/Development Agreement
 Ordinance No. O-30-05 – Annexation Agreement Amendment
 Ordinance No. O-31-05 – PUD Amendment/Preliminary Approval
 Ordinance No. O-33-05 – Final PUD Approval
 City Code Section 5A-3, PUD Regulations
 City Code Section 5B, Subdivision Regulations

ATTACHMENTS

- A. Application, Narrative, & Special Use Criteria Statement**
- B. Development Plan & Building Elevation**
- C. Developer Profile**
- D. Economic Market Study (Petitioner Submitted)**
- E. Real Estate Statements (Petitioner Submitted)**
- F. Condominium vs. Apartment Study (Petitioner Submitted)**
- G. Traffic Study (Revised 04/05/2021)**
- H. Plan Review Comments (Engineering & Fire)**
- I. Petitioner's Response to Review Comments**
- J. Prior Ordinance Approvals**
- K. Public Comment**

GENERAL INFORMATION

Petitioner: Equity Trust Company c/o Paul Swanson
 Property Owner: Shipper Columbus, LLC
 Property Location: 2305 Sokol Court; 2345 S Frontage Road
 PIN Number(s): 10-05-404-002; 10-05-404-024
 Existing Zoning: Planned Unit Development (PUD)/
 Multi-Family Residence District (R-3)
 Proposed Zoning: Planned Unit Development (PUD)/
 Multi-Family Residence District (R-3)
 Existing Land Use: Vacant

Proposed Land Use: 68-Unit Apartment Complex
 Comprehensive Plan: Parks/Open Space (Future)
 Surrounding Zoning & Uses

North: R-1 Single Family Residence District (North of I-55 Expressway);
 Single Family Residential

East: Planned Unit Development (PUD)/Multi-Family Residence District
 (R-3); Multi-Family Residential

South: Planned Unit Development (PUD)/Multi-Family Residence District
 (R-3); Multi-Family Residential

West: Planned Unit Development (PUD)/Multi-Family Residence District
 (R-3); Hotel

History: The petition site is part of the Burnside/Lemont Road Mixed Use
 Planned Unit Development (PUD), originally approved under an
 Annexation/Development Agreement (Ordinance No. O-32-96).
 The Sokol Organization submitted plans for a gymnasium on the site
 but the plans were withdrawn in 2002 after the City Council
 requested changes to the proposed building's façade. Subsequently,
 in 2005 the City Council adopted an amendment to the existing
 Planned Unit Development (PUD) and Annexation/Development
 Agreement allowing for a 66-unit condominium development. The
 development was never constructed.

Total PUD Acreage: 27.9 Acres
 Petition Site Acreage: 2.81 Acres
 Floodplain: According to the DuPage County Parcel Viewer System, there is no
 floodplain on the subject site.

Natural Features: There is a small cluster of trees on the petition site along S Frontage
 Road.

Transportation: The petition site gains access from Sokol Court via S Frontage Road.

DOCUMENTS SUBMITTED

This report is based on the following information submitted to the Community Development
 Department by the petitioner:

- Application & Supplemental Documents, dated February 12, 2021 (or after)
 Prepared by Paul Swanson Associates, Inc.
- Site Development Plan, Darien Heights Residences, dated January 19, 2021 (9 Pages)
 Prepared by Paul Swanson Associates, Inc.; Pearson, Brown & Associates, Inc.;
 Gary R. Weber Associates, Inc.
- Traffic Study & Memorandum, dated March 10, 2021, revised April 5, 2021
 Prepared by Haeger Engineering
- Economic/Market Study, submitted April 15, 2021
 Prepared by Kiser Group

PLANNING OVERVIEW/DISCUSSION

The subject property is located at the southeast corner of the intersection of S Frontage Road and Sokol Court, east of the Extended Stay Hotel. On November 7, 2005, the City Council approved a Final Planned Unit Development (PUD) and Final Plat (Ordinance No. O-33-05) for the subject property allowing the construction of a 66-unit condominium development comprised of two (2) buildings. In addition to these approvals, the City Council also adopted an Annexation Agreement associated with the proposal (Ordinance No. O-30-05). These approvals were technically amendments to a previously approved Planned Unit Development (PUD) and Annexation Agreement for the site.

Subsequently, the development was never constructed and the petition site is currently vacant. On February 12, 2021, a new petition was submitted by Paul Swanson Associates, Inc., which is the petition before the Planning and Zoning Commission. The newly submitted petition proposes to construct a 68-unit multi-family apartment complex comprised of one (1) building the subject property.

Given the fact the new petition proposes apartments instead of condominiums as specified in the prior approvals, City staff, in conjunction with the City Attorney concluded that a Major Planned Unit Development (PUD) Amendment and Annexation Agreement Amendment would need to be filed. Thus, the petitioner has submitted these filings. The previous ordinance approvals are included as attachments to this report for reference. The newly submitted petition includes exception/waiver requests to the following Zoning Ordinance Sections:

- *Zoning Section 5A-3-3-4: Exception/waiver request to increase allowed residential density.*
 - o This exception/waiver request pertains to gross residential density, which is permitted within the Planned Unit Development (PUD) at a maximum of 7.0du/residential acre. The proposed residential density is 9.9du/residential acre.
- *Zoning Section 5A-3-3-5: Exception/waiver request to off-street parking requirements.*
 - o While the proposed development meets the ordinance requirement for minimum parking ratio (two (2) spaces per dwelling unit) and ADA standards, the proposal does not include the required one (1) off-street loading berth.
- *Zoning Section 5A-3-3-9(B): Exception/waiver request to minimum setback requirement.*
 - o In addition to standard setback requirements, the ordinance specifies that buildings of more than twenty-four feet (24') in height shall provide a setback from any property line of not less than equal to the height of the building. The proposed structure is forty feet (40') in height but is setback only twenty feet (20') from the site's eastern lot line.
- *Zoning Section 5A-3-3-10: Exception/waiver request to increase maximum building height.*
 - o The maximum allowed building height per ordinance is three (3) stories not to exceed thirty-five feet (35'). The proposed building is four (4) stories and is forty feet (40') in height.

For a complete analysis of the proposed development versus the previously approved plan from 2005, in addition to a three (3) other possible/hypothetical development scenarios, please note

the comprehensive matrix illustrated in **EXHIBIT 1**. Additionally, the plans have been reviewed by the City's Engineering Consultant and a comment letter has been included (dated March 12, 2021). Also included is the comment letter provided by the Lemont Fire District (dated April 5, 2021). A revised traffic study was submitted by the applicant to address initial review comments and it is included as an attachment to this memo.

CITY COUNCIL REVIEW

For reference, the criteria for approving a Special Use [City Code Section 5A-2-2-6(G)] is provided below. No special use shall be approved by the City Council unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. *That the special use is deemed necessary for the public convenience at the location specified.*
2. *That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.*
3. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
4. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
5. *That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*
6. *That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
7. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
8. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.*

If the subject case is recommended for approval, the following items/conditions are recommended by staff to be included in the approval motion:

1. **Address review comments from the City's Engineering Consultant, Transportation Engineer/Consultant, and the Lemont Fire District.**
2. **Amend Landscape Plan to include a landscape island within the row of perimeter parking spaces on the northern end of the parking lot.**
3. **Exceptions/waivers to be granted:**
 - A. **Zoning Section 5A-3-3-4: Exception/waiver request to increase allowed residential density. This exception/waiver request pertains**

to gross residential density, which is permitted within the subject Planned Unit Development (PUD) at a maximum of 7.0du/residential acre. The proposed residential density is 9.9du/residential acre.

- B. ***Zoning Section 5A-3-3-5: Exception/waiver request to off-street parking requirements.*** While the proposed development meets the ordinance requirement for minimum parking ratio (two (2) spaces per dwelling unit) and ADA standards, the proposal does not include the required one (1) off-street loading berth.
- C. ***Zoning Section 5A-3-3-9(B): Exception/waiver request to minimum setback requirement.*** In addition to standard setback requirements, the ordinance specifies that buildings of more than twenty-four feet (24') in height shall provide a setback from any property line of not less than equal to the height of the building. The proposed structure is forty feet (40') in height but is setback only twenty feet (20') from the site's eastern lot line.
- D. ***Zoning Section 5A-3-3-10: Exception/waiver request to increase maximum building height.*** The maximum allowed building height per ordinance is three (3) stories not to exceed thirty-five feet (35'). The proposed building is four (4) stories and is forty feet (40') in height.

PZC MEETING – 04/07/2021 & 04/21/2021

The Planning and Zoning Commission reviewed this petition at its April 7, 2021 and April 21, 2021 public hearings. The petitioner was present and gave a presentation after staff's introduction of the case at each meeting. There was public comment on the case during each meeting, in addition to public comments that were submitted in writing which are included as an attachment to this memo.

After extensive discussion on the proposed project, the Planning and Zoning Commission forwarded the case with a non-favorable recommendation to the Municipal Services Committee by a vote of 7-1. The Planning and Zoning Commission made the recommendation pursuant to City Code Section 5A-2-2-6(G) – Special Use Criteria. [Meeting Minutes Link: April 7, 2021 PZC Meeting]

MSC MEETING – 04/26/2021

The Municipal Services Committee reviewed this petition at its April 26, 2021 meeting. The petitioner was present and made brief comments on the case after staff's presentation. Public comment was also made.

After discussion, a motion was made to forward the case to the City Council with a favorable recommendation, but the motion failed. Due to this, the case is forwarded to the City Council with a non-favorable recommendation.

ALTERNATE CONSIDERATION

As directed by City Council.

DECISION MODE

This item will be placed on the May 3, 2021 City Council agenda for formal consideration.



ZONING APPLICATION

CITY OF DARIEN
1702 Plainfield Road, Darien, IL 60561
www.darienil.us 630-852-5000

CONTACT INFORMATION

EQUITY TRUST COMPANY CUSTODIAN
Applicant's Name F/B/O PAUL SWANSON IRA
PAUL SWANSON
401 E PROSPECT AVE NLT PROSPECT IL
Address, City, State, Zip Code 60056
847 620-6710
Telephone
PAUL@PGA-INC.BIZ
Email

SHIPPER SOLUTIONS LLC
Owner's Name
7515 SANTA FE DRIVE HODGKINS, IL
Address, City, State, Zip Code 60525
708-54-8530
Telephone
BSHIPPER3@EVENTEQUIPMENT.COM
Email

PROPERTY INFORMATION

2305 SOKOL CT
Property address
R3 PUD
Zoning District

1005404002 & 1005404024
PIN Number(s)
VACANT
Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

REQUEST

Brief description of the zoning approval requested... (Contact the City Planner for guidance.)

TO DEVELOP A 4-STORY 68 UNIT APARTMENT BUILDING
W/ EXTERIOR & INTERIOR PARKING

[Signature]
Applicant Signature

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that PAUL SWANSON is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.
Given under my hand and seal, this 9th day of OCTOBER 2020

[Signature]
Notary Public

For office use only	
Date Received:	<u>02/12/2021</u>
Case Number:	<u>2020-1002</u>
Fee Paid:	<u>2,000.00</u>
Hearing Date:	<u>04/07/2021</u>



RECEIVED
FEB 12 2021
Community Development
City of Darien

CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien:

State Use Only
Case No.:
Date Received:
Fee Paid:
Check No.:
Hearing Date:

PETITIONER INFORMATION

EQUITY TRUST CO. CUSTODIAN FPO
 Petitioner's Name PAUL SWANSON, IRA
 Contact Name PAUL SWANSON
 Address, City, State, Zip Code 401 E PROSPECT AVE WIL. PROSPECT IL 60556
 Phone # 847-670-6710
 Fax # 847-670-6713
 Email PAUL@PSA-INC.BIZ

SHIPPER COLUMBIAS LLC
 Owner's Name
7515 HASTATE DR. HODKINS, IL
 Address, City, State, Zip Code 60525
 Phone # 708-514-8530
 Email bshipper3@EVENTEQUIPMENT.com

PROPERTY INFORMATION

2365 SEKOL CT.
 Property address
~~R-3~~ 00540402 & 100540424
 PIN(s)

2.68 ac
 Acreage
R3 PUD
 Zoning

RECEIVED
 FEB 12 2021
 Community Development
 City of Darien

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

DARIEN HEIGHTS RESIDENCES
 PUD Name
 Brief description of the proposed development: A STORY 68 UNIT APT BLDG W/EXT. PARKING
 Preliminary PUD PUD Amendment
 Final PUD

I, _____ do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Signature _____

Subscribed and sworn to before this _____ day of _____, 20____

Notary Public _____

Authorizing Equity Trust Custodian FPO Paul Swanson Trust To

April 5, 2021

Jordan Yanke (jyanke@darienil.com)
Senior Planner
Darien, Illinois

**RE: Darien Heights
2305 Sokol Court**

Jordan,

Paul Swanson called me regarding your request for a copy of our Sales Contract. Neither Paul or myself want our contract disclosed, however I can tell you that Paul's IRA – Equity Trust Company Custodian F/B/O Paul Swanson IRA – is the Contract Purchaser and that the Seller is Shipper Columbus, LLC of which I am the Manager, as shown on the Planned Unit Development Application which I signed on February 21st, 2021.

Paul has the right and my permission to rezone the above referenced property.


Bernard Shipper, Manager
Shipper Columbus LLC

Enclosures

CC Paul Swanson authorized agent Equity Trust Company Custodian F/B/O Paul Swanson IRA

Development Concept
Darien Heights Residences
2305 Sokol Court

Overall Concept

The overall Development Concept for Darien Heights is to provide an alternative to Home Ownership – being tied down to one place with Mortgage Payments, Real Estate Taxes, Home Upkeep and Repair etc.

Up Scale Rental Residences, such as Darien Heights, is a Life Style Choice; not so much built on Economics, (our residences will lease for between \$1,500 a month for a 1 Bedroom/1 Bathroom residence to over \$2,700 a month for our largest a 2 Bedroom/2 Bathroom residence) but to offer a more mobile attachment free lifestyle.

To attract this upscale clientele, we provide 6 different floor plans, which vary in size and layout, but with features found in upscale homes, such as hardwood floors in all living areas (carpet in bedrooms) ceramic tile floors and walls in bathrooms, kitchens all with designer countertops and appliances including in unit washer and dryers.

All utilities are separately metered for future conversion to Condominiums. Further amenities provided are Underground Heated Parking with Car Wash, Storage Units, Party Room, Exercise Room, Exterior Terrace with BBQ, generous (2 cars/residence) parking and a small “Bark Park” all under the watchful eye of an On-Site Leasing Manager and Building Engineer to attend to the daily needs of the residents.

Site Specific Concept

Site specifically we are presenting a 4 Story Building with 66 Residences plus a 1 Bedroom and a 2 Bedroom Model all with private Balconies or Patios. The site was chosen for its access to a major expressway and the upscale Darien Community and more specifically the attractive ‘Waterfall Glen’ neighborhood of Townhomes and Condominiums. The Building Architecture is brick with some stucco accents with a lower building height (40’) than the existing Condominium Buildings and sited to the east part of the site overlooking the Park and away from the existing Condominium Buildings as possible.

Another plus for these Upscale Residences is the fact that there will be very few school aged children as the Residents will be economically upscale, mobile, young working professionals and older empty nesters.

All the above being said, we are excited about becoming part of the Waterfall Glen Neighborhood and while looking to present an alternative lifestyle, to firstly become a good and stable part of the Neighborhood.

Darien Heights Residences
2305 Sokol Court

Discussion items

Question 1 Why are you developing a Rental Community in lieu of Condominiums?

Answer 1 The answer is two-fold 1) Many people want the flexibility of Leasing where there are no Real Estate Taxes, Mortgage Payments or upkeep expenses. Leasing is a Lifestyle Choice.

Answer 2 Presently, there is no Mortgage Money, Construction, Loans, etc. for Condominium Development. Condominium Financing is out of favor.

Question 2 Is your Rental Community Subsidized Housing?

Answer The answer is an emphatic NO! Right from the start I told the Staff this is an Upscale, Market Rate, Condominium Quality Rental Community in terms of Quality and Amenities – the rent will be \$2/SF/MO which results in rents from \$1,500/mo. for a 1 Bedroom, 1 Bath Suite to \$2,700/mo. for the largest 2 Bedroom, 2 Bathroom Unit – hardly subsidized Housing Rentals.

Question 3 **Ownership and Developer**

The Property is owned by Shipper Columbus, LLC, Bernard Shipper, Manager. Equity Trust Company F/B/O Paul Swanson IRA is the Contract Purchaser, Paul Swanson Authorized Agent, is also the Petitioner and Developer. Assuming the Rezoning is granted. A Partnership will be formed to do the actual construction. At this point Equity Trust is the Sole Petitioner/Developer and has authority to rezone as requested.

Question 4 Why are you Rezoning the property? I thought the property was approved for a large Condominium Development in November, 2005?

Answer Because that project was Condominium Project and this project is a Rental Community, it was determined that there had to be a Rezoning. By comparison both developments are similar in size, number of units, parking, building height (4-Stories) and imperious coverage. Darien Heights has greater setbacks from property lines and different amenities.

Question 5 What amenities do you have?

Answer There full-time on-site Leasing and Management as well as Janitorial/Engineering Services, Indoor and Outdoor Exercise Area, Party/Conference Room, Large Exterior Terrace with BBQ, Dog Park, Inside Heated Parking and Tenant Storage Area, Car Wash, Car Battery Charging Station, Trash Chute on each floor or Concierge Trash Pick-Up at your door.

Question 6 What are your Architectural Details?

Answer A **Exterior**

The exterior is Brick Veneer with Accents or Dryvit Stucco. The Windows, Sliding Glass Doors to the Balconies and the 4-Story Curtain Wall and the Lobby are Black Anodized Aluminum with insulated glass.

The balconies are black painted metal railings and the color of the brick is Charcoal Gray.

Answer B **Interior**

All Rental Suites will have Condo quality finishes with painted drywall ceilings and walls with tile in the Kitchen and Bathrooms. Floors are Engineered Wood in the Kitchen and Living Areas, Tile in the Bathrooms and Carpets in the Bedrooms. Kitchen has Granite or Quartz Countertops with high end 42" high Cabinets. Appliances will be high end Whirlpool or Maytag, Dishwasher, Range, Refrigerator and Microwave Oven. Bathrooms will have Granite Counter Tops.

All Units will have Wi-Fi and touchless Corridor Door – Building Front Door is also Touchless. Each unit is a Smart Unit for Lights, Heating/Cooling and Thermostat.

Jordan Yanke
City of Darien

RE: *Darien Heights Residences*
2305 Sokol Court

Jordan,

Enclosed find my response to the Standards for Special Use under Paragraph G Special Uses 5A-2-2-6

1. That the special use is deemed necessary for the public convenience at the location specified

Answer: Yes, the Special Use is necessary for Public Convenience at 2305 Sokol Court in that it completes the various housing types offered ie Townhomes, Condominiums, Hotel and now Luxury Apartments.

2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.

Answer: The Apartments will in no way be detrimental to or endanger the Public Health, Safety or Welfare. There will be full time On-Site Leasing, Management and Janitorial Personal.

3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Answer: Yes, this is true. Because of the up-scale nature of the proposed Rental Community there will be no negative impact on the surrounding property values. See letter from Tracy Cross & Associates...Attached.

4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Answer: Yes, this is true, After the development of the proposed up-scale Rental Community there is no further surrounding land to develop.

5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

Answer: The Architectural Design of the proposed Luxury Rental Community including Site Plan, Building Elevations and Landscape Plans are reflective of design for 2021, but in no way will cause and depreciation to your property values in the neighborhood. Again, see attached letter from Tracy Cross & Associates.

6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.

Answer: Adequate utilities, drainage, and roads are to the Site.

7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Answer: There will be no traffic congestion due to this development. See enclosed Traffic Study by Haeger Engineering.

8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.

Answer: Yes, the proposed Special Use for the Development of 68 Luxury Rental Units will conform to the applicable regulations in the District.

DARIEN HEIGHTS RESIDENCES

2305 SOKOL COURT

DARIEN, IL

Development Concept
 Darien Heights Residences
 2305 Sokol Court.

Overall Concept

The overall Development Concept for Darien Heights is to provide an alternative to Home Ownership – being tied down to one place with Mortgage Payments, Real Estate Taxes, Home Upkeep and Repair etc.

Up Scale Rental Residences, such as Darien Heights, is a Life Style Choice; not so much built on Economics, (our residences will lease for between \$1,500 a month for a 1 Bedroom/1 Bathroom residence to over \$2,700 a month for our largest a 2 Bedroom/2 Bathroom residence) but to offer a more mobile attachment free lifestyle.

To attract this upscale clientele, we provide 6 different floor plans, which vary in size and layout, but with features found in upscale homes, such as hardwood floors in all living areas (carpet in bedrooms) ceramic tile floors and walls in bathrooms, kitchens all with designer countertops and appliances including in unit washer and dryers.

All utilities are separately metered for future conversion to Condominiums. Further amenities provided are Underground Heated Parking with Car Wash, Storage Units, Party Room, Exercise Room, Exterior Terrace with BBQ, generous (2 cars/residence) parking and a small "Bark Park" all under the watchful eye of an On-Site Leasing Manager and Building Engineer to attend to the daily needs of the residents.

Site Specific Concept

Site specifically we are presenting a 4 Story Building with 66 Residences plus a 1 Bedroom and a 2 Bedroom Model all with private Balconies or Patios. The site was chosen for its access to a major expressway and the upscale Darien Community and more specifically the attractive "Waterfall Glen" neighborhood of Townhomes and Condominiums. The Building Architecture is brick with some stucco accents with a lower building height (40') than the existing Condominium Buildings and sited to the east part of the site overlooking the Park and away from the existing Condominium Buildings as possible.

Another plus for these Upscale Residences is the fact that there will be very few school aged children as the Residents will be economically upscale, mobile, young working professionals and older empty nesters.

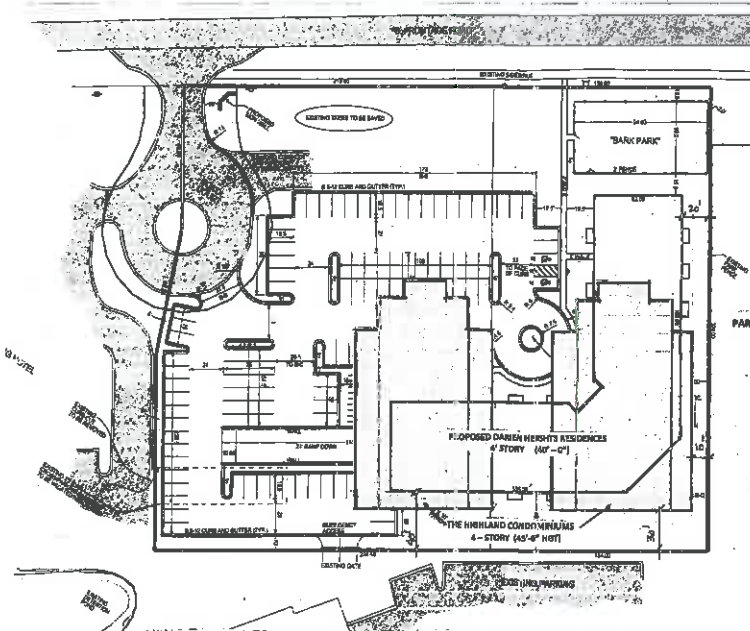
All the above being said, we are excited about becoming part of the Waterfall Glen Neighborhood and while looking to present an alternative lifestyle, to firstly become a good and stable part of the Neighborhood.



VIEW FROM SOKOL COURT

INDEX

- A1 SITE PLAN, LI. FL PLAN, 1/8" UNIT PLANS
- A2 BLDG FL PLANS; BLDG ELEVATIONS
- CE1 EXISTING CONDITIONS
- CE2 GEOMETRIC SITE PLAN
- CE3 PRELIMINARY ENGINEERING & LIGHTING
- L1 OVERALL LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS
- L3 LANDSCAPE SPECIFICATIONS

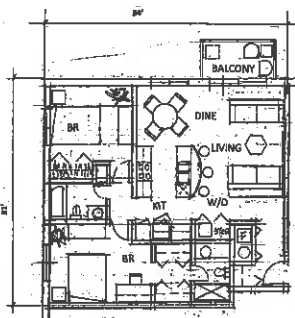


COMPARATIVE SITE PLAN WITH THE HIGHLAND CONDOMINIUMS

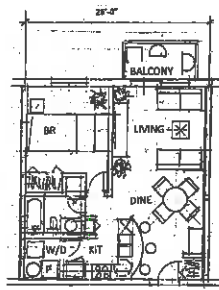
1'-40"

DARIEN HEIGHTS RESIDENCES
 DARIEN, IL
 2305 SOKOL COURT

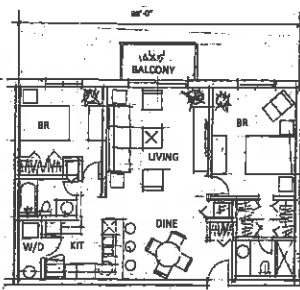
DATE 1/19/21



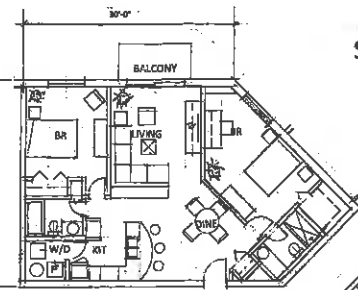
SUITE 'A' 1/8"
1,054 SF



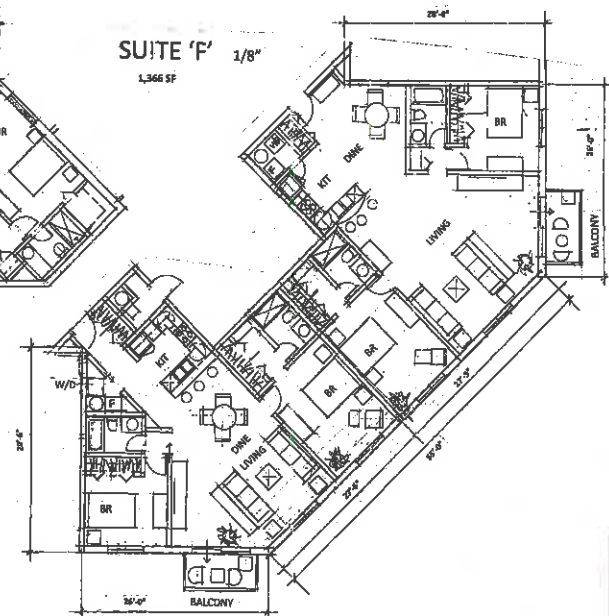
SUITE 'B' 1/8"
743 SF



SUITE 'C' 1/8"
1,112 SF

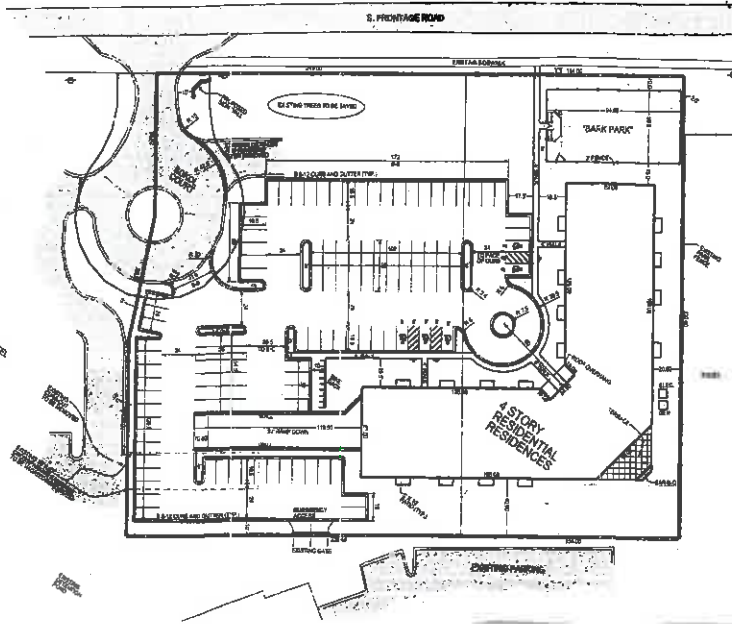


SUITE 'D' 1/8"
1,100 SF



SUITE 'F' 1/8"
1,366 SF

SUITE 'E' 1/8"
1,314 SF



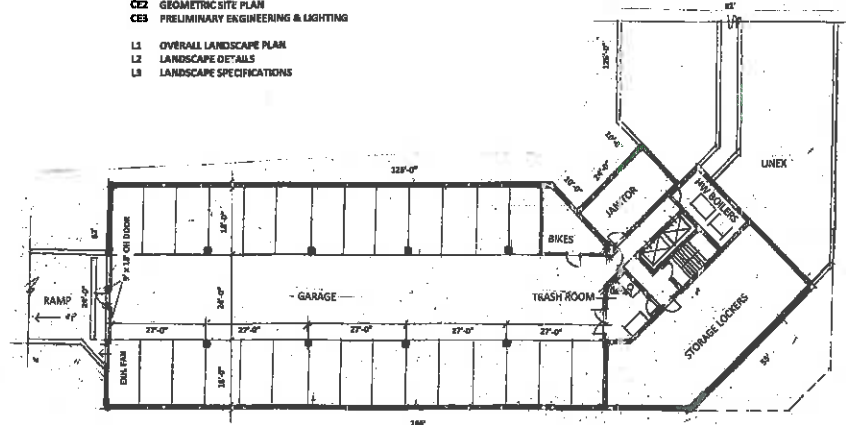
SITE PLAN 1" = 40'

PROJECT DATA

LAND AREA	122,404 SF	2.88 AC
BUILDING COVERAGE	20,730 SF / 122,404 SF	17%
FAR	83,000 SF / 122,404 SF	68%
TOTAL IMPERVIOUS	67,400 SF / 122,404 SF	55%
BUILDING HEIGHT		40'
PARKING	EXTERIOR 110 CARS	137 CARS (2/DU)
	GARAGE 27 CARS	

INDEX

- A1 SITE PLAN, LL FL PLAN, 1/8" UNIT PLANS
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- L1 OVERALL LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS
- L3 LANDSCAPE SPECIFICATIONS

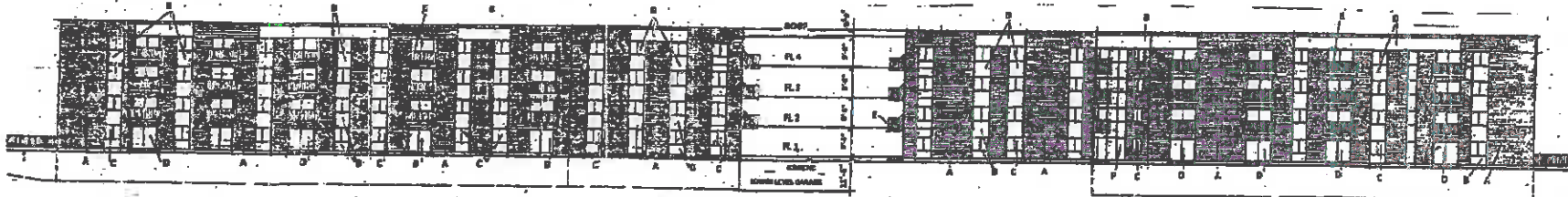


LOWER-LEVEL FLOOR PLAN 1/16"

DARIEN HEIGHTS RESIDENCES
 2305 SOKOL COURT
 DARIEN, IL

DATE 1/19/21

A1



SOUTH & EAST ELEVATION

NORTH & WEST ELEVATION

BUILDING ELEVATIONS 1/16"

EXTERIOR MATERIALS

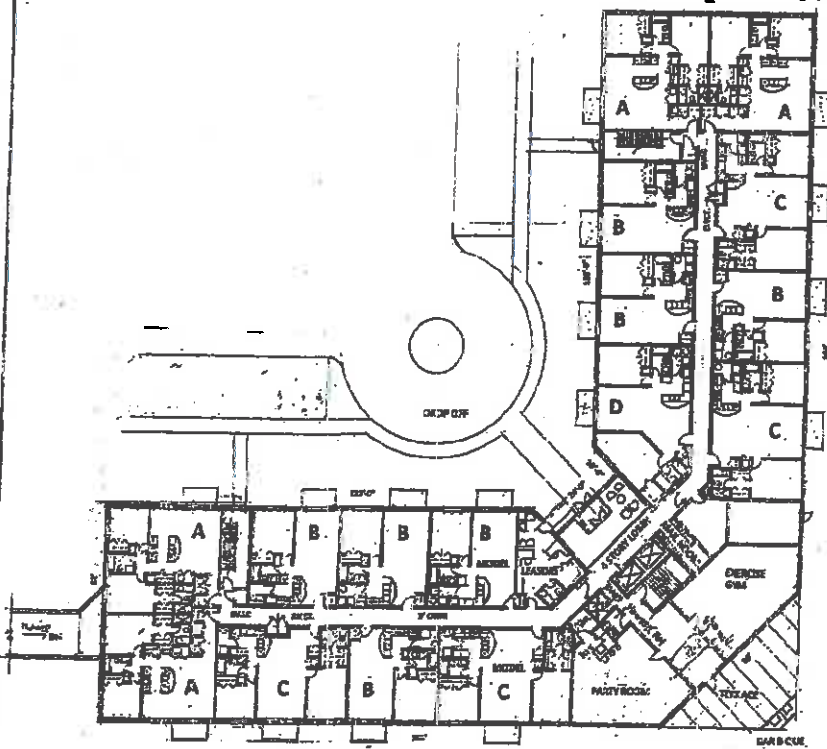
- A. WALLS - CERAMIC COLOR FACE BRICK ON 2 X 6 FRAMING
- B. SIX WYS & SPRINGERS - 07 WHITE COLOR BRICK ON 2 X 6 FRAMING
- C. WINDOWS - BLACK COLOR ANODIZED ALUMINUM WITH GREY TINTED INSULATED GLASS
- D. DOORS - BLACK COLOR ANODIZED ALUMINUM WITH GREY TINTED INSULATED GLASS
- E. BALCONY RAILINGS - BLACK COLOR ANODIZED ALUMINUM
- F. 4 STORY LOBBY ENTRANCE - BLACK ANODIZED ALUMINUM CURTAIN WALL CLASH WITH 4" GREY TINTED INSULATED GLASS

RENTAL UNITS

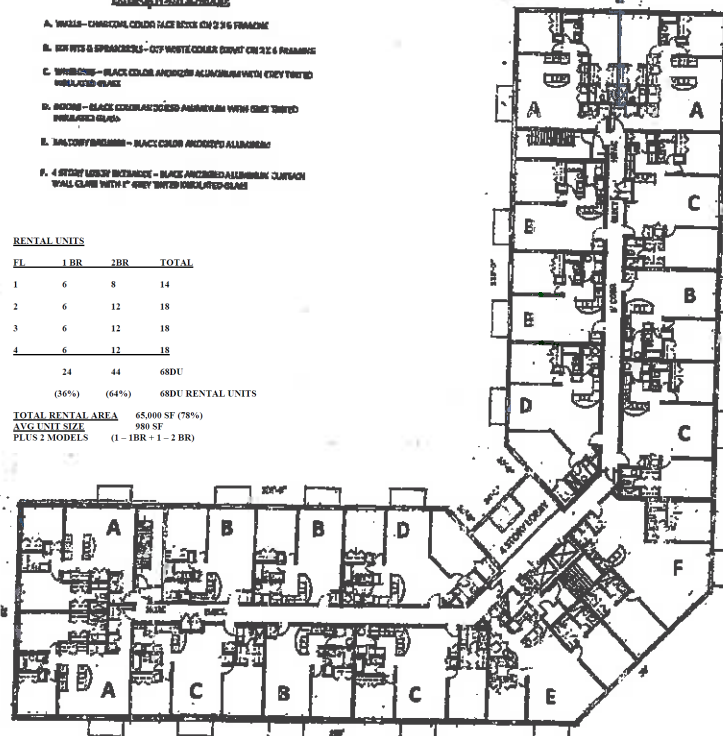
FL.	1 BR	2 BR	TOTAL
1	6	8	14
2	6	12	18
3	6	12	18
4	6	12	18

24 44 68DU
(35%) (64%) 68DU RENTAL UNITS

TOTAL RENTAL AREA 65,000 SF (78%)
AVG UNIT SIZE 980 SF
PLUS 2 MODELS (1-1BR + 1-2 BR)



FIRST FLOOR PLAN 1/16"

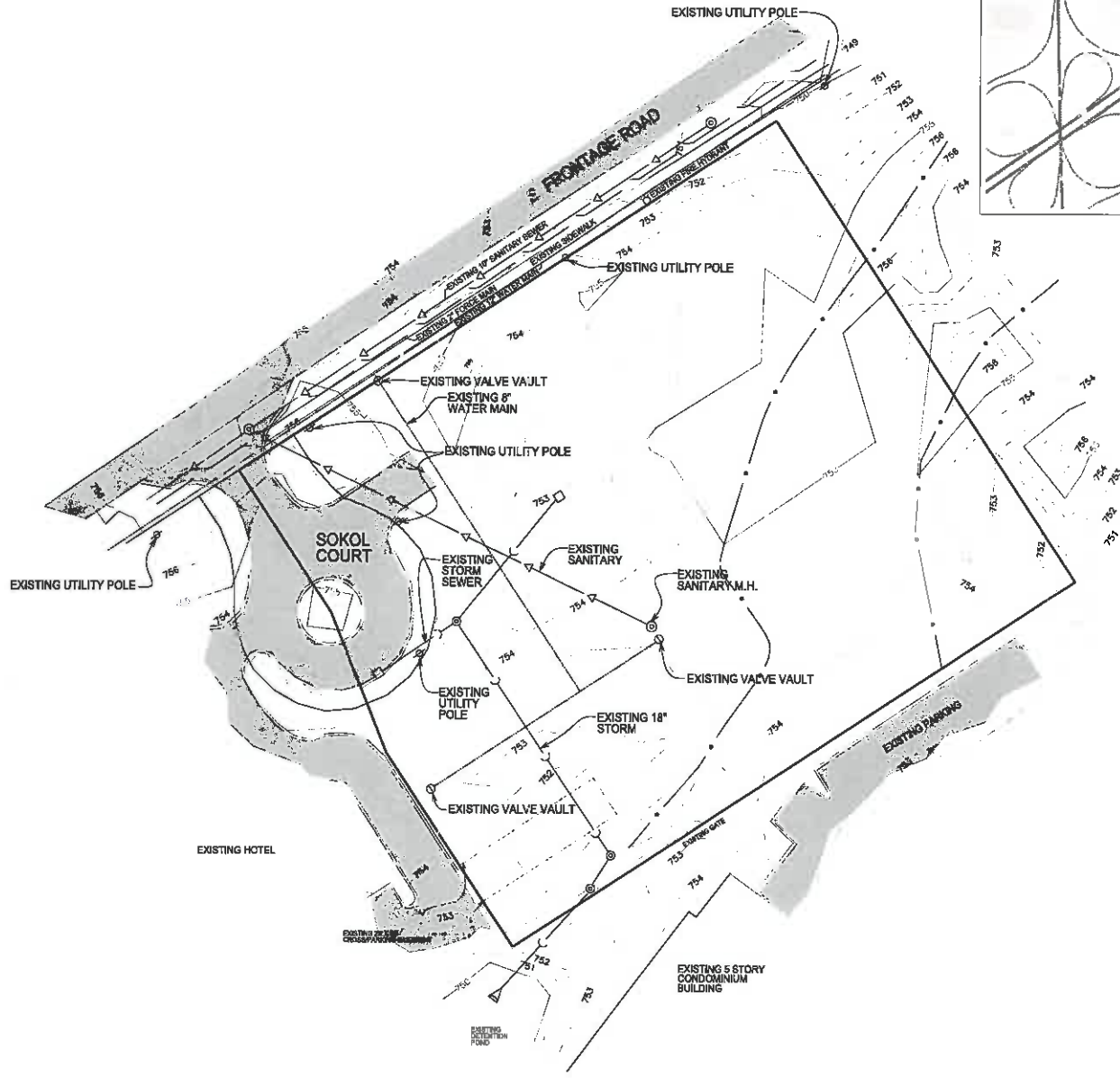


SECOND - FOURTH FLOOR PLAN 1/16"

DARIEN HEIGHTS RESIDENCES
DARIEN, IL
2305 SOKOL COURT

1/19/20

A2



DAVID L. LINDS
PEARSON, BROWN & ASSOCIATES, INC.
 CIVIL ENGINEERS
 104 W. BIRMINGHAM BLVD., SUITE 400
 LEBANON, TN 37037
 TEL: (615) 397-0200
 FAX: (615) 397-0201

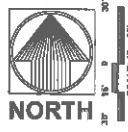
2305 SOKOL COURT

DESIGNED BY: P.B.A.
 DRAWN BY: P.B.A.
 CHECKED BY: J.C.A.
 PROJECT NO.: 2305
 ORIGINAL: BROWN, BROWN & ASSOCIATES

DATE	BY	DESCRIPTION

EXISTING CONDITIONS

SHEET NUMBER
CE1
 OF 3 SHEETS



DAVID L. MILLER
PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1330 N. VANDERBILT ROAD - SUITE 200
 LAWRENCE, KS 66044
 TEL: (785) 842-2477
 FAX: (785) 842-2478
 www.pearsonbrown.com

2305 SOKOL COURT

DESIGNED BY: D.L.M.
 DRAWN BY: J.C.G.
 CHECKED BY: J.C.G.
 ORIGINAL DATE: 07/2012

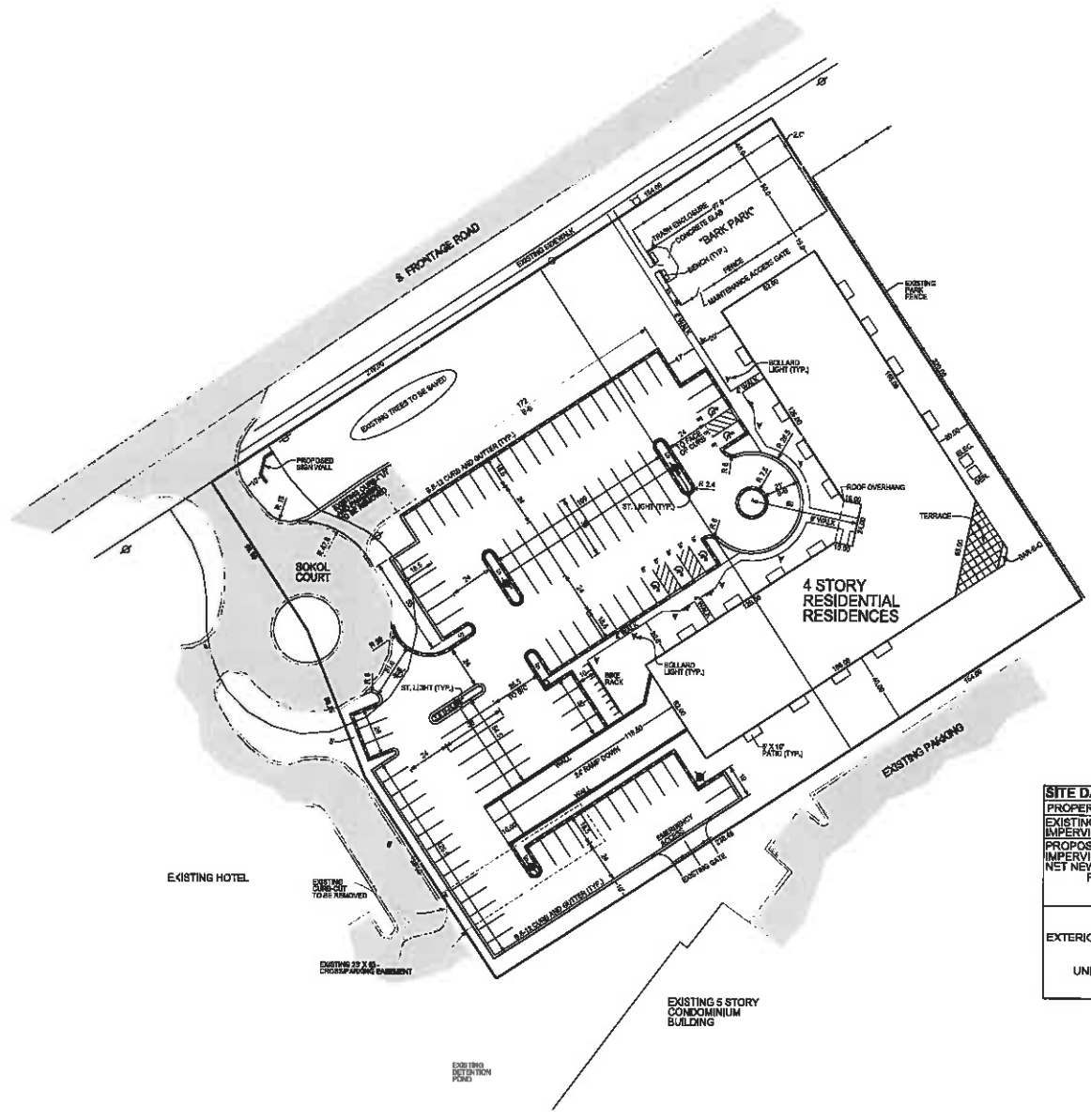
DATE	BY	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

GEOMETRIC SITE PLAN

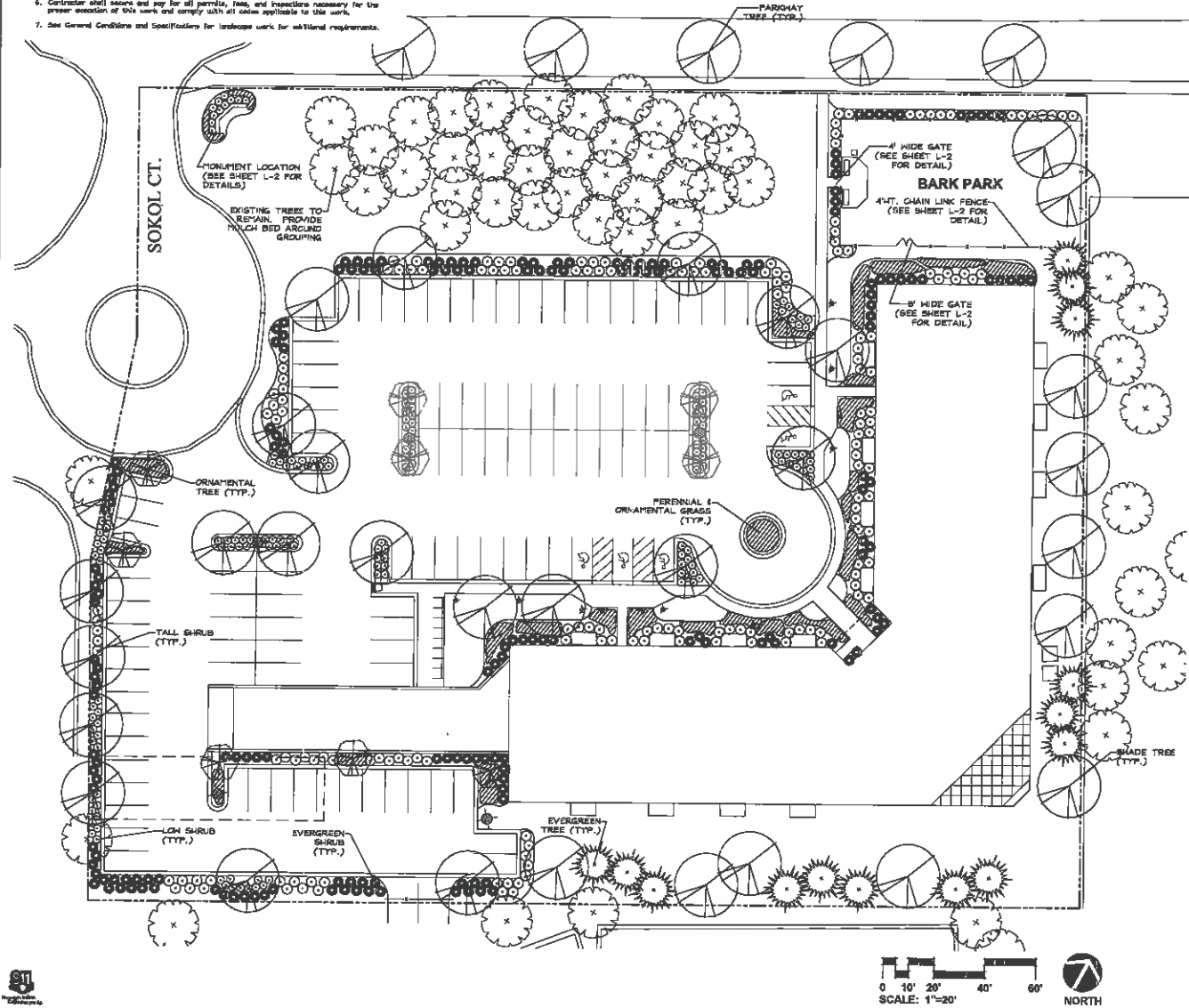
SHEET NUMBER
CE2
 OF 3 SHEETS



SITE DATA		
PROPERTY AREA = 2.81 AC = 122404 SF		
EXISTING SOKOL COURT IMPERVIOUS AREA ONSITE = 6110 SF	4.89%	
PROPOSED CONDITIONS		
IMPERVIOUS AREA = 73520 SF		
NET NEW IMPERVIOUS ADDED = 67410 SF = 1.5475 AC	55.07%	
REMAINING SITE AREA = 54894 SF = 1.2625 AC	44.93%	
EXTERIOR PARKING = 110 SPACES		
105 STANDARD		
5 ACCESSIBLE		
UNDERGROUND = 27 SPACES		
TOTAL = 137 SPACES		

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractor convenience only. The Contractor must verify all materials and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to impact trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Purview requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



REPRESENTATIVE PLANT LIST

Symbol	Botanical/Common Name	Size	Remarks
[Symbol]	BALD PATE TREES		
[Symbol]	Aster x Przewalski AUTUMN GLAZE MAPLE	3" Cal.	
[Symbol]	Callis coccinellata COPPER HAWKDOGG	8" Cal.	
[Symbol]	Quercus laevis 'Mastersonii' 'Royal'	3" Cal.	
[Symbol]	BETULINE HONEYLOCUST		
[Symbol]	Burrow's Malus SHARP WHITE CHARM	8" Cal.	
[Symbol]	THE CHARMEUSE 'Mastersonii' SO-TIT AMERICAN LINDEN	8" Cal.	
[Symbol]	Ulmus americana 'Toop' REAL SMOOTHLEAF elm	3" Cal.	
[Symbol]	ORNAMENTAL TREES		
[Symbol]	Arcadia ornamental APPLE SERVICEBERRY	6" Tall	1000-1200
[Symbol]	Rubus nigra RUBY-LEAF	6" Tall	1000-1200
[Symbol]	Cornus CORNUS DOGGWOOD	6" Tall	1000-1200
[Symbol]	Celastrus FRANCONIA LANTHORN	6" Tall	1000-1200
[Symbol]	Hamamelis PRAIRIE CORNICLE	6" Tall	1000-1200
[Symbol]	EVERGREEN TREES		
[Symbol]	Adiantum WAXY FIR	6" Tall	
[Symbol]	Prunella BLACK HILLS BRIDGE	6" Tall	
[Symbol]	Prunella GREEN DOGGWOOD BRIDGE	6" Tall	
[Symbol]	Thuja FRASER PRINCE OF WELLES	6" Tall	
[Symbol]	DECIDUOUS SHRUBS		
[Symbol]	Cornus SERRATA DOGWOOD	3" Cal.	3' O.C.
[Symbol]	Spiraea DOUGLASS DOGGWOOD	3" Cal.	3' O.C.
[Symbol]	Sparganium DWARF DOGGWOOD	3" Cal.	3' O.C.
[Symbol]	Viola PURPURA LAC	3" Cal.	3' O.C.
[Symbol]	Viburnum ARNDT VIBURNUM	3" Cal.	3' O.C.
[Symbol]	Viburnum BRADBURY VIBURNUM	3" Cal.	3' O.C.
[Symbol]	SPERMATOPHYTES		
[Symbol]	Azalea GREY JANPER	3" Cal.	3' O.C.
[Symbol]	Jasione SEA GREEN	3" Cal.	3' O.C.
[Symbol]	TRAIL PLANTS		
[Symbol]	VERBENA PINK CANDID	3" Cal.	3' O.C.
[Symbol]	PERENNIALS AND ORNAMENTAL GRASSES		
[Symbol]	Conium MAJUS CONEFLOWER	4"	3' O.C.
[Symbol]	Heister FRANCIS LAC	4"	3' O.C.
[Symbol]	Hemerocallis HAPPY RETURNING	4"	3' O.C.
[Symbol]	Dianthus DRAGON GRASS	4"	3' O.C.
[Symbol]	Rudbeckia BLACK- EYED SUSAN	4"	3' O.C.
[Symbol]	Solidago REAR SUSAN	4"	3' O.C.

Planting Area	Plant Name	Quantity	Notes
Front (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Front (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Front (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Side (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Side (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Side (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Side (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Side (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot
Side (Along Frontage Street)	3" Cal. Dogwood	10	100 per foot

OAKY & WHEELER ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

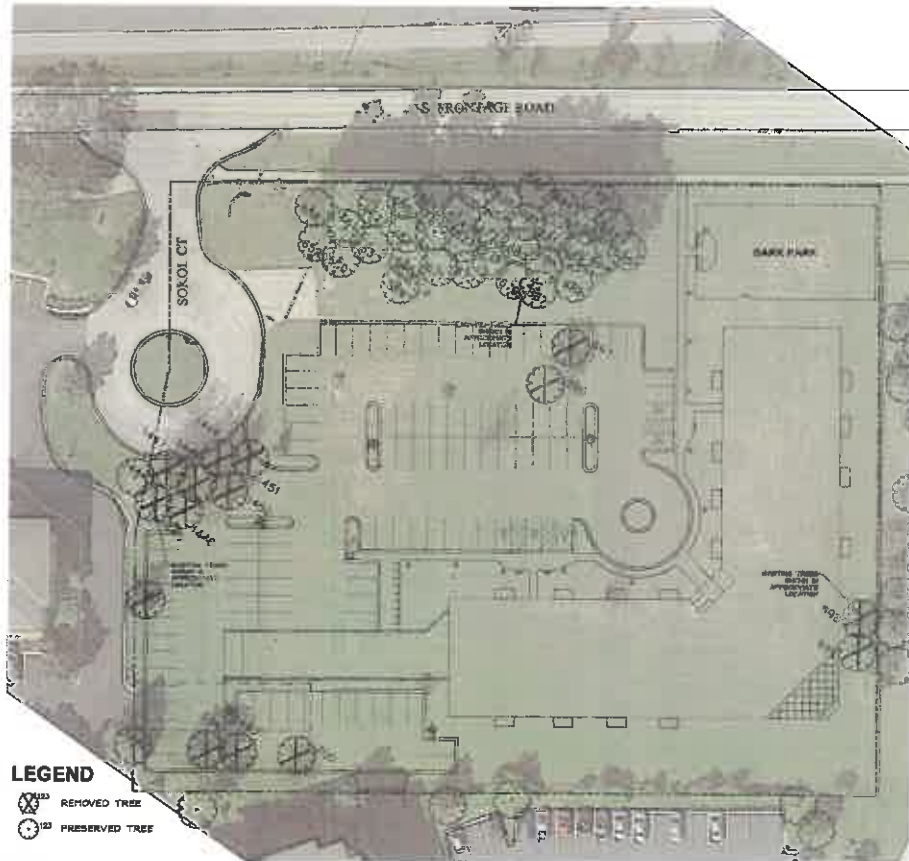
PAUL SWANSON ASSOCIATES, P.C.
1616 W. PROSPECT ST. SUITE 201
MONTICELLO, IL 61856

2305 SOKOL COURT
DARIEN, ILLINOIS

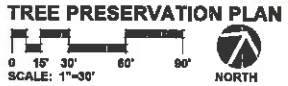
OVERALL LANDSCAPE PLAN

DATE: 1-1-2011
PROJECT NO: 10000000
DRAWN: OLE
CHECKED: MDM
SHEET NO: L-1

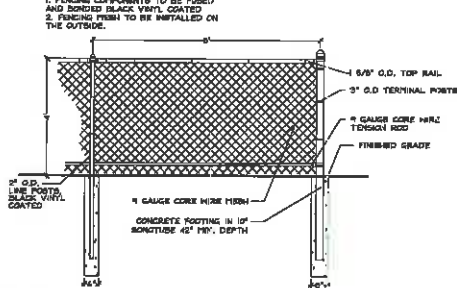




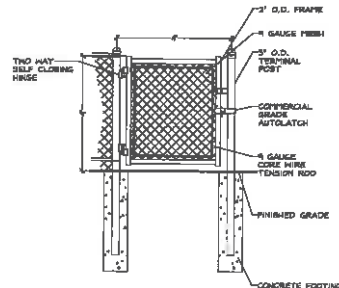
- LEGEND**
- REMOVED TREE
 - PRESERVED TREE



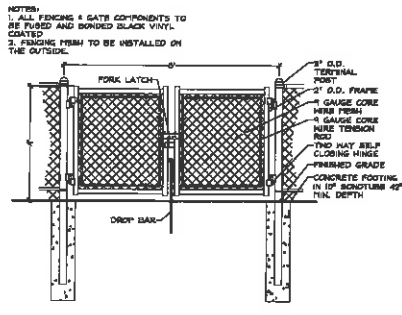
- NOTES:**
1. FENCING COMPONENTS TO BE FINISHED AND BLENDED BLACK VINYL COATED
 2. FENCING PISH TO BE INSTALLED ON THE OUTSIDE



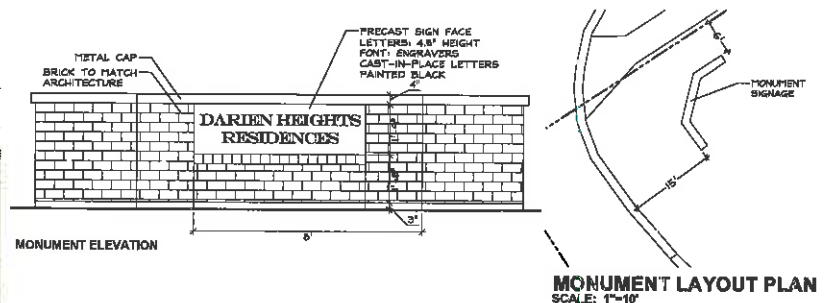
4' CHAIN LINK FENCE DETAILS
SCALE: 1/2"=1'-0"



4' WIDE GATE

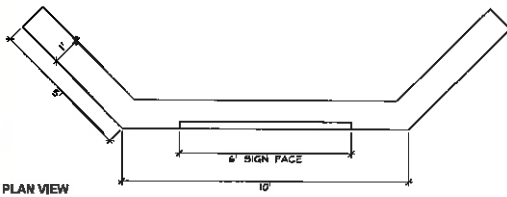


8' WIDE GATE

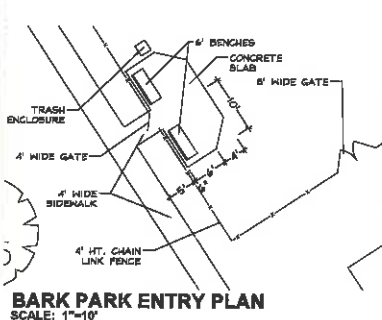


MONUMENT ELEVATION

MONUMENT LAYOUT PLAN
SCALE: 1"=10'



PLAN VIEW
MONUMENT DETAILS
SCALE: 1/2"=1'-0"



BARK PARK ENTRY PLAN
SCALE: 1"=10'

- NOTES:**
1. ALL FENCING & GATE COMPONENTS TO BE FINISHED AND BLENDED BLACK VINYL COATED
 2. FENCING PISH TO BE INSTALLED ON THE OUTSIDE

TREE INVENTORY

TREE NO.	SCIENTIFIC NAME	COMMON NAME	DBH	HEIGHT	HEALTH	REMARKS	PROPOSED ACTION
028	Robinia pseudoacacia	Black locust	6.6	6'	Poor	Sight tree	Preserve
029	Robinia pseudoacacia	Black locust	7.0	7'	Poor	Sight tree	Preserve
030	Robinia pseudoacacia	Black locust	13.6	15'	Poor	Sight tree	Preserve
031	Robinia pseudoacacia	Black locust	12.4	16'	Poor	Sight tree	Preserve
032	Robinia pseudoacacia	Black locust	13.6	18'	Poor	Sight tree	Preserve
033	Robinia pseudoacacia	Black locust	11.7	18'	Poor	Sight tree	Preserve
034	Robinia pseudoacacia	Black locust	5	5'	Poor	Sight tree	Preserve
035	Robinia pseudoacacia	Black locust	8	8'	Poor	Sight tree	Preserve
036	Robinia pseudoacacia	Black locust	8	8'	Poor	Sight tree	Preserve
037	Robinia pseudoacacia	Black locust	5	5'	Poor	Sight tree	Preserve
038	Robinia pseudoacacia	Black locust	8	8'	Poor	Sight tree	Preserve
039	Robinia pseudoacacia	Black locust	8	8'	Poor	Sight tree	Preserve
040	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
041	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
042	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
043	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
044	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
045	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
046	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
047	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
048	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
049	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
050	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
051	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
052	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
053	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
054	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
055	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
056	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
057	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
058	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
059	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
060	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
061	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
062	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
063	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
064	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
065	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
066	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
067	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
068	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
069	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
070	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
071	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
072	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
073	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
074	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
075	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
076	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
077	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
078	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
079	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
080	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
081	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
082	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
083	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
084	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
085	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
086	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
087	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
088	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
089	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
090	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
091	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
092	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
093	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
094	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
095	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
096	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
097	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
098	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
099	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve
100	Robinia pseudoacacia	Black locust	8.5	8.5'	Poor	Sight tree	Preserve

TREE INVENTORY: 07-2020
 1" = 40' horizontal scale, 1" = 20' vertical scale. (Not to scale)
 SHOWN DIMENSIONS TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 FINISH: FINISH TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 CONC: CONCRETE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

GARY E. WEBER ASSOCIATES, INC.
 LANDSCAPE ARCHITECTS
 1114 W. 11TH STREET, SUITE 100
 CHICAGO, ILLINOIS 60607

PAUL SWANSON ASSOCIATES, INC.
 481 W. PROSPECT AVE., SUITE 201
 ST. PROSPER, IL 60166

PEARSON, BROTH & ASSOCIATES, INC.
 1826 W. BOSTON ROAD, SUITE 200
 LIBERTYVILLE, IL 60155

2305 SOKOL COURT
 DARIEN, ILLINOIS
LANDSCAPE DETAILS

DATE: 1.15.2021
 PROJECT NO.: 20201125
 DRAWN: CF
 CHECKED: MMH
 SHEET NO.: L-2

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan;
2. The provision of post-planting management as specified herein;
3. Any remedial operations necessary in conformance with the plans as specified in this document;
4. Permits which may be required.

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.
- B. Quality Control Procedures
 1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
 2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposed for use of equivalent material.
 3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Planting Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
- B. Maintenance Instruction - Landscape Work

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.
- C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.
- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
- E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; notify local utility location services; determine an easement of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.
- B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, stress or damage by others or unusual phenomena or incidents which are beyond Landscape Architect's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOG

Provide strongly rooted seed, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only seed capable of growth and development when planted (viability not dormant) and in strips not more than 18" wide x 4' long. Provide seed composed of a 3-way blend of Kentucky Bluegrass such as Highbird, Alliance, Vivo, Newington, Liberty.

2.2 LAWN SEED MIXTURE

- Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified.
- A. Lawn Seed Mixture - 5 lbs./1,000 sq. ft.
 - 100% Kentucky Bluegrass 98.00
 - 10% Cutler Perennial Ryegrass
 - 10% Spartan Hard Fescue
 - 10% Edge Perennial Ryegrass
 - 10% Express Perennial Ryegrass
 - 8% Perennial Creeping Red Fescue
 - B. Temporary Lawn Seed Mixture - 5 lbs./1,000 sq. ft.
 - 40% Kentucky Bluegrass 98.00
 - 40% Perennial Ryegrass
 - 20% Annual Ryegrass

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in minimum containers or integral pot pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material true to name and variety.
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of stems required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B&B) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the size shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading types evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for star size relationships to the primary dimension shown. Provide balled and burlapped (B&B) evergreen trees and coniferous shrubs.
- F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition as bolls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (as specified at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.

2.6 EROSION CONTROL

- A. Lawn Seed Areas Erosion Control Blanket: North American Green 0375, or equivalent approved agent.

2.7 MULCH

Provide mulch consisting of premium shredded hardwood bark. Provide samples to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 5 - EXECUTION

5.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

5.2 PLANTINGS

- A. Seeding New Lawns
 1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawn.
 2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
 3. Seeded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
 4. Lay seed within 24 hours from time of striping.
 5. Lay seed to form a solid mass with tightly fitted joints. Butt ends and sides of seed strips do not overlap. Sagger stripes to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or soil. Tamp or roll lightly to assure contact with subgrade. Make filled soil into minor voids between pieces of seed; remove excess to avoid smothering of adjacent grass.
 6. Water seed thoroughly with a fine spray immediately after planting.
- B. Seeding New Lawns
 1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawn.
 2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
 3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 16-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
 4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.

6. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
6. Seed not less than specified rate.
7. Roll lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.

C. Groundcover and Perennial Beds

Groundcover, perennial, and annual shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

D. Trees and Shrubs

1. Set balled and burlapped (B&B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
2. Open top of backfill to allow for mulching. Provide additional backfill around edge of excavations to form shallow saucer to collect water.
3. Finish pits, trenches and planted areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of trees during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for ensuring that all trees are planted in a vertical and plumb position and remain as throughout the life of this contract and guarantee periods. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

5.3 INITIAL MAINTENANCE

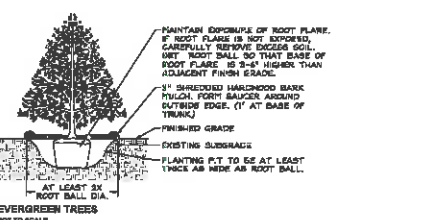
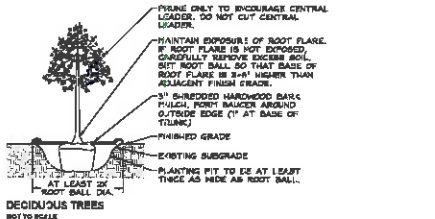
- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/grading, replanting and implementing erosion control as required to establish vegetation free of erosion or bare areas.

5.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

5.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



GARY K. WISNER ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
1000 N. WINDYBROOK DRIVE
DARIEN, ILLINOIS 60551
TEL: 630.434.1100

OWNER: **PAUL SWANSON ASSOCIATES, INC.**
48 E. PINEHURST AVE. SUITE 201
MT. PROSPECT, IL 60546

DEVELOPER: **PEARSON, BROWN & ASSOCIATES, INC.**
1000 WINDYBROOK ROAD
SUITE 200
MOUNTAIN VIEW, IL 60056

2305 SOKOL COURT
DARIEN, ILLINOIS
LANDSCAPE SPECIFICATIONS

REVISED:

DATE	1.19.2011
PROJECT NO.	PM210159
DRAWN	CMH
CHECKED	GLB
SHEET NO.	

L-3



S. FRONTAGE RD

exit side walk

have existing trees

Back Park

SOKOL CT.

HOVA

Pine Park

Over deck ramp area
25 x 95'

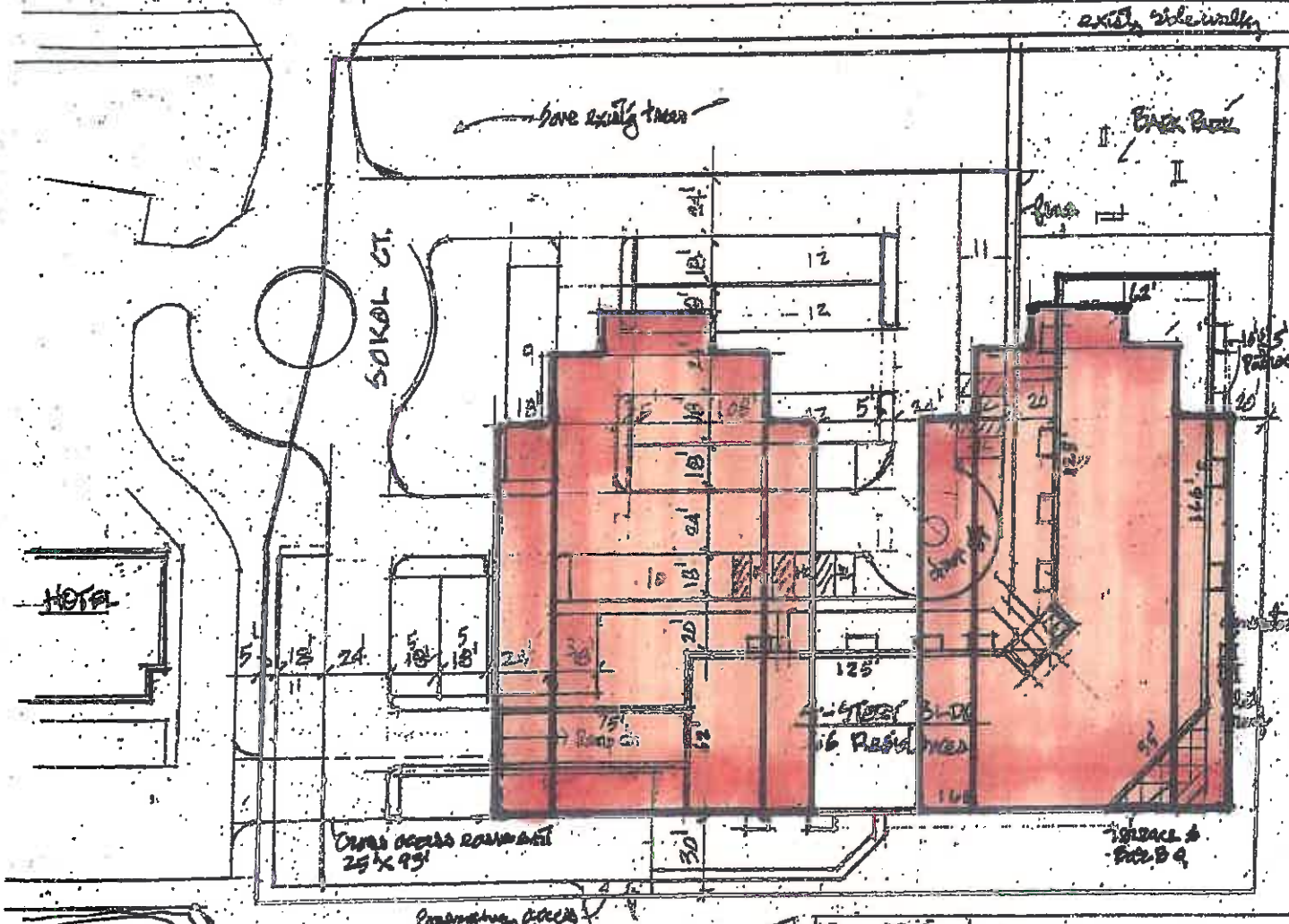
2nd floor
area B & C

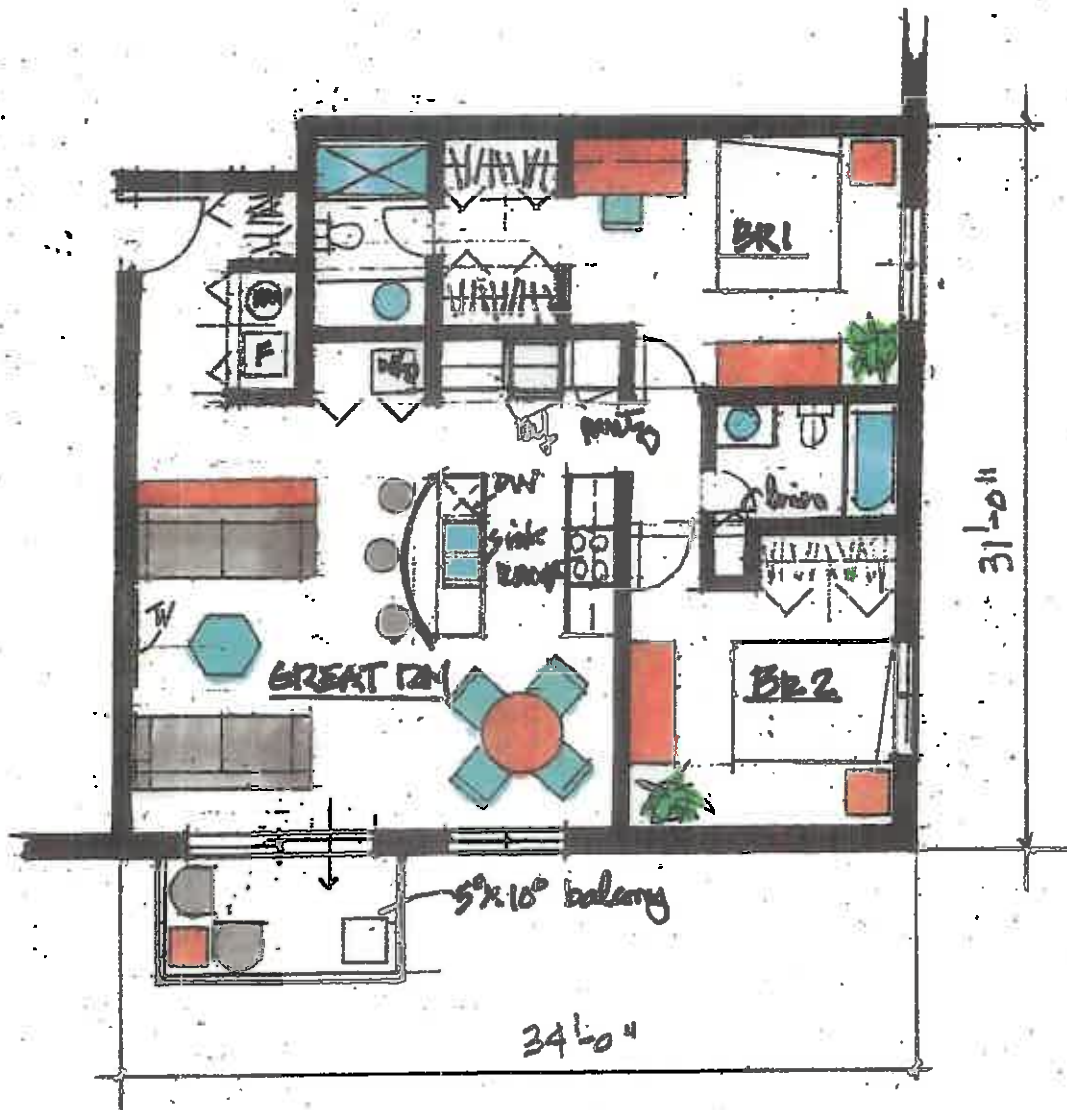
Emerging access

Parking 10

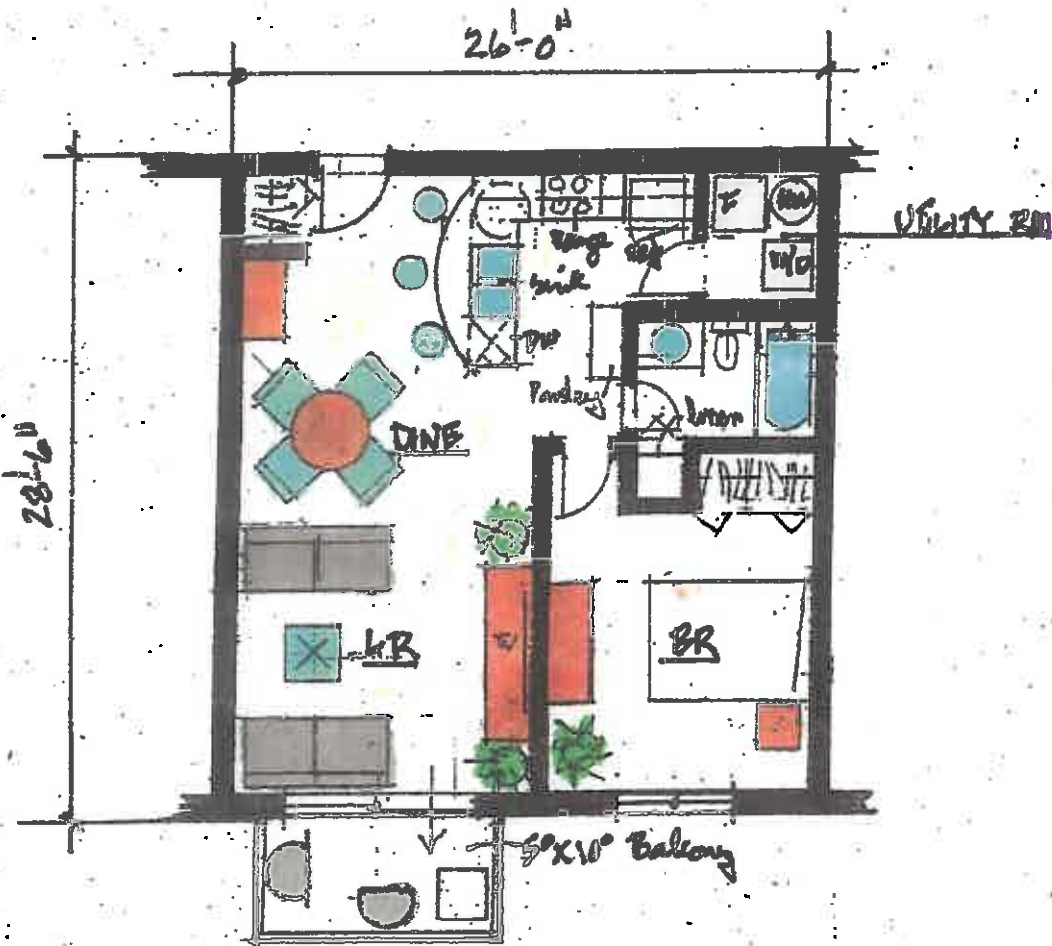
SITE PLAN
THE HIGHLANDS CONDOMINIUMS
OVERLAP

WATERFALL GLEN CONDOS
(5 story)

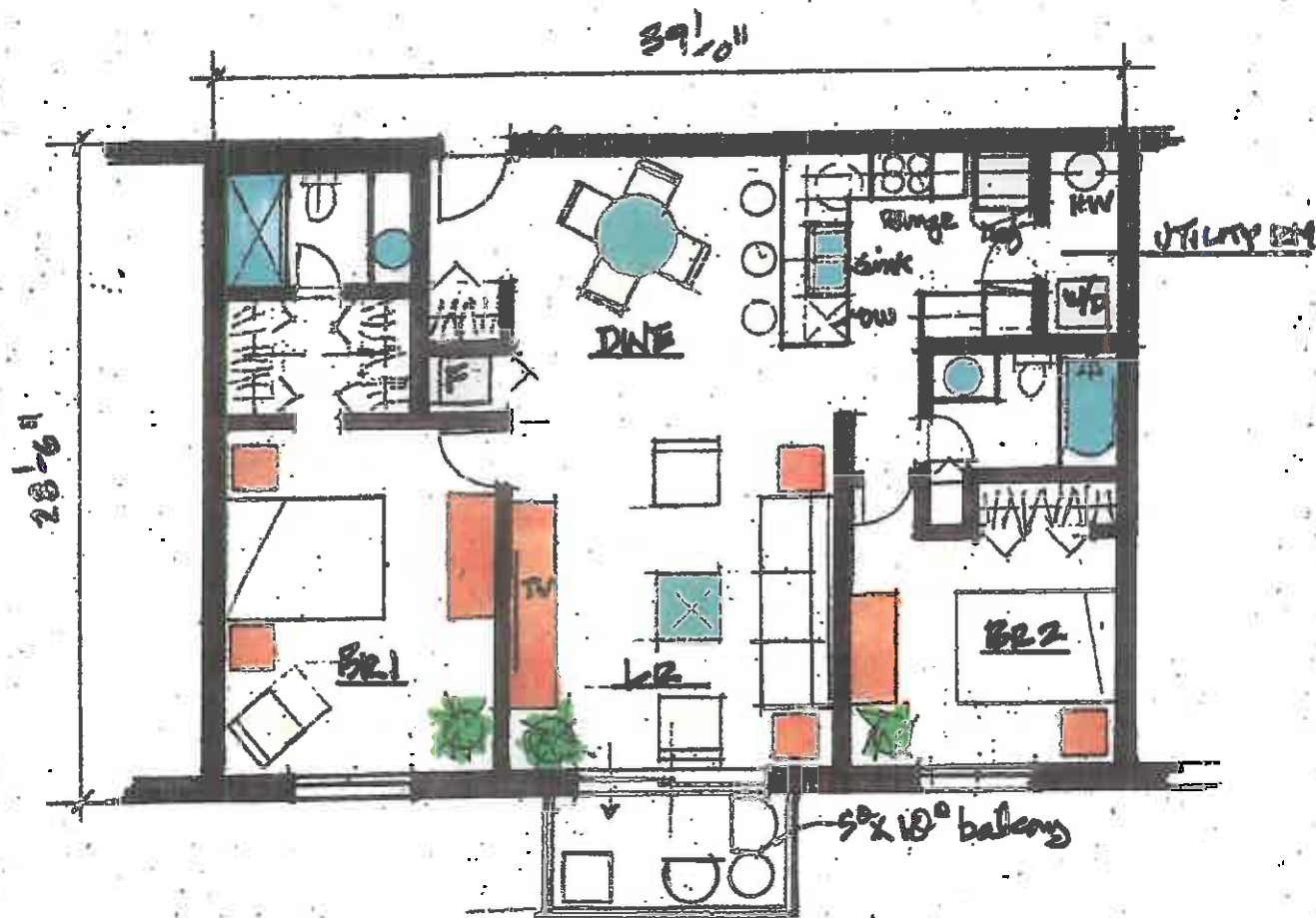




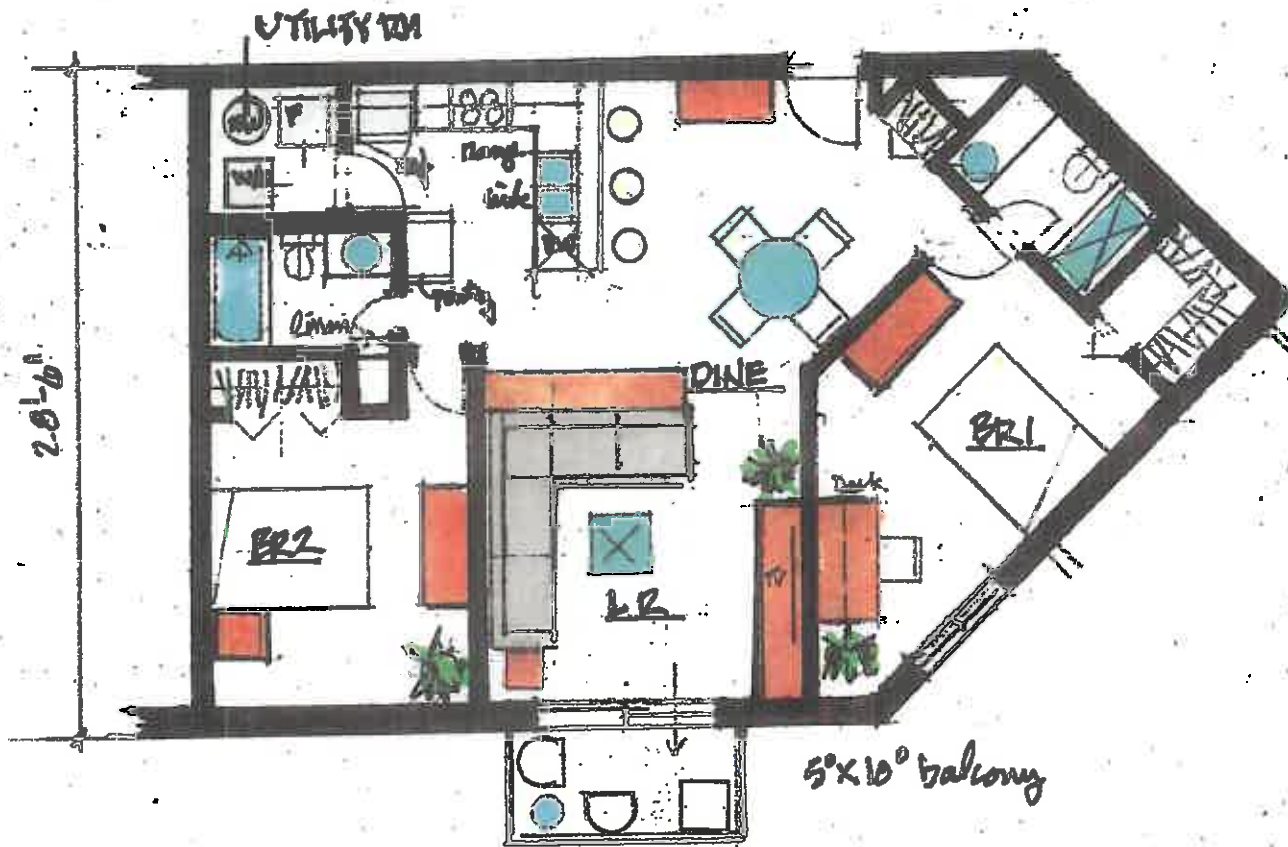
'A'
 2 BR 2 Ba (1054sf) V₀ 11/27/20
 DARIEN HGTS RESIDENCES
 2505 SOKOL CT. DARIEN, IL



'B' - TBR 1Ba (741 SF) 1/8" 11/27/20
 DARIEN HGTS RESIDENCES
 2305 SOKOL CT. DARIEN, IL.

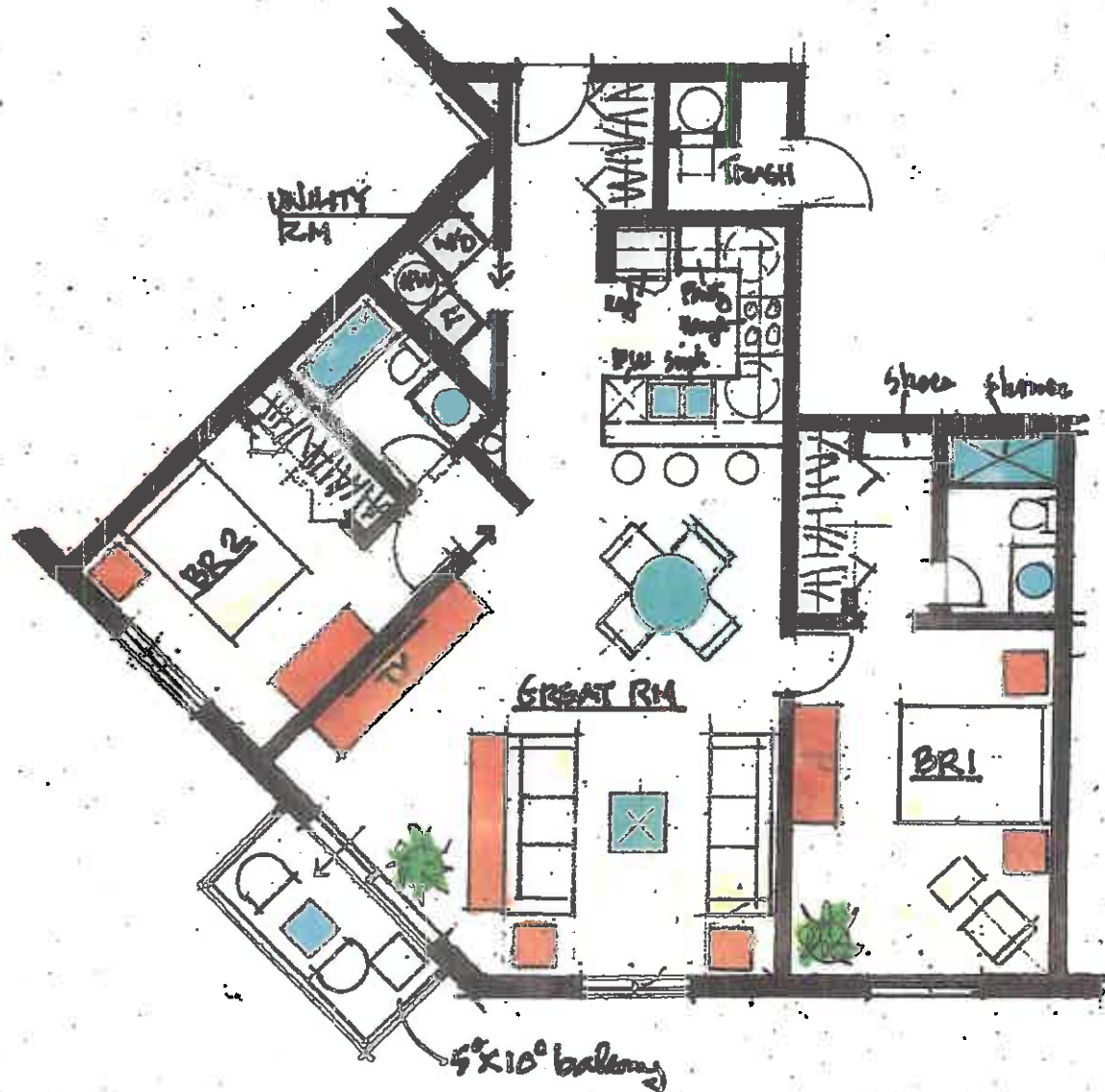


'C' 2BR 2BA (1112 SF) 1/8" 11/27/20
 DARLEN HGTS RESIDENCES
 2305 FOLLOV CT DARIEN, IL



D' 2BR 2Ba 1100 SF 1/2" 11/27/20

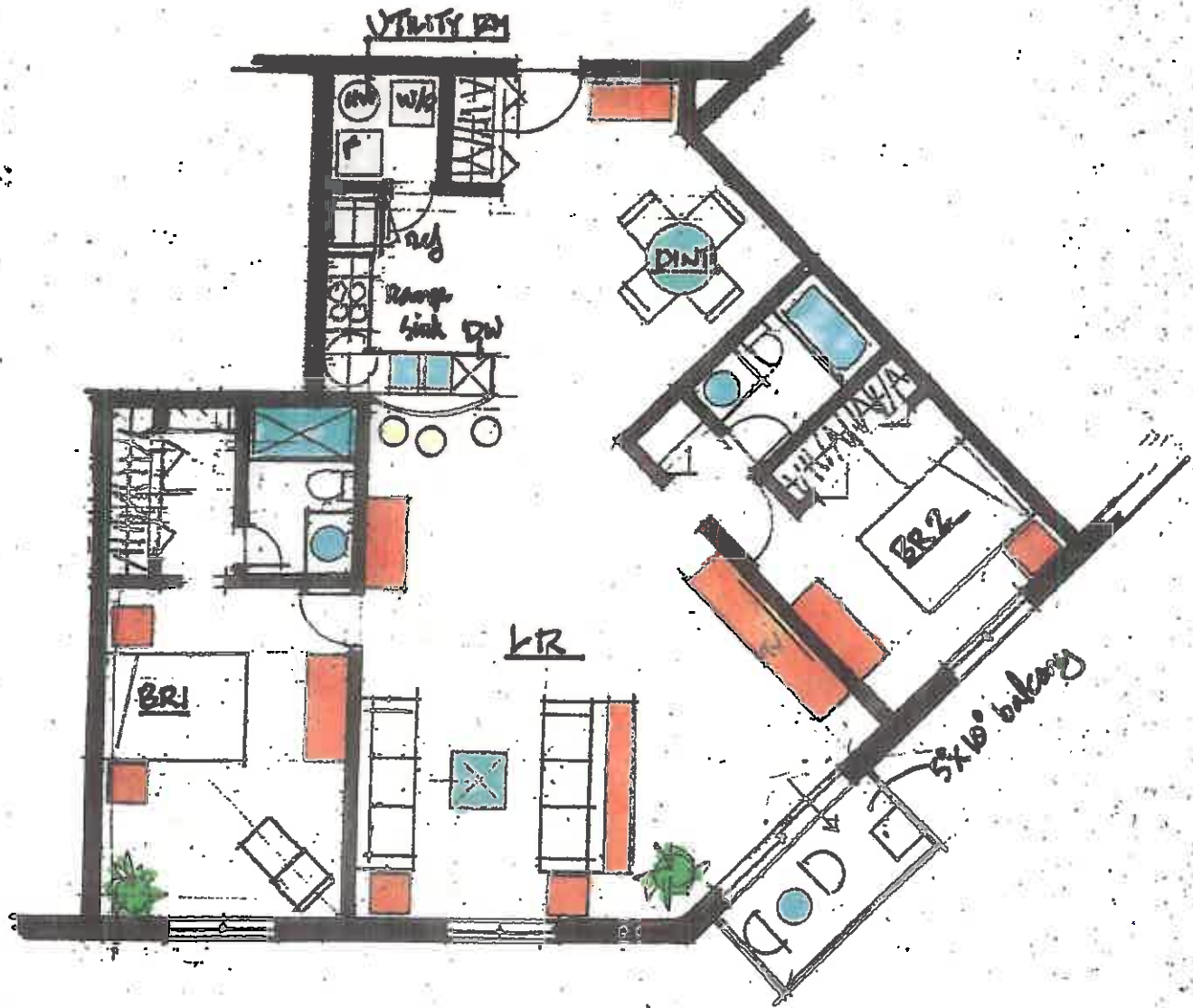
DARIEN HGTS RESIDENCES
 2505 30KOL CT DARIEN, IL



1 E 1

2BR 2BA 1314 SF 1/8" 11/27/20

DARIEN HTS RESIDENCES
 7305 SOKOL CT. DARIEN, IL



'F'

2BR 2BA 1306 SF V811 11/27/20
 DARIEN HGTS RESIDENCES
 2305 SOKOL CT. DARIEN, IL

DEVELOPER PROFILE

**PAUL SWANSON
 PRESIDENT
 PAUL SWANSON ASSOCIATES INC.
 401 E. PROSPECT AVENUE, SUITE 201
 MT. PROSPECT IL 60056**

Graduated from University of Michigan 1963 Bachelor of Architecture

**Professional Organizations: ALA Association of Licensed Architects
 NCARB National Council of Architectural Boards**

Licensed Architect: State of Illinois State of North Carolina

Licensed Real Estate Broker: Illinois

DEVELOPMENT EXPERIENCE

OFFICE BUILDING DEVELOPMENT (Professional & Medical) VALUE	2,800,000 SF \$310,000,000
HOTEL RESTAURANT DEVELOPMENT	\$25,000,000
INDUSTRIAL DEVELOPMENT VALUE	4,200,000 SF \$250,000,000
RETAIL DEVELOPMENT VALUE	1,200,000 SF \$130,000,000
RESIDENTIAL DEVELOPMENT VALUE (Single family, condominium, townhomes, apartments)	\$55,000,000

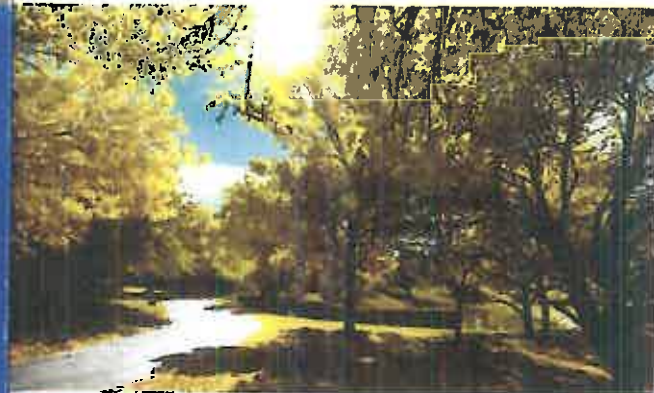


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1 and 2 bedroom apartments for rent that provide a unique atmosphere with all the modern comforts. We are nestled within the prestigious Arlington Heights community with convenient access to transportation, shopping, and entertainment.

Every apartment has its own washer dryer and central air; third-floor apartment units have vaulted ceilings and wood burning fireplaces. The wide range of amenities, including a heated pool and hot tub with wireless Internet at poolside, 24/7 fitness center, underground heated parking and extra storage, are sure to satisfy your discerning taste.

Ask about our furnished suites, Preferred Employer, Home Purchasing and Stars & Stripes Programs.



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- HEATED PARKING AVAILABLE
- 24-HOUR EMERGENCY MAINTENANCE
- PLANNED SOCIAL ACTIVITIES
- AWARD-WINNING SCHOOL DISTRICTS
- FREE WIFI IN 24/7 CLUBHOUSE
- HEATED OUTDOOR POOL & HOT TUB
- NATURE/FITNESS TRAIL
- ON-SITE CAR WASH
- 24/7 FITNESS CENTER
- WOOD BURNING FIREPLACE*
- DEN/HOME OFFICE FLOORPLANS
- PRIVATE BALCONY/PATIOS
- GRANITE COUNTERTOPS*
- STAINLESS STEEL APPLIANCES*
- AWARD-WINNING CUSTOMER SERVICE

*in select units



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3PEAT

#1 IN RESIDENT
SATISFACTION
2009, 2010, 2011

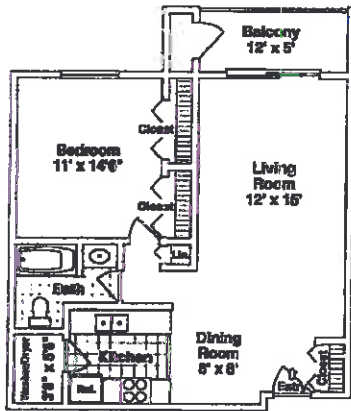


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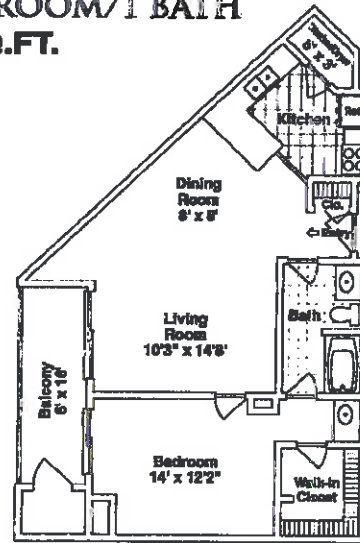
1551 EAST CENTRAL ROAD
ARLINGTON HEIGHTS, IL 60005

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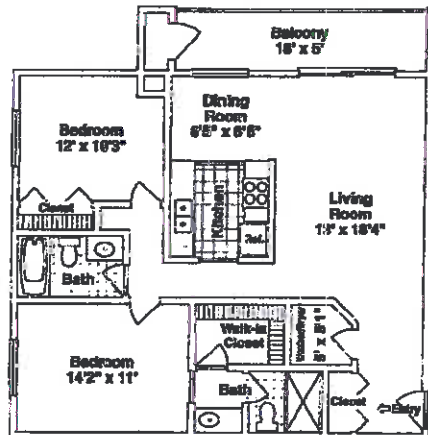
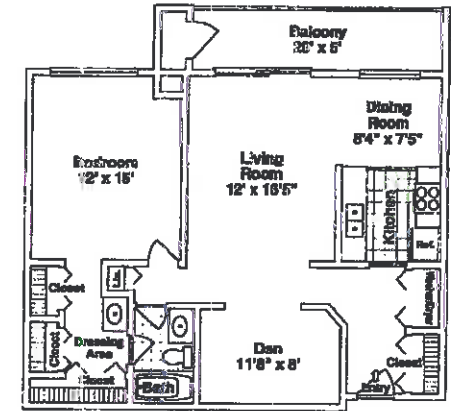
A
1 BEDROOM/1 BATH
770 SQ.FT.



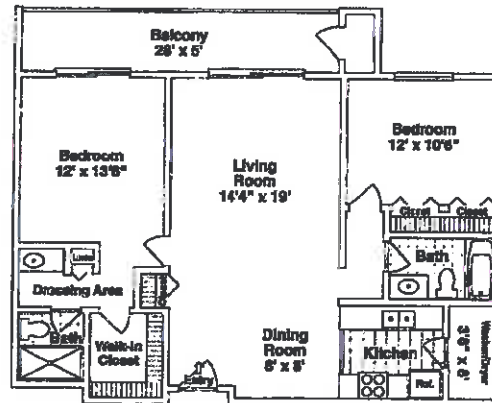
A1
1 BEDROOM/1 BATH
810 SQ.FT.



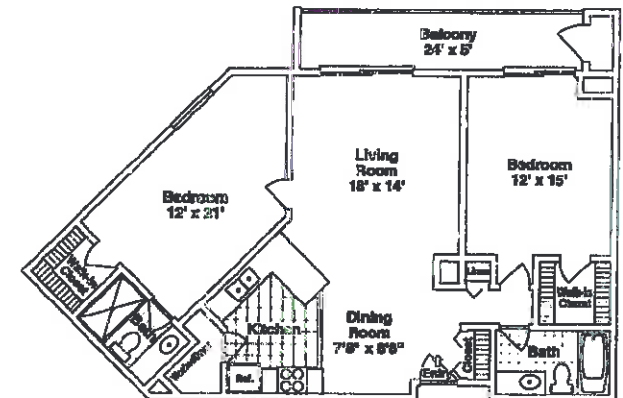
A2
1 BEDROOM/DEN/1 BATH
938 SQ.FT.



C
2 BEDROOM/2 BATH
1,054 SQ.FT.



C1
2 BEDROOM/2 BATH
1,106 SQ.FT.



C2
2 BEDROOM/2 BATH
1,168 SQ.FT.



Welcome to Longleaf



Longleaf is a Golf Course Community in Central North Carolina. The Community resonates the Historically rich scenic location of Pinehurst / Southern Pines by combining the warmth and charm of a New England Village with the vast amenities of Big City Life.



Longleaf

Introducing Longleaf's Long Awaited

MEADOWS COTTAGES

The perfect mix of worry-free living with all grounds and exterior building maintenance provided



Ageless charm awaits you at Longleaf's newest neighborhood, Meadow Cottages. The Cottages are specifically designed to capture the essence of traditional cottage architecture with flavors of enchanting Carriage Homes. The steep rooflines, stacked stone accents, dormers and shutters give the cottages their instant appeal.

Perfectly situated winding down Cottage Lane in Longleaf's natural meadows, the setting depicts days of when Longleaf was once a thoroughbred horse farm. With the horses now long gone, the Meadow Cottages take advantage of landscaped pond areas with scenic fountains and beautiful golf vistas.



Rear Elevation
Approximate Square Footage
Heated & AC Areas 2,537 Sq. Ft.

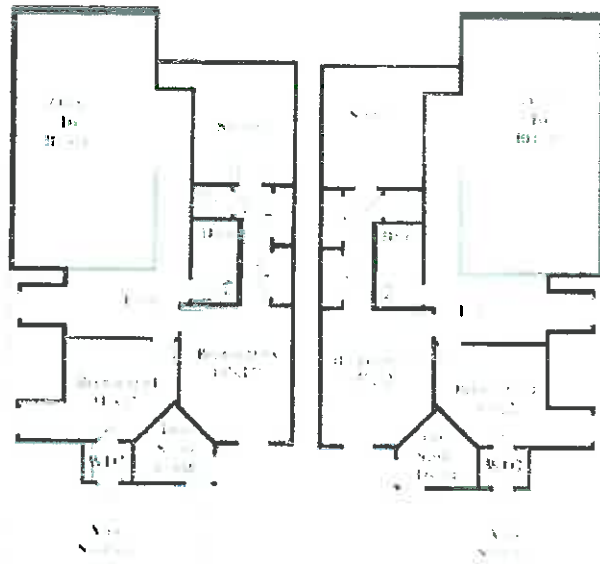
The interior is just as spectacular as the exterior. Elegantly designed for 'comfortable casual' living with spacious rooms. The layout of the Cottage is versatile and functional with Three Bedrooms and Three Full Bath's. There is no need to sacrifice guest bedrooms and desirable office space. The Meadow Cottages offer lovely rooms for a Den/Library and a Loft/Office. Relax and take in the view from the Carolina Room and Deck. Double garages have a direct path to the Kitchen/Breakfast room.

Standard Features Include

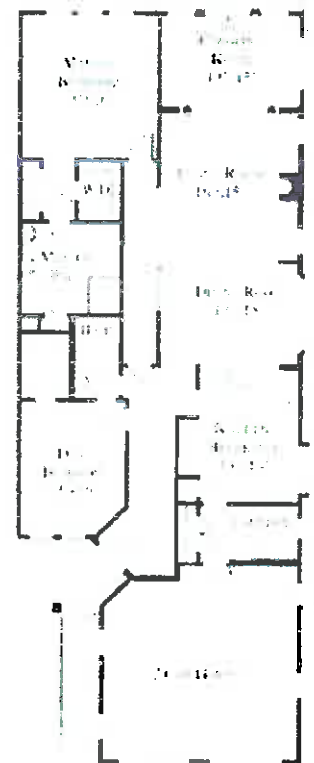
- **Granite Kitchen Countertops**
- **Hardwood Areas**
- **Stainless Steel Appliances (range, dishwasher, disposal, microwave)**
- **Andersen Windows**
- **Carolina Room**
- **Fireplace w/ Natural Gas Logs**
- **Built-in Bookcases**
- **Bath Floors Ceramic Tile**
- **Tiled Laundry Room w/Laundry Sink and Cabinets**
- **Well Appointed Master Suite w/Walk-in, Garden Tub and Separate Shower**
- **Tray Ceiling in Master Bedroom and Carolina Room**
- **Two Storage Centers w/Walk-in Access**
- **Natural Gas Heat Downstairs and Separate Heat Pump Upstairs**
- **Central Air Conditioning Throughout**
- **Double Garages**
- **Maintenance Free Deck**
- **Crawl Space Foundations**



UNIT A
FIRST FLOOR

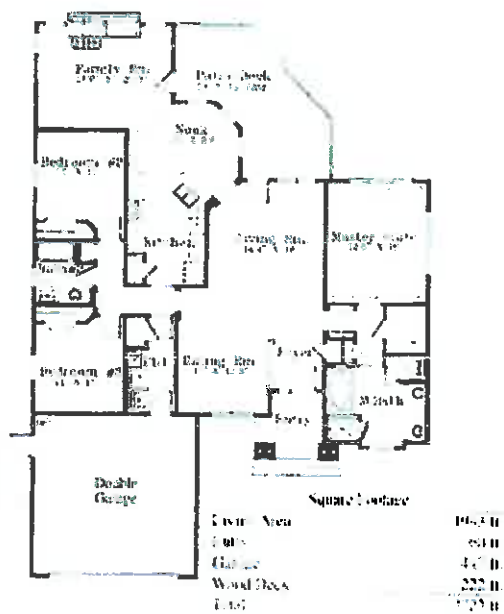
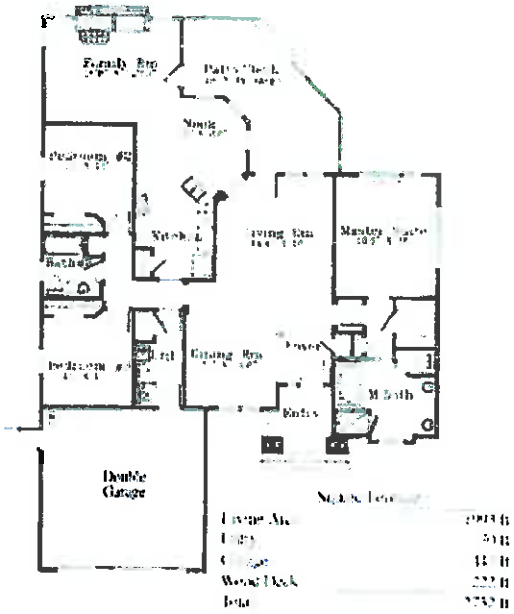
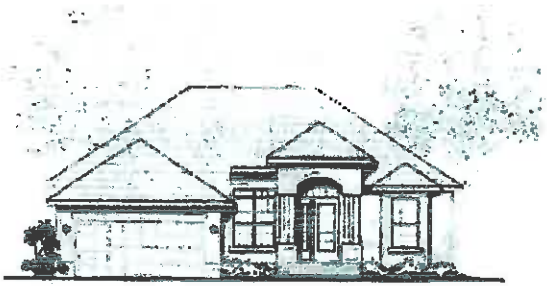


UNIT A
SECOND FLOOR



UNIT B
FIRST FLOOR

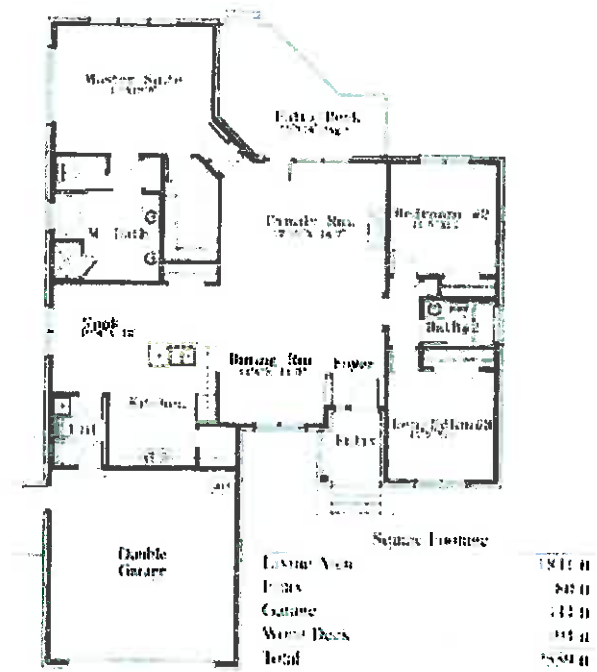
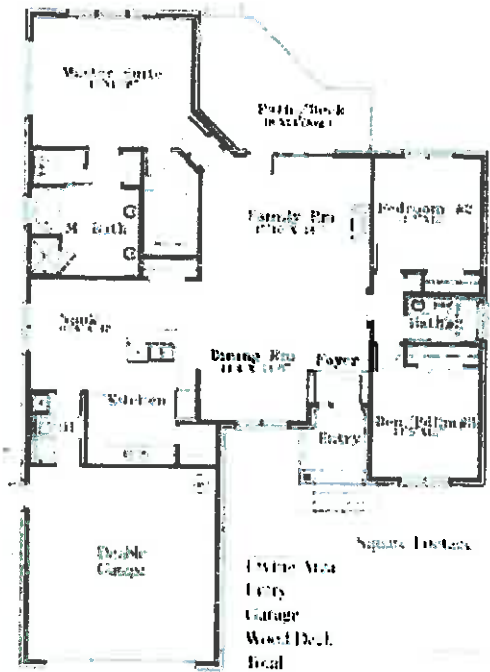
UNIT B
SECOND FLOOR



All dimensions in feet

The Derby Cottage, Elevation A

The Derby Cottage, Elevation B

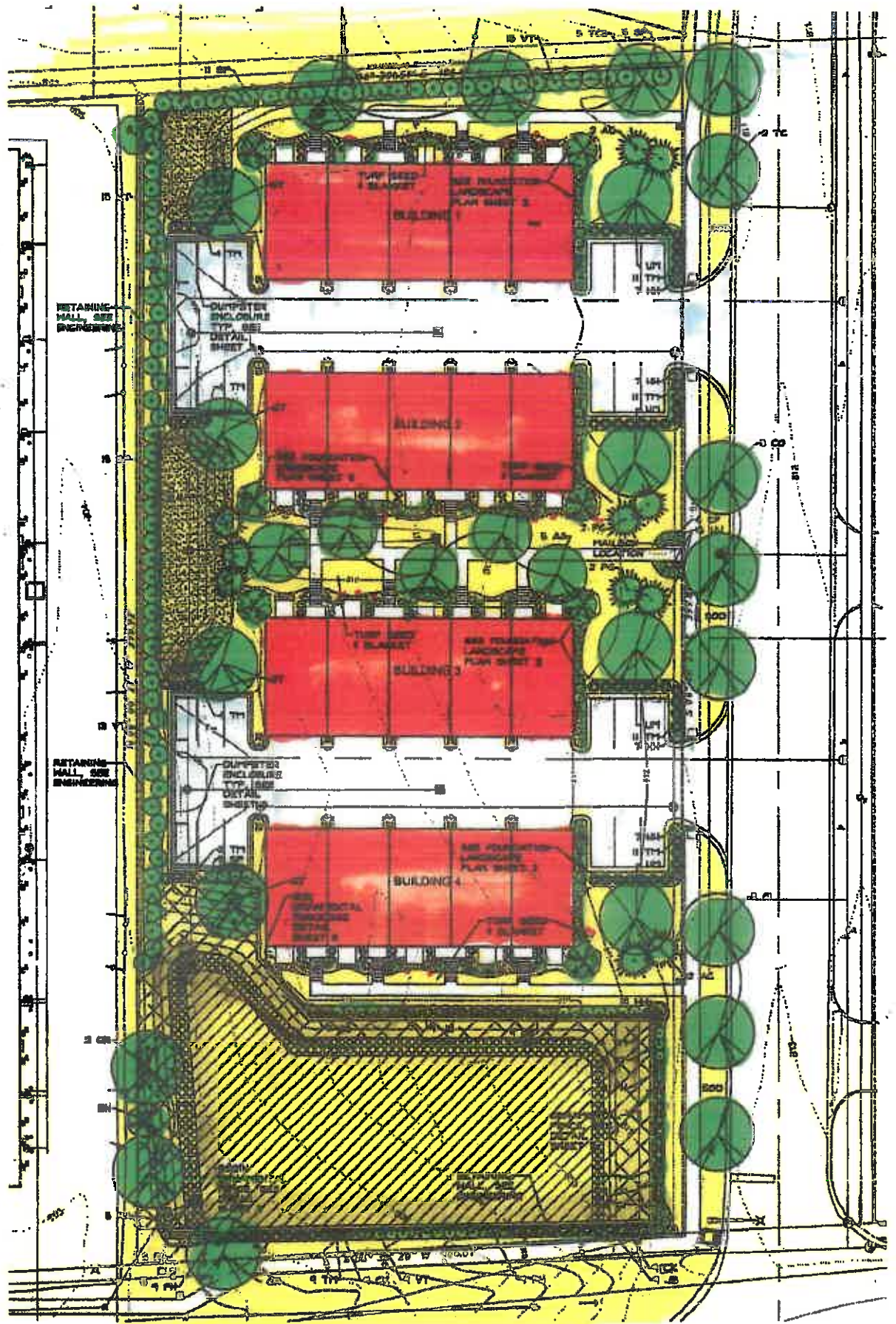


All dimensions are approximate.

The Preakness Cottage, Elevation A The Preakness Cottage, Elevation B







LANDSCAPE PLAN NTS



WE ARE A CHICAGO METROPOLITAN BROKERAGE FIRM

Kiser Group knows Chicago's neighborhoods and suburbs on a block by block, street by street, address by address basis. Our reputation is one of innovative service and nuance.



DIRECT. TARGETED. ENERGETIC.

Our approach is simple. We create custom and proactive marketing strategies for each individual property and client, which has allowed us to develop strong relationships with prominent local, regional, and national multifamily buyers, sellers and financial institutions. These relationships, paired with our extensive market knowledge, unmatched track record and comprehensive database, have made us the Chicago metropolitan area's go-to brokerage firm.



MARKET & DEVELOPMENT FEASIBILITY STUDY
DARIEN HEIGHTS RESIDENCES
2305 SOKOL COURT, DARIEN, IL 60561

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SECTION 1 | DEVELOPMENT INFORMATION



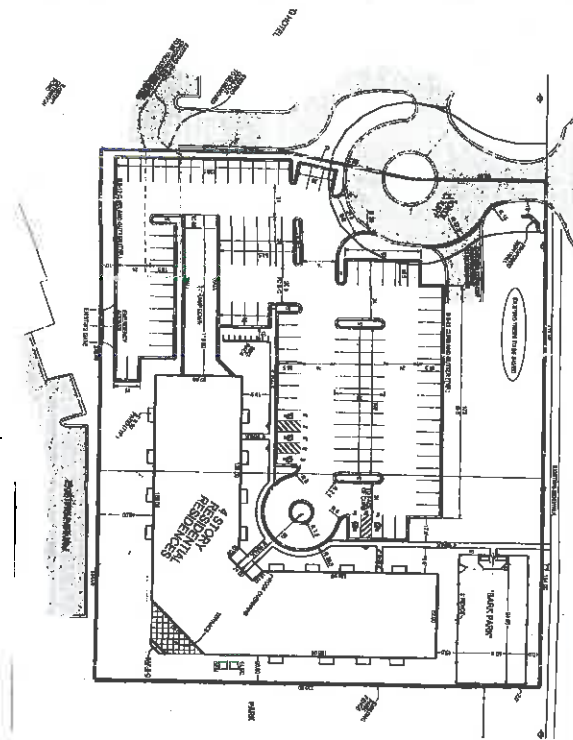
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4 SITE & FLOOR PLANS

SITE PLAN

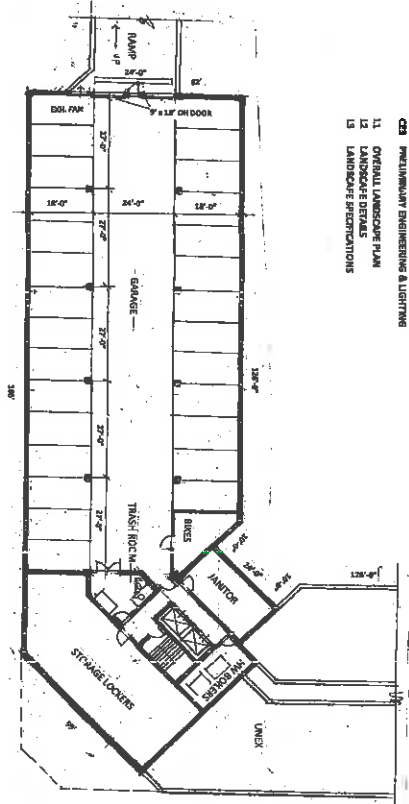
1" = 40'

PROJECT DATA	
LAND AREA	22,441 SF
BUILDING COVERAGE	20,000 SF / 22,441 SF
PAV	2,000 SF / 22,441 SF
TOTAL UNRECOVERED	84,000 SF / 22,441 SF
BUILDING HEIGHT	57' / 60' SF / 22,441 SF
PARKING	137 CARS
CONCRETE CARS	137 CARS
OVERALL	2.18 AC
	7.7M
	40'
	(2/01)



LOWER-LEVEL FLOOR PLAN

1/16"

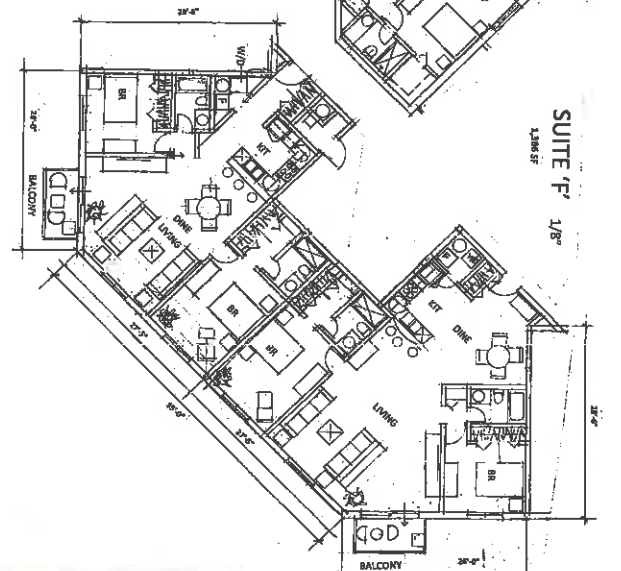


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- A1 SITE PLAN, L & R PLAN, 1/8" UNIT PLANS
- A2 BLDG PL PLANS: RISE ELEVATIONS
- C1 EXISTING CONDITIONS
- C2 GEOMETRIC SITE PLAN
- C3 PRELIMINARY ENGINEERING & LIGHTING
- L1 OVERALL LANDSCAPE PLAN
- L2 LANDSCAPE SPECIFICATIONS
- L3 LANDSCAPE SPECIFICATIONS

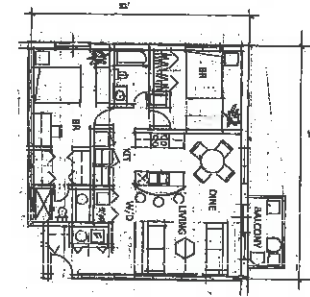
SUITE 'E' 1/8"

1,344 SF



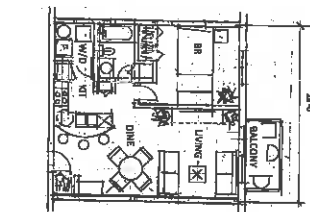
SUITE 'A' 1/8"

1,064 SF



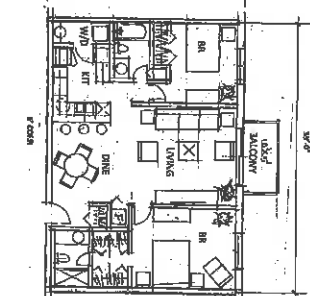
SUITE 'B' 1/8"

741 SF



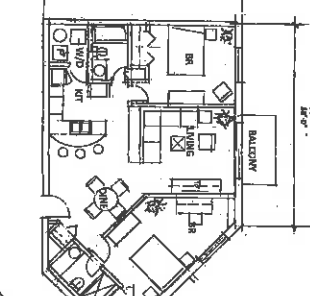
SUITE 'C' 1/8"

1,732 SF



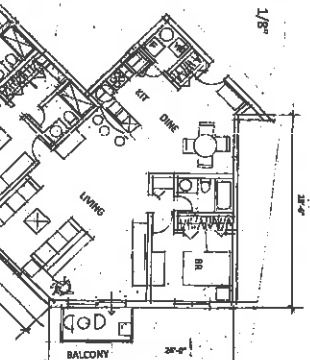
SUITE 'D' 1/8"

1,300 SF



SUITE 'F' 1/8"

1,348 SF



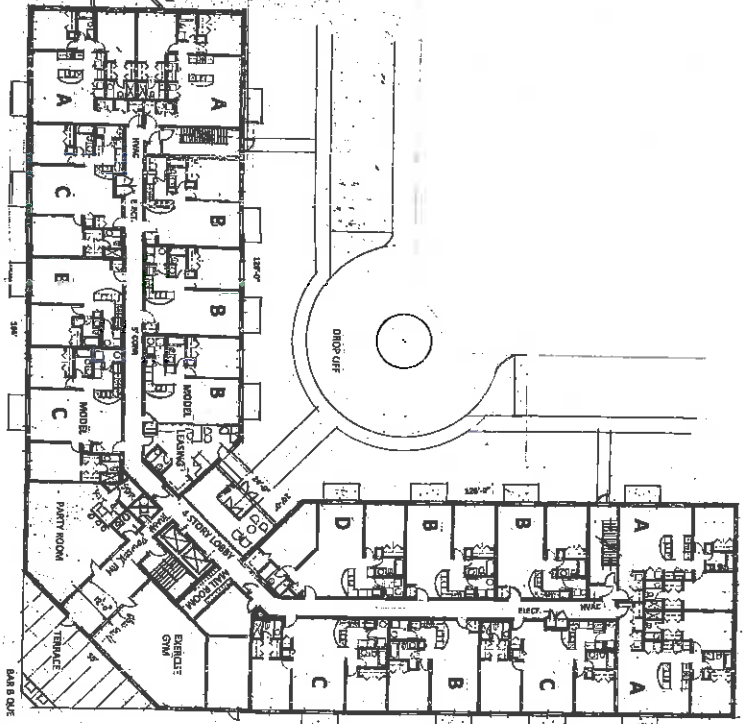
DARIEN HEIGHTS RESIDENCES

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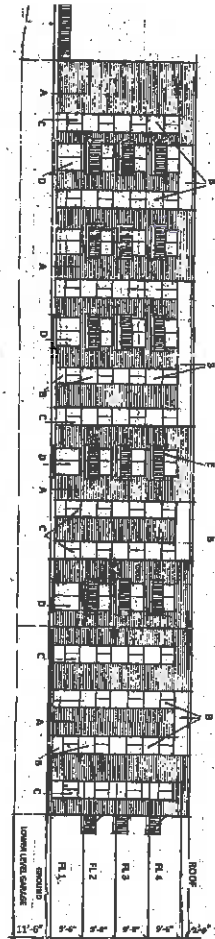
no representation or warranty, expressed or implied, as to the accuracy of the information is made.

5 SITE & FLOOR PLANS

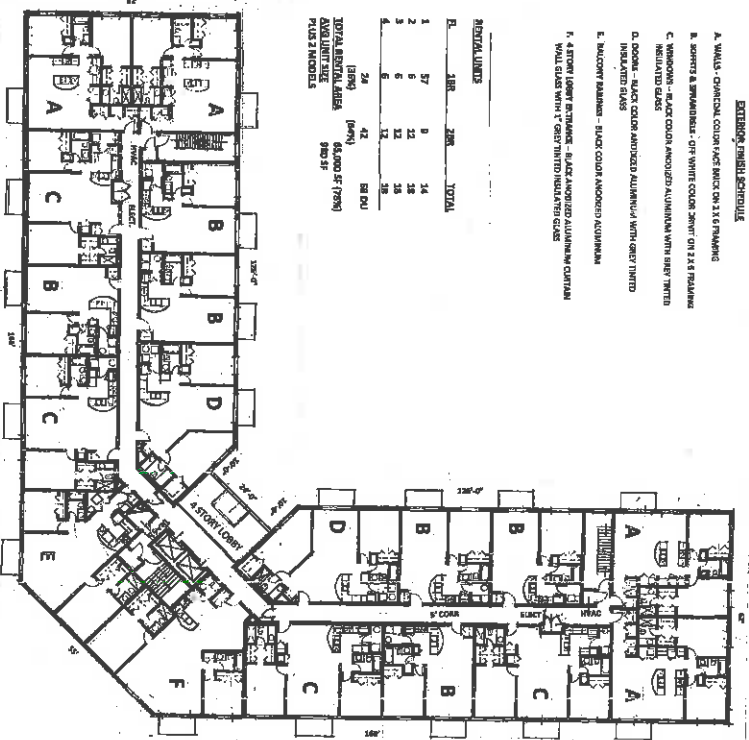
FIRST FLOOR PLAN 1/16"



SOUTH & EAST ELEVATION

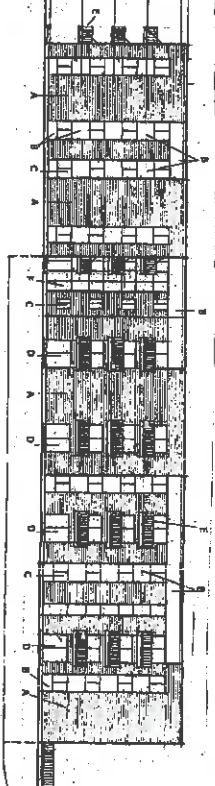


SECOND - FOURTH FLOOR PLAN 1/16"



BUILDING ELEVATIONS 1/16"

NORTH & WEST ELEVATION



EXTERIOR FINISH SCHEDULE

- A. WALLS - CONCRETE COLOR VAS BRICK ON 1.5" FRAMING
- B. DOORS & SHIMMERS - 07 WHITE COLOR 3000" ON 2.5" FRAMING
- C. WINDOWS - 4000 COLOR ANODIZED ALUMINUM WITH GREY TINTED MIRROR GLASS
- D. DOORS - 4000 COLOR ANODIZED ALUMINUM WITH GREY TINTED MIRROR GLASS
- E. BALCONY BALUSTERS - BLACK COLOR ANODIZED ALUMINUM
- F. 4 STORY LOBBY FINISHING - BLACK ANODIZED ALUMINUM CURTAIN WALL GLASS WITH 1" CLEAR TINTED INSULATED GLASS

SERIAL UNITS		
R.	SER.	TOTAL
1	57	14
2	5	28
3	6	12
4	6	28
TOTAL SERIAL UNITS (SERIALS)		82 DU
TOTAL SERIAL AREA (SERIALS)		980 SF
TOTAL AREA (SERIALS)		980 SF



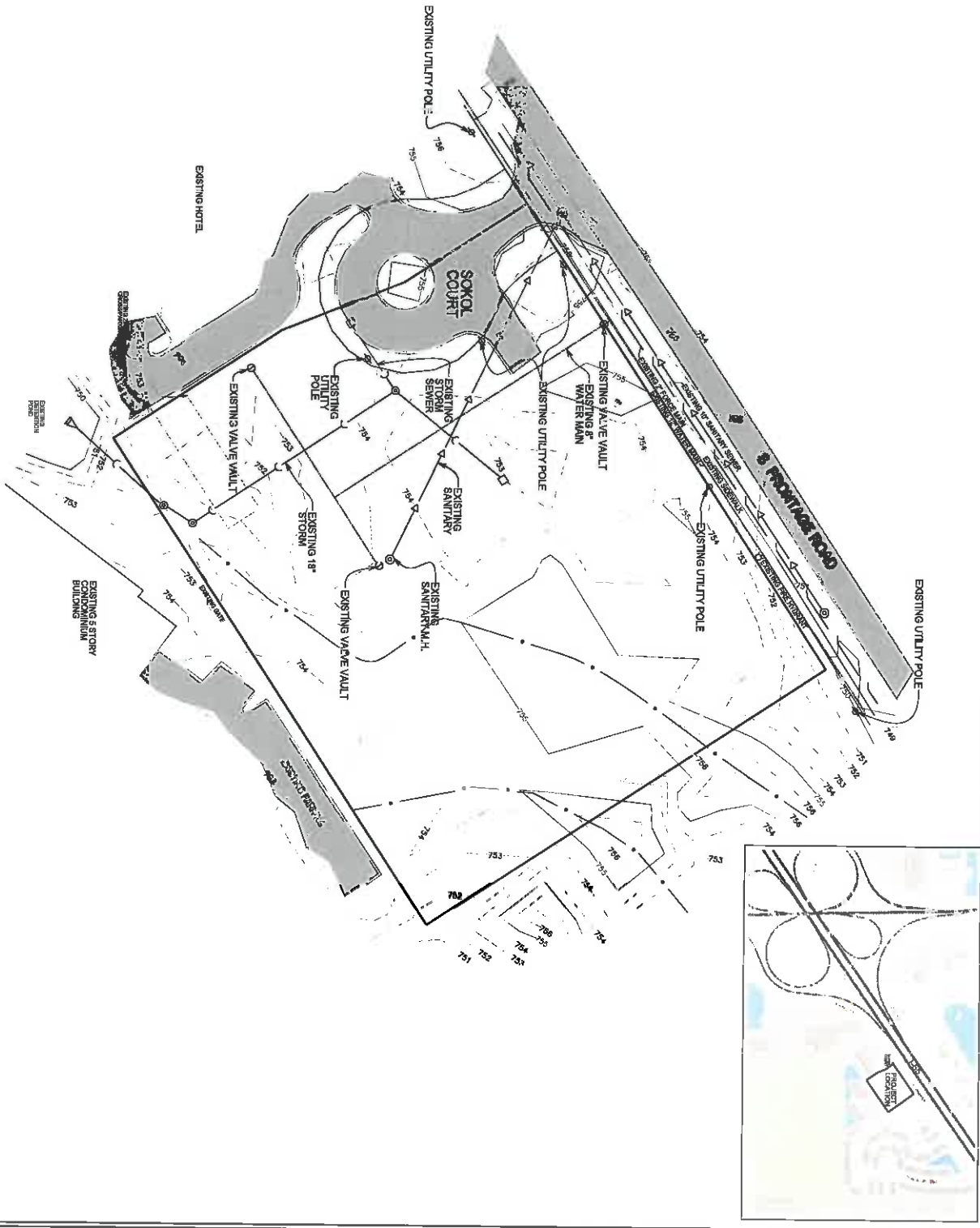
DARIEN HEIGHTS RESIDENCES

2305 SOKOL COURT DARIEN, IL

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no representation or warranty, expressed or implied, as to the accuracy of the information is made.

6 | SITE & FLOOR PLANS



EXISTING CONDITIONS

CE1
SHEET NUMBER

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REVISION	DATE	BY	DESCRIPTION

2305 SOKOL COURT

DESIGNED BY: P.B.A.
 PREPARED BY: P.B.A.
 CHECKED BY: P.B.A.
 ORIGINAL SCALE: AS SHOWN

PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1000 WESTVILLE BL. #604
 WESTVILLE, IL 60091
 PHONE: (815) 387-4787
 FAX: (815) 387-2987
 EMAIL ADDRESS: pba@pearsonbrown.com

DARREN L. BROWN
 NORTH

SCALE: 1" = 30'

7 | RENDERINGS



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8 | UNIT MIX SUMMARY

UNIT TYPE	# OF UNITS	% TOTAL	SIZE (SF)	PROJECTED RENT	PROJECTED RENT/SF
Suite B - 1 Bed/1 Bath	23	33.8	741	\$1,495	\$2.02
Suite A - 2 Bed/2 Bath	16	23.5	1,054	\$2,125	\$2.02
Suite D - 2 Bed/2 Bath	7	10.3	1,100	\$2,225	\$2.02
Suite C - 2 Bed/2 Bath	16	23.5	1,122	\$2,250	\$2.01
Suite E - 2 Bed/2 Bath	3	4.4	1,314	\$2,525	\$1.92
Suite F - 2 Bed/2 Bath	3	4.4	1,366	\$2,600	\$1.90
Totals/Averages	68	100%	67,599	\$135,335	\$2.00



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SECTION 2

FINANCIAL ANALYSIS



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10 | PROPERTY TAXES

PROPERTY TAX GENERATION

Darien Heights Residences impact on property taxes generated to all municipal systems and taxing bodies is estimated to be a **significant increase of 2,148%**, from 2019 Taxes of **\$11,339** to an estimated property tax of **\$243,601** in 2023 after the development is stabilized and leased. Kiser Group validated the estimates by extrapolating the 2019 Tax Distribution for the neighboring parcel (Extended Stay America) and then applying the property tax projections for a developed and stabilized Darien Heights. A summary of the taxes is provided below:

	Darien Heights	
Taxing Body	2022/23 Projection	2019 Tax Distribution
Grade School District 113	\$85,994	\$4,003
High School District 210	\$78,655	\$3,661
Lemont Fire District	\$28,499	\$1,326
Darien Park District	\$11,985	\$558
City of Darien	\$9,849	\$458
College DuPage 502	\$7,844	\$365
Indian Prairie Library	\$6,441	\$300
County Of Du Page	\$6,146	\$286
Forest Preserve District	\$4,614	\$215
Downers Grove Township Rd	\$1,895	\$88
Downers Grove Township	\$1,155	\$54
DuPage Airport Authority	\$524	\$24
TOTAL	\$243,601	\$11,339

PROPERTY TAX REVENUE PROJECTION

Provided below is a 5 Year Summary of Property Tax Revenues for Darien Heights, assuming construction begins in 2021 and the property is fully leased and stabilized in 2023.

Taxing Body	2023	2024	2025	2026	2027	TOTAL
Grade School District 113	\$88,574	\$91,231	\$93,968	\$96,787	\$99,691	\$470,252
High School District 210	\$81,014	\$83,445	\$85,948	\$88,526	\$91,182	\$430,115
Lemont Fire District	\$29,354	\$30,235	\$31,142	\$32,076	\$33,038	\$155,845
Darien Park District	\$12,345	\$12,715	\$13,097	\$13,490	\$13,894	\$65,540
City of Darien	\$10,144	\$10,449	\$10,762	\$11,085	\$11,418	\$53,858
College DuPage 502	\$8,079	\$8,322	\$8,571	\$8,829	\$9,093	\$42,894
Indian Prairie Library	\$6,634	\$6,833	\$7,038	\$7,249	\$7,467	\$35,221
County Of Du Page	\$6,330	\$6,520	\$6,716	\$6,917	\$7,125	\$33,609
Forest Preserve District	\$4,752	\$4,895	\$5,042	\$5,193	\$5,349	\$25,230
Downers Grove Township Rd	\$1,952	\$2,011	\$2,071	\$2,133	\$2,197	\$10,364
Downers Grove Township	\$1,189	\$1,225	\$1,262	\$1,300	\$1,339	\$6,314
DuPage Airport Authority	\$539	\$556	\$572	\$589	\$607	\$2,864
	\$252,932	\$260,460	\$268,214	\$276,201	\$284,427	\$1,332,108



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11 | DEVELOPMENT FEASIBILITY

PRO FORMA BUDGET

Below is the projected development budget for Darien Heights. This is the cost basis used for the financial models and the feasibility matrix for build for rent feasibility. Do note, that the construction costs for build for sale condominiums would be the same, or approximately \$244 per square foot of living space.

DEVELOPMENT BUDGET							
Acquisition Costs	Amount	Driver	Budget	% of Cost	Cost GSF	Cost RSF	Cost Per Unit
Land Costs	\$952,000	Fixed	\$952,000	5.8%	\$11.61	\$14.10	\$14,000
Planning Comm. & Entitlements	\$30,000	Estimate	\$30,000	0.2%	\$0.37	\$0.44	\$441
Title Insurance & Closing costs	\$30,000	Estimate	\$30,000	0.2%	\$0.37	\$0.44	\$441
Total Acquisition Cost			\$1,012,000	6.1%	\$12.34	\$14.99	\$14,882
Soft Costs							
Architecture & Engineering	2.0%	of Site & Dev	\$290,900	1.8%	\$3.55	\$4.31	\$4,278
Fees, Permits, Expediting	\$90,000	Estimate	\$90,000	0.5%	\$1.10	\$1.33	\$1,324
Predevelopment Expenses	\$75,000	Estimate	\$75,000	0.5%	\$0.91	\$1.11	\$1,103
Environ. Reporting & Remediation	\$23,000	Estimate	\$23,000	0.1%	\$0.28	\$0.34	\$338
Misc.	\$23,000	Estimate	\$23,000	0.1%	\$0.28	\$0.34	\$338
Soft Cost Contingency	6.0%	of Soft Costs	\$27,354	0.2%	\$0.33	\$0.41	\$402
Total Soft Cost			\$529,254	3.2%	\$6.45	\$7.84	\$7,783
Site and Construction Costs							
Direct Hard Construction Cost	82.0%	of Total	\$13,530,000	82.0%	\$165.00	\$200.44	\$198,971
Garage Construction	3.7%	of Total	\$617,000	3.7%	\$7.52	\$9.14	\$9,074
GC Fee	2.00%	of Direct Cost	\$270,600	1.6%	\$3.30	\$4.01	\$3,979
General Conditions	2.00%	of Direct Cost	\$270,600	1.6%	\$3.30	\$4.01	\$3,979
Hard Cost Contingency	2.00%	of Direct Cost	\$270,600	1.6%	\$3.30	\$4.01	\$3,979
Total Site and Construction Cost			\$14,956,800	90.7%	\$182.42	\$221.61	\$219,982
Total Development Cost			\$16,500,054	100%	\$201.22	\$244.45	\$242,648

WATERFALL GLEN CONDOMINIUMS

Provided below are the recent sold units in Waterfall Glen; Current market sales, on a per living square foot basis, is approximately \$151 PSF. If 2305 Sokol was developed at 68 Build-for-Sale condominiums, the development would lose approximately \$93 PSF.

Street	Str Name	Unit	LP/SP	Beds	Baths	SF	Year Built	Sold Date	Price PSF
2300	Oakmont	208	\$ 155,000	1	1.1	1,000	1999	6/5/20	\$ 155.00
2301	Oakmont	405	\$ 208,000	2	2	1,310	2001	11/26/19	\$ 158.78
2301	Oakmont	405	\$ 208,000	2	2	1,310	2001	1/30/20	\$ 158.78
2301	Oakmont	203	\$ 231,500	2	2	1,775	2000	1/6/20	\$ 130.42
2301	Oakmont	507	\$ 238,000	2	2	1,713	2001	11/13/20	\$ 138.94
2301	Oakmont	504	\$ 250,000	2	2	1,412	2000	7/15/20	\$ 177.05
2301	Oakmont	306	\$ 250,000	2	2	1,775	2000	10/30/20	\$ 140.85
2301	Oakmont	202	\$ 257,000	2	2	1,713	2000	4/2/21	\$ 150.03
TOTALS AND AVERAGES			\$ 224,688	1.9	1.9	1,501	2000	6/27/20	\$ 151.23



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12 | DEVELOPMENT FEASIBILITY

FORMA DEVELOPMENT FEASIBILITY MATRIX

Isolated below are two critical key assumptions used to identify feasible ranges for development planning: gross income (**Rent Per Square Foot**) and building basis (**Total Development Cost Per Unit**). We modeled the gross income (Y-Axis) and building basis (X-Axis) with projected operational expenses to arrive at a matrix of capitalization rates; providing several feasible development scenarios. We compiled those numerous scenarios and provided Financial Statements in Financials Section. The Cap Rate Matrix below synthesizes these two assumptions and provides outlined the feasible development range below. **Bolded & Boxed** below are the three corresponding DEVELOPMENT BASIS Cap Rates. There is a Financial Statement provided for the center of the matrix.

		DEVELOPMENT FEASIBILITY MATRIX								
MARKET RENT PER SQAURE FOOT	\$ 1.70	7.5%	7.2%	6.8%	6.5%	6.3%	6.0%	5.8%	5.6%	5.4%
	\$ 1.75	7.7%	7.3%	7.0%	6.7%	6.4%	6.2%	5.9%	5.7%	5.5%
	\$ 1.80	7.9%	7.5%	7.2%	6.9%	6.6%	6.3%	6.1%	5.9%	5.7%
	\$ 1.85	8.1%	7.7%	7.4%	7.0%	6.8%	6.5%	6.2%	6.0%	5.8%
	\$ 1.90	8.3%	7.9%	7.54%	7.22%	6.92%	6.65%	6.39%	6.2%	5.9%
	\$ 1.95	8.5%	8.1%	7.72%	7.39%	7.08%	6.80%	6.54%	6.3%	6.1%
	\$ 2.00	8.7%	8.3%	7.90%	7.56%	7.25%	6.96%	6.69%	6.4%	6.2%
	\$ 2.05	8.9%	8.5%	8.07%	7.73%	7.41%	7.11%	6.84%	6.6%	6.4%
	\$ 2.10	9.1%	8.6%	8.25%	7.89%	7.57%	7.27%	6.99%	6.7%	6.5%
	\$ 2.15	9.3%	8.8%	8.4%	8.1%	7.7%	7.4%	7.1%	6.9%	6.6%
\$ 2.20	9.4%	9.0%	8.6%	8.2%	7.9%	7.6%	7.3%	7.0%	6.8%	
\$ 2.25	9.6%	9.2%	8.8%	8.4%	8.1%	7.7%	7.4%	7.2%	6.9%	
\$ 2.30	9.8%	9.4%	9.0%	8.6%	8.2%	7.9%	7.6%	7.3%	7.1%	
		\$203,000	\$213,000	\$223,000	\$233,000	\$243,000	\$253,000	\$263,000	\$273,000	\$283,000
		TOTAL DEVELOPMENT COST PER UNIT (Including Land)								



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13 | FINANCIAL SUMMARY

INVESTMENT OVERVIEW

Price	\$16,500,000
Price per Unit	\$242,647
GRM	10.2
CAP Rate	7.3%
Cash-on-Cash Return (yr 1)	16.99 %
Total Return (yr 1)	\$700,649
Debt Coverage Ratio	2.42

OPERATING DATA

Gross Scheduled Income	\$1,624,020
Other Income	\$122,040
Total Scheduled Income	\$1,746,060
Vacancy Cost	\$81,201
Gross Income	\$1,664,859
Operating Expenses	\$469,210
Net Operating Income	\$1,195,649
Pre-Tax Cash Flow	\$700,649

FINANCING DATA

Down Payment	\$4,125,000
Loan Amount	\$12,375,000
Debt Service	\$495,000
Debt Service Monthly	\$41,250
Principal Reduction (yr 1)	\$0



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14 | INCOME & EXPENSES

INCOME SUMMARY

Gross Income	\$1,664,859
--------------	-------------

EXPENSE SUMMARY

Taxes	\$243,603
Insurance	\$15,513
Gas	\$4,950
Electric	\$16,500
Water	\$20,850
Scavenger	\$16,950
Elevator	\$4,750
Bulk Internet	\$20,808
Snow	\$6,200
Landscape Maintenance	\$6,900
Management	\$38,750
Janitor	\$20,400
Decorating	\$6,800
Maintenance & Repairs	\$8,500
Reserves	\$22,308
Miscellaneous	\$15,428
Gross Expenses	\$469,210

Net Operating Income	\$1,195,649
----------------------	-------------



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15 | DEMOGRAPHICS MAP & REPORT



POPULATION

	1 MILE	5 MILES	10 MILES
Total Population	4,440	195,314	667,932
Average age	41.2	39.4	39.6
Average age (Male)	39.4	38.2	38.2
Average age (Female)	42.6	40.8	40.7

HOUSEHOLDS & INCOME

	1 MILE	5 MILES	10 MILES
Total households	1,702	73,267	245,086
# of persons per HH	2.6	2.7	2.7
Average HH income	\$107,754	\$91,522	\$109,099
Average house value	\$472,391	\$368,060	\$435,703

* Demographic data derived from 2010 US Census



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Tel: 773.293.5000

Fax: 773.293.5001

1628 W. Montrose Ave

Chicago, IL 60613

www.kisergroup.com





TRACY CROSS & ASSOCIATES, INC.

April 7, 2021

Mr. Paul Swanson
Paul Swanson Associates, Inc.
401 E. Prospect Avenue
Suite 201
Mount Prospect, IL 60056

Dear Mr. Swanson:

At your request, Tracy Cross & Associates, Inc. reviewed the development proposal for 68 luxury apartments to be introduced within the 2305 Sokol Court property in Darien, Illinois – to assess the potential impact of this new community on home values nearby, namely the townhome residences to the east and the condominiums to the south. Based upon our extensive experience conducting residential market studies and feasibility analyses throughout the Chicago region, which has included numerous evaluations very similar to that being conceptualized for 2305 Sokol Court, it is our professional opinion that this development initiative will have *no negative impact* on nearby property values. In fact, the introduction of high-quality rental apartments within similar situations throughout the Chicago region have often helped solidify nearby values, simply on the basis of the improvement to the area(s).

Let me know if you have any questions or need anything further.

Respectfully submitted,

TRACY CROSS & ASSOCIATES, INC.

Erik A. Doersching
Executive Vice President and Managing Partner

REAL ESTATE MARKET ANALYSIS
1375 E. WOODFIELD ROAD, SUITE 520
SCHAUMBURG, IL 60173
t 847.925.5400 f 847.925.5415
www.tcrossinc.com

Nationwide Mortgage and Realty Company

2300 N. Barrington Road, Suite 400
Hoffman Estates, IL 60169
847/490-5355

Paul Swanson
401 E. Prospect Ave
Suite 201
Mt. Prospect, IL 60056

Paul,

As I indicated in our conversation, financing for multi-story for sale condominiums is extremely difficult to obtain. The lenders are requiring a large amount of equity investment which usually is 40% or more of total cost. Additionally, they usually require pre-sales of units, in the amount of about 20-30% of the total units to be built. Moreover, the cost to build condominiums today is so high that units need to be priced far above the level of sales market for units built years ago in order to achieve any profit.

In contrast, financing is much more available for luxury rental apartment units. Since the housing meltdown in 2008, the rental market has been very strong while the new for sale condominium market has been very weak. It is noteworthy that in the city of Chicago construction of apartments has averaged a pipeline of about 10,000 per year in recent years, while construction of for sale condominiums has been averaging a pipeline of about 300-400 per year.

Hence, it is much more economically sound to build rental apartment units rather than for sale condominiums.

Sincerely,


Jon W. Anderson

April 20, 2021

COMPARISON CONDOS VERSUS APARTMENTS

(Built within last 2 years)

	<u>Apartments</u>	<u>Condos</u>
1. <u>Arlington Heights</u> Sam Hubbard	550+ Apts	0
2. <u>Mt. Prospect</u> Connor (847) 818-5328	600+ Apts	0
3. <u>Westmont</u> Bruce Sylvester (630) 981-6250	96 Apts	0
4. <u>Downers Grove FOIA</u> Sue Clark (630) 434-5500		
5. <u>Des Plaines FOIA</u> (847) 391-5300		
6. <u>Schaumburg</u> Ryan Franklin (847) 923-3857 Matt Frank (847) 923-3853	373 300 <u>4,000</u> Under Staff Review 1,075 DU	0
	2,319 Apts	0 Condos

CONDOS PRESENTLY FOR SALE

CMA Summary Report

Attached Single
Active - Attached Single

#	MLS #	Address	Status	Area	Beds	Baths	Pkn/# Ext	Type	SCI	LMT	MT	LP
1	11054553	8011 Barrymore	PRIV- ACTV	562	3	2.1			None			\$334,900
2	11052727	1517 Stewart	NEW	562	2	2.1	G/2	Townhouse-2 Story	None	3	3	\$325,000
3	10522860	2795 Woodmere	TEMP	562	3	2.1	G/2	Townhouse 3+ Stories	None	85	617	\$270,000
4	11051297	1640 Royal Oak #10	NEW	562	2	2	G/1	Condo	None	1	1	\$229,900
5	11046513	1132 Hinswood #101	PCHG	562	3	2	S/1		None	8	8	\$175,000
6	11042301	8314 Portsmouth #30	ACTV	562	2	1	G/1		None	11	11	\$174,900
7	11014074	8338 Portsmouth #B	PRIV- CTG	562	2	1.1			None			\$174,500
8	11024965	7957 Knottingham #D	PRIV- CTG	562	2	1			None			\$165,000
9	11029214	7422 Brookdale #1-110	ACTV	562	3	2	S/1		None	26	26	\$164,900
10	10951360	7410 Brookdale #210	ACTV	562	3	2	S/1		None	127	127	\$155,000
11	11035013	8337 Woodland #5	ACTV	562	2	1	S/2	None	10	10	\$125,000	
12	11055237	7413 Brookdale #105	NEW	562	1	1	S/1	None	1	1	\$100,000	

12 Active - Attached Single Statistics

	High	Low	Average	Median
List Price	\$334,900	\$100,000	\$199,508	\$174,700
Listing Market Time	127	1	30	10
Market Time	617	1	89	10

Ave Price \$160,671
\$151/95

12 Attached Single Summary Statistics

	High	Low	Average	Median
List Price	\$334,900	\$100,000	\$199,508	\$174,700
Listing Market Time	127	1	30	10
Market Time	617	1	89	10

Copyright 2021 MRED LLC - The accuracy of all information, regardless of source, including but not limited to square footages and lot sizes, is deemed reliable but not guaranteed and should be personally verified through personal inspection by and/or with the appropriate professionals.
NOTICE: Many homes contain recording devices, and buyers should be aware that they may be recorded during a showing.

Prepared By: Linda Spriggs | Coldwell Banker Realty | 04/15/2021 05:01 PM

TRAFFIC MEMO

To: Paul Swanson
Paul Swanson Associates, Inc.

From: Kim Lask, P.E., PTOE, CFM

Date: March 10, 2021
Revised April 5, 2021

RE: Darien Heights Residences
2305 Sokol Court, Darien, Illinois
Haeger File No.: 20-174

RECEIVED
 APR 23 2021
 Community Development
 City of Darien

- INTRODUCTION

Haeger Engineering LLC has prepared a Traffic Memo for the proposed Darien Heights Residences development located at 2305 Sokol Court in Darien, Illinois. This study was conducted to assess the impact the proposed development would have on traffic conditions, evaluate the anticipated parking demand to determine if sufficient parking will be provided, and to evaluate traffic circulation through the development. The subject property is in Section 5, Township 37N, Range 11E. The project area is 2.81 acres, and the P.I.N.s are 10-05-404-002 and 10-005-404-024. The location map and aerial photograph of the site vicinity are illustrated on *Exhibit 1* in *Appendix A*.

The project consists of a 4-story, 68-unit apartment development with interior and exterior parking. Access to the site will consist of one full access drive along Sokol Court. The site plan is illustrated on *Exhibit 2* in *Appendix A*. A traffic impact study for the previously proposed development was prepared by Metro Transportation Group, Inc., dated 01-18-2005. The traffic study evaluated a 104-unit condominium development; however, the development was thereafter approved to contain only 66 units.

2 - LAND USE

The subject property is currently vacant. Major land uses in the vicinity of the development include an extended stay hotel to the west, a park to the east, and multi-family residential (Waterfall Glen Condominiums and Townhouses) to the east and south.

3 - EXISTING ROADWAY NETWORK

A field investigation was conducted along the adjacent segments of Sokol Court and S. Frontage Road. The following information was obtained about the existing roadway network.



S. FRONTAGE ROAD

- An east-west local roadway providing one lane in each direction that is under the jurisdiction of the City of Darien.
- At its unsignalized T-intersection with Sokol Court, S. Frontage Road provides one through lane at both east and west approaches.
- The posted speed limit is 45 mph. West of Sokol Court, the speed limit reduces to 35 mph along the curved section of the roadway.

SOKOL COURT

- A north-south local roadway providing one lane in each direction that is under the jurisdiction of the City of Darien.
- At its unsignalized T-intersection with S. Frontage Road, Sokol Court provides a single general-purpose outbound lane and one inbound lane, operating under Stop sign control.
- Sokol Court is not a through street. It ends in a cul-de-sac.

4 – EXISTING TRAFFIC

The average annual daily traffic volume on S. Frontage Road, published by Illinois Department of Transportation (IDOT) in 2012, is 2,200 vehicles per day (vpd). To estimate the current pre-pandemic traffic, a growth factor of 1% per year was used, for an estimated volume of 2,406 vpd. The peak hour volume was determined by assuming 12% of the total traffic drives by the site during the peak hour. D-factors of 0.4 for westbound traffic and 0.6 for eastbound traffic were used to establish the directional distribution. The estimated existing traffic volumes are summarized in *Table 1* and *Exhibit 3*. Estimated traffic generated by the existing adjacent hotel are included on the exhibit (refer to section 5-Peak Hour Trip Generation).

Table 1 – Estimated Existing S. Frontage Road Peak Hour Volume

Direction of Travel	Peak Hour Volume (veh)
Westbound on S. Frontage Road	116
Eastbound on S. Frontage Road	173
Total	289

CRASH HISTORY

Crash data was obtained for S. Frontage Road and Sokol Court near the proposed development. During a 3-year time period (2017 to 2019), there was only 1 crash at the intersection involving a vehicle traveling eastbound on S. Frontage Road and a vehicle turning left from Sokol Court. A review of the data indicated that there were no fatalities reported, and the frequency of accidents compared to the traffic traveling along S. Frontage Road and Sokol Court is very low.

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



5 - PEAK HOUR TRIP GENERATION

in order to accurately estimate the traffic that will be generated by the proposed development, data compiled by the Institute of Transportation Engineers (ITE) in the 10th Edition of the *Trip Generation Manual* was utilized. Trip generation for a proposed development depends on the size and characteristics of the anticipated land use. The volume of traffic generated by the number of units of the proposed facility was used to determine anticipated traffic volume. The ITE land use code that was consulted for this analysis is indicated in *Table 2* along with the estimated weekday AM peak hour, weekday PM peak hour, and weekday daily traffic volumes.

The adjacent extended stay hotel also has its only access driveway at Sokol Court. The hotel was contacted on April 1, 2021 to obtain information on the total number of rooms. As a conservative approach, traffic estimated to be generated by the existing extended stay hotel was determined based on the total number of rooms (104 rooms) instead of the average number of occupied rooms.

Table 2 – ITE Land Use Codes and Peak Hour Trip Generation

Land Use	ITE Code	Units	Peak Hour Traffic Volumes				Weekday Daily Trips	
			AM Peak		PM Peak		In	Out
			In	Out	In	Out		
Proposed Multi-family Housing (Mid-Rise)	221	68	7	18	19	13	184	185
Existing All Suites Hotel	311	104	13	11	16	17	211	211
Total			20	29	35	30	395	396

TRIP GENERATION COMPARISON

As stated, the site was previously approved for a 66-unit condominium development. An analysis was done to compare the previously approved trips with the proposed trips. The trip generation comparison is shown in *Table 3*.

Table 3 – Trip Generation Comparison of Previously Approved Volumes and Proposed Volumes

Land Use	ITE Code	Units	Peak Hour Traffic Volumes				Weekday Daily Trips	
			AM Peak		PM Peak		In	Out
			In	Out	In	Out		
Previously Approved Condominium Development	221	66	6	17	18	12	179	179
Proposed Multi-family Housing (Mid-Rise)	221	68	7	18	19	13	184	185
Difference		+2	+1	+1	+1	+1	+5	+6



As indicated in *Table 3*, there will be a slight increase in trips from the previously approved condominium development to the proposed apartment development. Only 2 additional trips are expected during the peak hours.

6 – TRAFFIC STATEMENT OF OPINION

S. Frontage Road is a low volume roadway with sufficient gaps to allow for traffic turning from Sokol Court. It is anticipated that Sokol Court traffic will experience minimal queues and delays. It is the opinion of Haeger Engineering LLC that the proposed development can be constructed with minimal impact to the traffic volumes along S. Frontage Road and at the intersection.

7 – PARKING DEMAND ANALYSIS

Parking demand is the amount of parking that will be used at a particular time and place. Parking demand is affected by various factors such as type of use, time of day, parking duration, and geographic location. Parking adequacy was reviewed and determined based on the review of two (2) criteria: City of Darien City Code parking requirements and *ITE Parking Generation Manual*, 5th Edition recommendations.

The proposed development will include 68 apartments with 27 interior / underground parking spaces and 110 exterior parking spaces. The total proposed parking is 137 spaces, and the proposed parking ratio is 2.01 spaces per unit.

CITY OF DARIEN CITY CODE PARKING CRITERIA

Requirements for off-street parking are included in City of Darien City Code Chapter 11, Section 5A-11-5, Off-Street Parking and Loading Table. Based on Code requirements, multiple family dwellings must provide a minimum of 2.0 parking spaces for each dwelling unit. For a 68-unit multi-family development, the standard parking requirement is 136 parking spaces.

ITE PARKING GENERATION

According to the *ITE Parking Generation Manual*, the average peak parking demand for a 68-unit multi-family mid-rise development is 89 parking spaces (1.31 spaces per unit) on weekdays and 112 parking spaces (1.64 spaces per unit) on weekends.

Based on the above, the proposed 137 parking spaces at a ratio of 2.01 spaces per unit will adequately meet the future parking needs of the residents.

8 – INTERNAL CIRCULATION

The proposed site plan is designed for efficient traffic flow. The two-way drive aisles are designed at a minimum of 24-ft wide to accommodate the projected traffic volumes safely and efficiently. The drive aisles allow sufficient room for vehicles to back out of parking spaces. Access to the site will consist of one full access drive connecting to Sokol Court. An emergency vehicle access is located at the back of the property.



9 – RECOMMENDATIONS AND CONCLUSION

Based on the traffic analyses for Darien Heights Residences, the recommendations and conclusions are summarized below:

- The proposed multi-family residential development will generate a slight increase in traffic volume when compared with the previously approved condominium development.
- The proposed development will have sufficient parking available to accommodate the parking generated and will exceed the Darien City Code and the *ITE Parking Generation Manual*.
- The site plan allows adequate site access and on-site circulation.



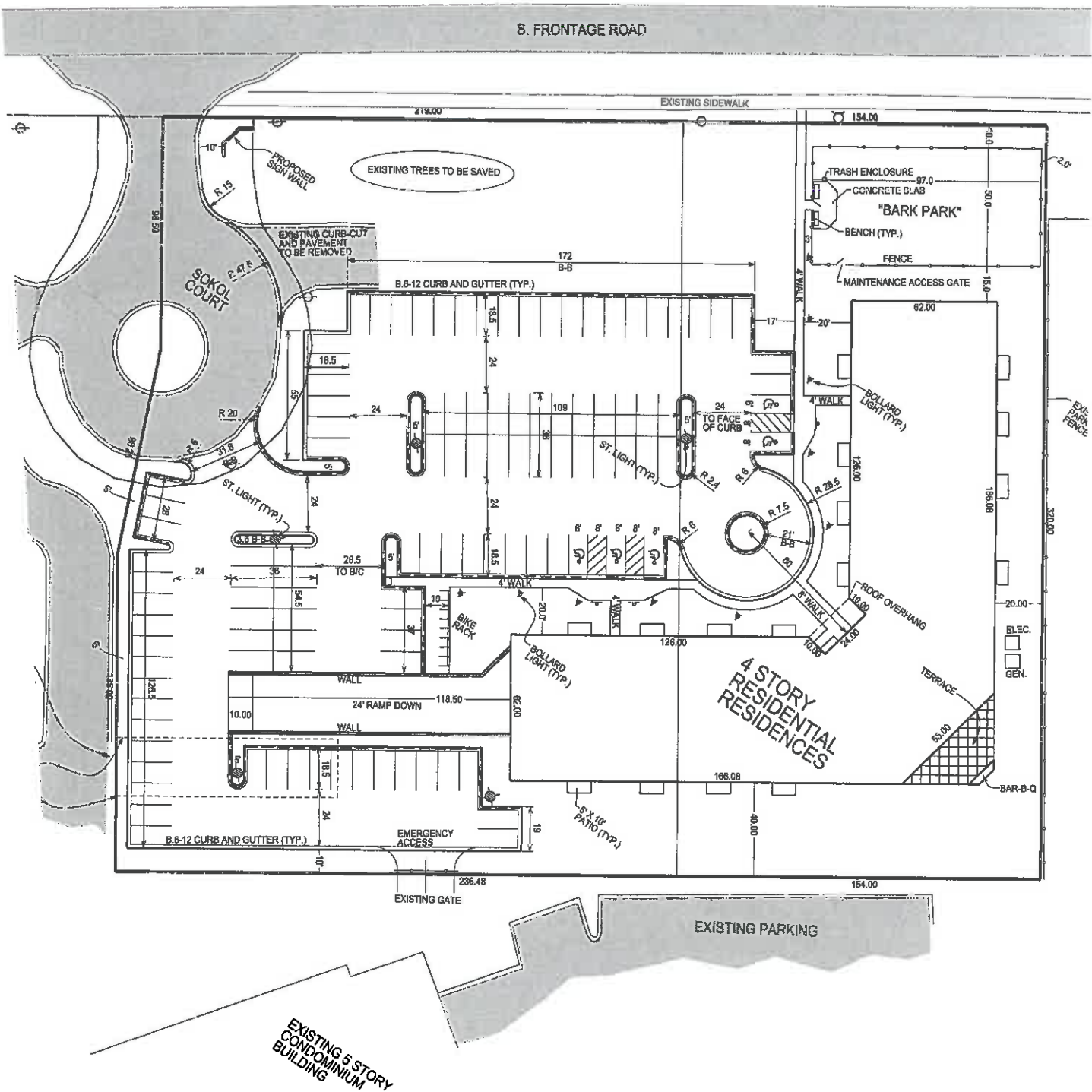
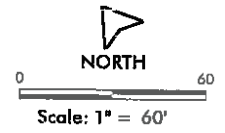
APPENDIX A - Exhibits



AERIAL PHOTO EXHIBIT
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East Siele Parkway, Schaumburg, IL 60173 Tel 817 394 6600 Fax 817 394 6608
Illinois Professional Design Firm License No 184-003152 www.HaegerEngineering.com

Project Manager: KML
Engineer: KML
Date: 03-10-2021
Project No. 20-174
Sheet 1 / 5

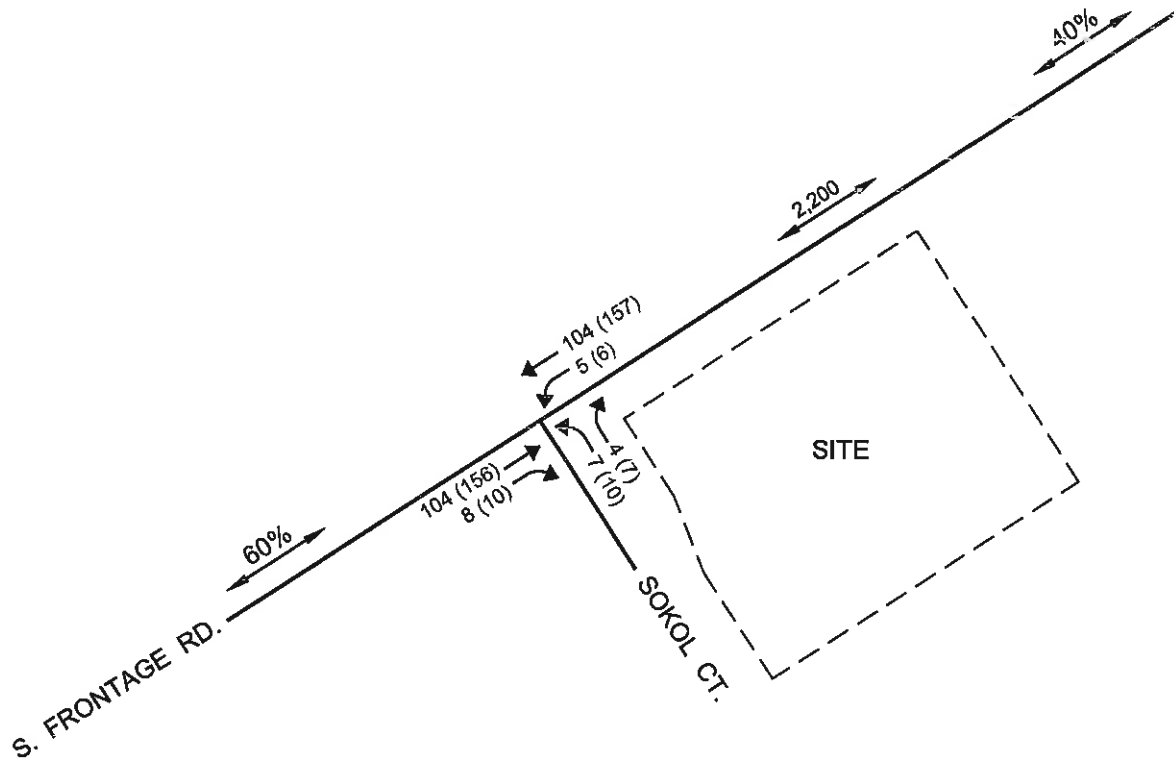


Site Plan prepared by Pearson, Brown & Associates, Inc., dated 01-19-2021

SITE PLAN
DARIEN HEIGHTS
RESIDENCES
 DARIEN, ILLINOIS

HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East Slate Parkway, Schaumburg, IL 60173 Tel: 847.394.8600 Fax: 847.394.8808
 Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager	KML
Engineer	KML
Date	03-10-2021
Project No.	20-174
Sheet	2 / 5



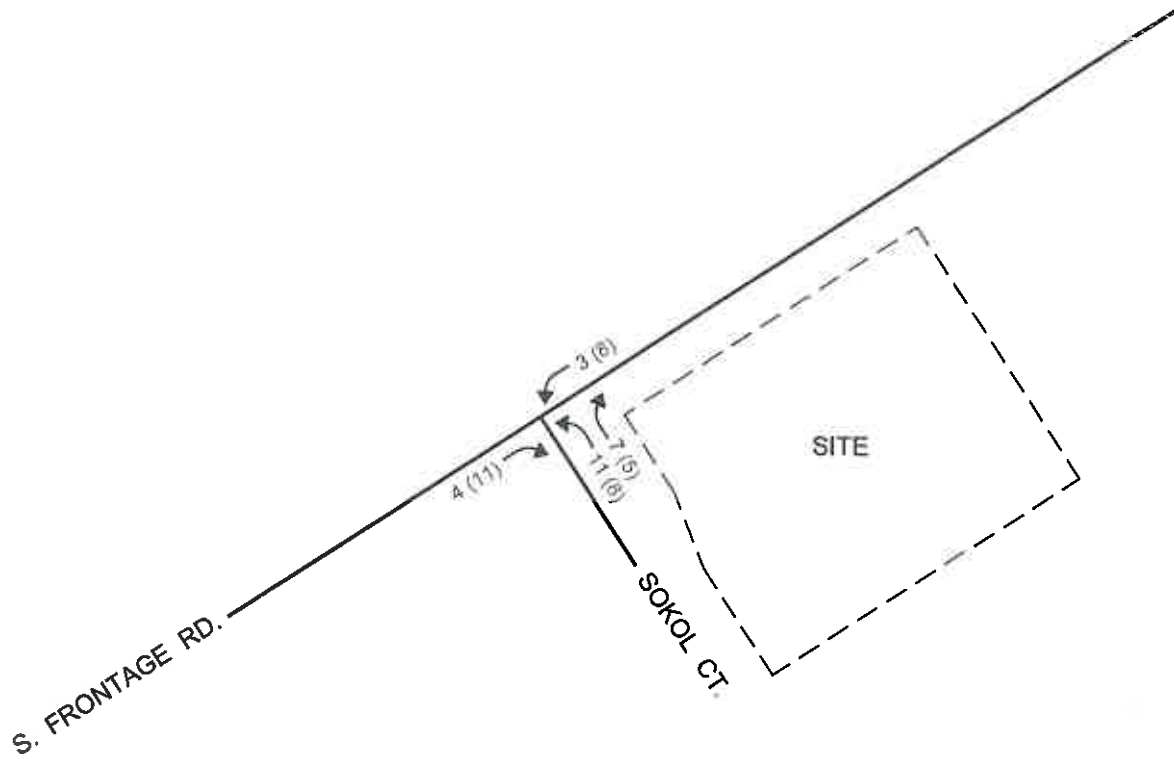
LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour
- XX% Percent Distribution
- XXX IDOT's 2012 Average Daily Traffic (ADT)

ESTIMATED EXISTING VOLUMES
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-005152 www.HaegerEngineering.com

Project Manager: KML
Engineer: KML
Date: 04-05-2021
Project No: 20-174
Sheet: 3 / 5



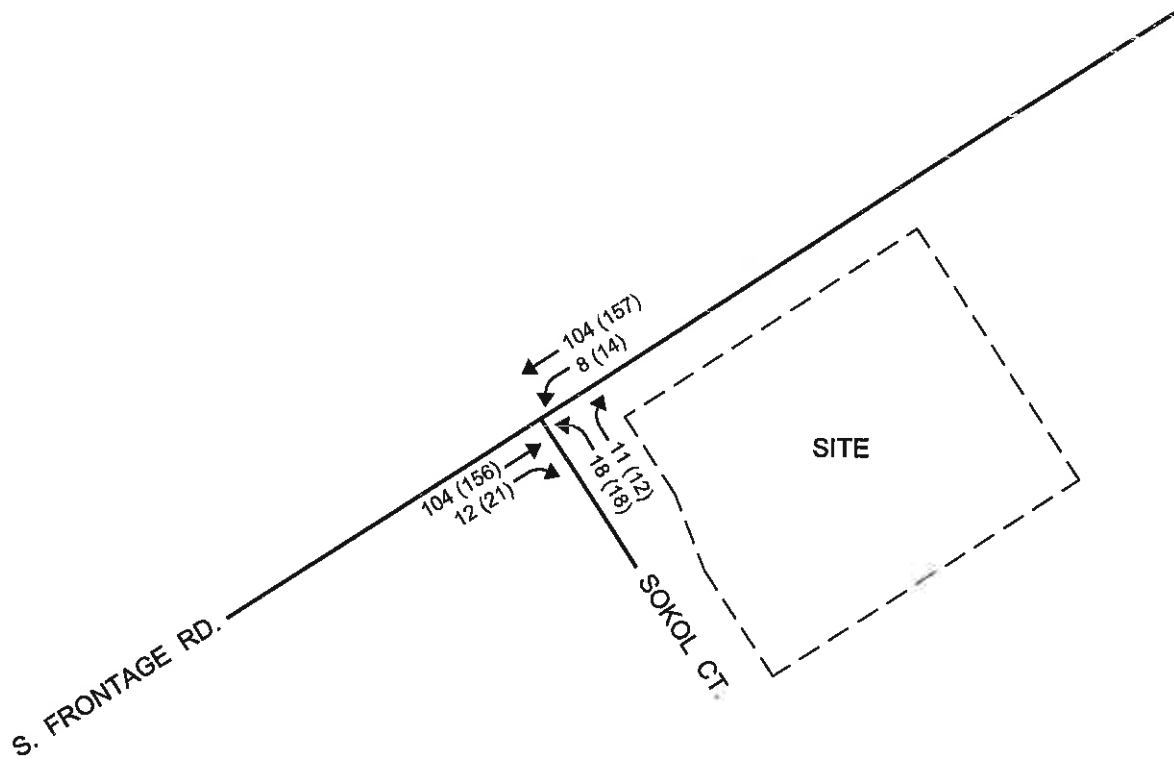
LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour

**SITE GENERATED TRAFFIC VOLUMES
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS**

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: KML
Engineer: KML
Date: 04-05-2021
Project No.: 20-174
Sheet: 4 / 5



LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour

TOTAL ESTIMATED TRAFFIC VOLUMES

DARIEN HEIGHTS RESIDENCES

DARIEN, ILLINOIS

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Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: KML
Engineer: KML
Date: 04-05-2021
Project No: 20-174
Sheet: 5 / 5



APPENDIX B – ITE Trip and Parking Generation Graphs

Multifamily Housing (Mid-Rise) (221)

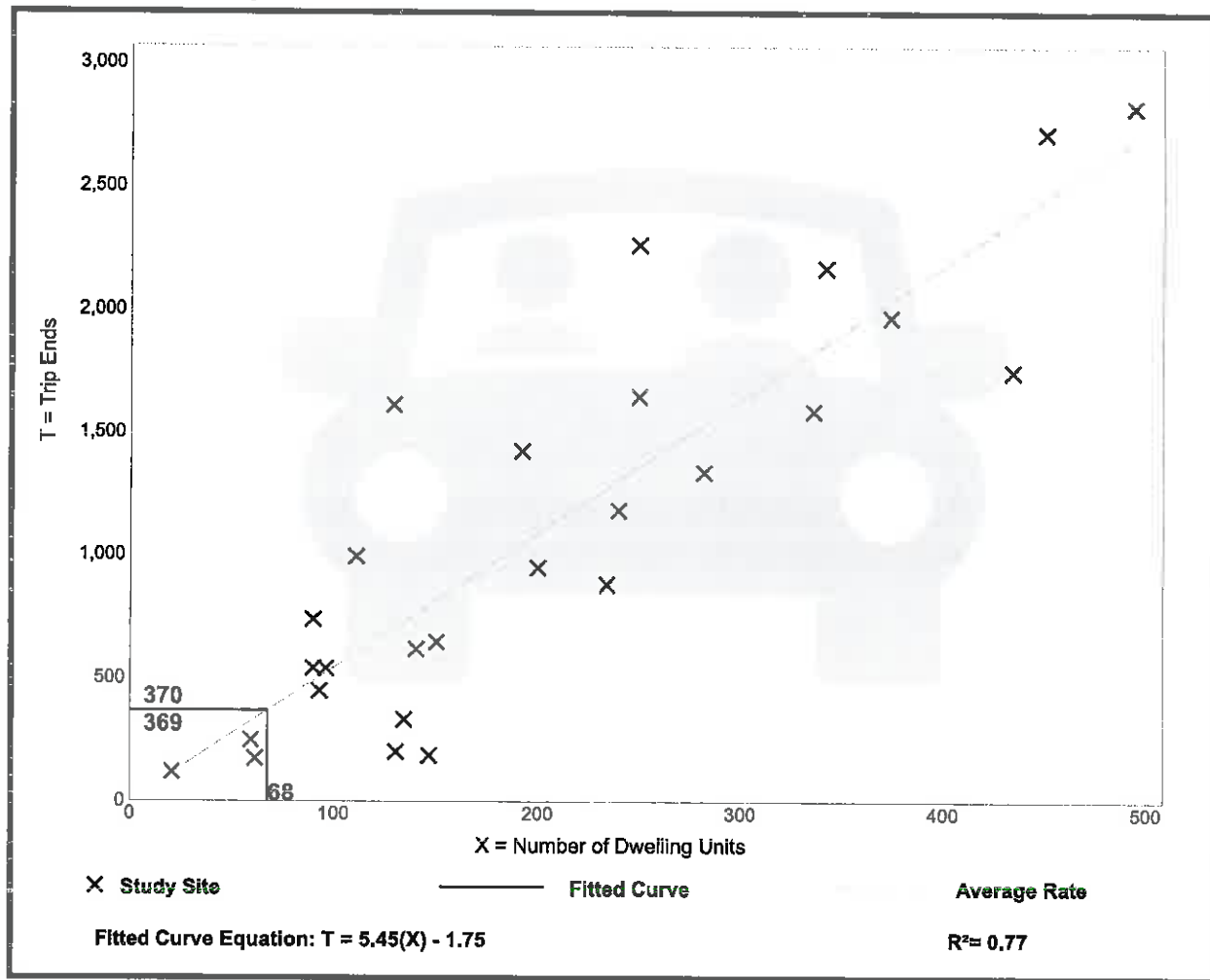
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 27
Avg. Num. of Dwelling Units: 205
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
5.44	1.27 - 12.50	2.03

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

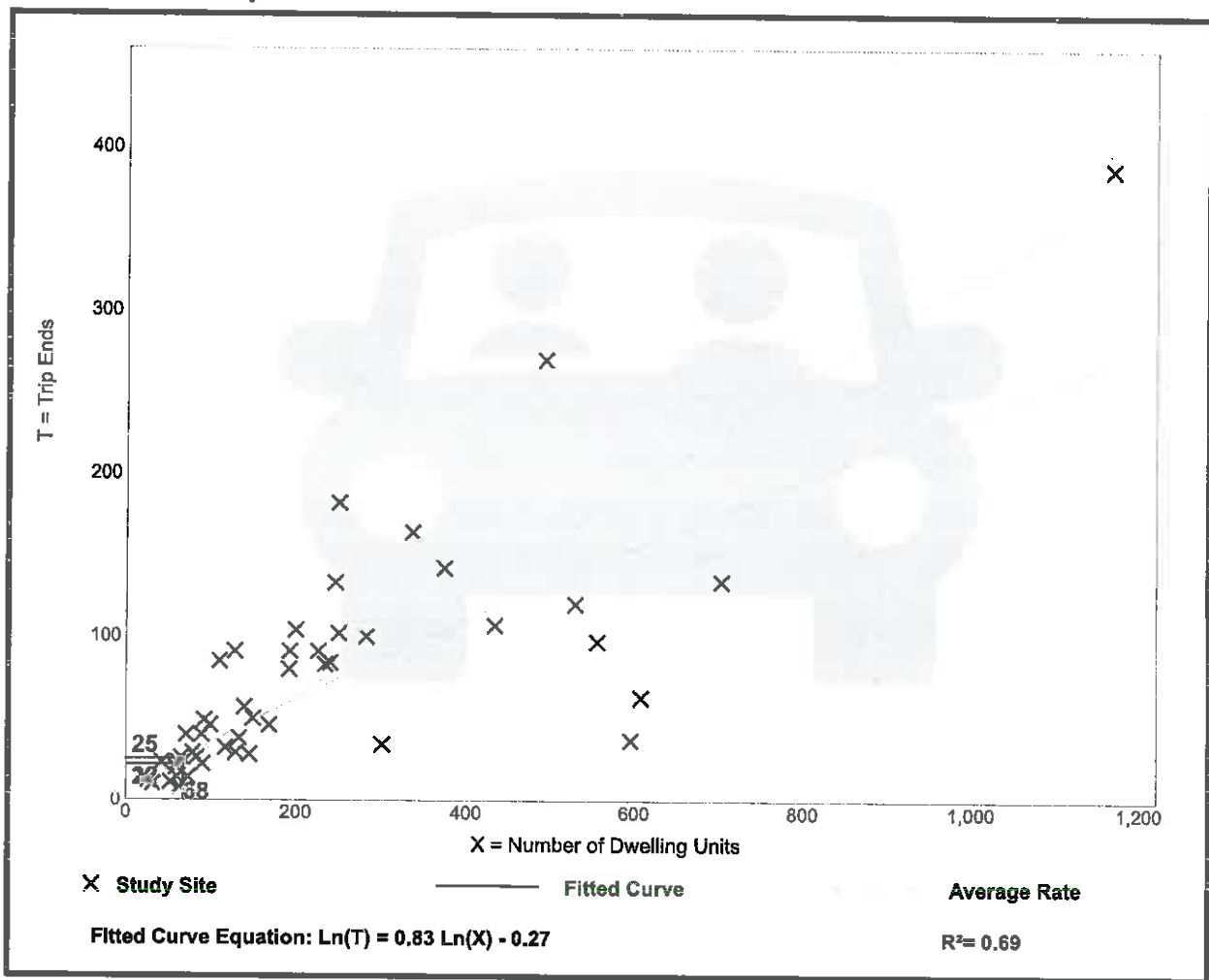
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 48
 Avg. Num. of Dwelling Units: 225
 Directional Distribution: 27% entering, 73% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.32	0.06 - 0.77	0.17

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Multifamily Housing (Mid-Rise) (221)

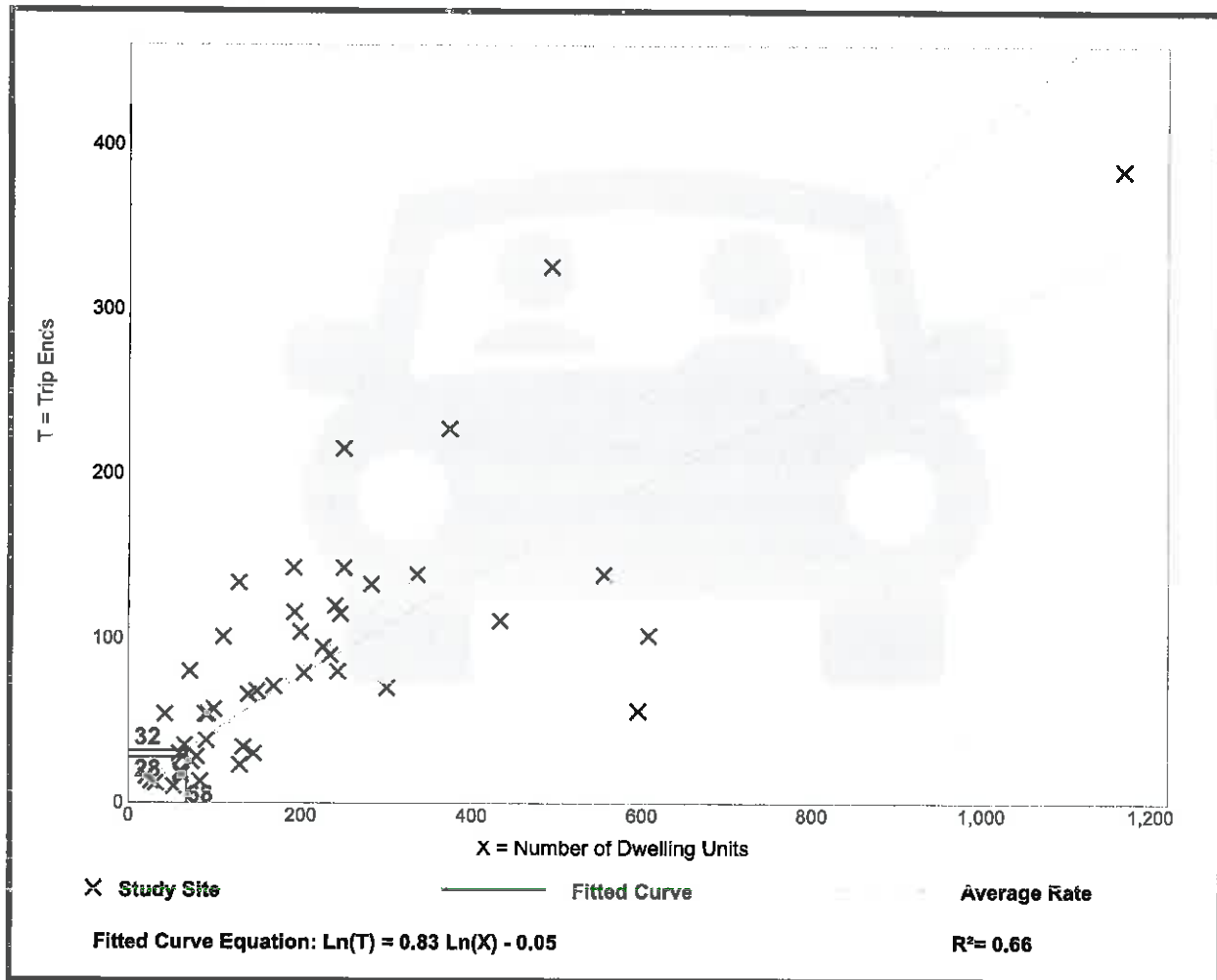
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 47
Avg. Num. of Dwelling Units: 211
Directional Distribution: 60% entering, 40% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.41	0.09 - 1.26	0.22

Data Plot and Equation



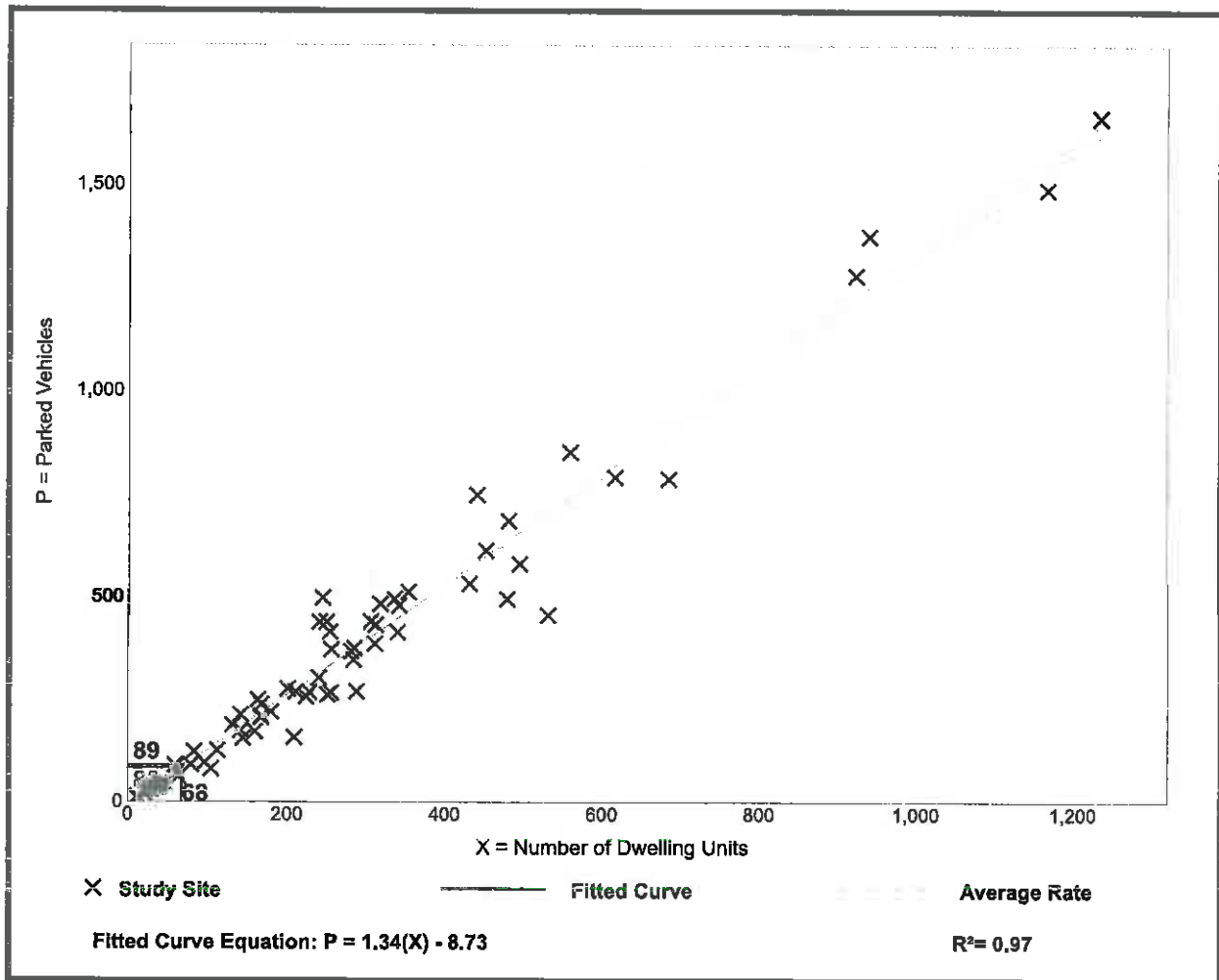
Multifamily Housing (Mid-Rise) (221)

Peak Period Parking Demand vs: Dwelling Units
On a: Weekday (Monday - Friday)
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.
 Number of Studies: 73
 Avg. Num. of Dwelling Units: 261

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.31	0.75 - 2.03	1.13 / 1.47	1.26 - 1.36	0.22 (17%)

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

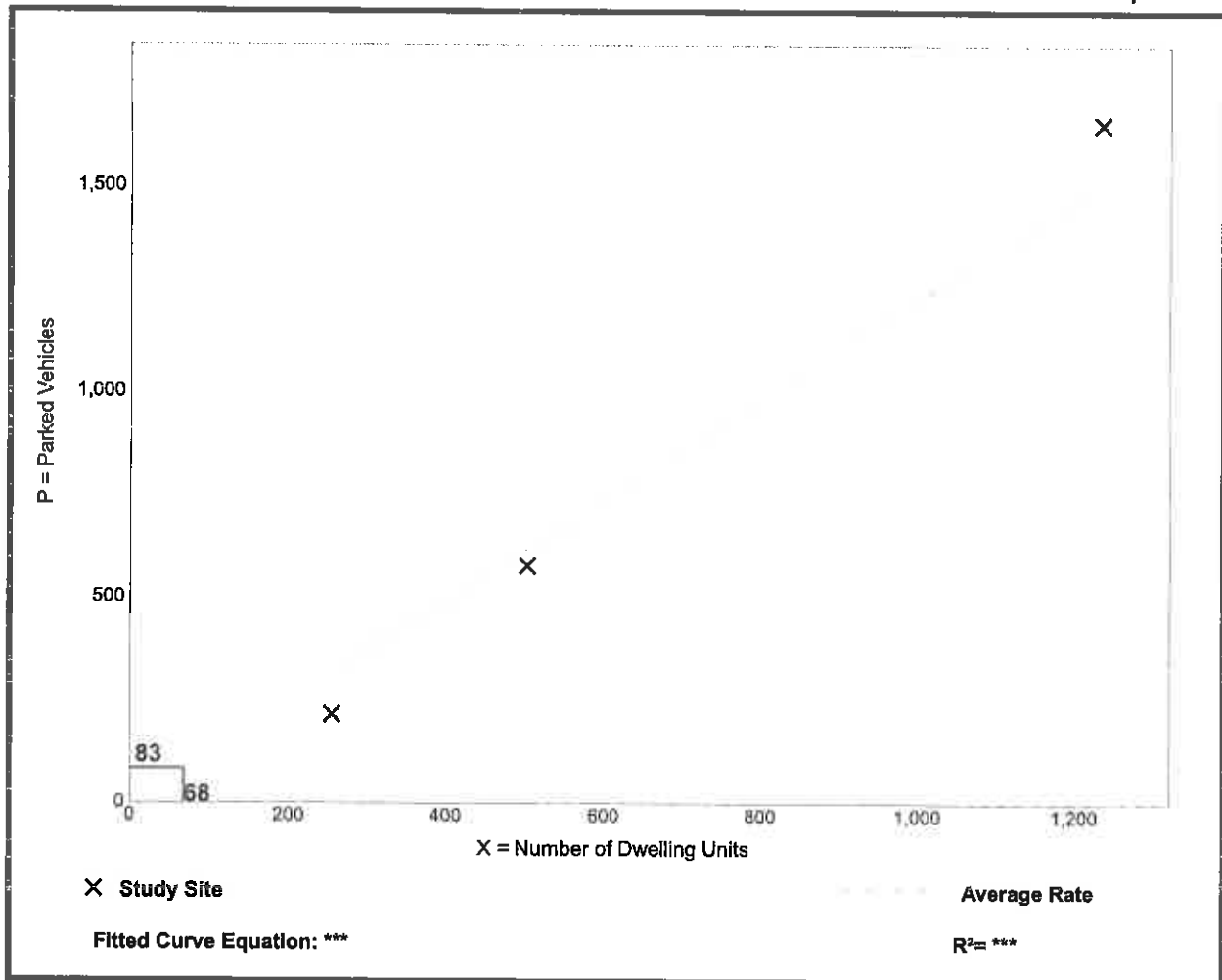
Peak Period Parking Demand vs: Dwelling Units
On a: Saturday
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.
Number of Studies: 3
Avg. Num. of Dwelling Units: 665

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.22	0.84 - 1.33	0.94 / 1.33	***	0.20 (16%)

Data Plot and Equation

Caution – Small Sample Size



Parking Generation Manual, 5th Edition • Institute of Transportation Engineers

Multifamily Housing (Mid-Rise) (221)

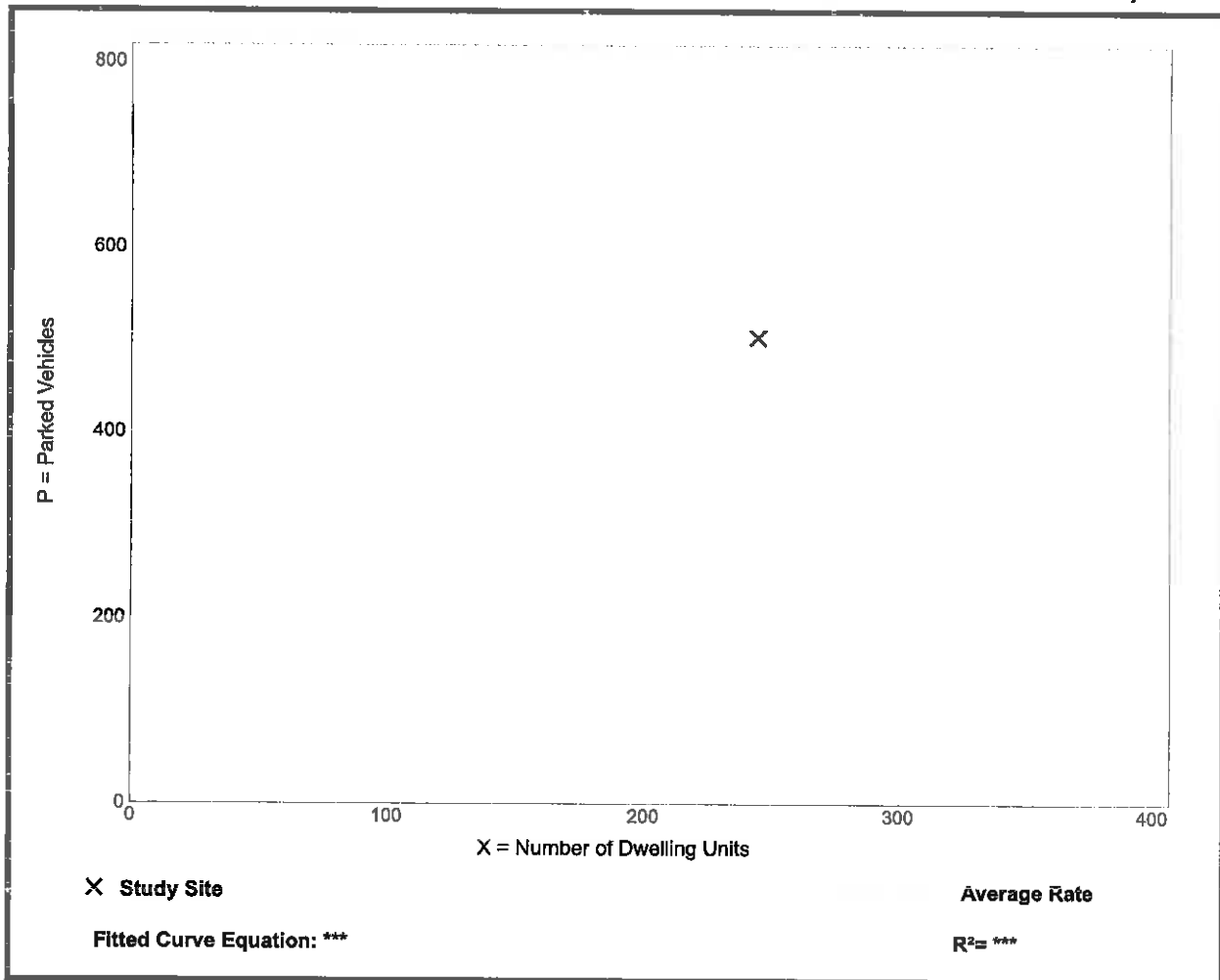
Peak Period Parking Demand vs: Dwelling Units
On a: Sunday
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.
Number of Studies: 1
Avg. Num. of Dwelling Units: 245

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.05	2.05 - 2.05	*** / ***	***	***

Data Plot and Equation

Caution – Small Sample Size

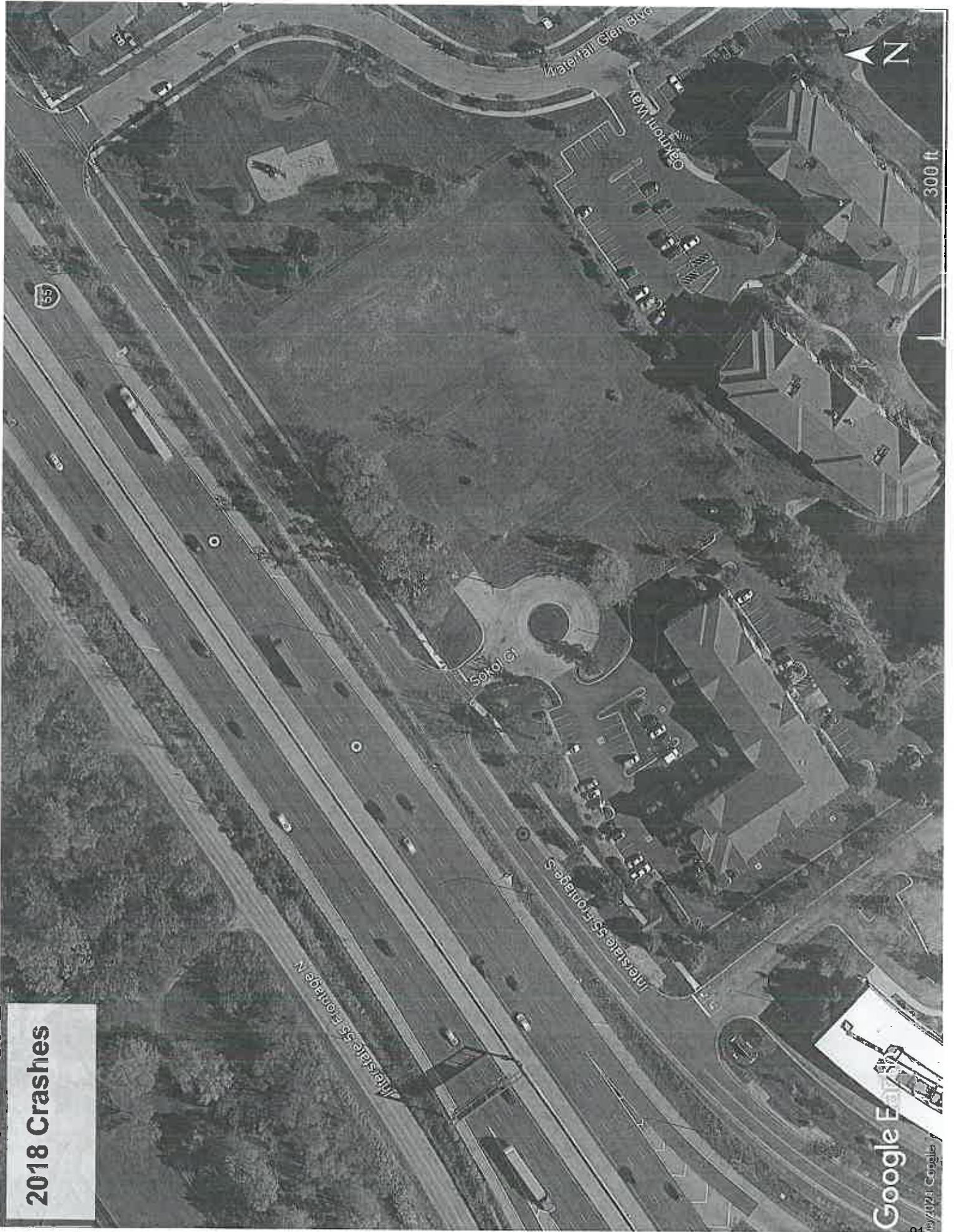


Parking Generation Manual, 5th Edition • Institute of Transportation Engineers



APPENDIX C – Crash Data

2018 Crashes





Coordinate Collision Diagram Report

11/1/2018 to 12/31/2018

For XCoordinate 2887589.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

Date	Weather	Roadway	A	Injuries	B	C	Killed	Type of Crash	Light Condition	Mile	XCoordinate	YCoordinate	Vehicle Type	DIRP	Maneuver	Event 1	Loc 1	Event 2	Loc 2	Event 3	Loc 3	Unit
201801270627																						
9/7/2018 4:35 PM	Rain	Wet	0	0	0	0	0	Turning	Daylight	0.65	2887473.74392571	1847460.73741874	Passenger	Northwest	Turning Left	Motor Vehicle In Traffic	Intersection	(UNK)	(UNK)	(UNK)	(UNK)	1

201801287151																						
9/8/2018 1:48 PM	Clear	Dry	0	0	0	0	0	Front to Rear	Daylight	271.25	2887548.27827145	1847633.23481887	Passenger	North	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	1

201801287151																						
9/27/2018 5:45 AM	Clear	Dry	0	0	0	0	0	Front to Rear	Dawn	271.26	2887730.42124149	1847767.21473019	Passenger	East	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	1

201801287151																						
9/27/2018 5:45 AM	Clear	Dry	0	0	0	0	0	Front to Rear	Dawn	271.26	2887730.42124149	1847767.21473019	Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	2

201801287151																						
9/27/2018 5:45 AM	Clear	Dry	0	0	0	0	0	Front to Rear	Dawn	271.26	2887730.42124149	1847767.21473019	Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	3

201801287151																						
9/27/2018 5:45 AM	Clear	Dry	0	0	0	0	0	Front to Rear	Dawn	271.26	2887730.42124149	1847767.21473019	Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	4

201801287151																						
9/27/2018 5:45 AM	Clear	Dry	0	0	0	0	0	Front to Rear	Dawn	271.26	2887730.42124149	1847767.21473019	SUV	East	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	5

Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887589.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

TOTAL CRASHES	FATAL CRASHES	A INJURY CRASHES	B INJURY CRASHES	C INJURY CRASHES	PROPERTY DAMAGE CRASHES	TOTAL KILLED	TOTAL INJURED	A INJURIES	B INJURIES	C INJURIES
3	0	0	0	1	2	0	1	0	0	1

Type of Crash	Total	%	Day of Wk	Total	%	Hour of Day	Total	%	Vehicle Type	Total	%
Front to Rear	2	66.7%	Monday	1	33.3%	05 AM	1	33.3%	Passenger	3	33.3%
Turning	1	33.3%	Friday	1	33.3%	1 PM	1	33.3%	SUV	1	11.1%
TOTAL:	3		Saturday	1	33.3%	4 PM	1	33.3%	Unknown	3	33.3%
			TOTAL:	3		TOTAL:	3		Van/Minivan	1	22.2%
									TOTAL:	9	

Weather Cond	Total	%	Light Cond	Total	%	Road Surface	Total	%	DIRP	Total	%
Clear	2	66.7%	Dawn	1	33.3%	Dry	2	66.7%	East	3	33.3%
Rain	1	33.3%	Daylight	2	66.7%	Wet	1	33.3%	North	2	22.2%
TOTAL:	3		TOTAL:	3		TOTAL:	3		Northwest	1	11.1%
									Unknown	3	33.3%
									TOTAL:	9	



Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887569.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

Notes

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

March 12, 2021

Village of Darian
1702 Plainfield Road
Darien, Illinois

Attention: Jordan Yanke

Subject: 2305 Sokol Court
4 Story Residences
(CBBEL Project No. 950323.H0232)

Dear: Jordan

As requested on March 3, 2021, we have reviewed the preliminary engineering plans for the above project prepared by Pearson, Brown and Associates, Inc. and dated January 19, 2021. We have no objection to the plan being considered by the plan commission, and the following comments are submitted for you consideration:

1. Based on parcel lines shown on the Du Page County GIS database, it appears that the property to be developed is currently two lots. A plat of subdivision/consolidation will likely be necessary.
2. As the plan progresses, we will work with the design engineer to determine if sufficient volume was provided in the existing detention basin to accommodate the proposed development. If additional volume is required, it appears that there is ample space on the property to provide it.
3. Post Construction Best Management Practices (volume and pollutant control) will have to be provided as the existing stormwater management does not provide these features. The existing development pre-dated the PCBMP requirement.
4. The two parking stalls facing east at the southwest corner of the building appear to be awkward to back out of. Perhaps one additional stall could be added to the end of the adjacent row, and one could be eliminated or placed elsewhere in the project.
5. The parking aisle on the north side of the ramp to the indoor parking does not provide space for the southern-most two stalls to back out. Modifications to this configuration will be necessary.
6. We recommend that the site plan be provided to the fire protection district for their comment on the ability to maneuver their equipment and for hydrant placement.
7. The City watermain atlas indicates that the watermain on this property is looped, and therefore would have to remain connecting to the property to the west. This can be verified as the project progresses as it does not appear to impact the project.

If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Lynch". The signature is written in a cursive, flowing style.

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

Cc Dan Gombac, City of Darien



LEMONT FIRE PROTECTION DISTRICT

BUREAU OF FIRE PREVENTION



15900 New Avenue
Lemont, IL 60439
Business: (630) 257-0191
Fax: (630) 257-5318
fpb@lemontfire.com
lemontfire.com

April 5, 2021

Community Development
City of Darien
1702 Plainfield Rd
Darien, IL 60561

Re: Darien Heights Residences PUD - Review
2305 Sokol Ct.
Darien, IL

Dear Community Development;

This Department is in receipt of the plans for the above noted project. The 2015 edition of the International Fire Code along with local amendments were used for this review. These plans are APPROVED AS NOTED subject to the following comments.

1. The address for the property shall be permanently displayed, either on a sign or on the building. The type and size of the address a minimum four inches (4") - shall be in compliance with the International Fire Code, 2015 Edition (Section 505).
2. All newly constructed buildings or tenant spaces are required to install an approved key box in an accessible location approved by the code official in accordance with the International Fire Code, 2015 Edition (Section 506).
3. Fire hydrants shall be located along a fire apparatus access road so that no portion of a building or facility will be more than 300 feet from any hydrant. Additional hydrants and mains shall be provided where required by the code official in accordance with the International Fire Code, 2015 Edition (Section 503.7.3).
4. The fire sprinkler company or fire protection engineer shall submit an Automatic Fire Sprinkler System Technical Submission in accordance to The State of Illinois (225 ILCS 325/3) (from Ch. 111, par 5203) to the Lemont Bureau of Fire Prevention and the City of Darien that certifies that the fire sprinkler coverage is adequate for the intended use and /or storage of the building proposed.
5. An approved automatic sprinkler system shall be installed throughout this occupancy. This system shall be designed and installed in accordance with N.F.P.A. Standard #13, 2013 Edition. A complete set of sprinkler shop/working drawings, and the appropriate equipment specification sheets, shall be submitted to the Village of Woodridge for review and approval prior to installation in accordance with the International Fire Code, 2015 Edition (Section 903).

6. An approved fire alarm system shall be installed throughout this occupancy. The fire alarm system shall be designed and installed in accordance with N.F.P.A. Standard #72, 2013 Edition. A complete set of fire alarm shop/working drawings, and the appropriate equipment specification sheets, shall be submitted to the Village of Woodridge for review and approval prior to installation and in accordance with the International Fire Code, 2015 Edition, (Section 907.1.1).
7. Portable Fire Extinguishers shall be installed in all occupancy groups and have a minimum of one fire extinguisher located within 5 feet of each exterior door. All other areas shall have extinguishers installed in accordance with NFPA 10, 2013 Edition or where required by the code official. The minimum size fire extinguisher for use in all occupancy groups shall be 4A60BC. All other applications shall be accordance with the provisions of NFPA 10, 2013 Edition and the International Fire Code, 2015 Edition (Section 906).
8. Approved exit lighting shall be installed in all means of egress in accordance with International Fire Code, 2012 Edition (Section 1011) and N.F.P.A. #101 Life Safety Code, 2015 Edition (Section 7 – 7.10).
9. Approved emergency lighting shall be installed in all means of egress in accordance with International Fire Code, 2012 Edition (Sections 604 & 1006) and N.F.P.A. #101 Life Safety Code, 2015 Edition (Section 7 – 7.10).
10. Review of the plans show that the required dimensions for the turning radius have met the requirements for the turning radius required to handle our ladder truck. See Attached Information
11. Fire Hydrant Installation: Fire hydrants shall be installed so that:
 - a. Access: Access to fire hydrants shall be by any approved roadway as specified by this code.
 - b. Distance to Roadways: Hydrants shall be located approximately ten (10) feet from all-weather roadways.
 - c. Pumper Outlet Direction: Each hydrant shall have the pumper (steamer) connection facing the primary roadway and shall be accessible so that a connection can be made between the hydrant and the apparatus located in the street with twenty (20) feet of suction hose.
 - d. Hydrant Outlet Location: Fire hydrant outlets shall be a minimum of eighteen (18) inches and no more than thirty-six (36) inches above the finished grade.
 - e. Hydrant Type: Fire hydrants used in conjunction with water supplies shall be of a type acceptable to the Lemont Fire Protection District.
 - f. Cover/Cap: The larger steamer port on the hydrant is to be equipped with a five (5) inch “storz” fitting with a cover/cap. This cover/cap shall be connected to the hydrant with a 0.125” vinyl coated aircraft cable. If this type of connection cannot be used, final determination shall be made by the fire code official in accordance with the International Fire Code, 2012 Edition (Section 507).
12. The size of the elevator car shall be of such size and arrangement to accommodate a twenty four (24) by eighty four (84) inch ambulance stretcher in the horizontal open position and shall be identified by the international symbol for emergency medical services (star of life). Where there a number of elevators provided, only one has to meet this requirement.

I will recommend APPROVAL AS NOTED of these plans with the stipulation that the above items are addressed and complied with. This approval with noted requirements of the Codes and Standards for the submitted project is not to be construed as final approval. This can only be granted after construction and occupancy inspections. If you should have any further questions please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'MB', with a long horizontal flourish extending to the right.

Mark Blackaller
Fire Marshal

cc: file
City of Darien Community Development

**EQUITY TRUST COMPANY CUSTODIAN F/B/O
PAUL SWANSON IRA**

401 E. PROSPECT AVENUE
MT. PROSPECT, ILLINOIS 60056

PHONE: 847-670-6710
FAX: 847-670-6713

March 23, 2021

VIA EMAIL: (jyanke@darienil.gov)

Jordan Yanke
Senior Planner
City of Darien
1702 Plainfield Road
Darien, Illinois 60561

RE: *Darien Heights Residences*
2305 Sokol Court

Jordan,

Please find below my response to your 3/17/2021 email "Review Comments" regarding Planning/Zoning Comments and Waivers & Deviations. The Engineering response will come from my Engineers.

Planning/Zoning Comments:

- Proposed plans have been presented to the surrounding HOA's with no written response. I spoke to Mary Sullivan the Alderman who has heard no negative response. I am sending plans to Lemont School District.
- The Development Schedule is to begin Construction ASAP after all approvals. I will "partner up" with an Investor Builder who I have done some past projects with. His name is Ram Prashantha. So, I will be with the project beyond completion.
- We are doing a Plat of Subdivision/Consolidation
- I will bring a Material Board to the Planning & Zoning Commission Meeting.
- I have corrected the math on sheet A2 and sent it to you. There are 68 Rental Units and 2 Model Units. (see enclosed)
- Open Space, the project has 55% impervious which leaves 45% open area but when you add the 30' around the building (- impervious area already counted in the 30') you have an open space of 29.7% which exceeds the code of 25%.
- **Waivers/Deviations**

Residential Density: The project has a density of 24.3 DU/AC. The R3 density is 7 DU/AC. Therefore, a waiver on density is sought as was the previously approved PUD for the Highland Condominiums.

- **Parking Requirements**

Car Parking: We meet code requirement of 2 cars/DU with 9' x 18' stalls and 24' aisle. We do not have a "set aside" Loading Area because all loading and trash pickups are on the garage ramp and through the garage to the Lower-Level Elevators, therefore the ramp (25' x 70') also acts as the loading area.

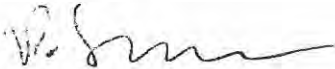
- **Yards and Spaces**

The code for R3 is 30' front and rear setback and 10' side yard, however, since our building height is 40' we need a 40' yard setback which we have to the South, contiguous to the Condominium Building, and greater than 40' to the North and West, however, we would seek a variance of 20' to the East against the Park. The approved Highland Condominium was 30' to the South and 10' to the East.

- **Building Height**

The proposed project has a building height of 40' and 4 stories which exceeds the underlying R3 Zoning of 3 stories and 35' height, so a variance is sought. The previously approved Highland Condominiums was also 4 stories and was 45' high.

Sincerely,



Paul Swanson

PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS

2102

1850 W WINCHESTER ROAD, SUITE 205
LIBERTYVILLE, IL 60048-5355

PHONE 847 / 367-6707
FAX 847 / 367-2561

March 24, 2021

City of Darien
1702 Plainfield Road
Darien, Illinois

Attn: Jordan Yanke
Village Planner

Re: Darien Heights Residences 2305 Sokol Court – Paul Swanson
4 Story Residences
Darien, Illinois
Replies to CBBEL Review 1 of Preliminary Engineering

On behalf of our client, Equity Trust Co. Custodian FBO Paul Swanson IRA, please find the following replies to the engineering comments from the CBBEL Review #1 dated March 12, 2021.

1. *Based on parcel lines shown on the DuPage County GIS Database, it appears that the property to be developed is currently two lots. A plat of subdivision/consolidation will likely be necessary.*

Understood. The necessary plat work has been ordered from Associated Surveying Group and will be available by May 1st.

2. *As the plan progresses, we will work with the design engineer to determine if sufficient volume was provided in the existing detention basin to accommodate the proposed development. If additional volume is required, it appears that there is ample space on the property to provide it.*

Understood. Per conversation with Daniel L. Lynch, P.E. with CBBEL, the records from the original design are being retrieved from archives to determine the coverage level that was planned for the subject property. At less than 60% coverage, we are confident that most if not all of the required volume is provided in the existing facility.

3. *Post Construction Best Management Practices (volume and pollutant control) will have to be provided as the existing stormwater management does not provide these features. The existing development pre-dated the PCBMP requirement.*

Understood. We will incorporate PCBMP's in the final design. Infiltration based features will likely be employed. Snout devices within drainage structures are also being considered.

4. *The two parking stalls facing east at the southwest corner of the building appear to be awkward to back out of. Perhaps one additional stall can be added at the end of the adjacent row, and one could be eliminated or placed elsewhere onsite.*

The site plan has been revised near the spaces in question to provide additional pavement to make space for backing into the emergency access aisle connection location.

5. *The parking aisle on the north side of the ramp to the indoor parking does not provide space for the southern-most two stalls to back out. Modifications to this configuration will be necessary.*

We have revised the site plan to prohibit parking in the former two spaces that do not have room to back out near the ramp. The westernmost space just north of the end of the ramp can remain as there is room to back out. The total proposed space total is 136.

6. *We recommend that the site plan be provided to the fire protection district for their comment on the ability to maneuver their equipment and for hydrant placement.*

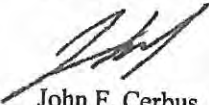
We will work with the developer to have the plan reviewed by the fire protection district.

7. *The City water main atlas indicates that the water main on this property is looped, and therefore would have to remain connecting to the property to the west. This can be verified as the project progresses as it does not appear to impact the project.*

Understood. We are now showing the water main remaining connected to the property to the west.

Should you have any questions or concerns, please do not hesitate to contact me.

PEARSON, BROWN & ASSOCIATES, INC.


John F. Cerbus, P.E.
Associate

cc: Paul Swanson – PSA, Inc.

**CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS**

ORDINANCE NO. 0-30-05

**FIRST AMENDMENT TO ANNEXATION AGREEMENT
(2305 SOKOL COURT/ "THE HIGHLAND" CONDOMINIUM
DEVELOPMENT FORMERLY KNOWN AS "THE RESERVE")**

(PZC 2005-09: 2305 Sokol Court, The Highland)

**ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN**

THIS 3rd DAY OF OCTOBER, 2005.

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
5th day of October, 2005.**

ORDINANCE NO. 0-30-05

**FIRST AMENDMENT TO ANNEXATION AGREEMENT
(2305 SOKOL COURT/ "THE HIGHLAND" CONDOMINIUM
DEVELOPMENT FORMERLY KNOWN AS "THE RESERVE")**

(PZC 2005-09: 2305 Sokol Court, The Highland)

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU
PAGE COUNTY, ILLINOIS, IN EXERCISE OF TIS HOME RULE POWERS,** as follows:

SECTION 1: The Mayor and Clerk are hereby authorized to execute and attest respectively a certain "First Amendment to Annexation Agreement," a copy of which is attached hereto and made a part hereof.

SECTION 2: This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent that the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supersede state law in that regard within its jurisdiction.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage and approval, and shall subsequently be published in pamphlet form as provided by law.

ORDINANCE NO. 0-30-05

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DARIEN,
DU PAGE COUNTY, ILLINOIS, this 3rd day of October, 2005.

AYES: 6-Biehl, Gattuso, Marchese, McIvor, Poteraske, Weaver

NAYS: 0-NONE

ABSENT: 1-Durkin

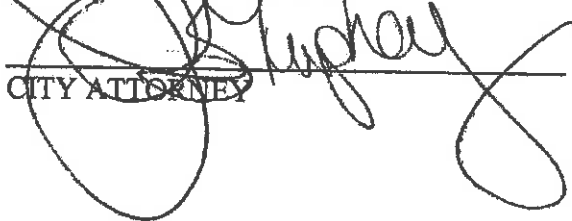
APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY,
ILLINOIS, this 3rd day of October, 2005.

ATTEST:



JOANNE F. COLEMAN, CITY CLERK

APPROVED AS TO FORM:



CITY ATTORNEY



CARMEN D. SOLDATO, MAYOR

**FIRST AMENDMENT TO ANNEXATION AGREEMENT
(2305 SOKOL COURT/ "THE HIGHLAND" CONDOMINIUM
DEVELOPMENT FORMERLY KNOWN AS "THE RESERVE")**

The First Amendment to Annexation Agreement is entered into by and between the City of Darien, DuPage County, Illinois (the "City"), Sokol Chicagoland Building Association ("Owner") and Darien Highlands, LLC, an Illinois Corporation ("Developer").

RECITALS

WHEREAS, pursuant to Ordinance No. O-32-96 the City entered into a certain Annexation Agreement (the "Annexation Agreement") with the Owner and certain other developers of the property described therein; and

WHEREAS, pursuant to the Annexation Agreement a portion of the Subject Property (the "Sokol Parcel") was approved for and zoned for a recreational facility, consisting of a 2-story building containing approximately 43,000 square feet; and

WHEREAS, Owner has not developed the Sokol Parcel for its permitted use; and

WHEREAS, Developer has proposed to amend the Annexation Agreement in order to allow the development of the Sokol Parcel for 66 condominium units in two separate buildings; and

WHEREAS, pursuant to notice required by law the City's Planning and Zoning Commission has conducted a public hearing on the proposed Amendment and has forwarded its report and recommendation to the City Council; and

WHEREAS, pursuant to notice as required by law the City Council has conducted a public hearing on the proposed Amendment to the Annexation Agreement; and

WHEREAS, the City Council has determined that amending the Annexation Agreement in the manner described hereinbelow is reasonable and will promote the sound growth and planning of the City; and

WHEREAS, Developer and Owner agree to be bound by all the terms, conditions and limitations of this Amendment, along with any implementing ordinances adopted pursuant to this Amendment;

NOW, THEREFORE, IT IS HEREBY AGREED BY AND AMONG THE PARTIES HERETO AS FOLLOWS:

SECTION 1: Incorporation of Recitals. The recitals set forth above are incorporated herein.

SECTION 2: Amendment to Annexation Agreement. Notwithstanding anything to the contrary appearing in the Annexation Agreement, the City agrees to take all action necessary to allow for the Sokol Property to be developed for no more than 66 condominium units in two separate buildings.

SECTION 3: Agreement to Abide by Conditions. Owner and Developer agree to abide by all conditions, terms and restrictions set forth in the Zoning Ordinance adopted pursuant to this Agreement. A copy of said Zoning Ordinance is attached to this Agreement as **Exhibit 1**.

SECTION 4: Other Terms; Other Ordinances. Except as specifically provided for in this Agreement and the implementing Zoning Ordinance, Owner and Developer agree to be bound by all terms, conditions, limitations and restrictions set forth in the Annexation Agreement as well as the Zoning Ordinance adopted pursuant hereto, and all other Codes and Ordinances of the City. Developer shall specifically comply with the school impact fee contributions set forth in Section 10A of the Annexation Agreement, and the mid-rise unit South Frontage Road impact

fee contributions set forth in Section 10B of the Annexation Fee. The up to 66 condominium units contained in two separate buildings on the Sokol Property are classified as mid-rise units. All contribution amounts required for mid-rise units under the Annexation Agreement shall apply to those condominium units.

SECTION 5: Successors and Assigns. This Agreement shall be binding upon the parties and their respective successors and assigns.

SECTION 6: Term. The term of this Annexation Agreement remains unaffected by this Amendment.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their duly authorized representatives effective as of the day, month and year first above written.

City of Darien, Darien, DuPage County, Illinois

By: C. Soldato

Attest:

James Coleman
City Clerk

Sokol Chicagoland Building Association

By: _____

Darien Highlands, LLC,
an Illinois Corporation

By: _____

CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS

ORDINANCE NO. _____

AN ORDINANCE APPROVING A SUBSTANTIAL CHANGE
TO AN APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(2305 SOKOL COURT/ "THE HIGHLAND" CONDOMINIUM
DEVELOPMENT FORMERLY KNOWN AS "THE RESERVE")

(PZC 2005-09: 2305 Sokol Court, The Highland)

ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN

THIS _____ DAY OF _____, 2005.

Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
_____ day of _____, 2005.

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A SUBSTANTIAL CHANGE
TO AN APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(2305 SOKOL COURT/ "THE HIGHLAND" CONDOMINIUM
DEVELOPMENT FORMERLY KNOWN AS "THE RESERVE")**

(PZC 2005-09: 2305 Sokol Court, The Highland)

WHEREAS, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6; and

WHEREAS, the property identified on **Exhibit 1**, attached hereto and made a part hereof, (the "Subject Property"), is part of a Planned Unit Development (PUD), approved pursuant to an Annexation Agreement authorized by Ordinance No. O-32-96; and

WHEREAS, pursuant to the Annexation Agreement and approved PUD, the Subject Property was to be developed as the "Sokol Facility," a structure, two stories in height, containing approximately 43,000 square feet, and to be owned and operated by Sokol; and

WHEREAS, the Owner and Developer of the Subject Property have petitioned to amend the Annexation Agreement and for approval of a substantial change to the approved PUD; and

WHEREAS, said proposal seeks a substantial change in the approved PUD to eliminate the "Sokol Facility" as defined therein and to construct 66 condominium units contained in two buildings on the Subject Property; and

ORDINANCE NO. _____

WHEREAS, pursuant to notice, as required by law, the Planning and Zoning Commission of the City of Darien conducted a public hearing on the proposal; and

WHEREAS, the City, the Owner and the Developer have entered into an Amendment to the Annexation Agreement, authorizing development of the 66 condominium units to be contained in two buildings; and

WHEREAS, the City Council finds that amending the previously approved PUD as provided for hereinbelow is reasonable and will promote the sound growth and planning of the City;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Substantial Change to PUD Approved. The final PUD plan for the Subject Property is hereby amended to allow the development of the Subject Property for 66 condominium units contained in two buildings.

SECTION 2: Preliminary Amended PUD Plan Identified; Preliminary Amended PUD Plan Approved. The Amended Preliminary PUD Plan is hereby approved. For purposes of this Ordinance, the "Amended Preliminary PUD Plan" is identified as follows:

- A. Preliminary Plat of Resubdivision, 1 sheet, prepared by Associated Surveying Group, P.C., latest revision dated August 31, 2005.
- B. Preliminary Engineering Plan, 1 sheet, prepared by P&D Consultants, latest revision dated August 15, 2005.
- C. Ground Floor Parking Plan, 1 sheet, prepared by Built Form Architecture, latest revision dated August 15, 2005.
- D. Typical Floor Unit Plan, 1 sheet, prepared by Built Form Architecture, latest revision dated August 9, 2005.
- E. Landscape Plan, 1 sheet, prepared by Williams Design Group, latest revision

ORDINANCE NO. _____

- dated August 9, 2005.
- F. Photometric plan, 1 sheet, prepared by P&D Consultants, latest revision dated June 30, 2005.
 - G. Building Elevations, 2 sheets, prepared by Built Form Architecture, latest revision dated August 9, 2005.

SECTION 3: Departures Approved. The following departures from the underlying

Zoning Ordinance, Subdivision and PUD Regulations are hereby granted:

- A. Section 5A-3-3-4: PUD Regulations, Residential Density: To allow an increase in the number of dwelling units within the residential portion of the PUD, from an existing 8 to 9.6 dwelling units per acre.
- B. Section 5A-7-3-7: Height Limitations, Bulk Regulations: To allow an increase in the maximum height from 35 feet to 47.9 feet.

SECTION 4: Conditions of Approval: The following conditions of approval apply:

- A. Water pressure calculations are to be submitted with building permit applications.
- B. Roof mounted equipment, on the south side of the buildings, are to be screened.

SECTION 5: Final PUD Plan. The Final PUD Plan for the Subject Property shall be reviewed and approved in accordance with all applicable provisions of the City's Zoning Ordinance.

SECTION 6: Home Rule. This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent that the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supersede state law in that regard within its jurisdiction.

ORDINANCE NO. _____

SECTION 7: Effective Date. This Ordinance shall be in full force and effect from and after its passage and approval, and shall subsequently be published in pamphlet form as provided by law.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this ____ day of _____, 2005.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this _____ day of _____, 2005.

ATTEST:

CARMEN D. SOLDATO, MAYOR

JOANNE F. COLEMAN, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

Exhibit 1

PARCEL 1: LOT 2 IN BURNISDE'S PRESERVES OF WATERFALL GLEN RESUBDIVISION UNIT 1, BEING A SUBDIVISION OF PART OF THE SOUTHEAST AND THE SOUTHWEST QUARTERS OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998, AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 25, 1959 AS DOCUMENT 916621, IN DUPAGE COUNTY, ILLINOIS, SAID SOUTHWEST CORNER BEING ALSO THE NORTHWEST CORNER OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, AND RUNNING THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS EAST ALONG THE SOUTH LINE OF LOT 1 OF HOMER GLEN SUBDIVISION, BEING ALSO THE NORTH LINE OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, A DISTANCE OF 369.80 FEET TO THE SOUTHEAST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION; THENCE NORTH 33 DEGREES 36 MINUTES 05 SECONDS WEST ALNG THE EASTERLY LINE OF SAID LOT 1 OF HOMER ANDRUS SUBDIVISION, A DISTANCE OF 578.33 FEET TO THE SOUTH LINE OF FORMER ROUTE 66 PER DOCUMENT NO. 931792 AND DOHLMAN'S RESUBDIVISION (DOCUMENT NO. 967060), BEING ALSO THE SOUTH LINE OF FEDERAL AID HIGHWAY ROUTE 98 PER DOCUMENTS 524869 AND 524870; THENCE NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST, A DISTANCE OF 19.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST ALONG SAID SOUTH LINE OF FORMER ROUTE 66, A DISTANCE OF 373.00 FEET; THENCE SOUTH 33 DEGREES 14 MINUTES 03 SECONDS EAST, A DISTANCE OF 320.00 FEET; THENCE SOUTH 56 DEGREES 45 MINUTES 57 SECONDS WEST A DISTANCE OF 297.48 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST A DISTANCE 160.50 FEET; THENCE NORTH 84 DEGREES 18 MINUTES 21 SECONDS WEST A DISTANCE OF 97.08 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST A DISTANCE OF 98.50 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

A/K/A LOT 31 BURNISDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHEAST AND THE SOUTHWEST QUARTERS OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 10, 1997 AS DOCUMENT R97-99748 IN DUPAGE COUNTY, ILLINOIS.

PIN: 10-05-404-002 and -024

The property is located at 2305 Sokol Court, Illinois 60561.

**CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS**

ORDINANCE NO. 0-31-05

**AN ORDINANCE APPROVING A SUBSTANTIAL CHANGE
TO AN APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(2305 SOKOL COURT/ "THE HIGHLAND" CONDOMINIUM
DEVELOPMENT FORMERLY KNOWN AS "THE RESERVE")**

(PZC 2005-09: 2305 Sokol Court, The Highland)

**ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN**

THIS 3rd DAY OF OCTOBER, 2005.

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
5th day of October, 2005.**

ORDINANCE NO. 0-31-05

**AN ORDINANCE APPROVING A SUBSTANTIAL CHANGE
TO AN APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(2305 SOKOL COURT/ "THE HIGHLAND" CONDOMINIUM
DEVELOPMENT FORMERLY KNOWN AS "THE RESERVE")**

(PZC 2005-09: 2305 Sokol Court, The Highland)

WHEREAS, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6; and

WHEREAS, the property identified on **Exhibit 1**, attached hereto and made a part hereof, (the "Subject Property"), is part of a Planned Unit Development (PUD), approved pursuant to an Annexation Agreement authorized by Ordinance No. O-32-96; and

WHEREAS, pursuant to the Annexation Agreement and approved PUD, the Subject Property was to be developed as the "Sokol Facility," a structure, two stories in height, containing approximately 43,000 square feet, and to be owned and operated by Sokol; and

WHEREAS, the Owner and Developer of the Subject Property have petitioned to amend the Annexation Agreement and for approval of a substantial change to the approved PUD; and

WHEREAS, said proposal seeks a substantial change in the approved PUD to eliminate the "Sokol Facility" as defined therein and to construct 66 condominium units contained in two buildings on the Subject Property; and

ORDINANCE NO. 0-31-05

WHEREAS, pursuant to notice, as required by law, the Planning and Zoning Commission of the City of Darien conducted a public hearing on the proposal; and

WHEREAS, the City, the Owner and the Developer have entered into an Amendment to the Annexation Agreement, authorizing development of the 66 condominium units to be contained in two buildings; and

WHEREAS, the City Council finds that amending the previously approved PUD as provided for hereinbelow is reasonable and will promote the sound growth and planning of the City;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Substantial Change to PUD Approved. The final PUD plan for the Subject Property is hereby amended to allow the development of the Subject Property for 66 condominium units contained in two buildings.

SECTION 2: Preliminary Amended PUD Plan Identified; Preliminary Amended PUD Plan Approved. The Amended Preliminary PUD Plan is hereby approved. For purposes of this Ordinance, the "Amended Preliminary PUD Plan" is identified as follows:

- A. Preliminary Plat of Resubdivision, 1 sheet, prepared by Associated Surveying Group, P.C., latest revision dated August 31, 2005.
- B. Preliminary Engineering Plan, 1 sheet, prepared by P&D Consultants, latest revision dated August 15, 2005.
- C. Ground Floor Parking Plan, 1 sheet, prepared by Built Form Architecture, latest revision dated August 15, 2005.
- D. Typical Floor Unit Plan, 1 sheet, prepared by Built Form Architecture, latest revision dated August 9, 2005.
- E. Landscape Plan, 1 sheet, prepared by Williams Design Group, latest revision

ORDINANCE NO. 0-31-05

- dated August 9, 2005.
- F. Photometric plan, 1 sheet, prepared by P&D Consultants, latest revision dated June 30, 2005.
 - G. Building Elevations, 2 sheets, prepared by Built Form Architecture, latest revision dated August 9, 2005.

SECTION 3: Departures Approved. The following departures from the underlying Zoning Ordinance, Subdivision and PUD Regulations are hereby granted:

- A. Section 5A-3-3-4: PUD Regulations, Residential Density: To allow an increase in the number of dwelling units within the residential portion of the PUD, from an existing 8 to 9.6 dwelling units per acre.
- B. Section 5A-7-3-7: Height Limitations, Bulk Regulations: To allow an increase in the maximum height from 35 feet to 47.9 feet.

SECTION 4: Conditions of Approval: The following conditions of approval apply:

- A. Water pressure calculations are to be submitted with building permit applications.
- B. Roof mounted equipment, on the south side of the buildings, are to be screened.

SECTION 5: Final PUD Plan. The Final PUD Plan for the Subject Property shall be reviewed and approved in accordance with all applicable provisions of the City's Zoning Ordinance.

SECTION 6: Home Rule. This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent that the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supersede state law in that regard within its jurisdiction.

ORDINANCE NO. 0-31-05

SECTION 7: Effective Date. This Ordinance shall be in full force and effect from and after its passage and approval, and shall subsequently be published in pamphlet form as provided by law.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of October, 2005.

AYES: 6-Biehl, Gattuso, Marchese, McIvor, Poteraske, Weaver

NAYS: 0-NONE

ABSENT: 1-Durkin

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of October, 2005.

ATTEST:


JOANNE F. COLEMAN, CITY CLERK


CARMEN D. SOLDATO, MAYOR

APPROVED AS TO FORM:


CITY ATTORNEY

Exhibit 1

PARCEL 1: LOT 2 IN BURNISDE'S PRESERVES OF WATERFALL GLEN RESUBDIVISION UNIT 1, BEING A SUBDIVISION OF PART OF THE SOUTHEAST AND THE SOUTHWEST QUARTERS OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998, AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

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A/K/A LOT 31 BURNISDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHEAST AND THE SOUTHWEST QUARTERS OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 10, 1997 AS DOCUMENT R97-99748 IN DUPAGE COUNTY, ILLINOIS.

PIN: 10-05-404-002 and -024

The property is located at 2305 Sokol Court, Illinois 60561.

CITY OF DARIEN

DU PAGE COUNTY, ILLINOIS

ORDINANCE NO. 0-33-05

**AN ORDINANCE GRANTING FINAL PUD
AND FINAL PLAT OF RESUBDIVISION APPROVAL
(2305 SOKOL COURT/"THE HIGHLAND" CONDOMINIUM DEVELOPMENT
FORMERLY KNOWN AS "THE RESERVE")**

(PZC 2005-17: 2305 Sokol Court, The Highland Condominiums)

ADOPTED BY THE

MAYOR AND CITY COUNCIL

OF THE

CITY OF DARIEN

THIS 7th DAY OF NOVEMBER, 2005

**Published in pamphlet form by authority of the
Mayor and City Council of the City of Darien,
DuPage County, Illinois, this 8th day
of November, 2005.**

ORDINANCE NO. 0-33-05

**AN ORDINANCE GRANTING FINAL PUD
AND FINAL PLAT OF RESUBDIVISION APPROVAL
(2305 SOKOL COURT/"THE HIGHLAND" CONDOMINIUM DEVELOPMENT
FORMERLY KNOWN AS "THE RESERVE")**

(PZC 2005-17: 2305 Sokol Court, The Highland Condominiums)

WHEREAS, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6;

WHEREAS, the City has previously adopted Ordinance O-30-05, "First Amendment to an Annexation Agreement (2305 Sokol Court/"The Highland Condominium Development Formerly known as "The Reserve"), October 3, 2005, which amended the Burnside/Lemont Road Mixed Use PUD; and

WHEREAS, the City has previously adopted Ordinance O-31-05, "An Ordinance Approving a Substantial Change to an Approved Planned Unit Development and Granting Preliminary PUD approval (2305 Sokol Court/"The Highland Condominium Development Formerly known as "The Reserve"), on October 3, 2005; and

WHEREAS, said Ordinances granted preliminary approval for 66 condominium units contained in two buildings on the Subject Property; and

WHEREAS, the Developer has submitted Final PUD plans for The Highland Condominiums; and

WHEREAS, the Planning and Zoning Commission at its regular meeting of October 19, 2005, reviewed the petition and forwarded its recommendation of approval to the City Council; and

ORDINANCE NO. 0-33-05

WHEREAS, the Planning and Development Committee at its regular meeting of October 24, 2005, reviewed the petition and forwarded its recommendation of approval to the City Council; and

WHEREAS, the City Council reviewed the findings and recommendations described above and now determines to grant the petition subject to the terms, conditions and limitations described below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Final Plat of Resubdivision Approved: The City Council hereby approves the Final Plat of Resubdivision for "The Highland Condominiums". The Mayor and City Clerk are hereby authorized and directed to execute and attest respectively the Final plat of Resubdivision. The City Clerk is hereby authorized and directed to cause the Final Plat of Resubdivision to be recorded in the Office of the DuPage County Recorder of Deeds.

SECTION 2. Plat of Vacation Approved. The City Council hereby approves the Plat of Vacation. The Mayor and City Clerk are hereby authorized and directed to execute and attest respectively the Plat of Vacation. The City Clerk is hereby authorized and directed to cause the Plat of Vacation to be recorded in the Office of the DuPage County Recorder of Deeds.

SECTION 3. Final PUD Plan Approved. The City hereby approves the Final PUD Plan for 66 condominium units contained in two buildings on the Subject Property. For purposes of this approval, the Final PUD Plan consists of the following elements:

1. ALTA/ACSM Land Title Survey, 1 sheet, prepared by Associated Surveying Group, P.C., dated December 16, 2004.
2. Final Plat of Resubdivision, 1 sheet, prepared by Associated Surveying Group, P.C., with a received date of August 31, 2005.
3. Final Plat of Vacation, 1 sheet, prepared by Associated Surveying Group, P.C., dated November 29, 2004.

ORDINANCE NO. 0-33-05

4. Final Engineering Plan, 1 sheet, prepared by P&D Consultants, latest revision dated October 20, 2005.
5. Landscape Plan, 1 sheet, prepared by Williams Design Group, latest revision dated August 9, 2005.
6. Photometric Lighting Plan, 1 sheet, prepared by P&D Consultants, latest revision dated June 30, 2005.
7. Ground Floor Parking Plan, 1 sheet, prepared by Built Form Architecture, dated October 7, 2005.
8. Typical Floor Unit Plan, 1 sheet, prepared by Built Form Architecture, dated October 7, 2005.
9. Building Elevations, 2 sheets, prepared by Built Form Architecture, dated October 7, 2005.

SECTION 4: Other Applicable Ordinances. Except as provided herein or in Ordinances O-30-05 and O-31-05, development of the Subject Property shall conform to all applicable Codes and Ordinances of the City of Darien.

SECTION 5: This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law. It is the intent of the corporate authorities of the City of Darien that to the extent that the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supercede state law in that regard within its jurisdiction.

SECTION 6: Effective Date. This Ordinance shall be in full force and effect from and after its passage and approval, and shall subsequently be published in pamphlet form as provided by law.

ORDINANCE NO. 0-33-05

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DARIEN,
DUPAGE COUNTY, ILLINOIS, this 7th day of November, 2005.

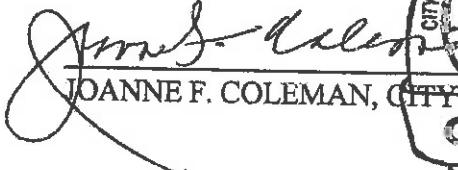
AYES: 7 - Biehl, Durkin, Gattuso, Marchese, McIvor, Poteraske, Weaver

NAYS: 0 - NONE

ABSENT: 0 - NONE

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DUPAGE COUNTY,
ILLINOIS, this 7th day of November, 2005.

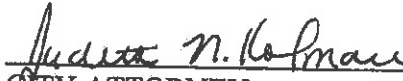
ATTEST:


JOANNE F. COLEMAN, CITY CLERK




KATHLEEN MOESLE WEAVER, MAYOR

APPROVED AS TO FORM:


JUDITH N. KOLMAN
CITY ATTORNEY

Jordan Yanke

From: dewyzefan6@comcast.net
Sent: Tuesday, April 6, 2021 4:56 PM
To: Jordan Yanke
Subject: RE: Proposed Darien Apartments on Sokol QUESTIONS FOR MEETINGS AND CONCERNS

Thank you. I have this where they're not in compliance. I still need to site the examples under the #s, but I'm not legal, so I'm trying to see if I can get someone to help me with that, but at least you'll have the 6 points and I'll do my best to get the examples.

According to the relevant section 5A-2-2-5, below are the criteria a petitioner must meet to be able to illustrate that the petition for a Zoning Amendment meets the required criteria in Darien and it appears the petitioner does **NOT** meet the criteria to approve this amendment:

https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-1

Standards: The Plan Commission shall consider the following factors and other pertinent factors in developing a recommendation for the City Council:

1. Existing uses of property within the general area of the property in question, and the resulting character of the general area;
2. The zoning classifications of property within the general area of the property in question;
3. The suitability of the property in question to the uses permitted under the existing zoning classification including consideration of the length of time the property has been vacant as zoned;
4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classifications and the impact to surrounding property likely to result from the proposed use;
5. The reduction in value of the subject property resulting from the particular zoning restriction as compared to the gain to the public if the property remains restricted; and
6. The policies of all current official plans or plan elements of the City.

From: Jordan Yanke <jyanke@darienil.gov>
Sent: Tuesday, April 06, 2021 4:03 PM
To: dewyzefan6@comcast.net
Subject: RE: Proposed Darien Apartments on Sokol QUESTIONS FOR MEETINGS AND CONCERNS

Hi Annie –

I recommend submitting any/all documentation you have for tomorrow's meeting, but if there are further examples or issues you would like to point out at a later date, that info can be included with the record during the future meeting(s). Therefore, if you have any additional documentation prior to tomorrow's meeting, please send it to me via email or bring it to the meeting (if you plan on attending). You can also speak at the meeting and bring the questions up at that time, or do both.

Hope this helps. Thanks.



Jordan Yanke

Senior Planner
1702 Plainfield Road, Darien, IL 60561

Email: jyanke@darienil.gov

Office: (630) 353-8113 |

Connect with the City of Darien!



From: dewyzefan6@comcast.net <dewyzefan6@comcast.net>
Sent: Tuesday, April 6, 2021 2:48 PM
To: Jordan Yanke <jyanke@darienil.gov>
Subject: RE: Proposed Darien Apartments on Sokol QUESTIONS FOR MEETINGS AND CONCERNS

thank you very much!! I'm trying to look through all the online documentation you provided and saw today that it said proposal was sent to neighboring HOAs. Our board or managers may have received something, but nothing was ever sent to residents and we are the ones who live in the community.

also found are 6 criteria the petitioner must meet to be able to illustrate that the petition for a Zoning Amendment meets the required criteria in Darien and it appears the petitioner does **NOT** meet the criteria to approve this amendment.

I do plan on citing some examples for each of the issues found - so having them completed before the may meeting will be ok?

https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-1

I really appreciate you replying and listening to concerns. I reached out to our management company today since they never communicated to ANY of the residents. Thank you.

I'm sorry for the additional correspondences, but I am very passionate about this since we reside here.

From: Jordan Yanke <jyanke@darienil.gov>
Sent: Tuesday, April 06, 2021 2:16 PM
To: dewyzefan6@comcast.net
Subject: RE: Proposed Darien Apartments on Sokol QUESTIONS FOR MEETINGS AND CONCERNS

Hi Annie –

Thanks for your message. I will add your correspondence to the case file and submit it to the Planning and Zoning Commissioners for the public hearing tomorrow (04/07).

FYI – The contacts you listed below include the Mayor and City Councilmembers, in addition to administrators. While City Council will have the ultimate vote/decision on the proposed Sokol Court (i.e. Darien Heights) development, they will not hear the case at a meeting until at least May. That said, you are always welcome to reach out to Elected Officials (i.e. Mayor/Councilmembers) at any time on the proposed development or any other issue/concern/question. A link from the City website where complete contact information is provided has been included below:

<https://darien.il.us/government/elected-officials> (City Website Link - Elected Officials)



www.darien.il.us



Let me know if you need anything further. Have a good afternoon.

Jordan Yanke

Senior Planner
1702 Plainfield Road, Darien, IL 60561

Email: jyanke@darienil.gov

Office: (630) 353-8113 |

Connect with the City of Darien!

From: dewyzefan6@comcast.net <dewyzefan6@comcast.net>

Sent: Tuesday, April 6, 2021 9:13 AM

To: Jordan Yanke <jyanke@darienil.gov>

Cc: dewyzefan6@comcast.net

Subject: Proposed Darien Apartments on Sokol QUESTIONS FOR MEETINGS AND CONCERNS

I'd also like to send this to everyone who makes the decisions in the meetings. I found the emails below. Are these the appropriate people to send them to?

dgombac@darienil.gov; bvana@darienil.gov; jmarchese@darienil.gov; jkenny@darienil.gov; tschauer@darienil.gov; tchlystek@darienil.gov; egustafson@darienil.gov; iragona@darienil.gov; mjcoren@darienil.gov; mjcoren@darienil.gov; msullivan@darienil.gov; tbelczak@darienil.gov

https://patch.com/illinois/darien-il/big-darien-apartment-complex-proposed?utm_term=article-slot-1&utm_source=newsletter-daily&utm_medium=email&utm_campaign=newsletter

thank you for replying to my initial questions last week. you said we can submit questions to be asked in the meeting. below are my questions :

- To verify, once the amendment is approved you can't regulate it and no one will have any say in anything that happens or "changes" by the developer at any time?
- The developer can start out with his "proposed" high end apartments for \$1500 to \$2700, but then can change his mind anytime and go with any different price point and a whole different kind of apartment and the city and the long term residents can't do anything about it?
 - How will that affect property values?
- Can they then add section 8 since it can't be regulated?
 - How will that affect property values?
- Will putting apartments directly in our community lower our home values?
 - That will also lower property taxes, which will not only be a loss to all the owners to lose equity in your home, but also the city of Darien as well because the city will lose all the revenue on the higher property values/taxes
- Is the developer currently talking to, working with, receiving funds or planning to work with any agencies, companies, government or any other entities to change the "proposed" apartments going for the high-end prices and floor plans to other floor plans, price points, etc?

- The Darien Patch article states that the developer indicated that when the market for condos comes back they MIGHT turn them into condos.
 - We just saw on the news last week that the Chicago area has become desirable and it's hard to find houses to purchase, etc. so how is buying a condo not desirable right now?
 - With historically LOW interest rates currently, they're stating people would rather pay \$1500-\$2700 a month to RENT and NOT buy?
- From what I understand, the developer purchased the land in 2005 and got permission for CONDOS.
 - Why after 16 years do they want to build apartments instead?
 - if no one can regulate their decisions, that could be very bad for the city of Darien and the surrounding communities in/near this location.
- If the city sadly approves this amendment, will rules be posted at the complex that residents of the new complex/building/buildings CANNOT use the facilities of the neighboring HOAs like the pond and facilities that belong to any neighboring HOAs who pay extra each month for these amenities?
- When do they plan on starting construction?
- How long would construction take?
- Does their amended request meet Darien zoning codes?
- How much of the frontage road will be blocked off and for how long in either direction?
 - This is very important to know as the frontage road is only ONE LANE each in BOTH directions and could totally hinder both residents and emergency vehicles getting in and out of the community in a timely matter. Not to mention all the bicycle people and groups who use the frontage roads a lot.

PLEASE DO NOT ALLOW THE AMENDMENT TO CHANGE FROM CONDOS TO APARTMENTS TO GO THROUGH.

Once you allow the amendment to go through to change from OWNERS to RENTERS in a large apartment building, there will be a **never-ending revolving door of people constantly coming and going in Darien and a lot of unknowns that sound like they CAN'T be regulated** and no one will be able to change anything once that's happened.

It will change the entire dynamic of our wonderful community, awesome town and surrounding communities a lot, and there's no going back.

We are the people/citizens of Darien who **LIVE in this community** so I hope that will be forefront in consideration of this amendment and how it will affect us.

I HOPE THE CITY COUNCIL DOES THE RIGHT THING AND PUTS ITS RESIDENTS FIRST!!!!

The residents put their trust in the city officials and council to look out for **US and OUR BEST INTERESTS**. I've talked to some other residents and I **strongly urge you to please NOT ALLOW** this amendment to pass and to seriously consider how the people who the officials represent feel, and how unsettling this is.

When you have a community of **OWNERS**, they take a lot of pride and are extremely **VESTED**; not only in their homes, but the community and the entire city of Darien than when you RENT; especially from an apartment manager. When you will only reside there for a short period of time most likely, you aren't really vested in the town. If condos are built and sold and people want to rent from a **CONDO OWNER**, that individual condo owner is more **VESTED** than renters.

When you're an owner and long term resident, you get to know your neighbors, become acquaintances and friends, you look out for each other, you feel safe, you help each other out, you have a sense of **COMMUNITY, TRUST and SAFETY**; and our community is filled with a lot of **LONG-TERM** residents from all walks of life who work very hard, get along great and don't ask much. Our current community is such a nice, quiet, friendly, wonderful place to live - in a town we have all cared about and taken pride in for **YEARS**.

If this amendment is allowed to go through, it will show hard working, long term Darien residents feel that our elected officials and representatives put the developer and their proposed plan first before us.

People have all gone through SO MUCH in the last year with COVID and everything it's brought to so many people and all people ask is for SAFETY and COMMUNITY in our city; and if there are going to be more people living in our town, they will be as vested as we are!

If the amendment passes to build apartments, I think a lot of people will be very upset; and people want to keep their faith in Darien, its officials and the people who were voted in to represent US.

Thank you,
Annie Shea

From: Jordan Yanke <lyanke@darienil.gov>
Sent: Wednesday, March 31, 2021 3:58 PM
To: dewyzefan6@comcast.net
Subject: City of Darien Inquiry - Darien Heights Residences (Sokol Court)

Hi Annie –

Thanks again for contacting the City. Please see responses to your questions below (red text). Let me know if you have any questions after reading through. Have a good afternoon.

- When and where is the meeting?
The meeting is at 7:00PM on Wednesday, April 7, 2021. The meeting will be held at City Hall in the Council Chambers (1702 Plainfield Road, Darien, IL 60561).
- I understand the meeting is open to the public?
The meeting will be open to the public with social distancing/face covering requirements in place. The Council Chambers will be limited to a maximum of twenty (20) members of the public at any one time, FYI.
- Is there an option to attend virtually?
This option will not be available. The meeting will not be available via Zoom, GoTo Meeting, or other virtual platforms.
- Is there a link to obtain additional information?
Please see the following link that was uploaded to the City website, which contains the entire meeting packet. The subject case and development plan, including parking and traffic analysis, can be found starting on Page 56: <https://darien.il.us/getattachment/9ed0cd10-83c5-40fb-84ac-e860fb233250/Planning-and-Zoning-Commission-Meeting-April-7,-2021.aspx>
- Are the buildings proposed to be condos and/or townhouses?
The proposed development includes 68 dwelling units in the form of apartments. No condominiums or townhomes are proposed.
- Will they be section 8?
Inclusion of Section 8 has not been specified or proposed per submitted documents by the petitioner.
- If so, what percentage of the building(s) would be section 8?
(N/A)
- How many people will be allowed to occupy each unit?

Please see the following link for definition of "Family" per the City's Zoning Ordinance. Each proposed dwelling unit can contain a "Family".

https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-4748

• What type of parking will they have?

Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.

• How much will that impact the property values in the community?

At this point, this question cannot be answered with specificity. The applicant can respond to this type of inquiry during the public hearing (04/07/2021) though. Additionally, if directed by the Planning and Zoning Commission, Municipal Services Committee, or City Council, the applicant may be required to submit a financial impact study or market analysis at a later date.

• Has an impact study been produced/conducted in relation to traffic, noise, construction, access to the frontage road (especially during construction as the 1 lane road each way is our ONLY access to get in and out of our neighborhood. If so, where may I view the results?

Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.



www.darien.il.us

Jordan Yanke

Senior Planner
1702 Plainfield Road, Darien, IL 60561

Email: jyanke@darienil.gov

Office: (630) 353-8113 |

Connect with the City of Darien!



Begin forwarded message:

From: dewyzefan6@comcast.net

Date: March 26, 2021 at 12:24:48 PM CDT

To: Dan Gombac <dgombac@darienil.gov>

Cc: dewyzefan6@comcast.net

Subject: **darien new builds - apartments / condos on sokol court**

I hope you are having a good week. My name is Annie Shea and Byron Vana suggested I contact you.

I was informed by a neighbor there is going to be a meeting on April 7 about the proposed 2 new buildings on Sokol Court being built in our neighborhood in Darien.

Darien Apartment Project Has Some Concerned | Darien, IL Patch

<https://patch.com/illinois/darien-il/darien-apartment-project-has-some-concerned>

Please see my questions below:

- When and where is the meeting?
- I understand the meeting is open to the public?
- Is there an option to attend virtually?

- Is there a link to obtain additional information?
- Are the buildings proposed to be condos and/or townhouses?
- Will they be section 8?
- If so, what percentage of the building(s) would be section 8?
- How many people will be allowed to occupy each unit?
- What type of parking will they have?
- How much will that impact the property values in the community?
- Has an impact study been produced/conducted in relation to traffic, noise, construction, access to the frontage road (especially during construction as the 1 lane road each way is our ONLY access to get in and out of our neighborhood.
- If so, where may I view the results?

I LOVE Darien and our quiet, wonderful neighborhood.

In order to determine how we choose to proceed with our home and living in Darien in the future will be vastly dictated by the potential addition of 2 new buildings being built abutting our community and the park.

Thank you,
Annie Shea

From: Bryon Vana <bvana@darienil.gov>
Sent: Monday, November 23, 2020 11:05 AM
To: dewyzefan6 <dewyzefan6@comcast.net>; Dan Gombac <dgombac@darienil.gov>; Joe Marchese <jmarchese@darienil.gov>
Subject: RE: apartments / condos on sokol court

Yes, all residents are encouraged to participate in this and all city issues. We will determine the review process once we receive formal application for the developer.



Bryon Vana

City Administrator
 1702 Plainfield Road, Darien, IL 60561
Email: bvana@darienil.gov
Office: (630) 353-8114 | **Mobile:** (630) 514-1251
Connect with the City of Darien!

From: dewyzefan6 <dewyzefan6@comcast.net>
Sent: Monday, November 23, 2020 11:02 AM
To: Bryon Vana <bvana@darienil.gov>; Dan Gombac <dgombac@darienil.gov>; Joe Marchese <jmarchese@darienil.gov>
Subject: RE: apartments / condos on sokol court

great. thank you. i rely appreciate your reply. are we allowed to participate when the city meets about this to ask questions and voice concerns once we know their pian?

----- Original message -----

From: Bryon Vana <bvana@darienil.gov>
Date: 11/23/20 10:22 AM (GMT-06:00)
To: dewyzefan6 <dewyzefan6@comcast.net>, Dan Gombac <dgombac@darienil.gov>, Joe Marchese <jmarchese@darienil.gov>
Subject: RE: apartments / condos on sokol court
 Ann

The plans approved in 2005 allow 2 building with a total of 66 units. The time frame for this project is not determined and the developer needs to make formal application to the City.
If you have additional questions please contact Dan Gombac, Director of Community Development.
Bryon

Bryon Vana

City Administrator

1702 Plainfield Road, Darien, IL 60561

Email: bvana@darienil.gov

From: Bryon Vana <bvana@darienil.gov>

Sent: Sunday, November 22, 2020 11:53 AM

To: dewyzefan6 <dewyzefan6@comcast.net>; Dan Gombac <dgombac@darienil.gov>; Joe Marchese <jmarchese@darienil.gov>

Subject: RE: apartments / condos on sokol court

I'll send you more info tomorrow from the office. Thanks

Bryon

Bryon Vana

City Administrator

----- Original message -----

From: dewyzefan6 <dewyzefan6@comcast.net>

Date: 11/22/20 9:15 AM (GMT-06:00)

To: Bryon Vana <bvana@darienil.gov>

Subject: apartments / condos on sokol court

I saw this article and it's very concerning to me. We have lived here for almost 13 years and I love this community, town and its "peacefulness".

When are they going to be putting this building up?

Between noisy construction and a new building and not knowing how big it's going to be ... and the new truck facility coming ... we live very close to where all this congestion will be happening ...

I used to want to live in Darien until I died and now I'm dying to not live in Darien.

Darien Apartment Project Has Some Concerned | Darien, IL Patch

<https://patch.com/illinois/darien-il/darien-apartment-project-has-some-concerned>

From: Jeanne Peterson
To: Jordan Yanke
Subject: Input on Zoning Meeting 4/7/21
Date: Tuesday, April 6, 2021 12:21:35 PM

I wanted to send my input in two items on the agenda for the April 7, 2021 planning meeting. I own a townhome in Waterfall Glen. I am opposed to the development of apartments for the Sokol Court property. I read on line that the developer wants to put in "upscale" apartments. How are \$1,500 a month apartment rentals "upscale"? I know that is what people in Midlothian are paying for apartments. We have enough issues with people using our private park and walking the neighborhood from the Extended Stay Hotel. For this reason, I now have security cameras. I am not opposed to condos but do not support apartments. I do support the Cannabis dispensing Organization.
Thank you.

Jeanne Peterson

9471 Waterfall Glen Blvd

Darien, IL

Jordan Yanke

From: Mary Sullivan
Sent: Tuesday, April 6, 2021 7:15 PM
To: Jordan Yanke; Bryon Vana; Dan Gombac; Joe Marchese
Subject: Fwd: Darien Heights Apartment Complex

Please make sure PZC receives this communication. Thank you!

Mary Coyle Sullivan
City of Darien Alderperson Ward 5
1702 Plainfield Road, Darien, IL 60561
Email: msullivan@darienil.gov
Phone: (630) 606-8664

Begin forwarded message:

From: Marema <marebunch@aol.com>
Date: April 6, 2021 at 7:07:19 PM CDT
To: Mary Sullivan <msullivan@darienil.gov>
Subject: Darien Heights Apartment Complex

Hello Mary,

On November 13, 2020, I had emailed you about the property on Sokol Court. You passed my email on to Dan Gombac, who emailed information about the project. In that email, he stated that there were minor modifications to the project and it would need City Council site plan approval only. So basically, he was telling me that it was a done deal. After receiving the latest Direct Connect and reading on the Darien Patch, there are several changes that Mr. Swanson wants for this apartment complex. Now, his plan is going to the Planning and Zoning Commission on Wednesday.

The 2005 project that was approved had 66 units, he now wants 68 units plus 2 models for a total of 70 units. The 2005 project was for two buildings, he now wants one huge building. One of the things that really bothers me, is that he wants a variance of just 20 feet from our park fence, when it should be 40 feet because of the height of his building.

Your comments at the City Council meeting were surprising to me. You said that Mr. Swanson has received positive input about his project. I would like to know from who? People that are not living in this area and are not affected by it? No one that I know of from the townhomes are happy at all about this project. The few people that I have talked to from the condos aren't happy either. We wonder what this will do to the property value of our homes. Our townhome values are at an all time high. We get requests from people and realtors if any of our units are going on the market any time soon. His reasoning for having apartments over condos is very surprising to me as the real estate market is very hot right now and there is little new construction in this area. We would much rather see this project as condos instead of apartments.

Mr. Swanson is selling this project as a luxury, upscale apartment complex. I don't really think that many people would like to look out of their apartment window and see the Extended Stay

Hotel where drug deals happen and vehicles are burglarized. His rents for the apartments are comparable to those of the Farmingdale Apartment complex, and I don't consider those apartments upscale at all.

I have talked to Mr. Swanson several times in the past and met with him once but I just can't get on board with this project. How do you think the residents of your neighborhood would react to this project being built in their neighborhood? I think that a lot of the residents that live in the townhomes and condos feel that this is a done deal and there is nothing we can do about it. I have lived in Darien for 46 years, the last 19 on Waterfall Glen, and I have seen a lot happen in this city, some positive yet some negative.

I will be attending the meeting on Wednesday.

Chris Marema
9405 Waterfall Glen Blvd.

Sent from my iPad

Jordan Yanke

From: dewyzefan6@comcast.net
Sent: Wednesday, April 7, 2021 9:33 AM
To: Dan Gombac; Bryon Vana; Joe Marchese; Joseph Kenny; Ted schauer; Thomas Chlystek; Eric Gustafson; JoAnne E. Ragona; mjcoren@darienil.gov; Michael J. Coren; Mary Sullivan; Tom Belczak; Jordan Yanke; Lester Vaughan; EconomicDevelopment
Cc: dewyzefan6@comcast.net
Subject: Proposed Darien Apartments on Sokol - QUESTIONS / CONCERNS

I really appreciate your attention to this issue that is **VERY IMPORTANT** to the residents of this community and strongly urge that you **DO NOT APPROVE THIS AMENDMENT FOR APARTMENTS ON SOKOL IN DARIEN.**

Please see all my questions and comments below. I have talked to several people in our HOA and everyone I've talked to so far feels the same.

COMPLIANCE ISSUES WITH CODES:

According to the relevant section 5A-2-2-5, below are the criteria a petitioner must meet to be able to illustrate that the petition for a Zoning Amendment meets the required criteria in Darien and it appears the petitioner does **NOT** meet the criteria to approve this amendment:

https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-1

Standards: The Plan Commission shall consider the following factors and other pertinent factors in developing a recommendation for the City Council:

- 1. Existing uses of property within the general area of the property in question, and the resulting character of the general area;**
The community and surrounding communities are filled with and inhabited with single family homes, townhomes and condos. Most residents are owners and well established. Even if there may be some renters, they are renting from a single vested owner. Renters are not vested in communities like owners. It's more transient, renters don't typically maintain properties as well as owners. There will be a revolving door of people in and out of the city for the rest of time if this amendment goes through. the **CHARACTER** of the neighborhood is larger lots - SFR,TH, etc. **NOT** apartments and permitting the proposed use would **IRREVOCABLY ALTER THE ESSENTIAL CHARACTER** of the surrounding area. (please see more in my comments below about the wonderful people and sense of community we have here).
- 2. The zoning classifications of property within the general area of the property in question;**
I believe that the **ZONING CLASSIFICATIONS** of property within the general area are single family and some multi-family (townhomes/condos) with the exception of the hotel, which from my understanding is mostly inhabited by elderly people trying to survive as best and safely as they can. Putting apartments in the middle of large lot single family/condo/townhome **OWNER** residences is contrary to the criteria for a Zoning amendment and should not be allowed. If you want to change the Zoning to permit apartments in **AN AREA ALREADY FULL OF APARTMENTS**, then that makes sense. It seems that apartments are inconsistent with the other uses permitted.
- 3. The suitability of the property in question to the uses permitted under the existing zoning classification including consideration of the length of time the property has been vacant as zoned;**
This property is perfectly suited for **CONDOMINIUMS** for which it is already zoned and has been

for 16 years. The current economy encourages SALES; not rentals. With historically LOW INTEREST RATES and the fact that people, especially in this economy and with all that's been happening in the last year, I can't see people wanting to spend \$1500-\$2700 to get NO EQUITY to live directly off an expressway when there's no amenities anywhere near the property and the ZONING AMENDMENT IS NOT NEEDED. The economy is in a different place now than it was in the last 16 years and it is ripe for condos and people wanting to establish themselves and have and build equity.

4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classifications and the impact to surrounding property likely to result from the proposed use;
Trend of development in the area are that people seem to want to purchase property. Single family homes, condos and townhomes have occupied this area for a long time and when homes in our community go on the market they SELL. The trend is toward SFR/TH's and not apartments.
5. The reduction in value of the subject property resulting from the particular zoning restriction as compared to the gain to the public if the property remains restricted; and
The developer can still make plenty of money developing the parcel as condos. The current Zoning as condos does not significantly reduce the value of the property. And that the public and city will gain from more home ownership, stable residents, rather than potentially transient renters. The proposed use would REDUCE property values and the hard working current residents in the area will be the ones to suffer the financial losses we've been working SO HARD to build up for a lot of years.
6. The policies of all current official plans or plan elements of the City.
I HAVE BEEN UNABLE TO REVIEW THE CITY'S COMPREHENSIVE PLAN BUT THERE IS NO INDICATION THAT THE PROPOSED USE IS CONSISTENT WITH ANY LONG -TERM PLAN OF THE CITY NOR ITS RESIDENTS. I feel that the plan to put up apartments will significantly devalue homes rather than add value and completely change the dynamic of the entire area.

In looking through all the online documentation I saw it said this proposal was sent to neighboring HOAs and there was no negative feedback. I have never seen any communication about this amendment - and to the best of my knowledge and in talking to other residents in our HOA community - no one has seen any communication about this amendment so many people are not informed at all about this issue and I believe would definitely oppose it if they were informed.

QUESTIONS

https://patch.com/illinois/darien-il/big-darien-apartment-complex-proposed?utm_term=article-slot-1&utm_source=newsletter-daily&utm_medium=email&utm_campaign=newsletter

It stated we can submit questions to be asked in the meeting. below are my questions :

- To verify, once the amendment is approved you can't regulate it and no one will have any say in anything that happens or "changes" by the developer at any time?
- The developer can start out with his "proposed" high end apartments for \$1500 to \$2700, but then can change his mind anytime and go with any different price point and a whole different kind of apartment and the city and the long term residents can't do anything about it?
 - How will that affect property values?
- Can they then add section 8 since it can't be regulated?
 - How will that affect property values?
- Will putting apartments directly in our community lower our home values?
 - That will also lower property taxes, which will not only be a loss to all the owners to lose equity in your

home, but also the city of Darien as well because the city will lose all the revenue on the higher property values/taxes

- Is the developer currently talking to, working with, receiving funds or planning to work with any agencies, companies, government or any other entities to change the "proposed" apartments going for the high-end prices and floor plans to other floor plans, price points, etc?
- The Darien patch article states that the developer indicated that when the market for condos comes back they MIGHT turn them into condos.
 - We just saw on the news last week that the Chicago area has become desirable and it's hard to find houses to purchase, etc. so how is buying a condo not desirable right now?
 - With historically LOW interest rates currently, they're stating people would rather pay \$1500-\$2700 a month to RENT and NOT buy?
- From what I understand, the developer purchased the land in 2005 and got permission for CONDOS.
 - Why after 16 years do they want to build apartments instead?
 - If no one can regulate their decisions, that could be very bad for the city of Darien and the surrounding communities in/near this location.
- If the city sadly approves this amendment, will rules be posted at the complex that residents of the new complex/building/buildings CANNOT use the facilities of the neighboring HOAs like the pond and facilities that belong to any neighboring HOAs who pay extra each month for these amenities?
- When do they plan on starting construction?
- How long would construction take?
- Does their amended request meet Darien zoning codes?
- How much of the frontage road will be blocked off and for how long in either direction?
 - This is very important to know as the frontage road is only ONE LANE each in BOTH directions and could totally hinder both residents and emergency vehicles getting in and out of the community in a timely matter. Not to mention all the bicycle people and groups who use the frontage roads a lot.

CONCERNS

PLEASE DO NOT ALLOW THE AMENDMENT TO CHANGE FROM CONDOS TO APARTMENTS TO GO THROUGH.

Once you allow the amendment to go through to change from OWNERS to RENTERS in a large apartment building, there will be a **never-ending revolving door of people constantly coming and going in Darien** and a **lot of unknowns** that sound like they **CAN'T be regulated** and no one will be able to change anything once that's happened.

It will change the entire dynamic of our wonderful community, awesome town and surrounding communities a lot, and there's no going back.

We are the people/citizens of Darien who **LIVE in this community** so I hope that will be forefront in consideration of this amendment and how it will affect us.

I HOPE THE CITY COUNCIL DOES THE RIGHT THING AND PUTS ITS CURRENT RESIDENTS FIRST!!!!

The residents put their trust in the city officials and council to look out for **US and OUR BEST INTERESTS**. I've talked to some other residents and I **strongly urge you to please NOT ALLOW** this amendment to pass and to **seriously consider** how the people who the officials represent feel, and how unsettling this is.

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If this amendment is allowed to go through, it will sadly show hard working, long term Darien residents feel that our elected officials and representatives put the developer and their proposed plan first before us.

People have all gone through SO MUCH in the last year with COVID and everything it's brought to so many people and all people ask is for SAFETY and COMMUNITY in our city; and if there are going to be more people living in our town, they will be as VESTED as we are!

If the amendment passes to build apartments, I believe a lot of people will be very upset; and people want to keep their faith in Darien, its officials and the people who were voted in to represent US and OUR best interests.

Thank you,
Annie Shea

From: Jordan Yanke <jyanke@darienil.gov>
Sent: Wednesday, March 31, 2021 3:58 PM
To: dewyzefan6@comcast.net
Subject: City of Darien Inquiry - Darien Heights Residences (Sokol Court)

Hi Annie –

Thanks again for contacting the City. Please see responses to your questions below (red text). Let me know if you have any questions after reading through. Have a good afternoon.

- When and where is the meeting?
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- I understand the meeting is open to the public?
The meeting will be open to the public with social distancing/face covering requirements in place. The Council Chambers will be limited to a maximum of twenty (20) members of the public at any one time, FYI.
- Is there an option to attend virtually?
This option will not be available. The meeting will not be available via Zoom, GoTo Meeting, or other virtual platforms.
- Is there a link to obtain additional information?
Please see the following link that was uploaded to the City website, which contains the entire meeting packet. The subject case and development plan, including parking and traffic analysis, can be found starting on Page 56: <https://darien.il.us/getattachment/9ed0cd10-83c5-40fb-84ac-e860fb233250/Planning-and-Zoning-Commission-Meeting-April-7,-2021.aspx>
- Are the buildings proposed to be condos and/or townhouses?
The proposed development includes 68 dwelling units in the form of apartments. No condominiums or townhomes are proposed.
- Will they be section 8?

Inclusion of Section 8 has not been specified or proposed per submitted documents by the petitioner.

- If so, what percentage of the building(s) would be section 8?
(N/A)
- How many people will be allowed to occupy each unit?
Please see the following link for definition of "Family" per the City's Zoning Ordinance. Each proposed dwelling unit can contain a "Family".
https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-4748
- What type of parking will they have?
Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.
- How much will that impact the property values in the community?
At this point, this question cannot be answered with specificity. The applicant can respond to this type of inquiry during the public hearing (04/07/2021) though. Additionally, if directed by the Planning and Zoning Commission, Municipal Services Committee, or City Council, the applicant may be required to submit a financial impact study or market analysis at a later date.
- Has an impact study been produced/conducted in relation to traffic, noise, construction, access to the frontage road (especially during construction as the 1 lane road each way is our ONLY access to get in and out of our neighborhood. If so, where may I view the results?
Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.



Jordan Yanke

Senior Planner
1702 Plainfield Road, Darien, IL 60561
Email: jyanke@darienil.gov
Office: (630) 353-8113

Connect with the City of Darien!



Jordan Yanke

From: Tim Tumlin <tumlintr@comcast.net>
Sent: Wednesday, April 7, 2021 11:54 AM
To: Jordan Yanke
Cc: kkzzus@yahoo.com
Subject: RE: Planning and Zoning Commission - Public Comment

Hello Jordan,

Thank you for your very prompt reply.

I see that the agenda (linked below) has the address with a period between darien and il. The address I see in your email to me does not. That likely explains what the problem is.

I must say that, at the risk of sounding curmudgeonly, this still makes me concerned. I am confident that virtually all my neighbors will be quite distressed over the proposals to be addressed in hearing PZC2021-02. I myself have only learned that it's up for discussion tonight, and I am certain they are in the same boat. Given the controversy this is sure to generate, there may well be a possibility that any action taken tonight which we believe is adverse to our interests would be vulnerable to subsequent challenge since the opportunity for residents to offer questions and comments has been limited by this error, innocent as I'm sure it is.

Therefore, I would like to ask that at least this hearing be canceled for tonight and continued to the next meeting so that we residents have a full opportunity offer input. I hope this isn't too much trouble, but I do think it will not only serve us residents better, and it could avoid much more trouble for all of us in the future.

Sincerely,

Tim Tumlin

<https://darien.il.us/getattachment/9ed0cd10-83c5-40fb-84ac-e860fb233250/Planning-and-Zoning-Commission-Meeting-April-7,-2021.aspx>

From: Jordan Yanke [mailto:jyanke@darienil.gov]
Sent: Wednesday, April 7, 2021 11:36 AM
To: tumlintr@comcast.net
Subject: Planning and Zoning Commission - Public Comment

Hi Tim –

This is a test email to make sure you can reply to it with your comments for this evening's meeting. Let me know if it comes through. Thank you.



Jordan Yanke

Senior Planner
1702 Plainfield Road, Darien, IL 60561

Email: jyanke@darienil.gov

Office: (630) 353-8113 |

Connect with the City of Darien!



Jordan Yanke

From: Karen Martin <mikar1085@gmail.com>
Sent: Wednesday, April 7, 2021 2:44 PM
To: Jordan Yanke
Subject: amendment

Mr. Yanke,

I am unable to attend tonight's meeting.

As a Waterfall Glen townhome owner, I have concerns regarding the amendment to the original plan for the proposed development along Frontage Road.

A condo building would be a more desirable neighbor than apartment rentals, more long term residents in owned condominiums than short term rental units.

Also, this would add to the congestion on Frontage Road, which is already filled with speeding traffic. This proposed property would be closely situated next to the extended stay facility which is also next to a commercial area.

There was a deadly accident at this same spot last year.

Thank you for your time.

Karen Martin

Jordan Yanke

From: rick millard <rickmillard@att.net>
Sent: Wednesday, April 7, 2021 2:51 PM
To: Jordan Yanke
Subject: Condo South frontage

Hi Jordan,

This is Rick Millard at 9210 waterfall glen and I am alittle concerned about the new apartments on the south frontage when it was zoned as Condo's before. I know they said it is individual metered and can switch later but this would bring about a pause to this development in my mind. Plus the space where this is at does not seem adequate also and would crowd this small area.

Thanks

Rick

From: Bryan Gay
To: Jordan Yanke
Subject: Fwd: Proposed Darien Apartments on Sokol - QUESTIONS / CONCERNS
Date: Wednesday, April 7, 2021 1:08:47 PM
Attachments: [image002.png](#)
[image001.png](#)

Hi Jordan,

I wanted to let you know, by not providing a virtual option, I won't be able to participate at tonight's meeting. I'm still not sure why this isn't an option, the City of Aurora, which I work with on a daily basis has moved every meeting to a virtual format since last March. I don't understand why this is no longer an option in Darien.

Anyways, I've been very diligent over the past year, limiting my in person interactions to a minimum, protecting my ability to work with my staff and help my parents when needed. FYI, I'm scheduled to be fully vaccinated on April 20. I'm so close, and I'll be ready to meet in person starting in May. I hope everyone understands, and will excuse my absence tonight.

Just for the record, I'm in favor of the Sokol Ct variance. While I understand Ms Shea's concerns, I disagree with several of the points she makes in the email below. The current housing market continues to be driven by renters; condominiums are not seen as favorable concepts and rental units are in high demand. This location is a premium with it's close proximity to the Interstate system, and with a hotel next door, and townhomes/condos within the general area, this product should fit in nicely.

As you know, P&Z does not cover HOA issues, and those questions should be discussed between the HOA in question and the property owner. This property is not a part of any existing HOA, is it? If it is, then it would be subject to that HOA's rules.

I will also point out, that a large development like this is not subject to any type of architectural review, or design standards. While the facade renderings are nice, I'm not a fan of the stucco along the top of the buildings. To me, it cheapens the look of the building and does not meet current building standards we see in other communities. I'd like to see the stucco removed and replaced with another masonry product, stone or glass.

Thank you for your time.
Bryan Gay

----- Forwarded message -----

From: <dewyzefan6@comcast.net>
Date: Wed, Apr 7, 2021 at 9:33 AM
Subject: Proposed Darien Apartments on Sokol - QUESTIONS / CONCERNS
To: <dgombac@darienil.gov>, <bvana@darienil.gov>, <jmarchese@darienil.gov>, <jkenny@darienil.gov>, <tschauer@darienil.gov>, <tchlystek@darienil.gov>, <egustafson@darienil.gov>, <jragona@darienil.gov>, <mjcoren@darienil.gov>, <mjcoren@darienil.gov>, <msullivan@darienil.gov>, <tbelczak@darienil.gov>, Jordan Yanke <jyanke@darienil.gov>, <lvaughan@darienil.gov>, <EconomicDevelopment@darienil.gov>
Cc: <dewyzefan6@comcast.net>

I really appreciate your attention to this issue that is **VERY IMPORTANT** to the residents of this community and strongly urge that you **DO NOT APPROVE THIS AMENDMENT FOR APARTMENTS ON SOKOL IN DARIEN.**

Please see all my questions and comments below. I have talked to several people in our HOA and everyone I've talked to so far feels the same.

COMPLIANCE ISSUES WITH CODES:

According to the relevant section 5A-2-2-5, below are the criteria a petitioner must meet to be able to illustrate that the petition for a Zoning Amendment meets the required criteria in Darien and it appears the petitioner does **NOT** meet the criteria to approve this amendment:

https://codelibrary.amlegal.com/codes/darieni/latest/darien_il/0-0-0-1

Standards: The Plan Commission shall consider the following factors and other pertinent factors in developing a recommendation for the City Council:

1. Existing uses of property within the general area of the property in question, and the resulting character of the general area;
The community and surrounding communities are filled with and inhabited with single family homes, townhomes and condos. Most residents are owners and well established. Even if there may be some renters, they are renting from a single vested owner. Renters are not vested in communities like owners. It's more transient, renters don't typically maintain properties as well as owners. There will be a revolving door of people in and out of the city for the rest of time if this amendment goes through. the CHARACTER of the neighborhood is larger lots - **SER.TH.**, etc. NOT apartments and permitting the proposed use would **IRREVOCABLY ALTER THE ESSENTIAL CHARACTER** of the surrounding area. (please see more in my comments below about the wonderful people and sense of community we have here).
2. The zoning classifications of property within the general area of the property in question;

I believe that the ZONING CLASSIFICATIONS of property within the general area are single family and some multi-family (townhomes/condos) with the exception of the hotel, which from my understanding is mostly inhabited by elderly people trying to survive as best and safely as they can. Putting apartments in the middle of large lot single family/condo/townhome OWNER residences is contrary to the criteria for a Zoning amendment and should not be allowed. If you want to change the Zoning to permit apartments IN AN AREA ALREADY FULL OF APARTMENTS, then that makes sense. It seems that apartments are inconsistent with the other uses permitted.

3. The suitability of the property in question to the uses permitted under the existing zoning classification including consideration of the length of time the property has been vacant as zoned;

This property is perfectly suited for CONDOMINIUMS for which it is already zoned and has been for 16 years. The current economy encourages SALES; not rentals. With historically LOW INTEREST RATES and the fact that people, especially in this economy and with all that's been happening in the last year, I can't see people wanting to spend \$1500-\$2700 to get NO EQUITY to live directly off an expressway when there's no amenities anywhere near the property and the ZONING AMENDMENT IS NOT NEEDED. The economy is in a different place now than it was in the last 16 years and it is ripe for condos and people wanting to establish themselves and have and build equity.

4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classifications and the impact to surrounding property likely to result from the proposed use;

Trend of development in the area are that people seem to want to purchase property. Single family homes, condos and townhomes have occupied this area for a long time and when homes in our community go on the market they SELL. The trend is toward SFR./TH's and not apartments.

5. The reduction in value of the subject property resulting from the particular zoning restriction as compared to the gain to the public if the property remains restricted; and

The developer can still make plenty of money developing the parcel as condos. The current Zoning as condos does not significantly reduce the value of the property. And that the public and city will gain from more home ownership, stable residents, rather than potentially transient renters. The proposed use would REDUCE property values and the hard working current residents in the area will be the ones to suffer the

financial losses we've been working SO HARD to build up for a lot of years.

6. The policies of all current official plans or plan elements of the City. I HAVE BEEN UNABLE TO REVIEW THE CITY'S COMPREHENSIVE PLAN BUT THERE IS NO INDICATION THAT THE PROPOSED USE IS CONSISTENT WITH ANY LONG -TERM PLAN OF THE CITY NOR ITS RESIDENTS. I feel that the plan to put up apartments will significantly devalue homes rather than add value and completely change the dynamic of the entire area.

In looking through all the online documentation I saw it said this proposal was sent to neighboring HOAs and there was no negative feedback. I have never seen any communication about this amendment - and to the best of my knowledge and in talking to other residents in our HOA community - no one has seen any communication about this amendment so many people are not informed at all about this issue and I believe would definitely oppose it if they were informed.

QUESTIONS

https://patch.com/illinois/darien-ii/big-darien-apartment-complex-proposed?utm_term=article-slot-1&utm_source=newsletter-daily&utm_medium=email&utm_campaign=newsletter

it stated we can submit questions to be asked in the meeting. below are my questions :

- To verify, once the amendment is approved you can't regulate it and no one will have any say in anything that happens or "changes" by the developer at any time?
- The developer can start out with his "proposed" high end apartments for \$1500 to \$2700, but then can change his mind anytime and go with any different price point and a whole different kind of apartment and the city and the long term residents can't do anything about it?
 - How will that affect property values?
- Can they then add section 8 since it can't be regulated?

- How will that affect property values?
- Will putting apartments directly in our community lower our home values?
 - That will also lower property taxes, which will not only be a loss to all the owners to lose equity in your home, but also the city of Darien as well because the city will lose all the revenue on the higher property values/taxes
- Is the developer currently talking to, working with, receiving funds or planning to work with any agencies, companies, government or any other entities to change the "proposed" apartments going for the high-end prices and floor plans to other floor plans, price points, etc?
- The darien patch article states that the developer indicated that when the market for condos comes back they MIGHT turn them into condos.
 - We just saw on the news last week that the Chicago area has become desirable and it's hard to find houses to purchase, etc. so how is buying a condo not desirable right now?
 - With historically LOW interest rates currently, they're stating people would rather pay \$1500-\$2700 a month to RENT and NOT buy?
- From what I understand, the developer purchased the land in 2005 and got permission for CONDOS.
 - Why after 16 years do they want to build apartments instead?
 - If no one can regulate their decisions, that could be very bad for the city of Darien and the surrounding communities in/near this location.
- If the city sadly approves this amendment, will rules be posted at the complex that residents of the new complex/building/buildings CANNOT use the facilities of the neighboring HOAs like the pond and facilities that belong to any neighboring HOAs who pay extra each month for these amenities?
- When do they plan on starting construction?
- How long would construction take?
- Does their amended request meet Darien zoning codes?
- How much of the frontage road will be blocked off and for how long in either direction?
 - This is very important to know as the frontage road is only ONE LANE each in BOTH directions and could totally hinder both residents and emergency vehicles getting in and out of the community in a timely matter. Not to mention all the bicycle people and groups who use the frontage roads a lot.

CONCERNS

PLEASE DO NOT ALLOW THE AMENDMENT TO CHANGE FROM CONDOS TO APARTMENTS TO GO THROUGH.

Once you allow the amendment to go through to change from OWNERS to RENTERS in a large apartment building, there will be a never-ending revolving

door of people constantly coming and going in Darien and a lot of unknowns that sound like they CAN'T be regulated and no one will be able to change anything once that's happened.

It will change the entire dynamic of our wonderful community, awesome town and surrounding communities alot, and there's no going back.

We are the people/citizens of Darien who LIVE in this community so I hope that will be forefront in consideration of this amendment and how it will affect us.

I HOPE THE CITY COUNCIL DOES THE RIGHT THING AND PUTS ITS CURRENT RESIDENTS FIRST!!!!

The residents put their trust in the city officials and council to look out for US and OUR BEST INTERESTS. I've talked to some other residents and I strongly urge you to please NOT ALLOW this amendment to pass and to seriously consider how the people who the officials represent feel, and how unsettling this is.

When you have a community of OWNERS, they take a lot of pride and are extremely VESTED; not only in their homes, but the community and the entire city of Darien than when you RENT; especially from an apartment manager. When you will only reside there for a short period of time most likely, you aren't really vested in the town. If condos are built and sold and people want to rent from a CONDO OWNER, that individual condo owner is more VESTED than renters.

When you're an owner and long term resident, you get to know your neighbors, become acquaintances and friends, you look out for each other, you feel safe, you help each other out, you have a sense of COMMUNITY, TRUST and SAFETY; and our community is filled with of a lot of LONG-TERM residents from all walks of life who work very hard, get along great and don't ask much. Our current community is such a nice, quiet, friendly, wonderful place to live - in a town we have all cared about and taken pride in for YEARS.

If this amendment is allowed to go through, it will sadly show hard working, long term Darien residents feel that our elected officials and representatives put the developer and their proposed plan first before us.

People have all gone through SO MUCH in the last year with COVID and everything it's brought to so many people and all people ask is for SAFETY and COMMUNITY in our city; and if there are going to be more people living in our town, they will be as VESTED as we are!

If the amendment passes to build apartments, I believe a lot of people will be very upset; and people want to keep their faith in Darien, its officials and the people who were voted in to represent US and OUR best interests.

Thank you,

Annie Shea

From: Jordan Yanke <jyanke@darienil.gov>
Sent: Wednesday, March 31, 2021 3:58 PM
To: dewyzefan6@comcast.net
Subject: City of Darien Inquiry - Darien Heights Residences (Sokol Court)

Hi Annie –

Thanks again for contacting the City. Please see responses to your questions below (red text). Let me know if you have any questions after reading through. Have a good afternoon.

- When and where is the meeting?

The meeting is at 7:00PM on Wednesday, April 7, 2021. The meeting will be held at City Hall in the Council Chambers (1702 Plainfield Road, Darien, IL 60561).

- I understand the meeting is open to the public?

The meeting will be open to the public with social distancing/face covering requirements in place. The Council Chambers will be limited to a maximum of

twenty (20) members of the public at any one time, FYI.

- Is there an option to attend virtually?

This option will not be available. The meeting will not be available via Zoom, GoTo Meeting, or other virtual platforms.

- Is there a link to obtain additional information?

*Please see the following link that was uploaded to the City website, which contains the entire meeting packet. The subject case and development plan, including parking and traffic analysis, can be found starting on Page 56:
<https://darien.il.us/getattachment/9ed0cd10-83c5-40fb-84ac-e860fb233250/Planning-and-Zoning-Commission-Meeting-April-7,-2021.aspx>*

- Are the buildings proposed to be condos and/or townhouses?

The proposed development includes 68 dwelling units in the form of apartments. No condominiums or townhomes are proposed.

- Will they be section 8?

Inclusion of Section 8 has not been specified or proposed per submitted documents by the petitioner.

- If so, what percentage of the building(s) would be section 8?

(N/A)

- How many people will be allowed to occupy each unit?

Please see the following link for definition of "Family" per the City's Zoning Ordinance. Each proposed dwelling unit can contain a "Family".

https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-4748

- What type of parking will they have?

Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.

- How much will that impact the property values in the community?

At this point, this question cannot be answered with specificity. The applicant can respond to this type of inquiry during the public hearing (04/07/2021) though. Additionally, if directed by the Planning and Zoning Commission, Municipal Services Committee, or City Council, the applicant may be required to submit a financial impact study or market analysis at a later date.

- Has an impact study been produced/conducted in relation to traffic, noise, construction, access to the frontage road (especially during construction as the 1 lane road each way is our ONLY access to get in and out of our neighborhood. If so, where may I view the results?

Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.



Jordan Yanke

Senior Planner
1702 Plainfield Road, Darien, IL 60561

Email: jyanke@darienil.gov

Office: (630) 353-8113 |

Connect with the City of Darien!



Bryan

630-512-7976

From: Rachel Townsend
To: Jordan Yanke
Subject: Proposed Apartments on Sokol Court
Date: Wednesday, April 7, 2021 3:06:11 PM

Dear Mr. Yanke,

I wanted to say I disagree with the petitions for exceptions on 2305 Sokol Court.

The zoning rules exist to keep Darien "A Nice Place to Live," and companies asking for these types of exemptions are unfairly putting burden on the residents to be following up with developments to make sure that we continue to have that nice place to live.

Many people use the public areas here - the sidewalks and verges, and having a much larger building than originally planned, brought so close to the road, with such a large number of apartments instead of condos (without the required parking) will end up making the whole area much more difficult and unpleasant to use. Additionally, the building is requested to be very close to the Waterfall Glen park area, and there needs to be the required space here as well.

Please deny the exceptions for the area. Of course the condos without the exceptions are reasonable, but all these exceptions are too much for this space and neighborhood.

Thank you,
Rachel Townsend
9223 Waterfall Glen Blvd

From: Scott Styles
To: Jordan Yanke
Subject: Sokol Court Apartment Proposal
Date: Wednesday, April 7, 2021 4:05:01 PM

Mr. Yanke,

I've lived in the Waterfall Glen townhomes in Darien for the past 12 years. I love the quiet streets and sunny park. I plan to stay for many more years.

I am writing to encourage a denial of the requested zoning waivers for the proposed Sokol Court apartments. This is not an investment in the community, it's an effort by the developer to profit, by pushing his burden onto existing residents.

Exceptions to building height and minimum setback will put our Waterfall Glen park in the shadows. The high residential density will encourage a transient population.

I fear the proposed development will negatively impact local quality of life, diminishing the community I have grown to love. The previously approved condos were much better suited to Darien.

Please require the developer to meet the standards of our existing zoning ordinances, keeping Darien a nice place to live.

Regards,
Scott Styles

From: Kevin Drum
To: Jordan Yanke
Subject: Apartment building
Date: Wednesday, April 7, 2021 5:11:50 PM

I live in waterfall glen townhouse and I am totally against this project. for one building to close to are fence which is are park that we pay for. second I can't believe that with everything going on in this country people can't pay rent and the virus still not controlled anybody in there right mind would want to build apartment's. plus why should there get a waiver for the height and closeness to the street. It's bad. Enough around here when Argonne is getting out and other offices sometimes you have to wait 20 to get on lemont road. And what will happen if he can't rent all the apartment', maybe make it section 8. We have enough people walking around here just from the hotel, I am not for this plan at all!

Sent from my iPhone

From: WALLY RIGHTON
To: Jordan Yanke
Subject: Fwd: 2305 Sokol Court
Date: Thursday, April 8, 2021 8:47:05 AM

As residents of the adjacent Preserves of Waterfall Glen Townhome Owners Association, we are voicing strong opposition to the PUD on Sokol Court as it is currently proposed. Of course, the only reason that Petitioner are requesting an increase in density is only to make the project more profitable for them and not the the long term viability of the surrounding neighborhood.

This building, no matter how well built, well-appointed and expertly marketed as a high end apartment complex is being proposed directly adjacent to one of the biggest interstate highways in the Chicago area. That proximity will prove more of a deterrent than an asset to the renters. Future residents in this proposed building will find the highway noise to be a major issue.

The Developer of the project, if built, undoubtedly will include in its marketing plan, that the State is planning to build a noise wall in the future. However, we all know the likelihood that the noise wall being built in the next ten years is very slim, if ever. Unlike the current townhome and condo owners nearby, it is doubtful most renters will be as determined to adjust to the noise. It is far more likely there will be a high turnover rate, which will only reduce the value of the building and therefore the value of our adjacent townhomes and condos.

I fully understand that the owner of the property has the right to improve it. I also realize that a project that strictly meets the zoning must be approved. Unfortunately for the current property owner, the proximity to the highway is the most likely reason the property has sat vacant for so long. Our property values will diminish when this development, as currently proposed, struggles to be economically viable in the future. If the Petitioner cannot make the financials work with a much more reasonable project, it is neither our fault nor the City's fault. If the Planning and Zoning Committee directs the Petitioner to return with a substantially smaller proposal, the PUD will have a substantially better chance in being an asset, rather than a liability to our neighborhood.

Wally and Joan Righton
9227 Waterfall Glen Boulevard
Darien, IL 60561

From: Mary Sullivan
To: Jordan Yanke; Bryon Vana; Dan Gombac; Joe Marchese
Subject: Fwd: Views on HUD
Date: Thursday, April 15, 2021 11:14:46 AM

See below.

Mary Coyie Sullivan
City of Darien Alderperson Ward 5
1702 Plainfield Road, Darien, IL 60561
Email: msullivan@darienil.gov
Phone: [\(630\) 606-8664](tel:(630)606-8664)

Begin forwarded message:

From: star14666@comcast.net
Date: April 15, 2021 at 11:01:45 AM CDT
To: Mary Sullivan <msullivan@darienil.gov>
Subject: Re: Views on HUD

Hi, This guy Swanson is a slick con man! He applied for FEDERAL HUD FUNDS to build the projects next to my house! HUD means crime crime crime. To call the project an UPSCALE rental is B.S who in hell thinks living 50 yards from I-55 is upscale? Dont vote for carjacking, robbery, even gang murders!

On 04/13/2021 10:07 AM star14666@comcast.net wrote:

Hi, I will be attending the hearing on empty lot on 27 april. One question everyone needs to ask themselves is, would I want to live near a HUD section 8 housing complex? Of course the answer is NO unless your demented!

On 04/07/2021 10:48 AM star14666@comcast.net wrote:

I voted for you Tuesday, glad you won. Now please stand up for us in Darien keeping it safe and a nice place to live! Your opponent was ANTI POLICE and his poor showing confirms Darien is a law and order community. WE dont want criminals here! HUD director Fudge is an anti white racist HATER to the MAX!

On 03/28/2021 2:14 PM
star14666@comcast.net wrote:

I take that as a NO to any and all HUD
programs.

On 03/28/2021 1:16 PM Mary
Sullivan
<msullivan@darienil.gov>
wrote:

To my knowledge there is no
activity in ward 5 of Darien
involving an expansion of
HUD. If an issue as you
described arises, I will research
the matter and vote in the best
interest of my constituents and
fellow residents.

Regards - Mary Sullivan

Mary Coyle Sullivan

City of Darien Alderperson
Ward 5

1702 Plainfield Road, Darien,
IL 60561<x-apple-data-
detectors://1/0>

Email:
msullivan@darienil.gov<mailto:msullivan@darienil.gov>

Phone: (630) 606-8664<tel:
(630)%20606-8664>

On Mar 28, 2021, at 11:47 AM,
star14666@comcast.net wrote:

Oh yes to be clear is; do you support jamming HUD into a subdivision like ours for the "greater good" and force us to grapple with crime and everything else that comes from people who dont work. Never held a job NEVER wanted a job. Not to confuse this with anyone any color who BUYS a home in our subdivison a bonus to us all not a millstone.

On 03/28/2021 11:00 AM Mary Sullivan
<msullivan@darienil.gov>
wrote:

Hello Don . Can you please clarify your question?

Regards - Mary

Mary Coyle Sullivan

City of Darien Alderperson
Ward 5

1702 Plainfield Road, Darien,
IL 60561<x-apple-data-
detectors://4/0>

Email:msullivan@darienil.gov<mailto:msullivan@darienil.gov>

Phone: (630) 606-8664<tel:
(630)%20606-8664>

On Mar 28, 2021, at 10:08 AM,
star14666@comcast.net wrote:

Hi, I see your sign at our exit.
Waterfall glen residents
wonder your view on HUD in
Darien?

I will share your response with
others here.

thank you

Don Letrich sr.

From: [Mary Sullivan](#)
To: [Jordan Yanke](#); [Bryon Vana](#); [Dan Gombac](#); [Joe Marchese](#)
Subject: Fwd: Preserves of Waterfall Glen Townhome Owners Association - Darien Heights Residences PUD Rezoning - Meeting Thursday, April 15 - 6:30-9 p.m.
Date: Tuesday, April 13, 2021 1:33:03 PM
Attachments: [Darien Heights Residences - Neighbors 4-12-2021.pdf](#)

Please see communication below

Mary Coyle Sullivan

City of Darien Alderperson Ward 5
[1702 Plainfield Road, Darien, IL 60561](#)
Email: msullivan@darienil.gov
Phone: [\(630\) 606-8664](tel:(630)606-8664)

Begin forwarded message:

From: Tim Tumlin <tumlintr@comcast.net>
Date: April 13, 2021 at 1:08:56 PM CDT
To: Mary Sullivan <MSullivan@darienil.gov>
Subject: FW: Preserves of Waterfall Glen Townhome Owners Association - Darien Heights Residences PUD Rezoning - Meeting Thursday, April 15 - 6:30-9 p.m.

Hi Mary,

Thank you for getting back to me so soon. I'll look on Facebook for the information exchange you mentioned.

The attached letter from Mr. Swanson seems to clearly indicate that he is not making any changes in his proposal for the Sokol Court project he is proposing. My understanding from the P&Z Commission meeting was that they delayed a vote so he could consider making these units condos instead of rental apartments and change the design to better fit in to the neighborhood, and that those changes would be necessary for them to approve it. Is that how you interpreted their vote to delay?

I am told that this is the latest of several controversial and failed attempts to use this property for development, mainly because the builders were too ambitious and planned on putting too many units or too large a facility there. Since you have served on the P&Z before, perhaps you have an informed opinion as to whether a solution to this may be for us local residents to seek to change the zoning from R-3 to the less-dense R-2, grandfathering in all the existing usage now. The less-dense use of the land could be much more acceptable to nearby residents and stand a much better chance of

success. However, I'm a complete amateur in this business and this may be entirely unworkable. You would certainly know more than I.

Tim

From: susan@mcPMC.com [mailto:susan@mcPMC.com]
Sent: Tuesday, April 13, 2021 12:46 PM
To: tumlintr@comcast.net
Subject: Preserves of Waterfall Glen Townhome Owners Association – Darien Heights Residences PUD Rezoning – Meeting Thursday, April 15 – 6:30-9 p.m.

Dear Preserves of Waterfall Glen Owners:

See the attached letter received. Sharing with the owners in case you wish to attend the meeting this Thursday.

*Michelle D. Cohen, CMCA, AMS
Licensed Community Association Manager
MC Property Management Corp.
14224 McCarthy Road
Lemont, IL 60439
Office: (630) 985-2500, X6605
Fax: (630) 678-9027*

From: dewyzefan6
To: Mary Sullivan; Jordan Yanke; dewyzefan6@comcast.net
Subject: FW: Darien Heights Residences - Neighbors 4-12-2021.pdf
Date: Tuesday, April 13, 2021 3:11:35 PM
Attachments: Darien Heights Residences - Neighbors 4-12-2021.pdf

Somchow I was not on the email list for this meeting but my neighbors forwarded this to me.

I'm very confused because everybody's understanding at the end of the last meeting was that Paul Swanson was going to meet with us when he had an alternate proposal for condos and something that looked more like the character of our community. however this letter from him seems to state that he just wants to try to further convince us again to build apartments and not stick to what the board asked him to do. Yet again not caring about the town or the committee or the residents at all. just himself and his profits.

He wants the town to break every variance for him and make all special exceptions for him instead of caring about the hundreds and hundreds of people that have to live right here and he supposedly cant get a loan which we feel is very hard to believe, so he wants that to be on us too and it seems like he he doesn't want to produce any alternate design that looks like the community. These are all huge red flags showing he does not care about any of the elected officials or respect dariens rules or our committees or our town or our resident. It seems to me that it's all about him.

Living here for 14 years believe in my heart of hearts that nobody who want that lifestyle wants it by the expressway without a Charming town and some kind of Starbucks or something. we do not believe people of that scale he refers to will want to pay top dollar to reside in a place on an expressway to get no equiry in a booming market - by a park though he totally stresses how these people will most likely not have kids.

We have all resided here for quite a long time and are ingrained in the community and this man has no ties to Darien and he doesn't seem to care at all or he would have this meeting according to what the committee asked him to do and he'd actually care about variances in the rules and the laws and the people who live here. I don't believe it all that he would want an apartment building right next to his house and I don't think anybody would that is involved in these decisions.

There seems to be a very nice vacant lot across the expressway as well.

He has no vested interest and never plans to have a vested interest. I believe he's going to build and sell right away and then we have no idea what it's going to turn into and nothing can be done then. that is so so scary and so so wrong wrong to do that to every single person and family and citizen who has their whole entire life vested here.

I have been talking to several people and we feel like this is just going to end very badly for everybody if apartments are allowed.

darien and this whole area going to change the city forever FOR THE BAD and the feel of the city and the feel of the communities and the enthusiasm of all the long-term vested residents who have been giving loyalty to this city for LOTS of years.

there is so much more going on than meets the eye. I have very very good gut instincts. and please mark my words.

----- Original message -----

From: Marema <marebunch@aol.com>

Date: 4/12/21 2:36 PM (GMT-06:00)

To: dewyzefan6@comcast.net

Subject: Darien Heights Residences - Neighbors 4-12-2021.pdf

Annie,

Here is the info about the meeting on Thursday.

Kathe and Chris Marema

From: [Scott Styles](#)
To: [Mary Sullivan](#)
Cc: [Joe Marchese](#); [Jordan Yanke](#)
Subject: Proposed Darien Heights Apartments
Date: Saturday, April 17, 2021 12:01:05 PM

Alderperson Sullivan,

Congratulations on the results of this month's election. My wife and I were happy to vote you. We've grown to appreciate the importance of our local elected officials,

Locally - a few dozen votes matter. We vote in every local election. We encourage our friends, family and neighbors to do the same.

We are grateful for your contributions to the city. We are heartened our representative understands our values.

I am writing because we reside in the Waterfall Glen townhomes. I want to follow up on the proposed Darien Heights apartments.

I read this week's Planning and Zoning meeting packet. Yes, every page. Riveting.

Something jumped out at me. Significant zoning exceptions were present for the previously approved condos. The needs of our community have changed. Please do not use undeveloped plans (from 15 years ago!) as the reference. It is not appropriate for evaluating the proposed apartments.

Please hold the developer accountable. Accountable not to prior exceptions, but to Darien's true zoning rules. Doing otherwise is a transfer of wealth. An approval takes from our community (hundreds of residents), so the single developer can profit. That is not our burden to bear.

I read the promise of large tax revenue. Please do not accept this red herring. The 5 year projection takes a short term view of community impact. It ignores intangibles. It assumes no other purpose for the land.

What's the long term cost of lowered property values? How does a transient population impact crime? Schools? Darien's reputation as a nice place to live?

A fair evaluation needs to consider community appropriate uses. It needs to account for intangibles. Some things are more important than money.

Perhaps, an appropriate development must wait for favorable construction costs. As recovery from the pandemic continues, the economics will change. We need to take a long term view.

Please continue the fight for the better solution, on the behalf of your constituents.

Regards,

Scott Styles and Rachel Townsend

From: WALLY RIGHTON
To: Jordan Yanke
Cc: Joe Marchese; Mary Sullivan
Subject: 2305 Sokol Court Proposal
Date: Saturday, April 17, 2021 3:27:40 PM

Jordan

Again, thanks for forwarding my comments.

I attended the April 15 meeting offered by Mr. Paul Swanson. According to those residents who also attended the April 7 Planning and Zoning Committee meeting, his meeting with us was simply a rehash of what he had presented earlier, in spite of the suggestions Committee members made to him on April 7. He did not acknowledge to us those suggestions he was given by the Committee. Nor did he even acknowledge he would have the necessary revisions for the Committee when he meets with them on April 21. I fully expect he already has exterior color changes for the April 21 meeting in demonstrating a token of accommodation. However, regardless of any the relatively cosmetic changes he will eventually agree to, they are all but a smoke screen concealing what they really want.

At the April 15 meeting, he heard the comments from many people who felt his exterior design clashed rather than complemented the adjacent townhomes, condos and the Extended Stay. The unspoken message from Mr. Swanson was "I don't want my project to complement your homes. I want it to stand out." It is ironic he addressed our invitation to his meeting as "Dear Neighbor." As part of his presentation, he did say one of his consultants opined this proposed building would have a neutral impact on our neighborhood - neither positively nor negatively. In other words, a zero sum game. What a great marketing point from which we can hang onto our future home values!

He repeatedly ignored the questions from several people on why he can secure financing for building an apartment building but not for a condo building. He had no answer to those who asked how can his proposed apartment building will be competitively attractive to the downtown scenes of Downers Grove, Lemont or Westmont for "young mobile professionals" tenants. This is especially significant when his rental ranges are very similar. He was rather dismissive of questions on the impact of the additional monthly fees would have in pushing the overall rental rates beyond the area's market rates. He proudly related how much more the tax revenue his development would generate over the current two vacant lots. Apparently absent from his calculations was how that figure likely would be offset by the future declining townhome and condo valuations if and when his project struggles to be financially viable.

As the meeting was concluding, I sincerely believe that those in attendance came to the realization of the end game of Shipper Columbus LLC and their hired hand, Mr. Swanson. Their true objective is to build apartments from which they can liquidate much easier than they can a condo building. So much for them saying how much they love our town! They are preying on Darien's great reputation, as well as the desirability of our Waterfall Glen community for a cash grab and nothing else.

As I stated at the meeting, some towns need or are at least somewhat desirous of getting more apartment buildings. As a resident of this city since 1977, I can tell you Darien has very little need for more apartments and certainly our Waterfall Glen

neighborhood does not need any.
Wally Righton
9227 Waterfall Glen Boulevard
Darien

From: [Mary Sullivan](#)
To: [Jordan Yanke](#)
Subject: Fwd: Apartment building project in front of 2301 Oakmont way building
Date: Sunday, April 18, 2021 9:56:21 AM

Mary Coyle Sullivan

City of Darien Alderperson Ward 5
[1702 Plainfield Road, Darien, IL 60561](#)
Email: msullivan@darienil.gov
Phone: [\(630\) 606-8664](tel:(630)606-8664)

Begin forwarded message:

From: milicevicd@aol.com
Date: April 18, 2021 at 9:54:16 AM CDT
To: Mary Sullivan <MSullivan@darienil.gov>
Subject: Apartment building project in front of 2301 Oakmont way building

Hi Marry, I, Dusan Milicevic and my wife Simsa Milicevic urge you to stand against apartment building in front of our 2301 Oakmont way building due to increase of traffic and noise. Looks like also building new apartment with heating and air conditioning units for each apartment would increase air pollution. I am also suggesting that Darien government evaluate possibility to reduce traffic noise from I-55. Noise is especially annoying during rush hours and early in the morning (4-7 AM). Noise reduction would protect the value of our apartments.

Best regards,

Dusan and Simsa Milicevic
Phone 6303246678

From: hmjar@aol.com
To: [Jordan Yanke](#)
Subject: Proposed Apartment Building at Sokol Cout and South Frontage Road
Date: Monday, April 19, 2021 11:15:11 AM

From: Harriet Jarosz
2301 Oakmont Way
Darien, IL

Dear Mr. Yanke,

I have two objections to the proposed apartment building: First it will attract a transient population to an area of owner owned and occupied residences. I understand the original proposal was for a Condominium building and I find the builder's reason for the change of plan spurious. Second the color of the building is completely foreign to this and will be an awful eyesore.

Thank you for your consideration of these objection.

Sincerely,

Harriet Jarosz

From: [Dorothy Fara](#)
To: [Jordan Yanke](#)
Subject: vacant property on frontage road
Date: Monday, April 19, 2021 11:37:56 AM

Good morning Jordan: I would like to point out several items about the proposed apartment building that is proposed for the Sokol property on Frontage Road. The building will not look anything like the surrounding property. He does want it to stand out and be noticed. The parking lot will have 127 spaces, Where are they going to pile the snow? All moving vans (in and out) will have to use the front entrance since the garage area has an incline they will not want to use, and get to the elevators. The new residents cannot walk for exercise along Frontage road. There are no sidewalks and no shoulders and just too dangerous to use for walking. I have lived here for 19 years and know that. No buses, no trains, no grocery stores near by, have to drive to everything just like we do at the Waterfall Glen Condos. That will put more traffic on Frontage Road. The colors the building has chosen will not blend in with the surrounding homes and hotel. It is too big of a project for that small vacant lot. We know some day some one will build there, nice piece of property, but not something that will bring in more traffic. So close to I-55 will have the apartments nearer the highway moving out fast. If I open a window or balcony door for fresh air I hear every truck and car that goes by on I-55. We have good insulation, as he says he will also use, but there is no way to stop the noise once you open even ONE window. Please do not let this get built, there are better plans to come along
Thanks, Dorothy Fara, Waterfall Glen Condos

From: [Marianne Anselone](#)
To: [Mary Sullivan](#)
Cc: [Jordan Yanke](#); lmallers@comcast.net
Subject: Condo Complex plan
Date: Monday, April 19, 2021 12:30:16 PM

Hi Mary!

First of all congratulations on your campaign and win. We truly need you

I have lived in the waterfall Glen condo complex since 2001 and really enjoy this area, especially when I used to travel for work and the location was easy access to both airports and other places I used to drive because of the easy access to all highways. I'm retired now and still like the area because it's close to shopping and a variety of other recreational activities.

I know some of my friends who live in our building are against this new complex being built but I'm not sure that I agree with a lot of their reasoning except the aesthetic value seems way off - design (and color??) will create an eyesore ! Rentals versus condos is a business decision but from my experience renters do not really take care of their property no matter how much they are paying. I used to live in Willowbrook at AmlI when it was pretty expensive in the Mid90s... I was paying over \$1200 for a one bedroom even at that time. So I think the rent this person will be charging isn't really extreme. Granted it's not low income housing, which would not be a good idea in our area because there is little public transportation on frontage road, but it's not really luxury. So his argument there doesn't hold water in my opinion. Trying to draw empty-nesters or younger corporate type workers to BUY would make sense due to location. Allowing pets (dogs) can be a mess if they don't leash and pickup waste... as many renters I've known over the years have done (or not done!)

If the builder can tell us what color the building is going to be and if there is any chance to modify the building ornamentation design to match the neighborhood a little bit better I am all for it if no rentals. Condos are selling like hot cakes here at great prices. Not sure where he got his info that the condo market isn't there.

If he's going to stick with his plans, it seems this sort of building would be more suited to a corporate area and not a neighborhood nestled next to a forest preserve. What was he thinking?

That's my two cents... Thank you for listening and I know you will make the best decision possible.

Marianne Anselone
2301 Oakmont Way. Darien

Sent from my iPhone

From: Mary Sullivan
To: Jordan Yanke
Subject: Fwd: Large apartment Complex
Date: Monday, April 19, 2021 1:17:05 PM

Mary Coyle Sullivan

City of Darien Alderperson Ward 5
1702 Plainfield Road, Darien, IL 60561
Email: msullivan@darienil.gov
Phone: (630) 606-8664

Begin forwarded message:

From: RICHARD HERRICK <rreherrick@comcast.net>
Date: April 19, 2021 at 11:59:25 AM CDT
To: Mary Sullivan <MSullivan@darienil.gov>
Subject: Large apartment Complex

TO: Alderwoman Mary Sullivan
City of Darien Planning Commission

As a Waterfall Glen resident and condo owner at 2301 Oakmont Way, I would like to express some serious concerns I have regarding the proposed building of a large apartment complex adjacent to my property on South Frontage Road.

Information I've received indicates that the builder would like to charge rates that would attract high end renters. What happens if this doesn't materialize? It can only be assumed that rents would be lowered to an amount that would fill the building, thus lowering the community standards. Transient living is not desirable to this condo-owned neighborhood. I feel my property value would decrease and property taxes would increase as a result of the land being developed in this way at this time. Eventually more police and fire protection would be needed, traffic volume on South Frontage Road would dictate widening to accommodate bicyclists and the additional traffic. In addition, stop signs and/or traffic lights would be necessary for safety reasons. The small community of Waterfall Glen is not ready financially or otherwise for this growth change at this time.

I am totally against this project.

Robert E. Herrick
April 19, 2021

From: Frank Tremmel
To: Mary Sullivan; Jordan Yanke; Lmallers@comcast.net
Subject: RENTAL UNITS
Date: Tuesday, April 20, 2021 9:36:38 AM

To all, We are owners in the Waterfall Glen Condo complex and are opposed to rental units by the Extended Stay hotel. It has been our experience renters do not take care of other people's property. If they are unable to rent luxury apartments, do we know they will not lower the rents? The traffic on Frontage Road will be terrible. We bought property here because it was nice and quiet. Thank You All, Mr. and Mrs Frank Tremmel

From: Chris
To: Joe Marchese; Bryon Vana; Joseph Kenny; tchauer@darrienil.gov; Thomas Chlystek; Eric Gustafson; Mary Sullivan; Tom Belczak; Lester Vaughan; Jordan Yanke
Subject: Proposed Apartment complex on Sokol Ct.
Date: Tuesday, April 20, 2021 12:47:38 PM

Hello,

I had attended the 4-7-2021 Planning and Zoning meeting regarding this apartment complex. Many homeowners from the Preserves of Waterfall Glen Townhomes and the Waterfall Glen Condos were present. We are all against this development for numerous reasons that were discussed. The Planning and Zoning Committee suggested to the developer, Paul Swanson, to have an additional meeting with all the homeowners on Thursday 4-15-21 to see if he would come up with some changes to his proposal. He did not want to change anything, which was disappointing to all of us who attended this meeting. I am not able to attend the Planning and Zoning Meeting on 4-21-21 but I wish to again voice my displeasure with this apartment complex. It will be an eyesore to the community, reduce our property values and reduce our quality of living. I would like to know how many of you have ever driven through our wonderful community? Would you like this development dumped in your neighborhood? Mr. Swanson is going to build this apartment complex and then sell it. The rents he will be charging are not for high end apartments, they are the same as the Farmingdale Apartments which are not considered high end in my book. I am urging that this apartment complex not be approved. I hope my statement will be shared with the Planning and Zoning Committee.

Chris Marema
9405 Waterfall Glen
Darien IL

Sent from my iPad

From: dewyzefan6@comcast.net
To: [Dan Gombac](#); [Bryon Vana](#); [Joe Marchese](#); [Joseph Kenny](#); [Ted schauer](#); [Thomas Chlystek](#); [Eric Gustafson](#); [JoAnne E. Ragona](#); mjcoren@darienil.gov; [Michael J. Coren](#); [Mary Sullivan](#); [Tom Belczak](#); [Jordan Yanke](#); [Lester Vaughan](#); [EconomicDevelopment](#); [Maria Gonzalez](#)
Cc: dewyzefan6@comcast.net
Subject: Proposed Darien Heights Apartments on Sokol - QUESTIONS / CONCERNS for 4/26 MEETING
Date: Monday, April 26, 2021 8:42:41 AM
Attachments: [image001.png](#)
[image003.png](#)

My name is Annie Shea and I have sent a few prior emails and attended the last 3 meetings. 2 with the zoning committee who thankfully voted 7-1 AGAINST Paul Swanson's petition to change EVERYTHING about this possible build.

I have included my recent thoughts directly below, followed by the other 2 communications I presented in the last few meetings I have attended.

We strongly urge you to VOTE AGAINST the proposed apartments. There are SO MANY RED FLAGS and it will change our community forever for the worst. The owners and developer want to build what they want to build, they want ALL laws and variances that everyone else has to follow ALL changed for them.

Once you vote to approve apartments (so many of us believe will fail) it cannot be regulated and Darien and it's residents and communities and government will be left to deal with the aftermath of what this will bring.

Paul and the owner will come and go and leave Darien to deal with the long-term effects of what this will bring to us all. This will NOT end well and we will all suffer while Paul and the owner walk away and sell it to the next company with no regard for anyone in Darien.

There are A LOT of red flags on every aspect of this proposal and project, and it hasn't even started yet

I have a very good gut instincts and I think there's so much more going on with this than meets the eye and it really scares me and all the people in our community I've spoken to.

- The new owner purchased the property knowing full well it was zoned for condos for 15 years. It sounds like they didn't even consider building what it was zoned for.
- They not only want to change ALL zoning for their gain, but they want All the variances changed for THEM, and will offer no concessions to blend into the town and community AT ALL.
- They will not get \$2700 for 2 bedroom apartments in Darien right off an expressway by a townhouse/condo community and hotel with no other amenities like a charming coffee shop, shopsping, etc.
- They're painting a pretty picture now of all the things they want to offer, but once the apartments are approved, there is NO regulating it and then when they change their plan entirely what happens to Darien?
- Paul indicated his building will generate approx. \$110k the 1st year and approx \$200k in 2nd year. That's even **IF** anyone rents.

- IF NOT, Darien will be in a financial hole from the beginning and will STAY in a financial hole and it will be a HUGE NIGHTMARE
- People will leave in masses and Darien will lose a lot of revenue and its wonderful reputation of “a nice place to live”.
- **Condos are guaranteed revenue.** If you build approx. 68 units where owners pay \$5500 a year in taxes (that’s approx what we pay now), Darien is guaranteed approx. \$341K a year. If taxes are \$6000 a year Darien is guaranteed \$403K a year; doubling revenue from the currently proposed apartments.
- There will be a revolving door or transient people in and out of Darien that are NOT invested in our town or community.
- Apartments will lower property values and hurt our extremely wonderful community TERRIBLY; and people have worked so hard for what they have built in their lives and we are all just recovering from a year that hit us all hard with COVID; and we already have so much uncertainty.
- Apartments are NOT guaranteed revenue in any way, shape or form.
- Apartments if NOT rented will become a huge detriment and liability for Darien.
- A resident brought in a previous meeting that the same thing was proposed and passed in Orland Park. People didn’t rent and it did NOT go well.
- Apartments are very very risky and when they don’t rent it can turn into anything and Darien will suffer as a whole.
- Plus with COVID if you rent, it’s impossible to vacate renters and then the owners will have to go into default or sell and again; and the community, property values, residents suffer and it becomes a major safety concern
- **There are nothing but red flags and it’s very very concerning.**
- Paul read report stats, but people in Paul’s meeting indicated they were almost certain those reports were stats geared towards the city of Chicago, not Darien.
- Paul and the owners (who we are not hearing from for some reason) won’t and haven’t budged an inch showing they do not care at all about Darien, the residents, committees, city council, mayor or town in general.
- Everyone raised their hands before speaking in the meetings and they indicated several times they could NOT procure a loan for condos though thousands of developers are building condos and they’re selling so fast people are losing out every day and would love to be able to purchase a condo.
- It appears in the meeting Paul conducted from what some of the residents questioned, it sounds more possible they do NOT want to procure a loan for condos; and IF that’s the case then one must ask WHY and what’s their REAL agenda.
- With the owners Paul is working with owning approx. 200 properties and being very established I find that quite hard to believe they can’t procure a loan for condos
- **If that’s the case they cannot get a loan being so established company with that many properties and properties, that appears to be another huge red flag**
- They don’t seem to want to make any long term investment in Darien
- One resident asked in the initial meeting if Paul still owned or was affiliated with the properties he referred to in trying to sell his idea, and he said NO.
- Why will they NOT CONSIDER building something in the character of the community?

Do they have a whole other agenda with this building that appears to be just a simple dark L shaped building with no appeal at all?

- Concerned residents feel they are going to build and leave not caring what happens to Darien or it's possible financial losses and safety concerns.
- With a very booming market and historically low interest rates most people want to buy and gain equity.
- A recent Darien Patch article just stated those facts as well. The market is hot and millennials want to buy.
- People do NOT want to rent in this market and throw their money out the window to get nothing in return without having any amenities like a charming town with shops, coffee shop, outdoors dining, shops, etc.
- The park in the community belongs to the townhouse association so they can't utilize that and that could be a situation that the park and pond access is not allowed for them; and Paul wants to extend his building to be only be 20 feet away from the park where people's children play.
- One neighbor is currently working construction on a condo development and people are buying in advance in developments and there's a lot of condo and townhouse developments in this market .
- One neighbor has been trying to buy a condo for several months and they're selling so fast they lose out on every condo they try to buy.
- If condos are built that's WAY more of an investment in Darien with GUARANTEED property taxes, VESTED owners and CONCERNED citizens.
- Also as people begin to retire and downsize from townhouses, they'll stay in Darien and the community because they love it so much and it'll keep our town and community STRONG instead of having people move out of Darien to go live in another town where they can buy a condo.
- We asked if they can guarantee they'd be here in a year and 2 and they said they couldn't guarantee that.
- They DON'T WANT to blend in with the character of the community or be part of Darien at all. They want Darien to give, give, give while they take, take, take.
- Darien is a wonderful town and Waterfall Glen is such a lovely, friendly community with people of all walks of life who all look out for each other, work very hard, are invested, pay their taxes, all get along and feel safe ...
- Paul and the owners don't ever want to be a part of that and won't even negotiate or work with Darien in any capacity.
- They are ONLY out for themselves and what they can get out of it; and they've showed that over the last few meetings.
- The zoning committee also instructed Paul to meet with homeowners once he had alternate design in the character of the community and for condos.
- Paul and the owner totally ignored and disrespected the committee's instructions and presented exactly what he presented at the 1st meeting that he knew everyone was very adamantly against. Again NO regard for anyone except for HIMSELF and HIS plan.
- If that's what's happening before anything starts, everyone should be very very concerned about what's really going on.

- The committee all voted WITHOUT hesitation to not let the marijuana dispensary be put in a residential area to keep everyone safe. The residents concern was that “shady characters” as the residents stated, would be in and out of the neighborhood. That is for about 15 mins at a time.
- Please vote with US WITHOUT HESITATION and give us the same safety and peace of mind you afforded them because this community’s revolving door of transient people and possible “shady characters” won’t be coming and going in 15 mins increments. They will be here for 6 mos to 1 year and that is much more of a safety concern for a community with a lot of senior citizens and young families.
- I have every confidence the committees, and the city council will stand with its citizens and residents to keep Darien safe and keep it a nice place to live because we would stand with you and vote to keep you, your families and your community safe.

Thank you,
Annie Shea

From: dewyzefan6@comcast.net <dewyzefan6@comcast.net>
Sent: Wednesday, April 21, 2021 6:40 PM
To: annie6@highenergydesign.com
Subject: Darien Heights Residences - Neighbors 4/21/21

To read at 04/21/21 meeting

<https://patch.com/illinois/darien-il/home-prices-darien-area-increased-past-year-see-how-much>

Again I’ll reiterate my concerns from the first meeting. I see nothing but red flags.

They presented the apartment proposal and after the residents in the meeting were so upset the board clearly stated paul should meet with the homeowners when he had a proposal for condos and with an alternate design that matches the character of our community - that once approved can’t be regulated and that should put EVERYONE on VERY high alert.

I want to know why we had the EXACT same meeting as the prior week where paul and the owner were VERY aware everybody was extremely and adamantly opposed to this build and yet changed absolutely NOTHING.

You instructed them to come up with and present an alternative plan and design for condos and meet with the owners. They completed ignored your instructions and did not care what you had to say and that is extremely disrespectful and another HUGE RED FLAG.

They are NOT interested in matching the character of our community, or our town and that’s A HUGE RED FLAG. There’s but BUT HUGE RED FLAGS WAVING ALL OVER THE PLACE and nothing’s even been started yet.

they refuse to change the design. They refuse to even consider condos. They refuse to follow the

laws and variances. This land was zoned for over 15 years for condos and now they want to come to Darien and they want ALL the laws that everyone else has to follow and willing does so, changed just for THEM. They refuse to budge or care about the residents or care about the town, or care any of the committees or care or respect the city council or the mayor.

They are ONLY interested in their own agenda and really WHAT is their REAL agenda? Once you give approval and there are no regulations, they can do whatever they want so please SERIOUSLY think about that.

Everyone raised their right hands in the first meeting before they spoke. We were told they couldn't get a loan for condos. In the last meeting with Paul, it was stated the owner owns 200 buildings or projects. That means they are very established and if they can't get a loan for condos, we need to question that when tons of developers are getting loans and building condos. Also it was indicated it seems they DON'T want to get a loan for condos and are ONLY interested in apartments.

Also why are we not speaking to the owner and we are just speaking to Paul.

I'd like to know

- Out of the 200 properties, how many were proposed for high end apartments and are still high end?
- How many were built in areas like this and are there fact sheets showing how they fared and if they're still high end?
- How long have they owned each property?
- And if they've owned for awhile, do they only own the high end ones or the ones that become something different?
- How many lenders they applied at and what was the reason they turned down condos as opposed to apartments in the booming housing market with extremely low interest rates?
- And at the lenders they say they got turned down at what was the banks reasoning for saying apartments are better especially when people rent they can skip out A LOT easier without paying and owners are held responsible so it's SO much more secure, to me, getting financing for condos?
- Are they working with any investors or government agencies, or plan to, and what's their agenda and intentions?
- Can you do a proposal and then change it at any time and make the apartments all together something different than you're proposing?

We have a neighbor who is in the construction industry and is currently building condos. There's lots of other developers out there building condos. We've heard from other resident who has been trying to buy a condo for months, but keeps getting beat out because they're in such high demand, we have historically low interest rates and a historically high demand to buy; not to rent. An article just came out in the patch this week talking about the booming market to buy and a growing number of millennials become interested in owning homes. It is also driving up home values increasing tax revenue for Darien which is in total is far greater than one apartment building we all see failing with either high end apartments or then having to turn it into section 8.

they indicated that the taxes would be (and don't quote me) approx. 110K the first year and double the second year. if you fill up a 68 unit condo building with owners who have to pay 6000 in taxes like we do in the townhouses darien gets taxes in the amount of 408k, peace of mind, steady taxes, invested residents and not a company who can come in, propose a plan, ask us to break every rule for them and if the renters don't pay or the building doesn't rent out, then darien loses everything. a lady from the condos stated in the meeting last week with paul, the same thing happened in orland park, people didn't rent, and things did NOT go well.

also to reiterate from the last 2 meetings, people will NOT pay 2700 a month to live across from an expressway and next to a hotel and a children's park to build absolutely NO equity when there's an extremely high demand for houses and the historically low interest rates. Real estate agents would agree, lenders would agree, business people would agree and the residents would agree.

they want darien to change everything for THEM, but they won't even budge an inch or try to even consider how strongly we feel. That clearly shows they have not and do not care about us or our town or our officials or our laws. Everything is for them. Nothing is for Darien and nothing is about contributing to the town, the look, the feel or how VERY VERY upset residents are..there is nothing in their plan AT ALL to BENEFIT the hundreds and hundreds and hundreds of residents, but everything should be changed for ONE person and their agenda who's not even a resident of our town and don't plan on staying long, leaving all of us to deal with whatever this brings. We asked them if they can guarantee they'd be here in a few years and they didn't answer.

It will change our town FOR THE WORST. We will have a revolving door of transient people who will come and go and not be vested in this community or take care of it like we do. it will not help darien, it will not make darien safe. It will not make darien a nice place to live, it will lower property values and overall change the community and city as a whole FOR THE WORSE.

If they were truly interested in bettering our town and community and they actually cared about the people who really care about this community and each other and have worked VERY hard to buy and keep these properties, especially during COVID and have lived here a long time to see their hard earned money go out the window - they would have worked directly with the officials and the committee and the residence from day 1 to blend into this community that means SO VERY MUCH to us all - you would ask how can I contributed to darien while still making money and blending in and then we could all work together. The residents should not suffer for people who are not part of darien and don't want to be's agenda, profit and gain and law bending requests and I am beyond stressed and sickened about this and I know thee's A LOT of other people who feel the same way.

You all voted WITHOUT hesitation to not let the marijuana dispensary be put in a residential area to keep everyone safe. Their concern was that "shady characters" as they stated, would be in and out of the neighborhood. That is for about 15 mins at a time. please vote with US WITHOUT HESITATION and give us the same safety and peace of mind you afforded them because our revolving door of transient people and possible "shady characters" won't be coming and going in 15 mins increments. They will be planted here for 6 mos to 1 year and that is much less safe.

I have every confidence the committees, and the city council will stand with its citizens and residents

to keep darien safe and keep it a nice place to live because we would stand with you and vote to keep you, your families and your community safe.

From: dewyzefan6@comcast.net <dewyzefan6@comcast.net>
Sent: Wednesday, April 07, 2021 9:33 AM
To: dgombac@darienil.gov; bvana@darienil.gov; jmarchese@darienil.gov; jkenny@darienil.gov; tschauer@darienil.gov; tchlystek@darienil.gov; egustafson@darienil.gov; jragona@darienil.gov; mjcoren@darienil.gov; mjcoren@darienil.gov; msullivan@darienil.gov; tbelczak@darienil.gov; 'Jordan Yanke' <jyanke@darienil.gov>; lvaughan@darienil.gov; EconomicDevelopment@darienil.gov

Cc: dewyzefan6@comcast.net
Subject: Proposed Darien Apartments on Sokol - QUESTIONS / CONCERNS

I really appreciate your attention to this issue that is **VERY IMPORTANT** to the residents of this community and strongly urge that you **DO NOT APPROVE THIS AMENDMENT FOR APARTMENTS ON SOKOL IN DARIEN.**

Please see all my questions and comments below. I have talked to several people in our HOA and everyone I've talked to so far feels the same.

COMPLIANCE ISSUES WITH CODES:

According to the relevant section 5A-2-2-5, below are the criteria a petitioner must meet to be able to illustrate that the petition for a Zoning Amendment meets the required criteria in Darien and it appears the petitioner does **NOT** meet the criteria to approve this amendment:

https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-1

Standards: The Plan Commission shall consider the following factors and other pertinent factors in developing a recommendation for the City Council:

1. Existing uses of property within the general area of the property in question, and the resulting character of the general area;

The community and surrounding communities are filled with and inhabited with single family homes, townhomes and condos. Most residents are owners and well established. Even if there may be some renters, they are renting from a single vested owner. Renters are not vested in communities like owners. It's more transient, renters don't typically maintain properties as well as owners. There will be a revolving door of people in and out of the city for the rest of time if this amendment goes through. the CHARACTER of the neighborhood is larger lots - SFR.TH, etc. NOT apartments and permitting the proposed use would IRREVOCABLY ALTER THE ESSENTIAL CHARACTER of the surrounding area. (please see more in my comments below about the wonderful people and sense of community we have here).

2. The zoning classifications of property within the general area of the property in

question;

I believe that the ZONING CLASSIFICATIONS of property within the general area are single family and some multi-family (townhomes/condos) with the exception of the hotel, which from my understanding is mostly inhabited by elderly people trying to survive as best and safely as they can. Putting apartments in the middle of large lot single family/condo/townhome OWNER residences is contrary to the criteria for a Zoning amendment and should not be allowed. If you want to change the Zoning to permit apartments IN AN AREA ALREADY FULL OF APARTMENTS, then that makes sense. It seems that apartments are inconsistent with the other uses permitted.

3. The suitability of the property in question to the uses permitted under the existing zoning classification including consideration of the length of time the property has been vacant as zoned;

This property is perfectly suited for CONDOMINIUMS for which it is already zoned and has been for 16 years. The current economy encourages SALES; not rentals. With historically LOW INTEREST RATES and the fact that people, especially in this economy and with all that's been happening in the last year, I can't see people wanting to spend \$1500-\$2700 to get NO EQUITY to live directly off an expressway when there's no amenities anywhere near the property and the ZONING AMENDMENT IS NOT NEEDED. The economy is in a different place now than it was in the last 16 years and it is ripe for condos and people wanting to establish themselves and have and build equity.

4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classifications and the impact to surrounding property likely to result from the proposed use;

Trend of development in the area are that people seem to want to purchase property. Single family homes, condos and townhomes have occupied this area for a long time and when homes in our community go on the market they SELL. The trend is toward SFR./TH's and not apartments.

5. The reduction in value of the subject property resulting from the particular zoning restriction as compared to the gain to the public if the property remains restricted; and

The developer can still make plenty of money developing the parcel as condos. The current Zoning as condos does not significantly reduce the value of the property. And that the public and city will gain from more home ownership, stable residents, rather than potentially transient renters. The proposed use would REDUCE property values and the hard working current residents in the area will be the ones to suffer the financial losses we've been working SO HARD to build up for a lot of years.

6. The policies of all current official plans or plan elements of the City.

I HAVE BEEN UNABLE TO REVIEW THE CITY'S COMPREHENSIVE PLAN BUT THERE IS NO INDICATION THAT THE PROPOSED USE IS CONSISTENT WITH ANY LONG -TERM PLAN OF THE CITY NOR ITS RESIDENTS. I feel that the plan to put up apartments will significantly devalue homes rather than add value

and completely change the dynamic of the entire area.

In looking through all the online documentation I saw it said this proposal was sent to neighboring HOAs and there was no negative feedback. I have never seen any communication about this amendment - and to the best of my knowledge and in talking to other residents in our HOA community - no one has seen any communication about this amendment so many people are not informed at all about this issue and I believe would definitely oppose it if they were informed.

QUESTIONS

https://patch.com/illinois/darien-il/big-darien-apartment-complex-proposed?utm_term=article-slot-1&utm_source=newsletter-daily&utm_medium=email&utm_campaign=newsletter

it stated we can submit questions to be asked in the meeting. below are my questions :

- To verify, once the amendment is approved you can't regulate it and no one will have any say in anything that happens or "changes" by the developer at any time?
- The developer can start out with his "proposed" high end apartments for \$1500 to \$2700, but then can change his mind anytime and go with any different price point and a whole different kind of apartment and the city and the long term residents can't do anything about it?
 - How will that affect property values?
- Can they then add section 8 since it can't be regulated?
 - How will that affect property values?
- Will putting apartments directly in our community lower our home values?
 - That will also lower property taxes, which will not only be a loss to all the owners to lose equity in your home, but also the city of Darien as well because the city will lose all the revenue on the higher property values/taxes
- Is the developer currently talking to, working with, receiving funds or planning to work with any agencies, companies, government or any other entities to change the "proposed" apartments going for the high-end prices and floor plans to other floor plans, price points, etc?
- The darien patch article states that the developer indicated that when the market for condos comes back they MIGHT turn them into condos.
 - We just saw on the news last week that the Chicago area has become desirable and it's hard to find houses to purchase, etc. so how is buying a condo not desirable right now?
 - With historically LOW interest rates currently, they're stating people would rather pay \$1500-\$2700 a month to RENT and NOT buy?
- From what I understand, the developer purchased the land in 2005 and got permission for CONDOS.
 - Why after 16 years do they want to build apartments instead?
 - If no one can regulate their decisions, that could be very bad for the city of Darien

and the surrounding communities in/near this location.

- If the city sadly approves this amendment, will rules be posted at the complex that residents of the new complex/building/buildings CANNOT use the facilities of the neighboring HOAs like the pond and facilities that belong to any neighboring HOAs who pay extra each month for these amenities?
- When do they plan on starting construction?
- How long would construction take?
- Does their amended request meet Darien zoning codes?
- How much of the frontage road will be blocked off and for how long in either direction?
 - This is very important to know as the frontage road is only ONE LANE each in BOTH directions and could totally hinder both residents and emergency vehicles getting in and out of the community in a timely matter. Not to mention all the bicycle people and groups who use the frontage roads a lot.

CONCERNS

PLEASE DO NOT ALLOW THE AMENDMENT TO CHANGE FROM CONDOS TO APARTMENTS TO GO THROUGH.

Once you allow the amendment to go through to change from OWNERS to RENTERS in a large apartment building, there will be a **never-ending revolving door of people constantly coming and going in Darien** and **a lot of unknowns** that sound like **they CAN'T be regulated** and no one will be able to change anything once that's happened.

It will change the entire dynamic of our wonderful community, awesome town and surrounding communities alot, and there's no going back.

We are the people/citizens of Darien who **LIVE in this community** so I hope that will be forefront in consideration of this amendment and how it will affect us.

I HOPE THE CITY COUNCIL DOES THE RIGHT THING AND PUTS ITS CURRENT RESIDENTS FIRST!!!!

The residents put their trust in the city officials and council to look out for **US and OUR BEST INTERESTS**. I've talked to some other residents and **I strongly urge you to please NOT ALLOW** this amendment to pass and to seriously consider how the people who the officials represent feel, and how unsettling this is.

When you have a community of **OWNERS**, they take a lot of pride and are extremely **VESTED**; not only in their homes, but the community and the entire city of Darien than when you RENT; especially from an apartment manager. When you will only reside there for a short period of time most likely, you aren't really vested in the town. If condos are built and sold and people want to rent from a CONDO OWNER, that individual condo owner is more VESTED than renters.

When you're an owner and long term resident, you get to know your neighbors, become acquaintances and friends, you look out for each other, you feel safe, you help each other out, you have a sense of **COMMUNITY, TRUST and SAFETY**; and our community is filled

with of a lot of LONG-TERM residents from all walks of life who work very hard, get along great and don't ask much. Our current community is such a nice, quiet, friendly, wonderful place to live - in a town we have all cared about and taken pride in for YEARS.

If this amendment is allowed to go through, it will sadly show hard working, long term Darien residents feel that our elected officials and representatives put the developer and their proposed plan first before us.

People have all gone through SO MUCH in the last year with COVID and everything it's brought to so many people and all people ask is for SAFETY and COMMUNITY in our city; and if there are going to be more people living in our town, they will be as VESTED as we are!

If the amendment passes to build apartments, I believe a lot of people will be very upset; and people want to keep their faith in Darien, its officials and the people who were voted in to represent US and OUR best interests.

Thank you,
Annie Shea

From: Jordan Yanke <jyanke@darienil.gov>
Sent: Wednesday, March 31, 2021 3:58 PM
To: dewyzefan6@comcast.net
Subject: City of Darien Inquiry - Darien Heights Residences (Sokol Court)

Hi Annie –

Thanks again for contacting the City. Please see responses to your questions below (red text). Let me know if you have any questions after reading through. Have a good afternoon.

- [When and where is the meeting?](#)
The meeting is at 7:00PM on Wednesday, April 7, 2021. The meeting will be held at City Hall in the Council Chambers (1702 Plainfield Road, Darien, IL 60561).
- [I understand the meeting is open to the public?](#)
The meeting will be open to the public with social distancing/face covering requirements in place. The Council Chambers will be limited to a maximum of twenty (20) members of the public at any one time, FYI.
- [Is there an option to attend virtually?](#)
This option will not be available. The meeting will not be available via Zoom, GoTo Meeting, or other virtual platforms.
- [Is there a link to obtain additional information?](#)
Please see the following link that was uploaded to the City website, which contains the entire meeting packet. The subject case and development plan, including parking and traffic analysis, can be found starting on Page 56:
<https://darien.il.us/getattachment/9ed0cd10-83c5-40fb-84ac-e860fb233250/Planning-and-Zoning-Commission-Meeting-April-7,-2021.aspx>

- Are the buildings proposed to be condos and/or townhouses?
The proposed development includes 68 dwelling units in the form of apartments. No condominiums or townhomes are proposed.
- Will they be section 8?
Inclusion of Section 8 has not been specified or proposed per submitted documents by the petitioner.
- If so, what percentage of the building(s) would be section 8?
(N/A)
- How many people will be allowed to occupy each unit?
Please see the following link for definition of “Family” per the City’s Zoning Ordinance. Each proposed dwelling unit can contain a “Family”.
https://codelibrary.amlegal.com/codes/darienil/latest/darien_il/0-0-0-4748
- What type of parking will they have?
Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.
- How much will that impact the property values in the community?
At this point, this question cannot be answered with specificity. The applicant can respond to this type of inquiry during the public hearing (04/07/2021) though. Additionally, if directed by the Planning and Zoning Commission, Municipal Services Committee, or City Council, the applicant may be required to submit a financial impact study or market analysis at a later date.
- Has an impact study been produced/conducted in relation to traffic, noise, construction, access to the frontage road (especially during construction as the 1 lane road each way is our ONLY access to get in and out of our neighborhood. If so, where may I view the results?
Please refer to answer above and access the meeting packet for the proposed development plan, parking layout, and traffic analysis.

Jordan Yanke

Senior Planner
1702 Plainfield Road, Darien, IL 60561
Email: jyanke@darienil.gov
Office: (630) 353-8113 |
Connect with the City of Darien!



From: armondcozzi@gmail.com
To: [Joe Marchese](#); [Joseph Kenny](#); [Ted schauer](#); [Thomas Chlystek](#); [Eric Gustafson](#); [Tom Belczak](#); [Mary Sullivan](#); [Lester Vaughan](#); [Jordan Yanke](#)
Subject: Preserves of Waterfall Glen Townhome Owner:
Date: Wednesday, April 28, 2021 12:28:08 PM
Importance: High

Hi Darien Government,

I oppose the new building being built for renters.

- I don't think the developer had honest intentions of developing for condos and wanted to rent. He could easily sell all of the properties being how "hot" the market is. What value does it add to rent in our area? Why would this be approved if it doesn't add any value to people who live around here?
- No one in our community or the condo association next to us wants this. How many times do we have to complain? Why would you even allow this to happen?
- Please tell everyone what benefit this is to the community.

Thank You,

Armond Cozzi
P: 630-808-4988
E: armondcozzi@gmail.com

From: [Julia Edwards](#)
To: [Joe Marchese](#); [Tom Belczak](#); [Joseph Kenny](#); [Mary Sullivan](#); [Ted schauer](#); [Lester Vaughan](#); [Thomas Chlystek](#); [Jordan Yanke](#)
Subject: Fwd: Preserves of Waterfall Glen Townhome Owners' Association – Voice Your Concerns!
Date: Wednesday, April 28, 2021 12:36:20 PM

Hello-

We are Preserves of Waterfall Glen Townhome Owners and would like to voice our opinion and strong consideration to make this development condominium only. Owners take care of their property and invest in the community. We are not interested in having transient apartment renters here who are not going to be invested in developing our community for the better.

Please strongly vote against this apartment complex and urge them to pursue condo ownership solely. Our property value and the beauty of the community depends on it.

Thank you in advance for your consideration!

Sincerely,
Julia and Victor Tijerina
9222 Waterfall Glen Blvd
Darien, IL

Begin forwarded message:

[Dear Preserves of Waterfall Glen Townhome Owner:](#)

The Darien City Council will be voting on Monday, May 3rd at 7:30 pm whether or not to approve the Apartment Building that borders our property. Please attend the meeting if you can or email the following city officials to voice your concerns about this apartment building.

Michelle D. Cohen, CMCA, AMS
Licensed Community Association Manager
MC Property Management Corp.
14224 McCarthy Road
Lemont, IL 60439
Office: (630) 985-2500, X6605
Fax: (630) 678-9027

ZONING/DEVELOPMENT ANALYSIS & COMPARISON FOR DEVELOPMENT SCENARIOS (CONDOMINIUMS VS. APARTMENTS)

	Highland Condominiums (Approved, 2005)	Darien Heights Apartments (Proposed, 2021)	Scenario No. 1 Build to Existing PUD Standards	Scenario No. 2 Revocation of PUD and Build under New PUD	Scenario No. 3 Revocation of PUD and Build to Underlying Zoning (R-3) Standards
Total Number of Dwelling Units	66 Units	68 Units	24 Units	19 Units	28 Units
PUD Residential Density	9.6 Dwelling Units/Acre**	9.9 Dwelling Units/Acre**	8 Dwelling Units/Acre	6.8 Dwelling Units/Acre	N/A
Site Density	23.5 Dwelling Units/Acre	24.2 Dwelling Units/Acre	8.5 Dwelling Units/Acre	6.8 Dwelling Units/Acre	10 Dwelling Units/Acre
Building Height	47.9 Feet**	40 Feet**	35 Feet (Max Allowed)	35 Feet (Max Allowed)	35 Feet (Max Allowed)
Parking Spaces	132	137	48	38	56
Building Coverage (%)	36%	17%	40% (Max Allowed)	40% (Max Allowed)	40% (Max Allowed)
Total Lot Coverage (%)	55%	55%	60% (Max Allowed)	60% (Max Allowed)	60% (Max Allowed)
Setback Distance:					
East Lot Line (Abuts Pocket Park)	10 Feet	20 Feet**	10 Feet <u>OR</u> Distance Equal to Height of Building if Greater than 24 Feet in Height	10 Feet <u>OR</u> Distance Equal to Height of Building if Greater than 24 Feet in Height	10 Feet
Southern Lot Line (Abuts Oakmont Way Development)	30 Feet	40 Feet	30 Feet <u>OR</u> Distance Equal to Height of Building if Greater than 30 Feet in Height	30 Feet <u>OR</u> Distance Equal to Height of Building if Greater than 30 Feet in Height	30 Feet
Landscaping	Comply with City Code	Comply with City Code	Comply with City Code	Comply with City Code	Comply with City Code
Signage	Comply with City Code	Comply with City Code	Comply with City Code	Comply with City Code	Comply with City Code

****The data points illustrated by asterisk above are non-compliant with City Code, meaning they are required to be waived as part of the planning/zoning process through the Planning and Zoning Commission, Municipal Services Committee, and City Council. Please refer to the previous page for the ordinance sections associated with the petitioner’s requested waivers, in addition to the City Code standard for each.****

= Possible/Hypothetical Scenarios

EXHIBIT 1

Legal Description of 2305 Sokol Court & 2345 S Frontage Road

PARCEL 1: LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RESUBDIVISION UNIT 1, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 25, 1959 AS DOCUMENT 916621, IN DUPAGE COUNTY, ILLINOIS, SAID SOUTHWEST CORNER BEING ALSO THE NORTHWEST CORNER OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, AND RUNNING THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS EAST ALONG THE SOUTH LINE OF LOT 1 OF HOMER ANDRUS SUBDIVISION, BEING ALSO THE NORTH LINE OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, A DISTANCE OF 369.80 FEET TO THE SOUTHEAST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION; THENCE NORTH 33 DEGREES 36 MINUTES 05 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 1 OF HOMER ANDRUS SUBDIVISION, A DISTANCE OF 578.33 FEET TO THE SOUTH LINE OF FORMER ROUTE 66 PER DOCUMENT NO. 931792 AND DOHLMAN'S RESUBDIVISION (DOCUMENT NO. 967060), BEING ALSO THE SOUTH LINE OF FEDERAL AID HIGHWAY ROUTE 98 PER DOCUMENTS 524869 AND 524870; THENCE NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST, A DISTANCE OF 19.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST ALONG SAID SOUTH LINE OF FORMER ROUTE 66, A DISTANCE OF 373.00 FEET; THENCE SOUTH 33 DEGREES 14 MINUTES 03 SECONDS EAST, A DISTANCE OF 320.00 FEET; THENCE SOUTH 56 DEGREES 45 MINUTES 57 SECONDS WEST, A DISTANCE OF 297.48 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST, A DISTANCE OF 160.50 FEET; THENCE NORTH 84 DEGREES 18 MINUTES 21 SECONDS WEST, A DISTANCE OF 97.08 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST, A DISTANCE OF 98.50 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. WHICH PROPERTY IS ALSO KNOWN AS LOT 31 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

PIN: 10-05-404-002/024. The property is located at 2305 Sokol Court & 2345 S Frontage Road, Darien, Illinois 60561.

CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A MAJOR CHANGE IN A
PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)**

**ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN**

THIS 3rd DAY OF MAY, 2021

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
_____ day of May, 2021.**

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A MAJOR CHANGE IN A
PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)**

RECITALS

A. The Subject Property of this Ordinance is approximately 2.81 acres in area with a common address of 2305 Sokol Court and 2345 S Frontage Road and is legally described on **EXHIBIT 1** attached hereto and made a part hereof (the “Subject Property”).

B. The Subject Property is part of a larger parcel annexed to the City in 1996.

C. Pursuant to Ordinances No. 0-31-05 and 0-33-05, the City granted preliminary and final PUD approval for development of the Subject Property consisting of 66 condominium units in two buildings.

D. No development has taken place on the Subject Property since the 2005 approvals.

E. The contract purchaser of the Subject Property (“Developer”) has petitioned the City for a major change to the approved 2005 PUD Plan. Specifically, Developer proposes to improve the Subject Property with one 4-story multi-family building containing sixty-eight (68) rental units.

F. Developer also proposes that in connection with the development plan, the City grant waivers from certain of the bulk standards of the Zoning Ordinance.

G. Pursuant to notice as required by law, the City’s Planning and Zoning Commission conducted a public hearing on Developer’s proposal. The Commission recommended against Developer’s proposal.

H. The City Council Municipal Services Committee further reviewed Developer's proposal. Following such review, a motion to recommend approval of Developer's proposal to the full City Council failed for lack of a second.

I. The City Council has further reviewed Developer's proposal and has determined that granting this major change to the previously approved PUD is reasonable and will support the sound growth and development of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, ILLINOIS, as follows:

SECTION 1: Major Change Approval. The City Council hereby approves a major change in the previously approved Planned Unit Development for the Subject Property, which change would allow the development of the Subject Property as a 4-story 68-unit multi-family rental development, subject to the terms, conditions, and limitations set forth in this Ordinance.

SECTION 2: Preliminary Plan Approved; Approved Preliminary Plan Identified. In accordance with Section 5A-3-2-2 of the Darien City Code, the City Council approves the preliminary plan for the Subject Property. The following submittals constitute the approved preliminary plan for the Subject Property, copies of which documents are on file with the City:

- A. Site Plan, 1 Sheet, prepared by Arthur Swanson & Associates, LTD., latest version dated January 19, 2021.
- B. Floor Plan, 2 Sheets, prepared by Arthur Swanson & Associates, LTD., latest version dated January 19, 2021.
- C. Building Elevations, 1 Sheet, prepared by Arthur Swanson & Associates, LTD., latest

version dated January 19, 2021.

- D. Preliminary Engineering Plan (Includes Existing Conditions, Geometric Site Plan, Engineering Plan), 3 Sheets, prepared by Pearson, Brown, & Associates, Inc., latest version dated January 19, 2021.
- E. Landscape Plan, 3 Sheets, prepared by Gary R. Weber Associates, Inc., latest version dated January 19, 2021.

SECTION 3: Waivers. As part of the approved preliminary plan, the following waivers are granted in connection with the development of the Subject Property:

- A. A waiver from Section 5A-3-3-4 of the Zoning Ordinance is granted to allow a residential density of 9.9 du/residential acre.
- B. A waiver from Section 5A-3-3-5 of the Zoning Ordinance is granted to waive the requirement for the required one off-street loading berth.
- C. A waiver from Section 5A-3-3-9(B) of the Zoning Ordinance is granted to allow a setback from the eastern property line of 20 feet instead of the required 40 feet.
- D. A waiver from Section 5A-3-3-10 of the Zoning Ordinance is granted to allow a four-story structure with a maximum building height of 40 feet instead of a maximum of three-story building of 35 feet in height.

SECTION 4: Additional Development Condition. Except as provided herein, the development of the Subject Property shall proceed in accordance with all applicable ordinances of the City, including but not limited to ordinances relating to final PUD Plan approval.

SECTION 5: Effective Date. This Ordinance shall be in full force and effect upon its passage, approval, and publication as required by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of May, 2021.

AYES _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of May, 2021.

JOSEPH MARCHESE, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

RECEIVED

JUL 08 2021

Community Development
City of Darien



ZONING APPLICATION

CITY OF DARIEN
1702 Plainfield Road, Darien, IL 60561
www.darienil.us 630-852-5000

CONTACT INFORMATION

EQUITY TRUST COMPANY CUSTODIAN FIB/O
Applicant's Name PAUL SWANSON IZA

SHIPPER COLUMBUS LLC
Owner's Name

40 PAUL SWANSON AVE PROSPECT AVE MIT PROSPECT 7515 SANTA FE DR HODKINS, IL
Address, City, State, Zip Code IL 60056 Address, City, State, Zip Code 60525

847-670-6710
Telephone

708 514-8530
Telephone

847-670-6713
Email

bshipper3@everitequipment.com
Email

PROPERTY INFORMATION

2305 SOKAL CT.
Property address

1005404002 & 1005404024
PIN Number(s)

R23 PUD
Zoning District

VACANT
Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

REQUEST

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

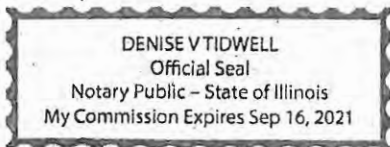
TO DEVELOPE A 4-STORY 68 RENTAL UNITS + 2 MODELS W/ INTERIOR
& EXTERIOR PARKING

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that PAUL SWANSON is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.

Given under my hand and seal, this 14th day of MAY 20 21.

Denise Tidwell
Notary Public

For office use only	
Date Received:	07/08/2021
Case Number:	PZC2021-04
Fee Paid:	\$ 180.00
Hearing Date:	N/A



RECEIVED

JUL 08 2021

Community Development
City of Darien

CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the
Mayor and City Council of the City of Darien:

Staff Use Only	
Case No.	PZC2021-04
Date Received	07/08/2021
Fee Paid	\$100.00
Check No.	1552383
Hearing Date	N/A

PETITIONER INFORMATION

PAUL BURNHAM, III
Petitioner's Name

SHIRLEY L. BURMAN III
Owner's Name

PAUL BURNHAM, III
Contact Name

1515 BURNHAM RD DARIEN, IL 60126
Address, City, State, Zip Code

410 WINDYBROOK AND WILSON ST DARIEN, IL 60126
Address, City, State, Zip Code

708-471-0531
Phone #

708-471-0531
Phone #

shirley.l.burman@burnhamllc.com
Email

708-471-0531
Fax #

PAUL.BURNHAM@DARIEN.IL.GOV
Email

PROPERTY INFORMATION

1515 BURNHAM RD - T
Property address

0.91
Acreage

1515 BURNHAM RD # 1515 DARIEN, IL 60126
PIN(s)

R-1
Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

DARIEN HEIGHTS RESIDENCES
PUD Name

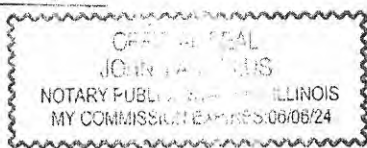
Preliminary PUD PUD Amendment
 Final PUD

Brief description of the proposed development:
4 STORY OF GENERAL UNIT 2 UNITS w/ INTERIOR
& EXTERIOR PARKING

BERNARD J SHIPPER III do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record) of the aforesaid described property) and I hereby make application as such.

Bernard Shipper III
Signature
Subscribed and sworn to before this 8th day of June 20 21

[Signature]
Notary Public



April 5, 2021

Jordan Yanke (jyanke@darienil.com)
Senior Planner
Darien, Illinois

**RE: Darien Heights
2305 Sokol Court**

Jordan,

Paul Swanson called me regarding your request for a copy of our Sales Contract. Neither Paul or myself want our contract disclosed, however I can tell you that Paul's IRA – Equity Trust Company Custodian F/B/O Paul Swanson IRA – is the Contract Purchaser and that the Seller is Shipper Columbus, LLC of which I am the Manager, as shown on the Planned Unit Development Application which I signed on February 21st, 2021.

Paul has the right and my permission to rezone the above referenced property.


Bernard Shipper, Manager
Shipper Columbus LLC

Enclosures

CC Paul Swanson authorized agent Equity Trust Company Custodian F/B/O Paul Swanson IRA

Development Concept
Darien Heights Residences
2305 Sokol Court

Overall Concept

The overall Development Concept for Darien Heights is to provide an alternative to Home Ownership – being tied down to one place with Mortgage Payments, Real Estate Taxes, Home Upkeep and Repair etc.

Up Scale Rental Residences, such as Darien Heights, is a Life Style Choice; not so much built on Economics, (our residences will lease for between \$1,500 a month for a 1 Bedroom/1 Bathroom residence to over \$2,700 a month for our largest a 2 Bedroom/2 Bathroom residence) but to offer a more mobile attachment free lifestyle.

To attract this upscale clientele, we provide 6 different floor plans, which vary in size and layout, but with features found in upscale homes, such as hardwood floors in all living areas (carpet in bedrooms) ceramic tile floors and walls in bathrooms, kitchens all with designer countertops and appliances including in unit washer and dryers.

All utilities are separately metered for future conversion to Condominiums. Further amenities provided are Underground Heated Parking with Car Wash, Storage Units, Party Room, Exercise Room, Exterior Terrace with BBQ, generous (2 cars/residence) parking and a small “Bark Park” all under the watchful eye of an On-Site Leasing Manager and Building Engineer to attend to the daily needs of the residents.

Site Specific Concept

Site specifically we are presenting a 4 Story Building with 66 Residences plus a 1 Bedroom and a 2 Bedroom Model all with private Balconies or Patios. The site was chosen for its access to a major expressway and the upscale Darien Community and more specifically the attractive ‘Waterfall Glen’ neighborhood of Townhomes and Condominiums. The Building Architecture is brick with some stucco accents with a lower building height (40’) than the existing Condominium Buildings and sited to the east part of the site overlooking the Park and away from the existing Condominium Buildings as possible.

Another plus for these Upscale Residences is the fact that there will be very few school aged children as the Residents will be economically upscale, mobile, young working professionals and older empty nesters.

All the above being said, we are excited about becoming part of the Waterfall Glen Neighborhood and while looking to present an alternative lifestyle, to firstly become a good and stable part of the Neighborhood.

Darien Heights Residences
2305 Sokol Court

Discussion items

Question 1 Why are you developing a Rental Community in lieu of Condominiums?

Answer 1 The answer is two-fold 1) Many people want the flexibility of Leasing where there are no Real Estate Taxes, Mortgage Payments or upkeep expenses. Leasing is a Lifestyle Choice.

Answer 2 Presently, there is no Mortgage Money, Construction, Loans, etc. for Condominium Development. Condominium Financing is out of favor.

Question 2 Is your Rental Community Subsidized Housing?

Answer The answer is an emphatic NO! Right from the start I told the Staff this is an Upscale, Market Rate, Condominium Quality Rental Community in terms of Quality and Amenities – the rent will be \$2/SF/MO which results in rents from \$1,500/mo. for a 1 Bedroom, 1 Bath Suite to \$2,700/mo. for the largest 2 Bedroom, 2 Bathroom Unit – hardly subsidized Housing Rentals.

Question 3 **Ownership and Developer**

The Property is owned by Shipper Columbus, LLC, Bernard Shipper, Manager. Equity Trust Company F/B/O Paul Swanson IRA is the Contract Purchaser, Paul Swanson Authorized Agent, is also the Petitioner and Developer. Assuming the Rezoning is granted. A Partnership will be formed to do the actual construction. At this point Equity Trust is the Sole Petitioner/Developer and has authority to rezone as requested.

Question 4 Why are you Rezoning the property? I thought the property was approved for a large Condominium Development in November, 2005?

Answer Because that project was Condominium Project and this project is a Rental Community, it was determined that there had to be a Rezoning. By comparison both developments are similar in size, number of units, parking, building height (4-Stories) and imperious coverage. Darien Heights has greater setbacks from property lines and different amenities.

Question 5 What amenities do you have?

Answer There full-time on-site Leasing and Management as well as Janitorial/Engineering Services, Indoor and Outdoor Exercise Area, Party/Conference Room, Large Exterior Terrace with BBQ, Dog Park, Inside Heated Parking and Tenant Storage Area, Car Wash, Car Battery Charging Station, Trash Chute on each floor or Concierge Trash Pick-Up at your door.

Question 6 What are your Architectural Details?

Answer A **Exterior**

The exterior is Brick Veneer with Accents or Dryvit Stucco. The Windows, Sliding Glass Doors to the Balconies and the 4-Story Curtain Wall and the Lobby are Black Anodized Aluminum with insulated glass.

The balconies are black painted metal railings and the Color of the Brick is Charcoal Gray.

Answer B **Interior**

All Rental Suites will have Condo quality finishes with painted drywall ceilings and walls with tile in the Kitchen and Bathrooms. Floors are Engineered Wood in the Kitchen and Living Areas, Tile in the Bathrooms and Carpets in the Bedrooms. Kitchen has Granite or Quartz Countertops with high end 42" high Cabinets. Appliances will be high end Whirlpool or Maytag, Dishwasher, Range, Refrigerator and Microwave Oven. Bathrooms will have Granite Counter Tops.

All Units will have Wi-Fi and touchless Corridor Door – Building Front Door is also Touchless. Each unit is a Smart Unit for Lights, Heating/Cooling and Thermostat.

Jordan Yanke
City of Darien

**RE: Darien Heights Residences
2305 Sokol Court**

Jordan,

Enclosed find my response to the Standards for Special Use under Paragraph G Special Uses 5A-2-2-6

1. That the special use is deemed necessary for the public convenience at the location specified

Answer: Yes, the Special Use is necessary for Public Convenience at 2305 Sokol Court in that it completes the various housing types offered ie Townhomes, Condominiums, Hotel and now Luxury Apartments.

2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.

Answer: The Apartments will in no way be detrimental to or endanger the Public Health, Safety or Welfare. There will be full time On-Site Leasing, Management and Janitorial Personal.

3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Answer: Yes, this is true. Because of the up-scale nature of the proposed Rental Community there will be no negative impact on the surrounding property values. See letter from Tracy Cross & Associates...Attached.

4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Answer: Yes, this is true, After the development of the proposed up-scale Rental Community there is no further surrounding land to develop.

5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

Answer: The Architectural Design of the proposed Luxury Rental Community including Site Plan, Building Elevations and Landscape Plans are reflective of design for 2021, but in no way will cause and depreciation to your property values in the neighborhood. Again, see attached letter from Tracy Cross & Associates.

6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.

Answer: Adequate utilities, drainage, and roads are to the Site.

7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Answer: There will be no traffic congestion due to this development. See enclosed Traffic Study by Haeger Engineering.

8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.

Answer: Yes, the proposed Special Use for the Development of 68 Luxury Rental Units will conform to the applicable regulations in the District.



DATE	REVISIONS
6-11-2021 <td>ISSUE FOR PERMIT</td>	ISSUE FOR PERMIT
5-11-2021 <td>REVISED PER CITY COMMENTS</td>	REVISED PER CITY COMMENTS

PROJECT STAFF

PROJECT NUMBER	21245
OWNER	W. L. EDWARDS
DESIGNER	W. L. EDWARDS
TECHNICIAN	

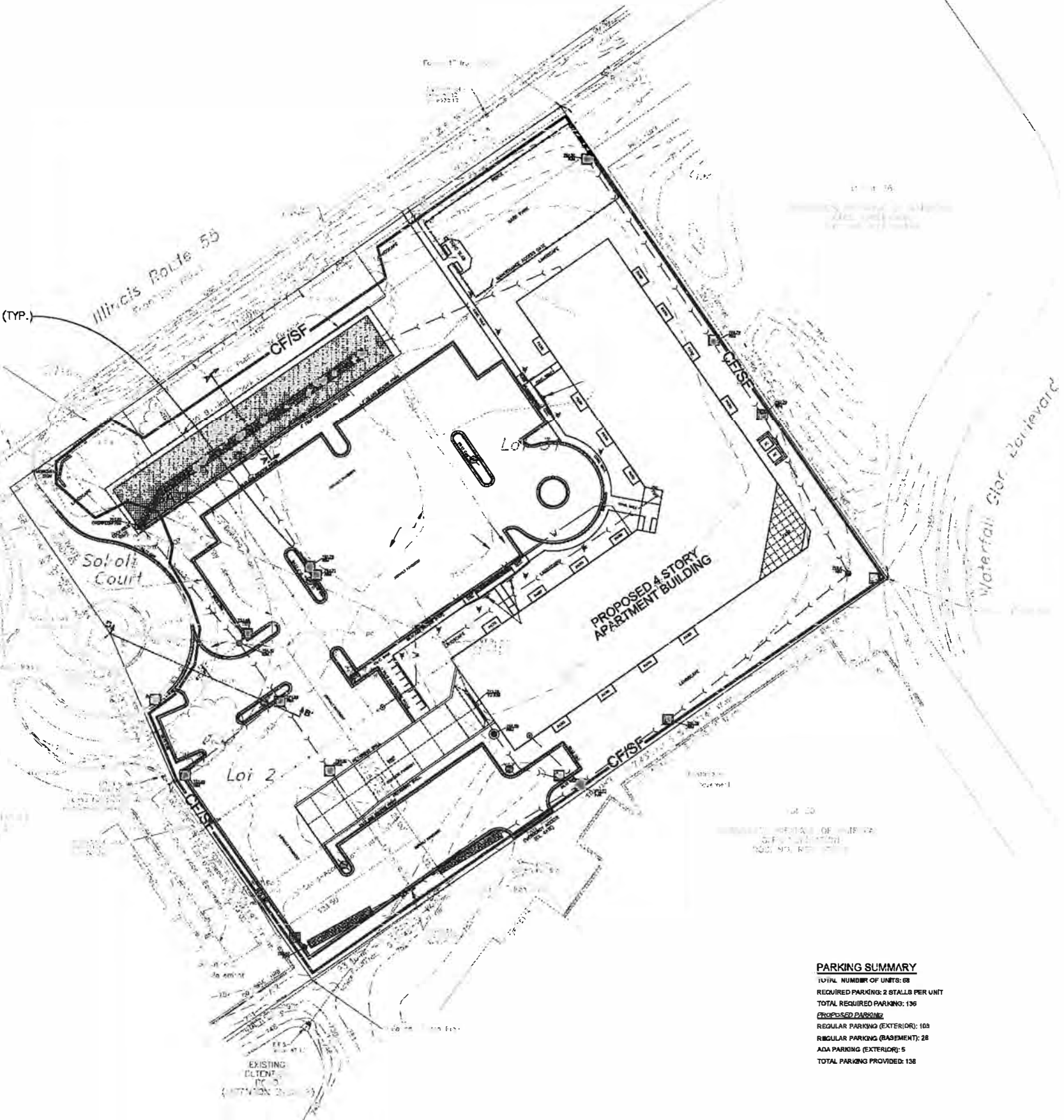
B C I
BONO CONSULTING, INC.
 CIVIL ENGINEERS
 PH: (847) 822-3800
 FAX: (847) 822-3803
 1018 BUSSE HIGHWAY
 PARK RIDGE, IL 60066
 bono@bonoconsulting.com

PHASE II - SOIL EROSION & SEDIMENTATION CONTROL PLAN
 DARIEN HEIGHTS RESIDENCES
 2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

APPROVED: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD OTHER THAN AS PART OF THIS PROJECT UNLESS AUTHORIZED IN WRITING BY THE ENGINEER

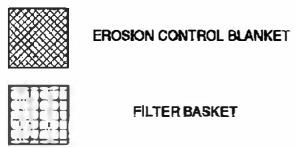
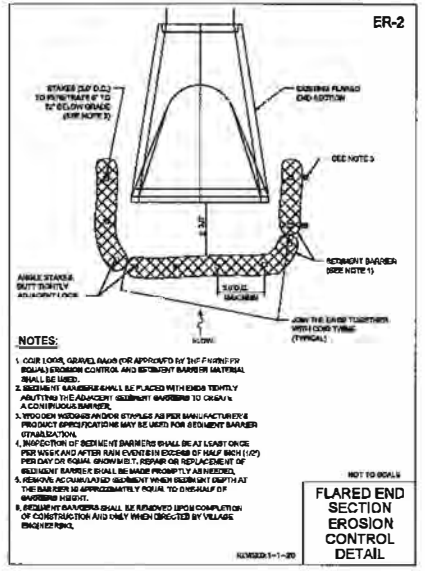
PROJECT NUMBER: 21245
 START DATE: MAY 21, 2021
 GRAPHIC SCALE: 30' 0 30'
 SCALE: 1"=30' 0"
 SHEET NUMBER: 5 OF 11

TEMPORARY FILTER BASKET (TYP.)
 SITE BENCHMARK
 SURVEY CONTROL POINT
 NAVD83 ELEVATION = 755.73

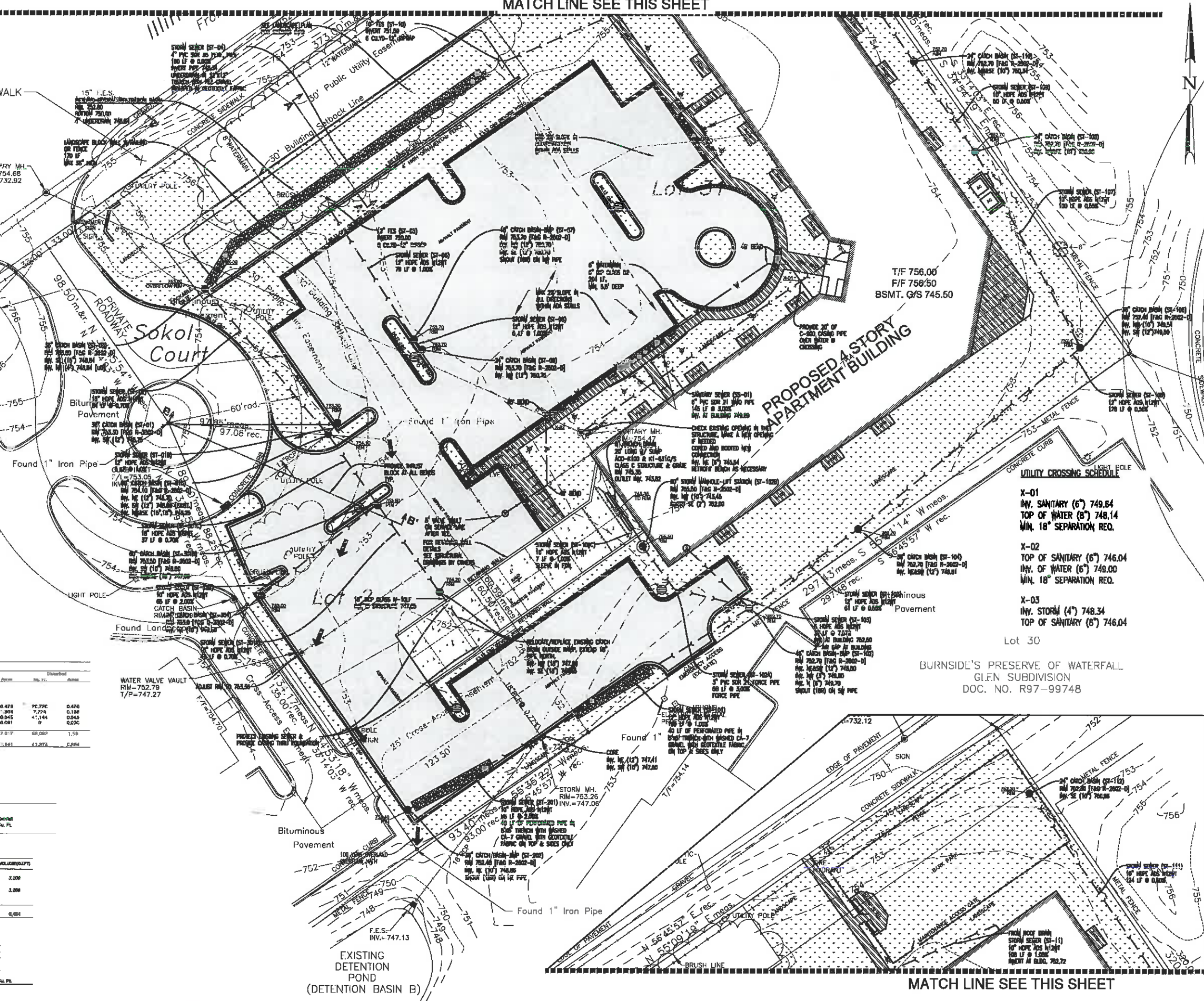


PARKING SUMMARY

TOTAL NUMBER OF UNITS:	68
REQUIRED PARKING: 2 STALLS PER UNIT	
TOTAL REQUIRED PARKING:	136
PROPOSED PARKING	
REGULAR PARKING (EXTERIOR):	103
REGULAR PARKING (BASEMENT):	28
ADA PARKING (EXTERIOR):	5
TOTAL PARKING PROVIDED:	138



- UTILITY NOTES:**
1. ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL CONTACT J.U.L.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 4. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 5. CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 6. LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 7. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
 8. CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 9. AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 10. ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
 11. ALL WATER MAIN SHALL BE 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
 12. ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 13. ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
 14. PROVIDE CONCRETE COLLAR AT ALL NEW STORM STRUCTURE IN PAVEMENT, NOT ADJACENT TO CURB. SEE CONCRETE COLLAR DETAIL ON DETAIL SHEET.
 15. CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO SANITARY MANHOLES.
 16. EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
 17. SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 18. ALL STORM MANHOLES IN PAVEMENT SHALL BE OPEN LID UNLESS OTHERWISE NOTED.
 19. ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, IN THE EVENT OF CONFLICTING GUIDELINES, THE MORE RESTRICTIVE SHALL GOVERN.



2305 Sokol Ct., Darien

Date: 05/27/21

Site Area	Existing		Proposed		Disturbed	
	Sq. Ft.	Acres	Sq. Ft.	Acres	Sq. Ft.	Acres
Site Area	174,704	2.817				
Proposed/Developed Area of Site	11,347	0.202				
Building	0	0.000	262,740	0.478	262,740	0.478
Walks, Flag Ground & Open Space	0	0.000	50,990	0.386	50,990	0.386
Access & Parking	4,241	0.077	41,144	0.345	41,144	0.345
Drives			0,081	0.001	0,081	0.001
Impervious Area	5,707	0.103	122,704	2.077	122,704	2.077
Permeable Area	16,997	0.314	49,897	0.441	49,897	0.441
Restored Area of Site	7,550	0.138				

BEST MANAGEMENT PRACTICES

Impervious Area (Ac. Eq.) 0.202

Volume Control	Best Management Practices	Volume (cu ft)	Retention (cu ft)
Volume Control	1.387	1,387	1,387
Volume Control	7.187	7,187	7,187
Proposed			
Average Rainfall - 1.00" (1.00")			
Volume	1.387	1,387	1,387
Retention	7.187	7,187	7,187
Total			
Volume	8.574	8,574	8,574
Retention	14.374	14,374	14,374
Total			
Volume	23.748	23,748	23,748
Retention	38.748	38,748	38,748
Total			
Volume	62.496	62,496	62,496
Retention	101.496	101,496	101,496
Total			
Volume	163.992	163,992	163,992
Retention	264.992	264,992	264,992
Total			
Volume	419.984	419,984	419,984
Retention	671.984	671,984	671,984
Total			
Volume	1,049.968	1,049,968	1,049,968
Retention	1,679.968	1,679,968	1,679,968
Total			
Volume	2,624.928	2,624,928	2,624,928
Retention	4,199.856	4,199,856	4,199,856
Total			
Volume	6,562.304	6,562,304	6,562,304
Retention	10,499.608	10,499,608	10,499,608
Total			
Volume	16,405.760	16,405,760	16,405,760
Retention	26,249.416	26,249,416	26,249,416
Total			
Volume	41,014.624	41,014,624	41,014,624
Retention	65,623.632	65,623,632	65,623,632
Total			
Volume	102,536.320	102,536,320	102,536,320
Retention	164,057.280	164,057,280	164,057,280
Total			
Volume	256,340.800	256,340,800	256,340,800
Retention	410,141.600	410,141,600	410,141,600
Total			
Volume	640,852.000	640,852,000	640,852,000
Retention	1,025,363.200	1,025,363,200	1,025,363,200
Total			
Volume	1,602,130.000	1,602,130,000	1,602,130,000
Retention	2,563,408.000	2,563,408,000	2,563,408,000
Total			
Volume	4,005,325.000	4,005,325,000	4,005,325,000
Retention	6,408,520.000	6,408,520,000	6,408,520,000
Total			
Volume	10,013,312.500	10,013,312,500	10,013,312,500
Retention	16,021,300.000	16,021,300,000	16,021,300,000
Total			
Volume	25,033,281.250	25,033,281,250	25,033,281,250
Retention	40,053,162.500	40,053,162,500	40,053,162,500
Total			
Volume	62,583,203.125	62,583,203,125	62,583,203,125
Retention	100,132,906.250	100,132,906,250	100,132,906,250
Total			
Volume	156,458,007.812	156,458,007,812	156,458,007,812
Retention	250,332,812.500	250,332,812,500	250,332,812,500
Total			
Volume	391,146,019.625	391,146,019,625	391,146,019,625
Retention	625,332,812.500	625,332,812,500	625,332,812,500
Total			
Volume	977,867,049.375	977,867,049,375	977,867,049,375
Retention	1,563,332,812.500	1,563,332,812,500	1,563,332,812,500
Total			
Volume	2,444,667,623.750	2,444,667,623,750	2,444,667,623,750
Retention	3,911,460,196.875	3,911,460,196,875	3,911,460,196,875
Total			
Volume	6,111,667,623.750	6,111,667,623,750	6,111,667,623,750
Retention	9,778,670,493.750	9,778,670,493,750	9,778,670,493,750
Total			
Volume	15,279,167,623.750	15,279,167,623,750	15,279,167,623,750
Retention	24,446,676,237.500	24,446,676,237,500	24,446,676,237,500
Total			
Volume	38,198,335,247.500	38,198,335,247,500	38,198,335,247,500
Retention	61,116,676,237.500	61,116,676,237,500	61,116,676,237,500
Total			
Volume	95,496,676,493.750	95,496,676,493,750	95,496,676,493,750
Retention	152,791,676,493.750	152,791,676,493,750	152,791,676,493,750
Total			
Volume	238,741,676,493.750	238,741,676,493,750	238,741,676,493,750
Retention	381,983,352,493.750	381,983,352,493,750	381,983,352,493,750
Total			
Volume	596,854,196,493.750	596,854,196,493,750	596,854,196,493,750
Retention	954,966,764,937.500	954,966,764,937,500	954,966,764,937,500
Total			
Volume	1,492,135,493,750	1,492,135,493,750	1,492,135,493,750
Retention	2,387,416,764,937.500	2,387,416,764,937,500	2,387,416,764,937,500
Total			
Volume	3,730,338,493,750	3,730,338,493,750	3,730,338,493,750
Retention	5,968,541,964,937.500	5,968,541,964,937,500	5,968,541,964,937,500
Total			
Volume	9,325,841,964,937.500	9,325,841,964,937,500	9,325,841,964,937,500
Retention	14,921,354,937,500	14,921,354,937,500	14,921,354,937,500
Total			
Volume	23,314,604,937,500	23,314,604,937,500	23,314,604,937,500
Retention	37,303,384,937,500	37,303,384,937,500	37,303,384,937,500
Total			
Volume	58,286,509,875.000	58,286,509,875,000	58,286,509,875,000
Retention	93,258,419,649,375.000	93,258,419,649,375,000	93,258,419,649,375,000
Total			
Volume	145,716,274,687.500	145,716,274,687,500	145,716,274,687,500
Retention	233,146,049,375.000	233,146,049,375,000	233,146,049,375,000
Total			
Volume	364,292,549,375.000	364,292,549,375,000	364,292,549,375,000
Retention	582,865,098,750.000	582,865,098,750,000	582,865,098,750,000
Total			
Volume	910,731,374,687.500	910,731,374,687,500	910,731,374,687,500
Retention	1,457,162,746,875.000	1,457,162,746,875,000	1,457,162,746,875,000
Total			
Volume	227,682,843,750.000	227,682,843,750,000	227,682,843,750,000
Retention	364,292,549,375.000	364,292,549,375,000	364,292,549,375,000
Total			
Volume	571,705,687,500.000	571,705,687,500,000	571,705,687,500,000
Retention	910,731,374,687.500	910,731,374,687,500	910,731,374,687,500
Total			
Volume	1,429,261,375.000	1,429,261,375,000	1,429,261,375,000
Retention	2,276,828,437.500	2,276,828,437,500	2,276,828,437,500
Total			
Volume	3,573,162,750.000	3,573,162,750,000	3,573,162,750,000
Retention	5,717,056,875.000	5,717,056,875,000	5,717,056,875,000
Total			
Volume	8,932,656,875.000	8,932,656,875,000	8,932,656,875,000
Retention	14,292,613,750.000	14,292,613,750,000	14,292,613,750,000
Total			
Volume	22,331,640,625.000	22,331,640,625,000	22,331,640,625,000
Retention	35,731,627,500.000	35,731,627,500,000	35,731,627,500,000
Total			
Volume	55,826,312,500.000	55,826,312,500,000	55,826,312,500,000
Retention	89,326,568,750.000	89,326,568,750,000	89,326,568,750,000
Total			
Volume	139,566,312,500.000	139,566,312,500,000	139,566,312,500,000
Retention	223,316,406,250.000	223,316,406,250,000	223,316,406,250,000
Total			
Volume	348,916,312,500.000	348,916,312,500,000	348,916,312,500,000
Retention	558,263,125.000	558,263,125,000	558,263,125,000
Total			
Volume	872,281,250.000	872,281,250,000	872,281,250,000
Retention	1,395,663,125.000	1,395,663,125,000	1,395,663,125,000
Total			
Volume	2,180,703,125.000	2,180,703,125,000	2,180,703,125,000
Retention	3,489,163,125.000	3,489,163,125,000	3,489,163,125,000
Total			
Volume	5,451,768,750.000	5,451,768,750,000	5,451,768,750,000
Retention	8,722,812,500.000	8,722,812,500,000	8,722,812,500,000
Total			
Volume	13,629,418,750.000	13,629,418,750,000	13,629,418,750,000
Retention	21,807,031,250.000	21,807,031,250,000	21,807,031,250,000
Total			
Volume	34,073,687,500.000	34,073,687,500,000	34,073,687,500,000
Retention	54,517,687,500.000	54,517,687,500,000	54,517,687,500,000
Total			
Volume	85,187,375.000	85,187,375,000	85,187,375,000
Retention	136,294,187.500	136,294,187,500	136,294,187,500
Total			
Volume	212,968,437.500	212,968,437,500	212,968,437,500
Retention	340,736,875.000	340,736,875,000	340,736,875,000
Total			
Volume	532,420,625.000	532,420,625	

SITE PLAN NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY /COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNLT. HEALTHY STAND OF GRASS IS ESTABLISHED UNLESS OTHERWISE NOTED.
- ALL CURBED RADI ARE TO BE 3' MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED. STRIPED RADI ARE TO BE 5' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB AND RADI ARE BACK OF CURB OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST, THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED CURB AND DUTTER SHALL BE 86.12 UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITION AS PREPARED BY OTHERS. BONO CONSULTING INC. IS NOT LIABLE FOR OMISSIONS OR ERRORS IN SURVEY. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT J.U.L.L.I.E. (1-800-292-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE REMOVED UNDER PROPOSED BUILDINGS AND ABANDONED ELSEWHERE AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SURV. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY OTHERS.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, CANCIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR SHALL ADJUST RM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
- CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATIONS OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
- TOTAL LAND AREA IS 2.817+/- ACRES.
- NO WETLANDS WERE PRESENT ON THIS SITE.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."
- MONUMENT AND/OR PYLON SIGNS SHALL BE CONSTRUCTED BY OWNER ASSIGNED CONTRACTOR.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. DUTY OF AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE DUTLOT. PURCHASER OF DUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC DUTLOT.
- ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

PARKING SUMMARY

TOTAL NUMBER OF UNITS: 68
 REQUIRED PARKING: 23 STALLS PER UNIT
 TOTAL REQUIRED PARKING: 136
PROPOSED PARKING
 REGULAR PARKING (EXTERIOR): 103
 REGULAR PARKING (BASEMENT): 28
 ADA PARKING (EXTERIOR): 5
 TOTAL PARKING PROVIDED: 136

- 86.12 CURB & GUTTER
- 86.12 CURB & GUTTER (REVERSE PITCH)
- DEPRESSED CURB
- DEPRESSED CURB (REVERSE PITCH)

SIGNAGE LEGEND

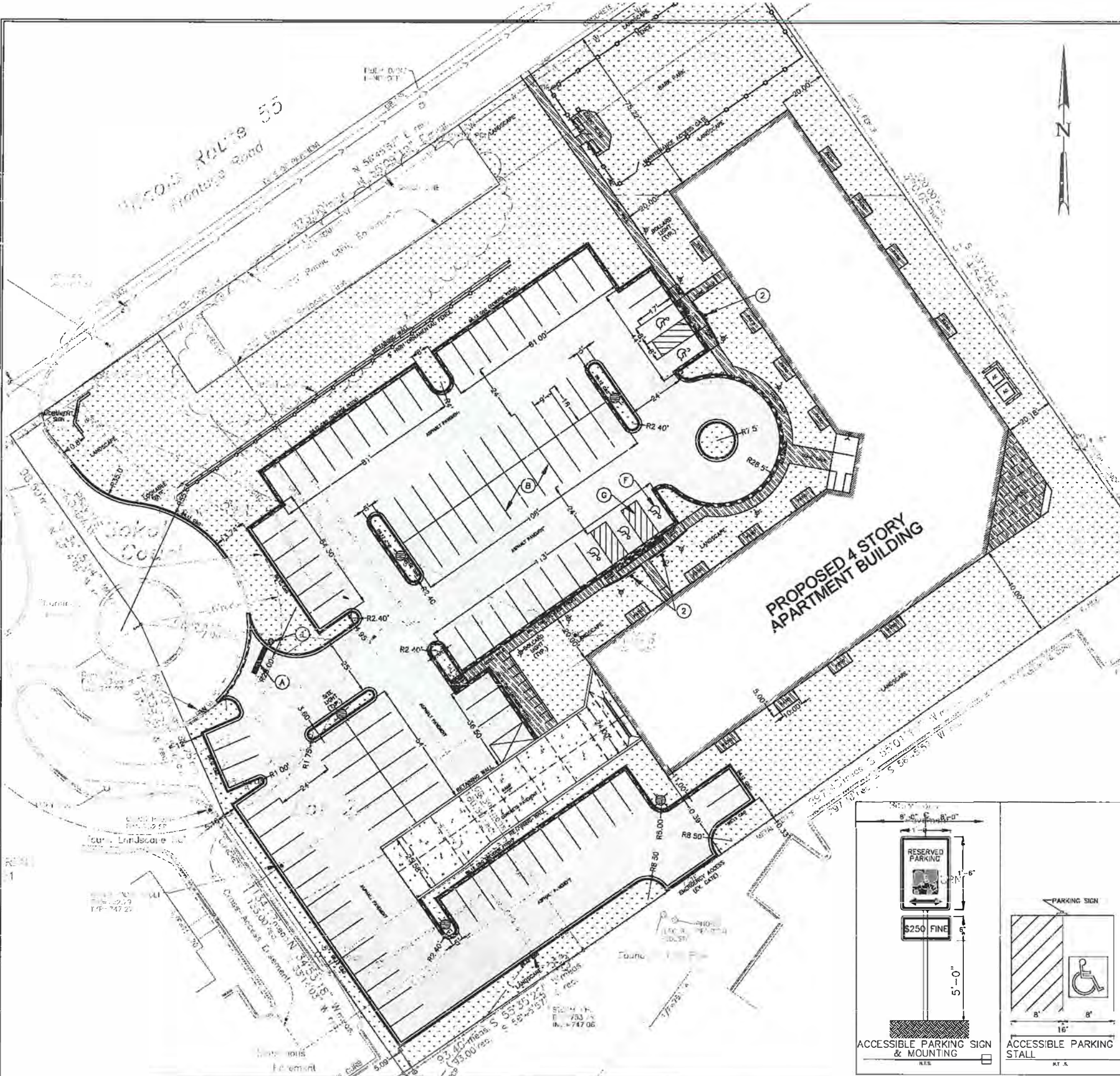
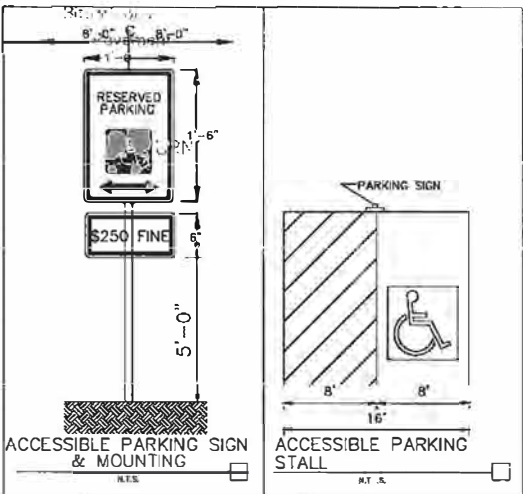
- (1) STOP SIGN (R1-1)
- (2) ACCESSIBLE PARKING SIGN (R7-8)
- (3) NO PARKING SIGN - FIRE LANE (R8-31)
- (4) DO NOT ENTER (R5-1)
- (5) PEDESTRIAN CROSSING SIGN
- (6) NO OUTLET SIGN
- (7) NO PARKING TO CORNER SIGN
- (8) NO LEFT TURN DURING 4:00 PM TO 6:00 PM SIGN
- (9) PEDESTRIAN CROSSING SIGN

PAVEMENT MARKING LEGEND

- (A) 24" WHITE SOLID STOP BAR
- (B) 4" YELLOW SOLID LINE
- (C) 8" SOLID WHITE LINE
- (D) LETTERS & SYMBOLS PAVEMENT MARKINGS
- (E) TRAFFIC FLOW DIRECTIONAL ARROWS
- (F) ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS-SEE DETAIL
- (G) 4" YELLOW DIAGONAL AT 45° SPACED 3' O.C.
- (H) 4" SOLID WHITE LINE

PAVEMENT LEGEND

- HEAVY DUTY PAVEMENT (20 YEAR SERVICE LIFE) [NOT USED]
1-1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
2-1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
12" AGGREGATE BASE COURSE CA-6, TYPE B
 - STANDARD DUTY PAVEMENT
2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50
2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50
8" AGGREGATE BASE COURSE CA-6, TYPE B
 - CONCRETE APRON
8" CONCRETE PAVEMENT (W/6X6 W/1.4 WWF, IF ALLOWED IN ROW)*
4" COMPACTED AGGREGATE BASE CA-6, TYPE B
 - CONCRETE PADS - TRASH CORAL & UTILITY PADS
8" CONCRETE PAVEMENT W/6X6 W/1.4 WWF*
4" COMPACTED AGGREGATE BASE CA-6, TYPE B
 - SIDEWALKS/PATIO
5" PORTLAND CEMENT CONCRETE (8" PCC THROUGH DRIVEWAYS)
4" COMPACTED AGGREGATE BASE COURSE, TYPE B
 - DETECTABLE WARNING AND DEPRESSED CURB
REPLACEABLE RED POLYMER COMPOSITE PLATES
- *REFER TO CONCRETE JOINT DETAILS (IF ANY).



DATE	REVISIONS

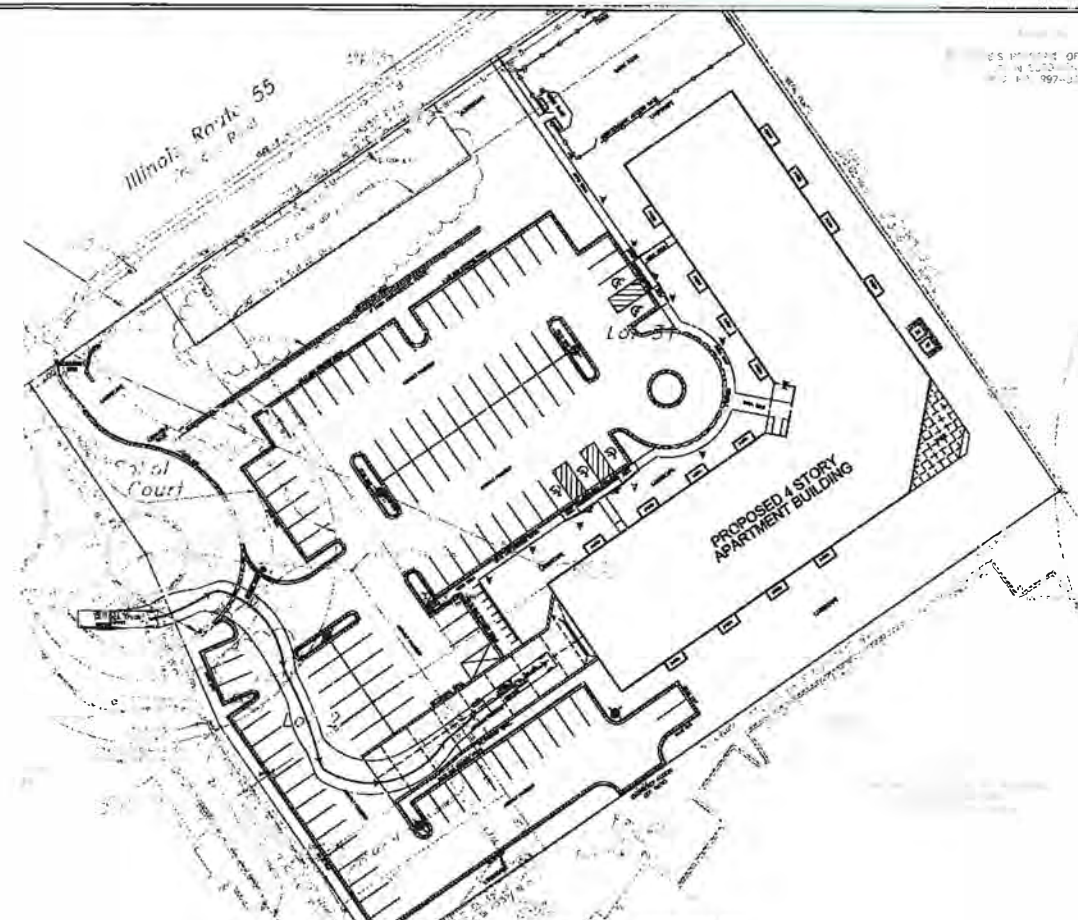
PROJECT STAFF	ISSUE
PROJECT MANAGER	1
DESIGNER	1
TECHNICAL	1

BONO CONSULTING, INC.
 CIVIL ENGINEERS
 1018 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH : (847) 825-3300
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 bbono@bonoconsulting.com

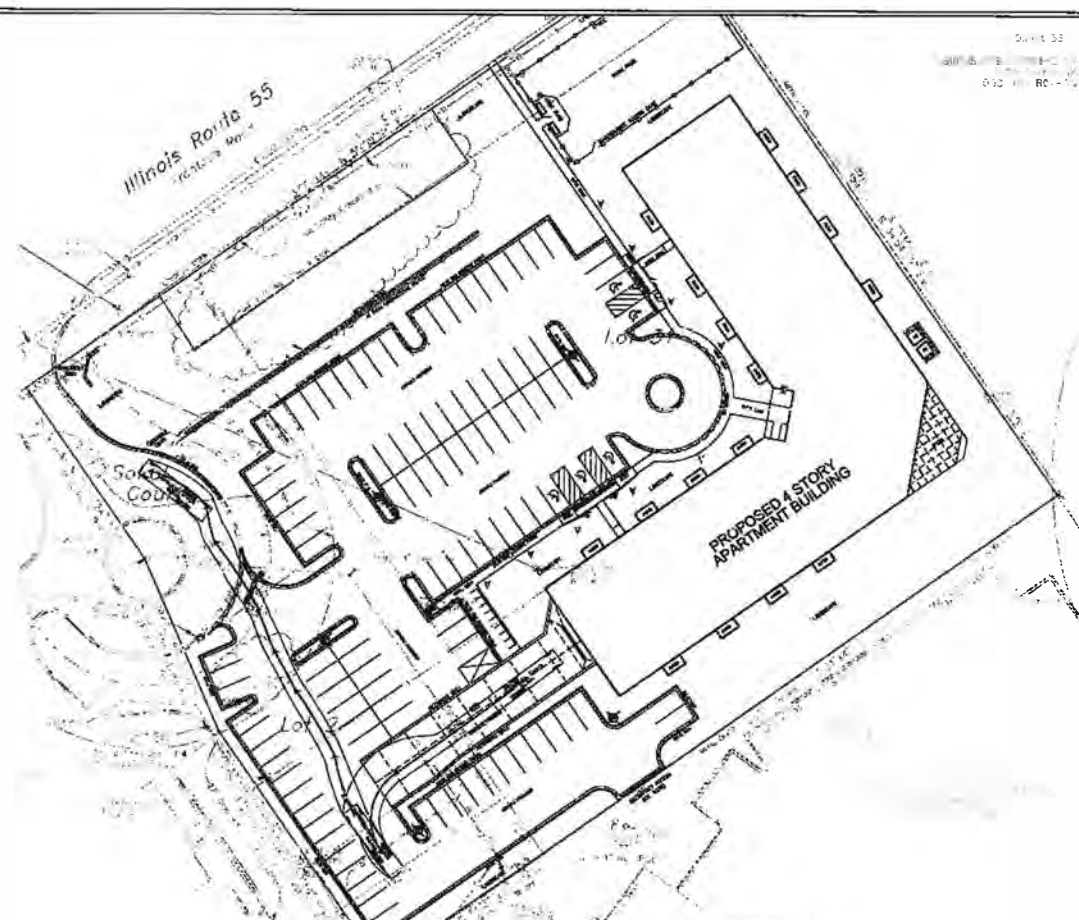
SITE PLAN & GEOMETRIC PLAN
 DARIEN HEIGHTS RESIDENCES
 2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

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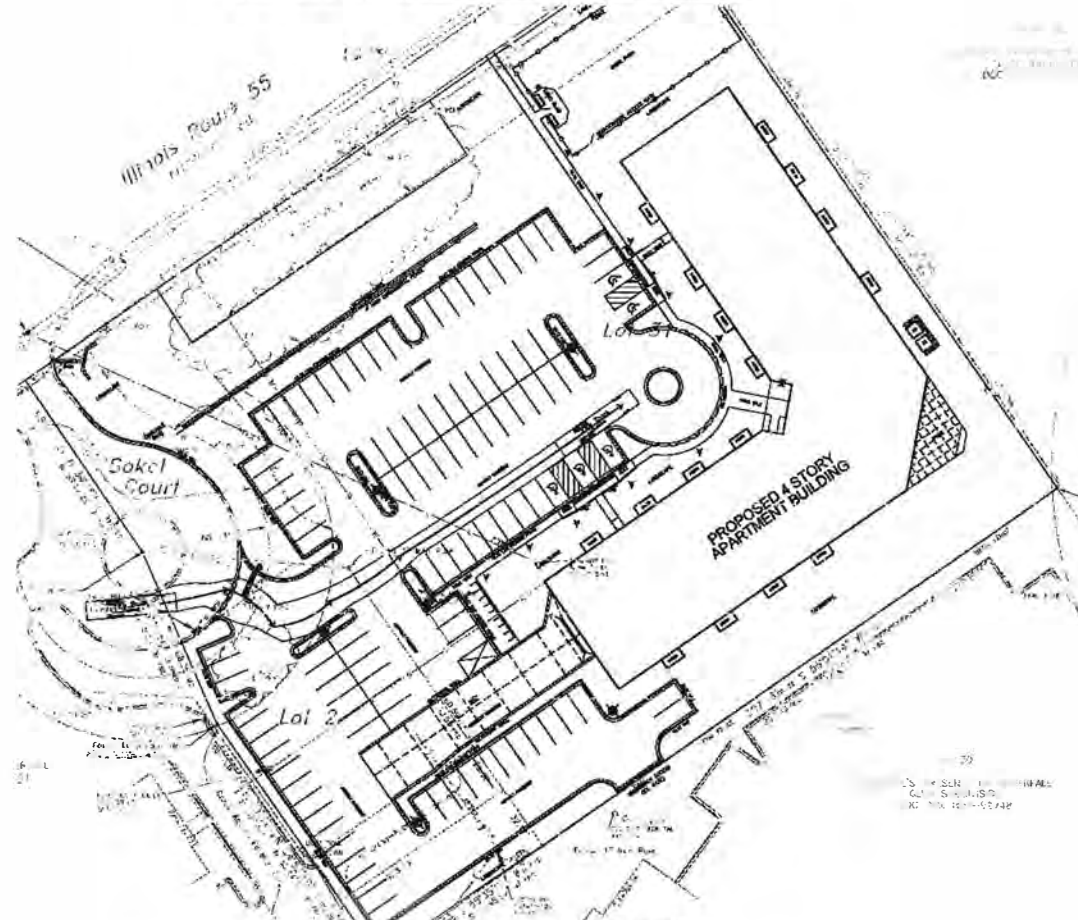
PROJECT NUMBER: 21845
 START DATE: MAY 21, 2021
 GRAPHIC SCALE
 SCALE: 1"=20'-0"
 SHEET NUMBER: 9 OF 11



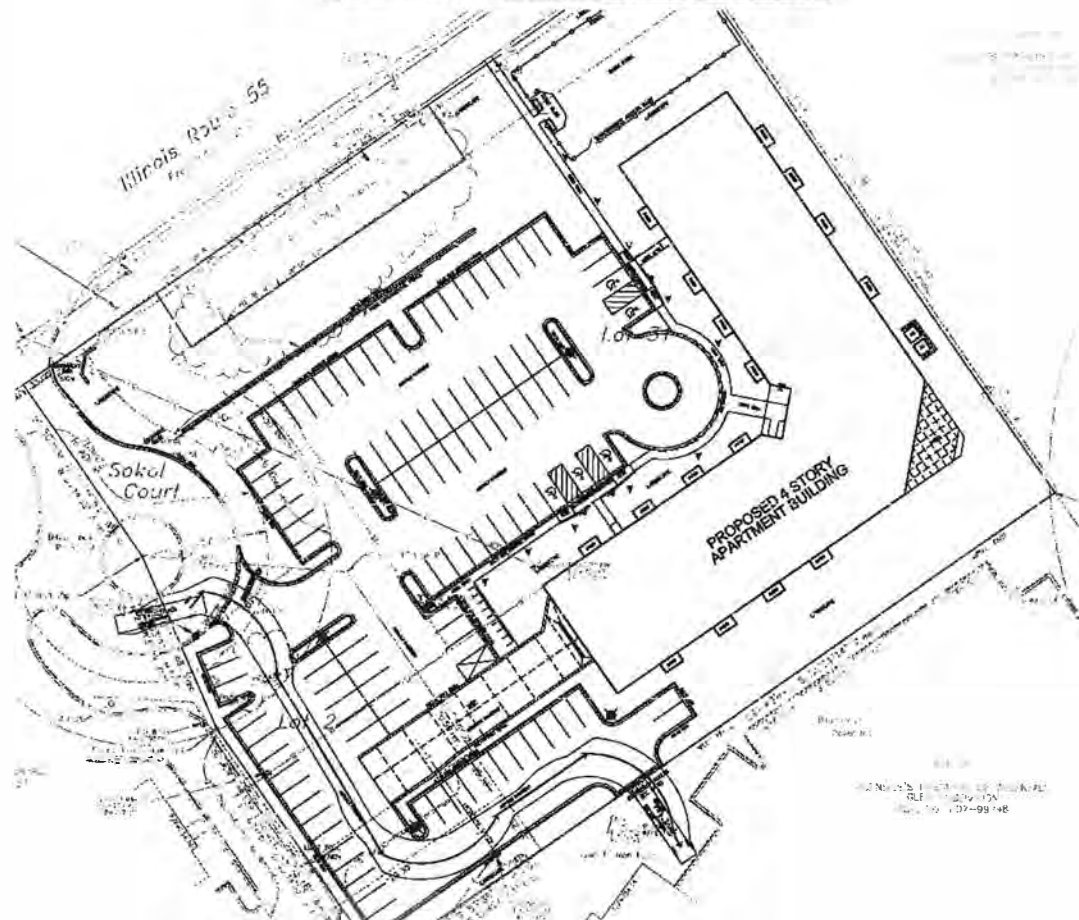
GARBAGE TRUCK TURNING RADIUS - FORWARD



GARBAGE TRUCK TURNING RADIUS - REVERSE



FIRE TRUCK TURNING RADIUS #1



FIRE TRUCK TURNING RADIUS #2

DATE	ISSUE	REVISIONS
	1	ISSUE FOR PERMIT
	2	REVISED FOR COMMENTS
	3	REVISED FOR COMMENTS
	4	REVISED FOR COMMENTS
	5	REVISED FOR COMMENTS
	6	REVISED FOR COMMENTS
	7	REVISED FOR COMMENTS
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	16	REVISED FOR COMMENTS
	17	REVISED FOR COMMENTS
	18	REVISED FOR COMMENTS
	19	REVISED FOR COMMENTS
	20	REVISED FOR COMMENTS

BCA
BOND CONSULTING, INC.
 CIVIL ENGINEERS
 1018 BURSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: (847) 883-3300
 FAX: (847) 825-3300
 Email: bcbond@bondconsulting.com

AUTOTURN EXHIBITS
 DARIEN HEIGHTS RESIDENCES
 2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

PROJECT NUMBER: 21245
 START DATE: MAY 21, 2021
 GRAPHIC SCALE: 1" = 40'-0"
 SCALE: 1" = 40'-0"
 SHEET NUMBER: 9.1 OF 11

GENERAL CONSTRUCTION NOTES

- 1. The construction shall be under the general inspection of the City engineer and the owner's engineer.
2. All work shall be in accordance with the applicable sections of the following specifications:
a. Illinois Department of Transportation (I.D.O.T.) "Standard Specifications for Road and Bridge Construction" January 1, latest edition.
b. "Standard Specifications for Water and Sewer Main Construction in Illinois" latest edition.
c. "Illinois Recommended Standards for Sewage Works" as published by the I.E.P.A.
d. "Manual on Uniform Traffic Control Devices" (M.U.T.C.D.) latest edition.
e. The Subdivision and Development Codes and Standards of the City of Darien.
f. "Procedures and Standards for Urban Soil Erosion and Sedimentation Control in Illinois" published by the Association of Illinois Soil and Water Conservation Districts.

Where a contradiction occurs with any part of the standard specifications, the most stringent requirement shall take precedence, as determined by the engineer.

The contract documents (Plans and Specifications/General Notes) shall supersede the standard specifications. If there is a conflict between the plans and specifications, the most stringent requirement shall take precedence, as determined by the engineer.

The contractor shall have at least one copy of all applicable specifications as well as one copy of the contract documents (Plans and Specifications) available at the job site at all times that work is in progress.

- 3. Should any discrepancies or conflicts on the plans, quantities or specifications be discovered by the contractor, whether prior to awarding or after the award of the contract, the engineer's attention shall be called to the same before work is begun thereon and so that proper corrections can be made.

4. Contract Documents and Drawings:

- A. The engineer's drawings (The Plans) shall be included as part of the contract documents.
B. The contractor is required to review the soils report for the site.
C. All bidders shall carefully examine the drawings and specifications prepared for the work. They shall visit the site of the work and acquaint themselves with all local conditions, codes, and requirements affecting the project in complete operating condition, irrespective of whether the contract documents cover every individual item in minute detail.

5. The Darien Department of Public Works shall be notified 24 hours in advance to schedule inspections for sidewalk, curb and gutter, driveways, aprons, paving, grading, watermain, sewer main and utility services.

6. Work shall not take place without required traffic control devices and barricades in place per the M.U.T.C.D. Any deficiency of safety or traffic control devices shall be just cause to stop the project until such time as the deficiency is corrected.

7. City streets shall not be closed without the written permission of the Darien Department of Engineering and then only after proper notification has been given to the Police and Fire Departments.

8. The contractor shall immediately remove mud, soil or debris deposited on public streets. Failure to keep streets clean shall be just cause for issuance of a Stop Work Order or citation.

9. Signs located in the public right-of-way must not be removed or damaged. If a sign needs to be moved, notify the Public Works Department.

10. Construction materials shall not be stored within the City Right-Of-Way.

11. The owner/contractor shall be responsible for obtaining all required Federal, State, County, I.E.P.A. permits.

The contractor shall, at his own expense, obtain all other permits, licenses, etc., as may be required for the execution of the work, give all necessary notices, pay all fees required, postall bonds, and comply with all laws, ordinances, rules and regulations relating to the work and to the preservation of public health and safety.

All required insurance and/or bonds shall be provided by the contractor as may be required by the permitting agency.

The contractor shall meet all of the requirements of any permits as might be issued for this work by other agencies, and shall pay for their sole expense any surety or bonds as may be required by the permitting agency.

12. The contractor is responsible for having a set of approved engineering plans with the latest revision date on the job site at all times during the construction period.

13. The contractor shall indemnify and save harmless the owner, Bono Consulting Inc., and their officers and employees, the City and their officers, employees, agents, and engineers, and from and against all losses, claims, demands, payments, suits, actions, recoveries, and judgment of every nature and description brought or recovered against them, by reason of any act or omission of said contractor, their agents, subcontractors or employees, in the execution of the work or in the guarding of it.

14. The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered and that the actual location of those which are shown may be different from the location as shown on the plans. The contractor is to verify the location of all utilities prior to the start of work and is responsible for damage to same. The contractor shall call J.U.L.I.E. 1-800-892-0123 and the City public works department for utility locates before excavating.

15. Existing utilities are shown on the plans according to information obtained from utility companies and surveys. The owner and engineer do not guarantee the accuracy or completeness of this information. The contractor shall make their own investigation to determine the existence, nature and location of all utility lines and appurtenances within the limits of the improvement. The contractor shall locate all utilities far enough in advance to avoid all conflicts in grade separation between existing utilities and proposed improvements. If the contractor encounters a conflict between the proposed improvement and existing utility that was not located in advance by the contractor, then the contractor shall at no cost to owner, relocate the proposed improvements and/or utility to avoid the conflict.

The contractor will be required to cooperate with all utility companies involved in connection with the removal, temporary relocation, reconstruction or abandonment by these companies of any and all services or facilities owned or operated by them within the limit of this improvement.

Before doing any work which will damage, disturb or leave unsupported or unprotected any utility lines or appurtenances encountered, the contractor shall notify the respective owner thereof, who will make all arrangements for relocating, adjusting, or otherwise maintaining or abandoning services on lines that fall within the limits of the proposed construction without cost to the contractor, including the removal of all cables, manhole covers and other appurtenances which the owner desires to salvage. After such arrangements have been made, the contractor will proceed with the work as directed by the engineer. All utility lines and appurtenances which are abandoned shall be removed and legally disposed of by the contractor.

No extra compensation will be allowed by the contractor for any expense incurred by complying with these requirements or because of delays, inconvenience or interruptions in their work resulting from the failure of any utility company to remove, relocate, reconstruct or abandon their services. The responsibility for prompt and timely removal, relocation, reconstruction or abandonment of their facilities by all utility companies involved, and the coordination of their own work with that of these companies in the and that work on the improvement is not delayed because of the necessary changes in the existing utilities, public or private, shall rest upon the contractor.

16. The flow from any field free draining off-site properties shall be maintained. The contractor shall notify the engineer if any such field lines are encountered and shall show them on a set of as built plans.

17. All existing utilities or improvements, including walks, curbs, pavements and parkways damaged or removed during construction shall be promptly restored to their respective original condition.

18. All existing pavement or concrete to be removed shall be saw cut along the limits of the proposed removal. Payment for sawing shall be included in the cost of the removal of each item.

19. The contractor is to verify all critical elevations prior to commencing work and if there are any discrepancies, is to notify the engineer immediately. The contractor shall call to the attention of the engineer any errors or discrepancies which may be suspected in the lines and grades which are established by the surveyor, and shall not proceed with the work until any lines and grades which are believed to be in error have been verified or corrected by the engineer.

20. No holes are to be left open in the pavement or the parkway over a holiday, weekend, or after 3 p.m. on the day preceding a holiday or weekend.

21. Any bracing, shoring or special construction methods deemed necessary by the contractor in order to install the proposed improvements shall be considered incidental to the cost of the project. Any additional soils data needed to confirm the contractor's opinion of the subsurface conditions shall be done at the contractor's expense. The contractor shall obtain the owner's written authorization to access the site to conduct a supplemental soils investigation.

22. Whenever the performance of work is indicated on the plans, and no item is included in the contract for payment, the work shall be considered incidental to the contract and no additional compensation will be allowed.

23. All items shown to be removed, shall be legally disposed of off-site.

24. All work performed under this contract shall be guaranteed against all defects in materials and workmanship of whatever nature by the contractor and his surety for a minimum period of 12 months from the date of final acceptance of the work by the City, other applicable governmental agencies, and the owner.

25. No work shall be performed on adjacent private property without the written permission of the property owner.

26. During construction the contractor and their subcontractors shall remove from the premises, rubbish, waste material and accumulations, and shall keep the premises clean. The contractor shall clean the premises to the satisfaction of the owner, engineer, and City.

27. The contractor shall have appropriate equipment, including street sweepers and end loaders available on-site at all times when equipment or vehicles are using existing public or private pavement. The contractor shall immediately remove any dirt, mud, clay, sediment, concrete, gravel, sand, stones, plant matter, debris, refuse, garbage, etc. deposited on any street, sidewalk or alley by any equipment, vehicles or people associated with this project. The contractor is responsible for complying with all City ordinances including any and all assessments of cost that may result. This work shall not be paid for separately, but shall be included in the cost of the work.

28. All trenching, shoring, and construction work performed shall be in accordance with O.S.H.A. Standards. The contractor shall at all times maintain proper dust control at the site and shall have a watering truck readily available during all working hours.

29. The contractor shall water the entire site whenever the site conditions become unhealthy due to blowing soil or dust. The site shall be watered as many times per day as necessary to maintain a healthy work site as determined by the owner or engineer. Water for non-emergency use shall not be obtained from any fire hydrant, unless the fire hydrant is metered in accordance with City requirements. The cost to furnish dust control shall be incidental to the cost of construction.

30. The contractor must follow the requirements of the City Specification for all pavement openings and repairs.

31. Tree removal permit is required for removal of all trees 10" diameter or greater.

32. An inspection of the top of foundation will be required prior to pouring.

33. A final inspection of grading will be required before placement of any sod.

34. All street openings shall be in accordance with IDOT standards for work within an IDOT R.O.W.

35. All retaining walls greater than 38" high need to be approved by a licensed structural engineer. Retaining wall shop drawings to be submitted by contractor for approval.

36. Construction staking shall be provided by the contractor and shall be included in the contract price. A licensed surveyor must verify all grading, utility and paving work.

37. Upon completion of the project, the contractor or engineer shall submit a set of as-built engineering plan and a grading certificate. These documents shall be submitted within thirty (30) days of final approval to the City. The price for this work shall be included in contractor fee.

SEPA NOTES: Sewers crossing water mains shall be laid to meet the following specifications:

- 1. Horizontal Separation:
A. Whenever possible, a water main must be laid at least ten feet horizontally from any existing or proposed drain or sewer line.
B. Should local conditions exist which would prevent a lateral separation of ten feet, a water main may be laid closer than ten feet to a storm or sanitary sewer provided that the water main invert is at least eighteen inches above the crown of the sewer, and is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer.
C. If it is impossible to obtain proper horizontal and vertical separation as described in 1 and 2 above, both the water main and sewer must be constructed of pipe material which would conform to water main standards and be pressure tested to assure water tightness before backfilling.

2. Vertical Separation:

Whenever water mains cross house sewers, storm drains or sanitary sewers, the water main shall be laid at such an elevation that the invert of the water main is eighteen inches above the crown of the drain or sewer. This vertical separation must be maintained for that portion of the water main located within ten feet horizontally of any sewer or drain crossed. This must be measured as the normal distance from the water main to the drain or sewer.

Where conditions exist that the minimum vertical separation set forth in 1 above cannot be maintained, or it is necessary for the water main to pass under a sewer or drain, one of the following two measures must be taken:

- A. The water main shall be installed within a PVC carrier pipe and the carrier pipe shall extend on each side of the crossing until the normal distance from the water main to the sewer or drain line is at least ten (10) feet.
B. The involved sewer or drain shall be constructed of pipe material which would conform to water main standards until the normal distance from the water main to the sewer is at least ten (10) feet.

3. In making such crossings, center a length of watermain pipe over the sewer to be crossed so that the joints will be equidistant from the sewer and as remote there from as possible. Where a water main must cross under a sewer, a vertical separation of eighteen inches between the invert of the sewer and the crown of the water main shall be maintained, along with means to support the larger sized sewer lines to prevent their settling and breaking the water main. The horizontal and vertical separation between water service lines and all sanitary sewers, storm sewers, or any drain should be the same as for water mains, as detailed above, except that when minimum horizontal and vertical separation cannot be maintained, water pipes as described under Vertical Separation above, may be used for sewer service lines.

EARTHWORK AND GRADING

1. All earthwork shall be done in accordance with the state of Illinois, "Standard Specifications for Road and Bridge Construction," latest edition and "Supplemental Specifications and Recurring Special Provisions," latest edition. Included in this work, but not necessarily limited to the following are: clearing, stripping and stockpiling of topsoil; mass grading and fine grading of the site and roadways; excavation of unsuitable materials and excavation of detention ponds, landscape mound construction, and miscellaneous topsoil respread and seeding.

2. Any earthwork summaries provided by the engineer are intended to be used as a guide for the contractor in determining the scope of the completed project. It is the responsibility of the contractor to determine all material quantities and appraise themselves of all site conditions. The contract price submitted by the contractor shall be considered as lump sum for the complete project. No claims for extra work will be recognized unless ordered in writing by the owner.

3. The initial establishment of erosion control procedures and the placement of erosion control fence, etc. shall be installed by the contractor prior to the start of mass grading.

4. All grading operations are to be supervised and inspected by the owner's engineer or their representative. All testing, inspection, and supervision of soil quality, unsuitable soil removal and its replacement, and other soils related operations shall be entirely the responsibility of the soils engineer. No undercut shall be performed or claims for extra work without authorization by the owner and documentation by the soils engineer.

5. Clearing shall consist of the removal and disposal of all obstructions such as trees, hedges, fences, walls, accumulations of rubbish of whatever nature, and all logs, stumps, brush, grass, weeds, and other vegetation and stumps. These items shall be performed whenever they occur within the street right of way, and within the limits of construction. Trees to be saved shall be identified by the Engineer on the construction plans. All trees, except those designated to be saved, and all stumps shall be cut and legally disposed of. Trees, stumps, and logs within the limits of construction shall be removed completely. Trees designated to be saved as indicated on the plans, or as directed by the engineer, shall be protected in accordance with the procedures outlined in Article 201.05 of the "Standard Specifications for Road and Bridge Construction."

6. Strip topsoil down to firm subbase, stockpile quantity necessary for landscaping, and remove other materials from the site.

7. Excavation shall consist of the excavation, removal, and satisfactory disposal or placement and compaction of all materials taken from within the site for the construction of embankments, subgrade, subbase, shoulders, intersections, ditches, waterways, entrances, approaches and incidental work, and the removal and satisfactory disposal of unstable and unsuitable materials and their replacement with satisfactory materials where required.

8. After stripping and excavating to the proposed subgrade level, as required, the building and parking areas shall be proof-rolled with a loaded, tandem-axle dump truck or similar rubber-tired vehicle, loaded with at least 9 tons per axle. Proof-rolling aids in providing a firm base for compaction of fill, and help to delineate soft, loose, or disturbed areas that may exist below subgrade level. Proof-rolling is especially important to help evaluate the surficial stability of existing fill soils that may be left in place below floor slabs and pavements. Soils which are observed to rut or deflect excessively (more than 1 inch) under the moving load should either be scarified and re-compacted with a smooth drum vibratory roller for granular soils, a sheepsfoot roller for cohesive soils, or undercut and replaced with properly compacted and documented structural fill. The proof-rolling and underfooting activities should be observed and documented by a representative of the geotechnical engineer and should be performed during a period of dry weather. In addition to proof-rolling, the subgrade soils should be scarified and compacted to at least 90 percent of the Modified Proctor maximum dry density ASTM D 698 for a depth of at least 6 inches below the surface.

9. Where encountered, loose sands and asphalt grindings should be re-compacted with a vibratory roller. Clay subgrade soils can be easily disturbed by construction activities and are sensitive to moisture. Therefore, extra care should be taken to avoid disturbing these soils during construction activities. If the soils become unstable during construction, or if near surface soft subgrade soils are encountered, it is recommended that coarse aggregate be placed on the subgrade until a stable base for compaction of fill is achieved. Typically, 12 to 24 inches of coarse aggregate are required, depending on the consistency of the subgrade. The coarse aggregate should consist of clean, crushed stone gravel between 14 and 3 inches in size. The coarse aggregate should be spread in a max. of 12-inch layers and consolidated with compaction equipment until it is "locked" in place.

10. Topsoil excavation shall consist of the removal and stockpiling, or placing on fill slopes or placing in mounds, of the uppermost layers of organic soil. Topsoil shall be stockpiled on the areas as shown on the plans or as directed by the engineer.

11. Topsoil respread shall consist of placing a minimum of a four (4) inch layer of topsoil over the unpaved areas within the construction limits.

12. 4" topsoil & sod shall be placed on all disturbed areas within the right of way.

13. Refer to the landscape plans for additional information on ground cover & planting requirements.

14. Embankment shall be placed in accordance with Section 205 of the "Standard Specifications for Road and Bridge Construction." All embankments located within structural fill areas shall be constructed to a minimum 95% of the modified proctor density (ASTM D1557). Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified proctor density (ASTM D1557).

15. Completed grading (finished fine grade) for all proposed improvements shall be within a tolerance of plus or minus one-tenth (0.1) feet of design subgrade elevations.

16. The subgrade for the proposed streets and pavement areas shall be proof-rolled by the contractor in the presence of the City engineer and soils engineer. Any unsuitable areas encountered shall be removed and replaced as directed by the City engineer and soils engineer. Any unstable areas shall be documented by the soils engineer.

17. It shall be the responsibility of the contractor to remove from the site any and all materials and debris which results from their construction operations at no additional expense to the owner.

18. When in the opinion of the soils engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of materials below the depth of the bedding specified, the contractor shall obtain approval by the owner and the owner's engineer prior to removing the unsuitable soils and replace the material with granular compacted bedding material as directed by the soils engineer and the City. The depth of the removal and replacement shall be documented by the owner's engineer and witnessed by the contractor.

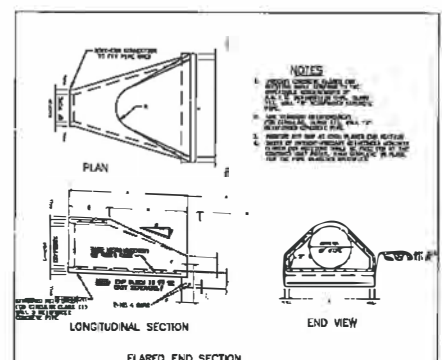
This work, when approved by the owner and owner's engineer, will be measured and paid for at the contract unit price per cubic yard in place for unsuitable soil which includes the removal and off-site disposal of unsuitable soil, the additional bedding material, and all labor, materials and equipment required to perform the work as specified.

19. The contractor shall be responsible for hiring and scheduling a qualified testing firm for all soil testing. This shall be included in the cost of work.

Table with columns: PROJECT STAFF, ISSUE, REVISION, DATE. Includes roles like PROJECT MANAGER, DESIGNER, CHECKER, etc.

Bono Consulting, Inc. CIVIL ENGINEERS. 2505 SOKOL COURT, DARIEN, ILLINOIS. PH: (617) 623-3300. Fax: (617) 623-3301. bono@bonoconsulting.com

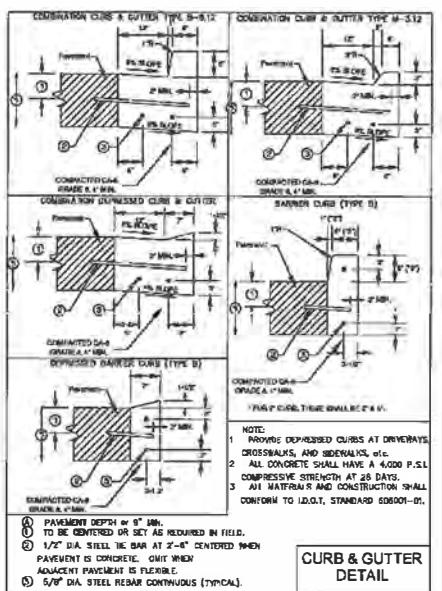
CONSTRUCTION NOTES. DARIEN HEIGHTS RESIDENCES. 2505 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS. PROJECT NUMBER: 21245. START DATE: MAY 21, 2021. GRAPHIC SCALE: 1" = 10'. SHEET NUMBER: 10 OF 11.



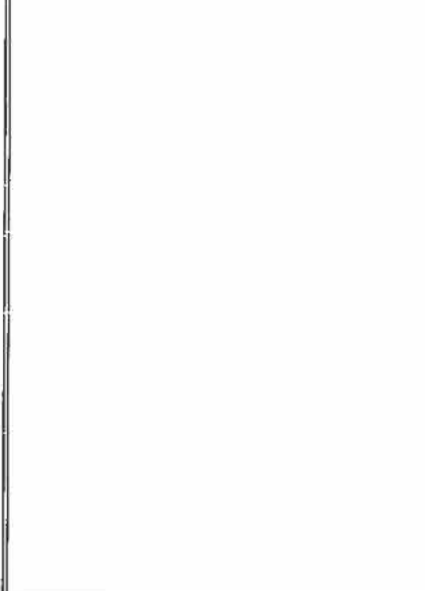
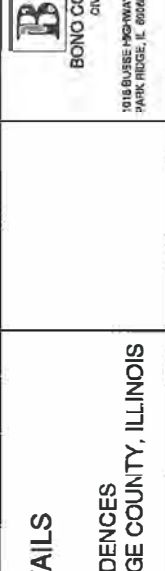
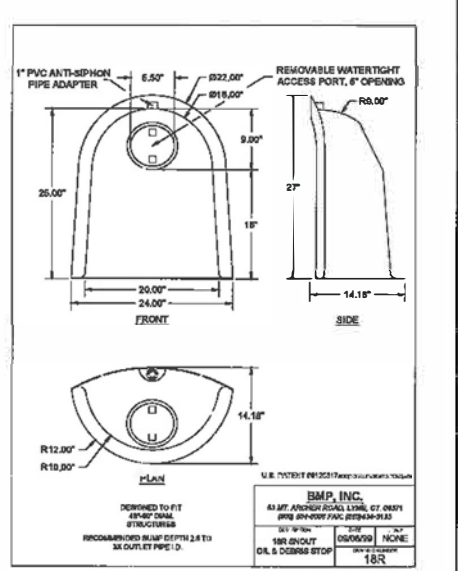
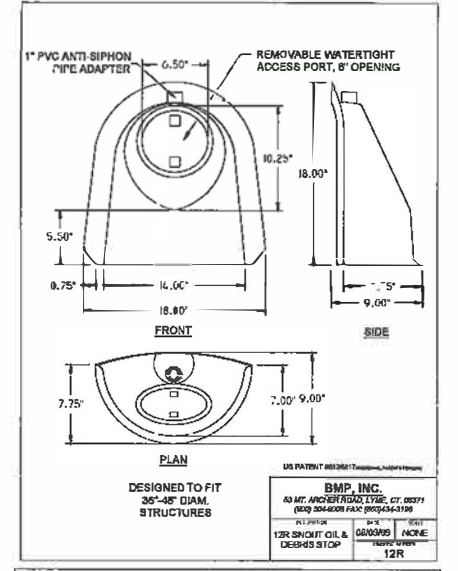
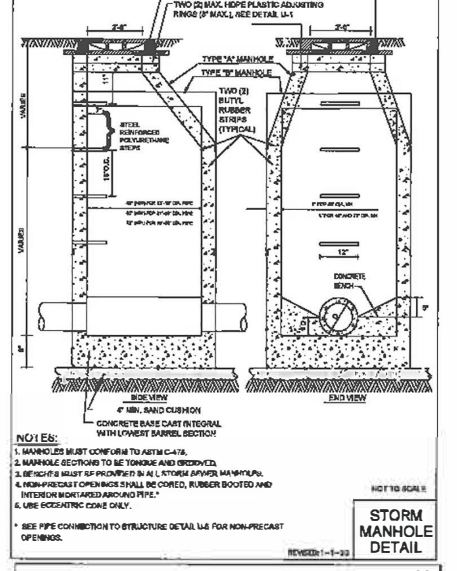
FLARED END-SECTION DIMENSION CHART

WALL	P	B	E	D	E	R	ALPHE
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12"	12"	12"	12"	12"	12"	12"	12"
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22"	22"	22"	22"	22"	22"	22"	22"
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26"	26"	26"	26"	26"	26"	26"	26"
28"	28"	28"	28"	28"	28"	28"	28"
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32"	32"	32"	32"	32"	32"	32"	32"
34"	34"	34"	34"	34"	34"	34"	34"
36"	36"	36"	36"	36"	36"	36"	36"
38"	38"	38"	38"	38"	38"	38"	38"
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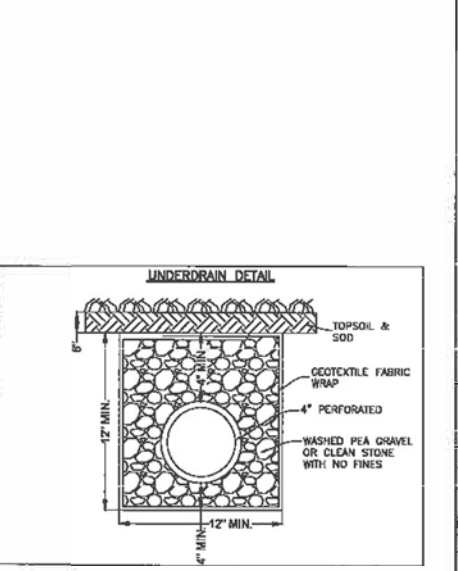
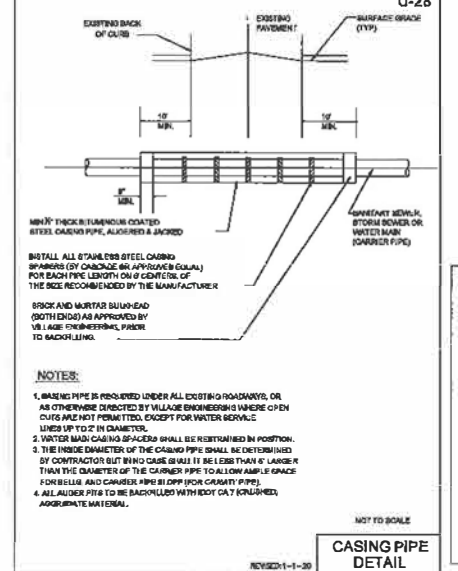
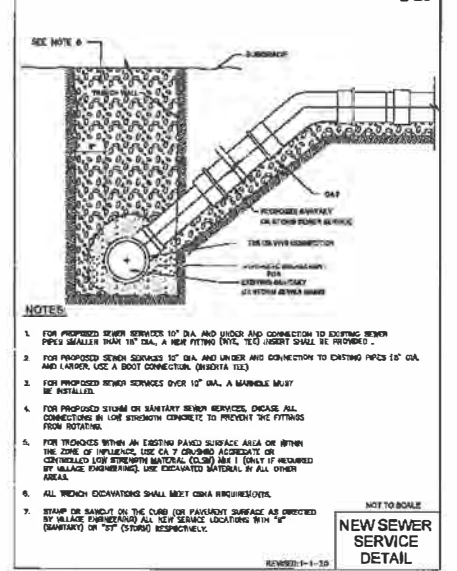
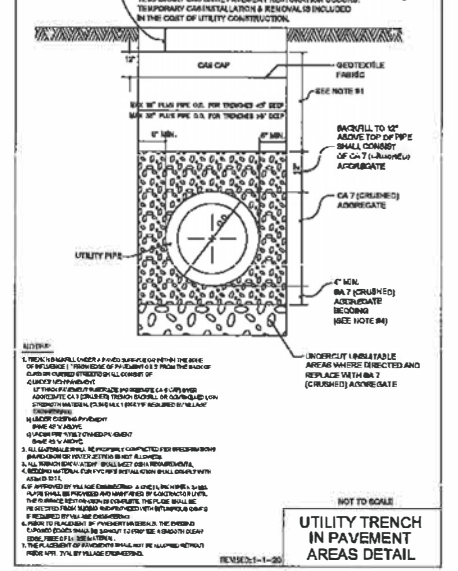
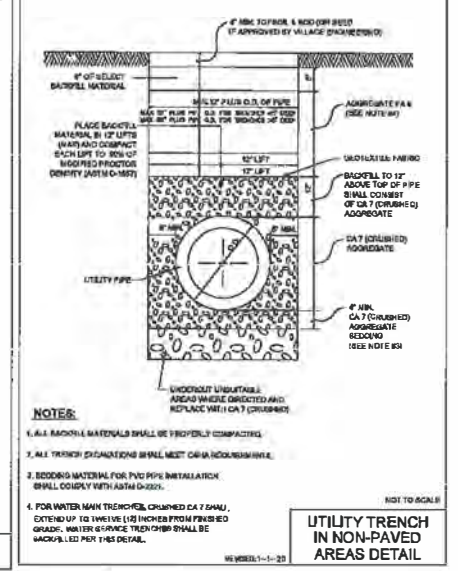
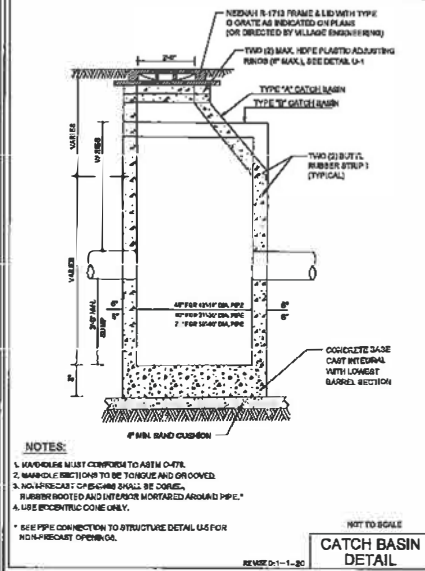
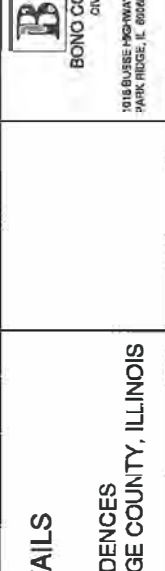
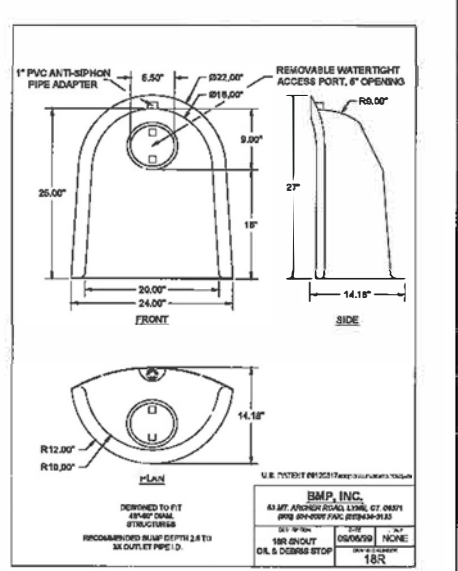
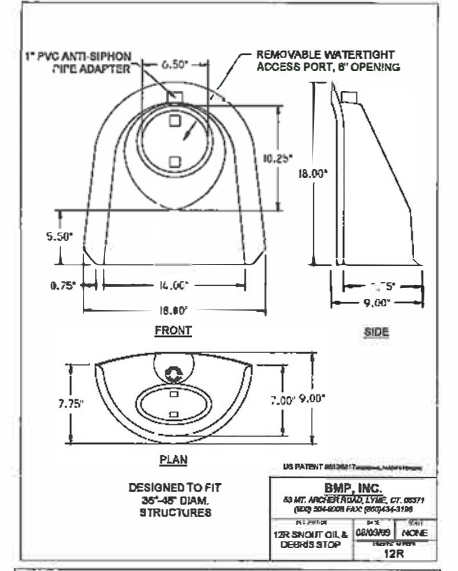
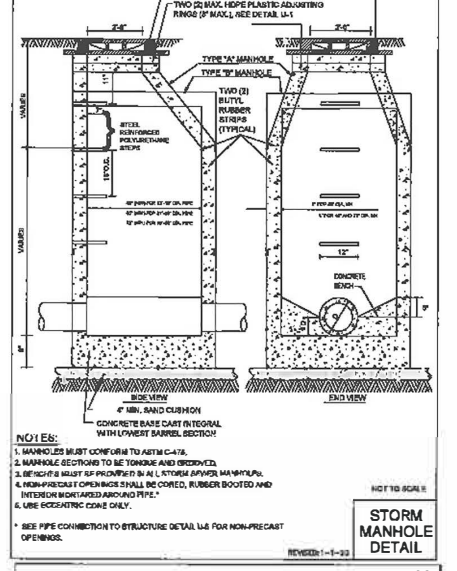
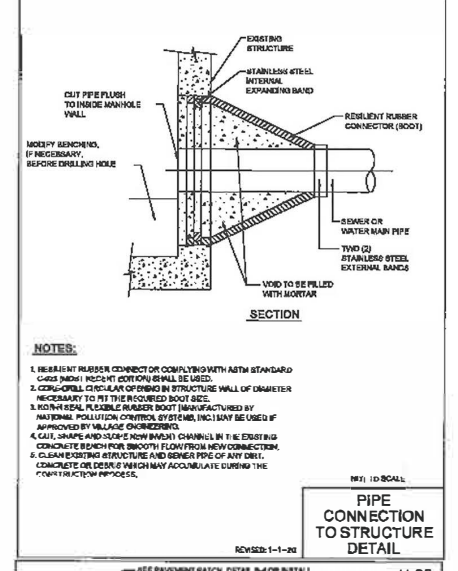
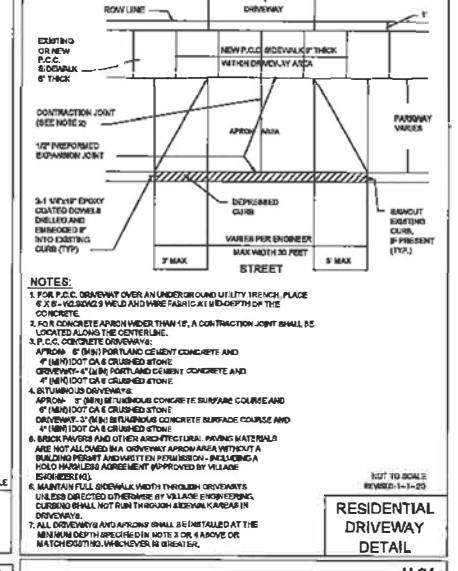
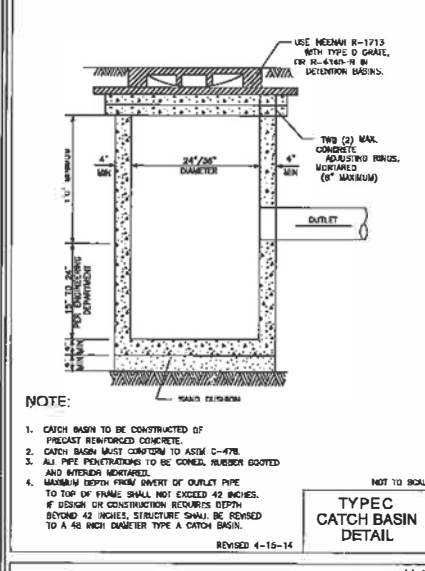
ANIMAL GUARDS BY AGRI DRAIN CORPORATION OR APPROVED EQUAL. 1-800-232-4742



CURB & GUTTER DETAIL



ANIMAL GUARD DETAIL



2305 SOKAL COURT CONSOLIDATION

BEING A CONSOLIDATION OF

THE PREMISES COMMONLY KNOWN AS:
 2305 SOKAL COURT, DARIEN, IL 60561
 PARCEL AREA = 122,704 S.F. GROSS
 115,218 S.F. NET
 PINS: 10-05-404-002
 10-05-404-024

OWNERS CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE LEGAL OWNERS OF THE LAND DESCRIBED ON THE ATTACHED PLAT HEREBY ARE THE PERSONS WHOSE NAMES ARE SET FORTH IN SAID PLAT AND WHO HAVE AGREED TO BE SURVEYED AND CONSOLIDATED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED.

DATED AT _____, TEXAS THIS _____ DAY OF _____, A.D. 20 _____

BY: _____
 OWNER: _____

ADDRESS: _____
 CITY, STATE: _____

NOTARY CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED THE ATTACHED PLAT AS HIS OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D. 20 _____

NOTARY PUBLIC: _____

MAYORS CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS THIS _____ DAY OF _____, A.D. 20 _____

CHAIRMAN: _____

PLAN COMMISSION CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS THIS _____ DAY OF _____, A.D. 20 _____

MAYOR: _____

CERTIFICATE AS TO SPECIAL ASSESSMENTS
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

I, _____, CITY TREASURER OF THE CITY OF DARIEN, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR OTHER IMPROVEDMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED THIS _____ DAY OF _____, A.D. 20 _____

CITY TREASURER: _____

COUNTY COUNCIL CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

I, _____, CITY CLERK OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE ANNEXED PLAT WAS PRESENTED TO AND BY ORDINANCE DULY APPROVED BY THE CITY COUNCIL OF SAID CITY AT ITS MEETING HELD ON _____, 20____, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID CITY IN WITNESS WHEREOF I HAVE HERETO SET MY HAND AND SEAL OF THE CITY OF DARIEN, ILLINOIS THIS _____ DAY OF _____, A.D. 20 _____

CITY CLERK: _____

SURVEYOR CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF DUKE) S.S.

THIS IS TO CERTIFY THAT I, BRYAN J. LEE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3616, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:
 LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, RESUBDIVISION NO. 1; BEING A RESUBDIVISION OF LOT 32 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RECORDED AS DOCUMENT R97-099748, IN THAT PART OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.
 LOT 31 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 10, 1997 AS DOCUMENT R97-99748, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN BY THE ANNEXED PLAT WHICH IS CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS IS ALSO THE CERTIFY THAT THE PROPERTY, AS DESCRIBED ON THE ANNEXED PLAT, LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF DARIEN, ILLINOIS.

BASED UPON EXAMINATION OF THE P.E.M.A. MAPS, IT HAS BEEN DETERMINED THAT PART OF THE PROPERTY SHOWN HEREON IS SUBJECT TO FLOOD RISK (THE PROPERTY FALLS WITHIN A ZONE "X" AREA) AS PORTRAYED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 17043C0257J, EFFECTIVE DATE: AUGUST 1, 2019.

GIVEN UNDER MY HAND AND SEAL AT GRAYSLAKE, ILLINOIS; THIS _____ DAY OF _____, A.D. 20____.

ILLINOIS PROFESSIONAL LAND SURVEYOR #35-3616
 MY LICENSE EXPIRES 11-30-22
 PROFESSIONAL DESIGN FIRM NO. 184-002732

CITY ENGINEER'S CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

I, _____, CITY ENGINEER OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE ANNEXED PLAT AND THE PLANS AND SPECIFICATIONS THEREFOR MEET THE MINIMUM REQUIREMENTS OF SAID CITY AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREIN.

DATED THIS _____ DAY OF _____, A.D. 20 _____

CITY ENGINEER: _____

COUNTY CLERK CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE PROSALES AGAINST ANY OF THE LAND(S) INCLUDED IN THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT WHEATON, DUPAGE COUNTY, ILLINOIS THIS _____ DAY OF _____, A.D. 20 _____

COUNTY CLERK: _____

COUNTY RECORDERS CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

THIS PLAT WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF DUPAGE COUNTY, ILLINOIS ON THIS _____ DAY OF _____, A.D. 20____, AT _____ O'CLOCK _____ M AS DOCUMENT NUMBER _____

RECORDER: _____

SURFACE WATER DRAINAGE CERTIFICATE
 STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL CHANGE, REASONABLE PROVISIONS HAVE BEEN MADE FOR COLLECTION AND DISCHARGE OF SURFACE WATER INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

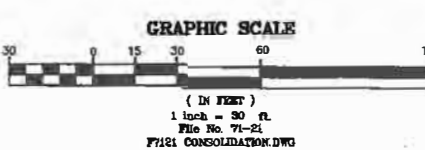
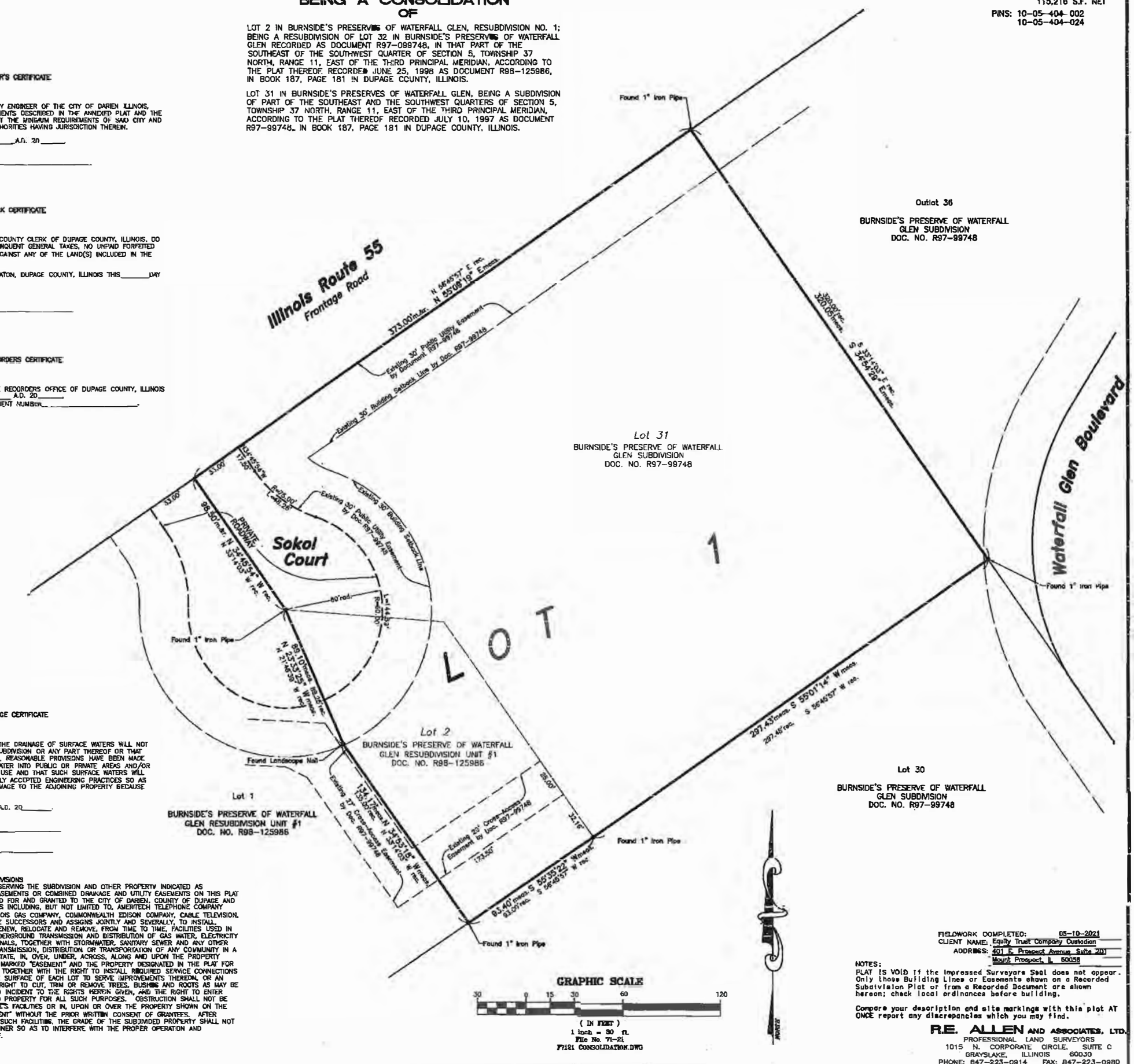
DATED THIS _____ DAY OF _____, A.D. 20 _____

OWNER OR ATTORNEY: _____

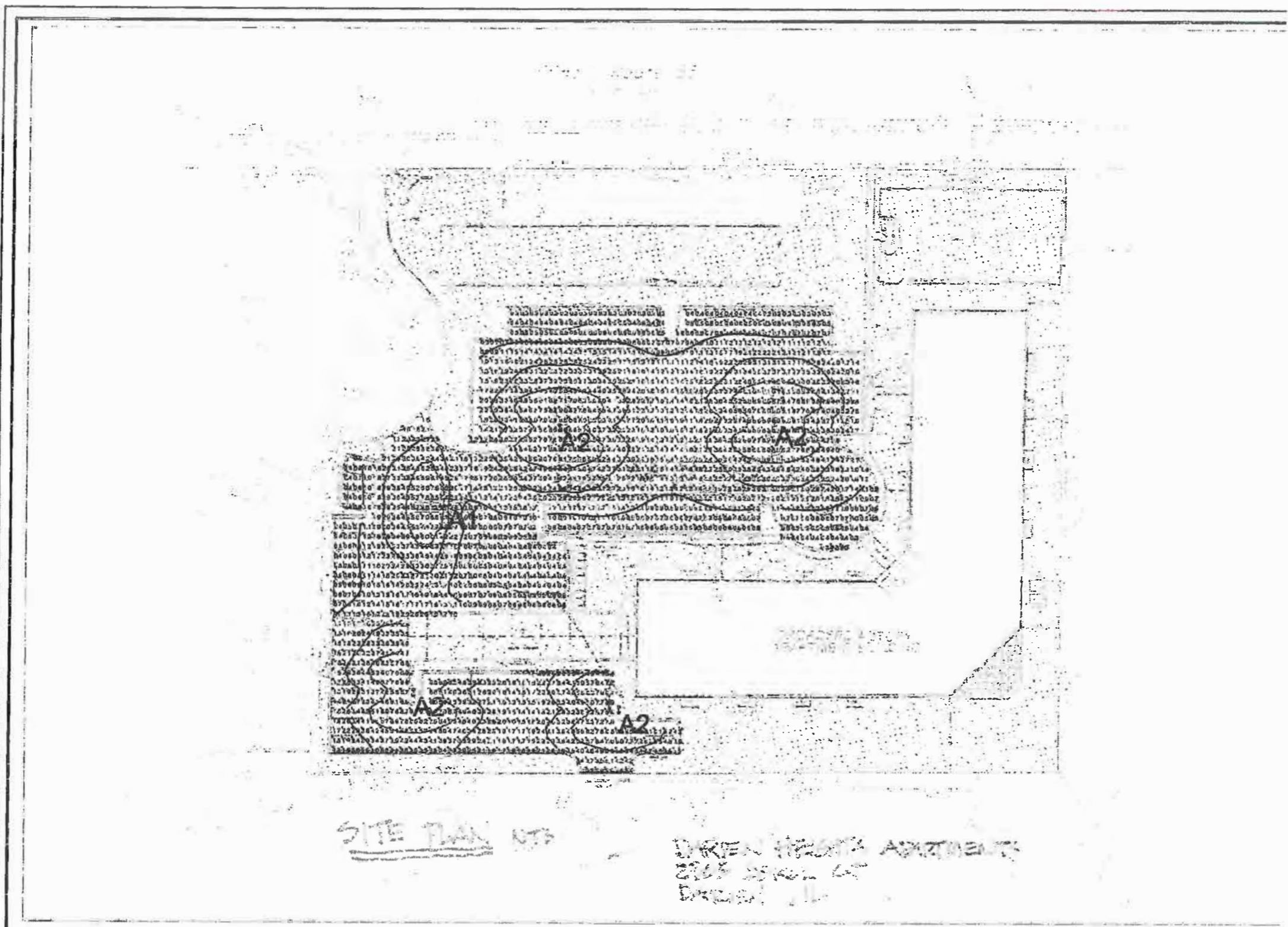
ENGINEER: _____

UTILITY EASEMENT PROVISIONS
 ALL EASEMENTS FOR SERVING THE SUBDIVISION AND OTHER PROPERTY INDICATED AS EASEMENTS, UTILITY EASEMENTS OR COMBINED DRAINAGE AND UTILITY EASEMENTS ON THIS PLAT ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF DARIEN, COUNTY OF DUPAGE AND THE UTILITY COMPANIES INCLUDING, BUT NOT LIMITED TO, AMERITECH TELEPHONE COMPANY (ATT), NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, CABLE TELEVISION, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO INSTALL, OPERATE, MAINTAIN, REPAIR, RELOCATE AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF GAS WATER, ELECTRICITY AND SIGNALS, TOGETHER WITH STORMWATER, SANITARY SEWER AND ANY OTHER FACILITIES USED IN TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF ANY COMMODITY IN A LIQUID OR GASEOUS STATE, IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN ON THE PLAT MARKED "EASEMENT" AND THE PROPERTY DESIGNATED IN THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER AND UNDER THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS THEREON, OR AN ADJACENT LOTS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. CONSTRUCTION SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN, UPON OR OVER THE PROPERTY SHOWN ON THE PLAT MARKED "EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE'S. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, RESUBDIVISION NO. 1; BEING A RESUBDIVISION OF LOT 32 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RECORDED AS DOCUMENT R97-099748, IN THAT PART OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.
 LOT 31 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTERS OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 10, 1997 AS DOCUMENT R97-99748, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.



FIELDWORK COMPLETED: 05-10-2021
 CLIENT NAME: Equity Trust Company Custodian
 ADDRESS: 201 E. Prospect Avenue, Suite 200
 Mount Prospect, IL 60056
 NOTES:
 PLAT IS VOID if the Impressed Surveyors Seal does not appear.
 Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown hereon; check local ordinances before building.
 Compare your description and site markings with this plat AT ONCE report any discrepancies which you may find.
R.E. ALLEN AND ASSOCIATES, LTD.
 PROFESSIONAL LAND SURVEYORS
 1015 N. CORPORATE CIRCLE, SUITE C
 GRAYSLAKE, ILLINOIS 60030
 PHONE: 847-223-0914 FAX: 847-223-0980



SITE PLAN NTS

DARIEN HEIGHTS APARTMENTS
600 E RAND RD
DARIEN, ILL

Not to Scale

PHOTOMETRICS - 20' P.O.L.E.

Darien Heights Apartments
Darien, IL



SCALE
AS NOTED

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
Lot Calculations	Illuminance	Fc	2.75	10.0	0.3	9.17	33.33		5	5	Horizontal

Luminaire Schedule													
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename	BUG Rating
1	1	A1	ALED3T150N	SINGLE	18253	18253	1.000	ALED3T150N - RWLED3T150N - RWLED3T150SFN - WPE3.4	153.4	153.4	153.4	ALED3T150N - Neutral - RAB02132	B1-JD-G3
2	4	A2	ALED3T150N 2 @ 180	BACK-BACK	18253	32699	1.000	ALED3T150N - RWLED3T150N - RWLED3T150SFN - WPE3.4	308.8	1227.2	1227.2	ALED3T150N - Neutral - RAB02132	B1-JD-G3

5- PS4-11-20D2
5- BOLT4/11
5- BCK-S4

Expanded Luminaire Location Summary							
LumNo	Tag	X	Y	MTG HT	Orient	Tilt	
1	A1	215.042	213.847	20	178.888	0	
2	A2	189.509	116.378	20	270	0	
2	A2	198.508	119.378	20	90	0	
3	A2	304.244	167.899	20	269.978	0	
3	A2	304.248	110.899	20	89.978	0	
4	A2	273.073	252.425	20	270.337	0	
4	A2	273.056	255.425	20	90.337	0	
5	A2	384.441	258.78	20	88.878	0	
5	A2	384.383	255.78	20	268.878	0	
Total Quantity: 9							

NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / total lumens per lamp manufacturer's specifications.

* Illuminance values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to errors and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination of job site specific, our lighting simulations assume a mounting height (found on panel of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at 5m height of the symbol for all other luminaire mounting configurations.

* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and IEPN of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

* The landscape images shown herein is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, tree, or tree, and is for illustrative purposes only. The actual landscape values measured in the field will vary.

* Photometric model elements such as buildings, terrain, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgment when translating customer requests into photometric studies.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International Intellectual Property laws. Patents issued or pending apply.

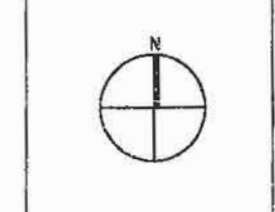
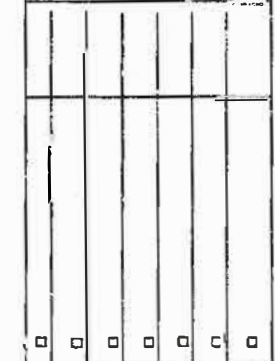
NORTHWEST
DESIGN + SPECIFICATION

PHOTOMETRICS

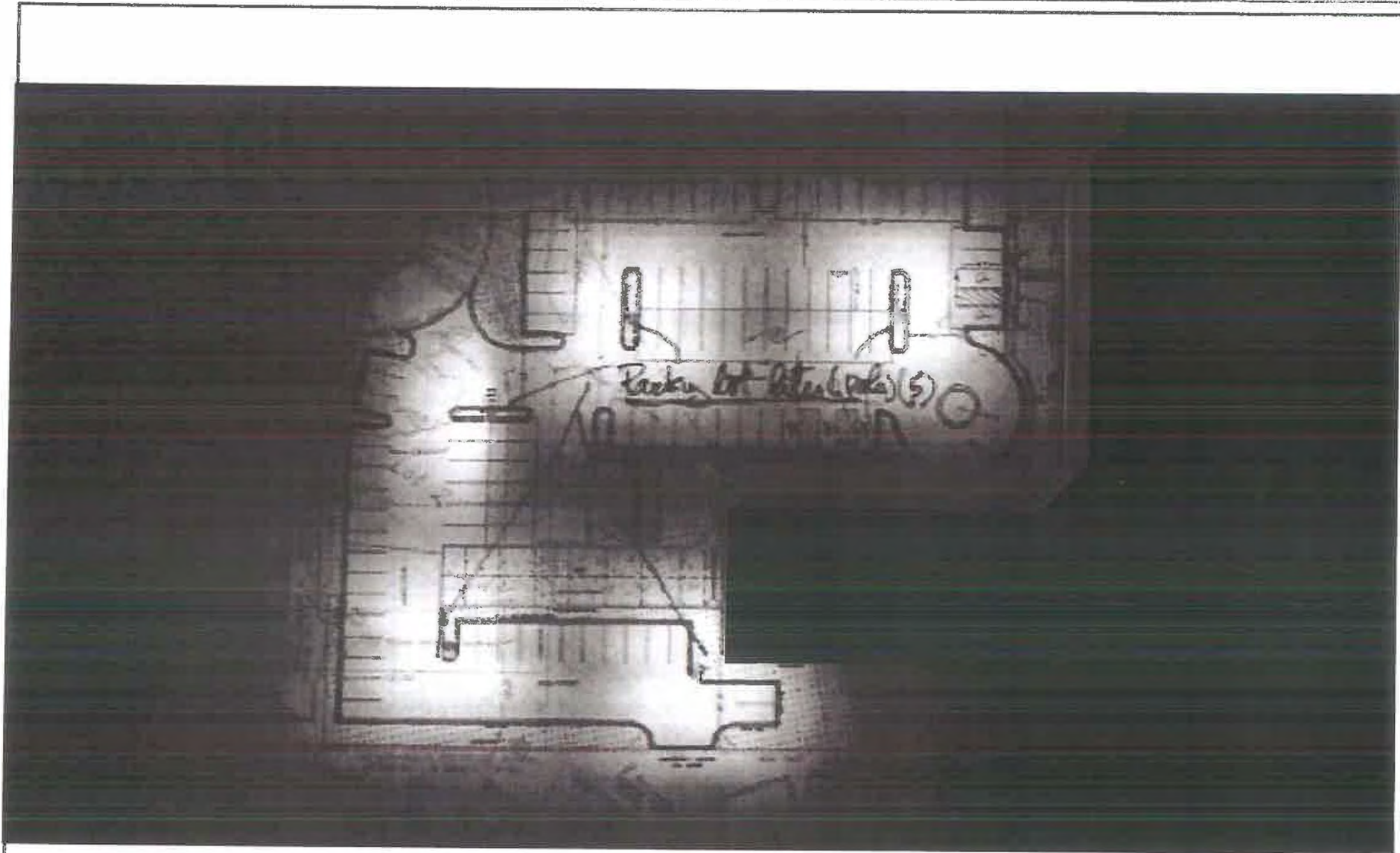
100 E. Broad St. Mount Prospect, IL 60056
708.252.3700
61541 TORlight@northwest.com

PHOTOMETRICS - 20' POLE

Darien Heights Apartments
Darien, IL



SCALE
AS NOTED



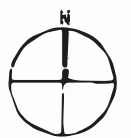
NORTHWEST
DESIGN & SPECIFICATION

PHOTOMETRICS

600 E Rand Rd. Mount Prospect, IL 60056
PH 847.268.2700
FAX 847.268.2700
TCPhoto@northwest.com

PHOTOMETRICS - 20' POLE

Darien Heights Apartments
Darien, IL



SCALE
AS NOTED

Submitted by: NWElectrical	Catalog Number: ALED3T150N	Type:
NORTHWEST ELECTRICAL SUPPLY	Job Name: Darlen Heights Apartments	
	Notes:	NWES21-10250

ALED3T150N



Color: Bronze

Weight: 36.7 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	1.31A
208V	0.80A
240V	0.69A
277V	0.60A
Input Watts	153.4W

LED Info

Watts	150W
Color Temp	4000K (Neutral)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	16,253
Efficacy	106 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: PE9166BW

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens

Housing:

Die-cast aluminum housing, lens frame and mounting arm

IP Rating:

Ingress protection rating of IP66 for dust and water

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

Reflector:

Specular vacuum-metallized polycarbonate

Submitted by NW Electrical	Job Name: Darlen Heights Apartments	Catalog Number: ALED3T150N	Type:
NORTHWEST ELECTRICAL SUPPLY		Notes:	NWES21-10250

ALED3T150N

RAB

Technical Specifications (continued)

Construction

Gaskets:

High-temperature silicone gaskets

EPA:

- 1 Fixture: 0.75
- 2 Fixtures at 90°: 2.2
- 2 Fixtures at 180°: 2.4
- 3 Fixtures at 90°: 2.4
- 4 Fixtures at 90°: 1.8

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free, RoHS-compliant components.

LED Characteristics

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Electrical

Driver:

One Driver, Constant Current, Class 2, 2100mA 100-277V, 50-60Hz, Power Factor 99%

THD:

7.7% at 120V

Power Factor:

99.5% at 120V, 93.5% at 277V

Surge Protection:

4kV

Optical

BUG Rating:

B1 U0 G2

Other

BAA Compliance:

Click [here](#) for BAA compliance.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

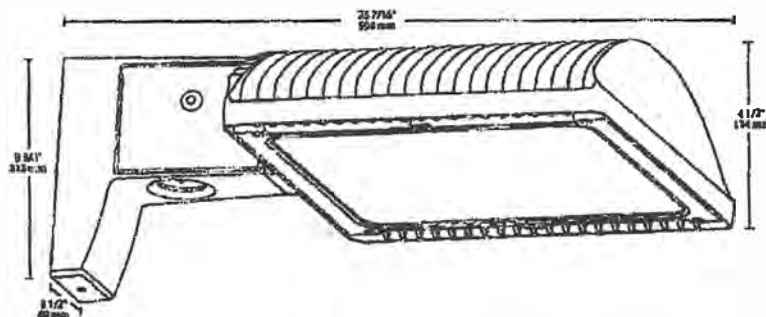
Equivalency:

Equivalent to 400W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- 65% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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Submitted by NW Electrical	Catalog Number: ALED3T150N	Type:
NORTHWEST ELECTRICAL SUPPLY	Job Name: Darien Heights Apartments	
	Notes:	NWES21-10250

ALED3T150N



Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	3T	150		N				
	4T = Type IV 3T = Type III 2T = Type II	50 = 50W 78 = 78W 105 = 105W 125 = 125W 150 = 150W	Blank = Pole mount SF = Slipfitter	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze RG = Roadway Gray W = White K = Black	Blank = 120-277V /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /480/D10 = 480V, 0-10V Dimming	Blank = No Option /LC = Lightcloud@ Controller /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCS4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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Submittal by NW Electrical	Catalog Number: PS4-11-20D2	Type:
NORTHWEST ELECTRICAL SUPPLY	Job Name: Darlen Heights Apartments	NWES21-10250
	Notes:	

PS4-11-20D2

RAB



Project:

Type:

Prepared By:

Date:

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 136.7 lbs

Technical Specifications

Compliance

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

20 FT

Weight:

137 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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Landscape Plan

2305 SOKOL COURT

Darien, Illinois

July 26, 2021

CONSULTANTS:



LANDSCAPE ARCHITECT:
GARY R. WEBER ASSOCIATES, INC
 402 W. LIBERTY DRIVE
 WHEATON, ILLINOIS 60187

ENGINEER:

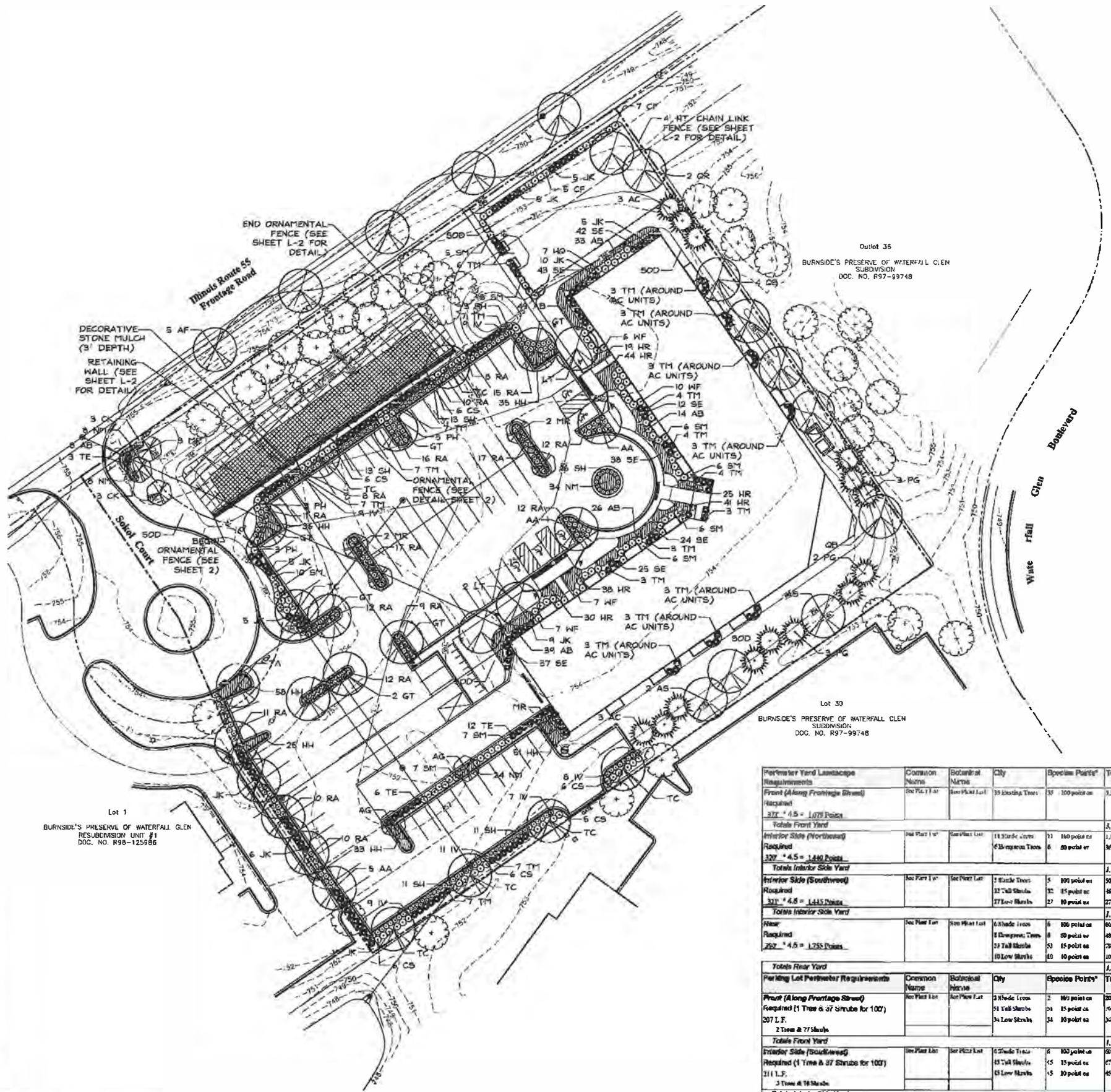
BONO CONSULTING CIVIL ENGINEERS
 1018 BUSSE HWY
 PARK RIDGE, ILLINOIS 60068



LOCATION MAP
 SCALE: 1"=200'

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
0	COVER SHEET
L1	OVERALL LANDSCAPE PLAN
L2	LANDSCAPE DETAILS
L3	LANDSCAPE DETAILS
L4	LANDSCAPE SPECIFICATIONS



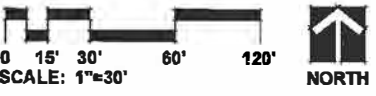
PLANT LIST

Key	Qty	Botanical/Common Name	Size	Remarks
SHADE TREES				
AA	7	Acer x Freemanii 'Latter's Red' AUTUMN BLAZE MAPLE	2 1/2" Cal.	
AF	3	Acer x Freemanii 'Marmo' MARMO FREEMAN MAPLE	2 1/2" Cal.	
AS	3	Acer x saccharum 'Green Mountain' GREEN MOUNTAIN SUGAR MAPLE	2 1/2" Cal.	
GT	7	Gladiata trilobata var. 'Inverclyde' 'Skyline' SKYLINE HONEYLOCUST	2 1/2" Cal.	
LT	3	Liriodendron tulipifera TULIPTREE	2 1/2" Cal.	
GB	5	Quercus bicolor SHARP WHITE OAK	2 1/2" Cal.	
QR	2	Quercus rubra RED OAK	2 1/2" Cal.	
TC	7	Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN	2 1/2" Cal.	
ORNAMENTAL TREES				
AG	2	Amelanchier x grandiflora APPLE SERVICEBERRY	6' Ht.	Multi-Stem
MP	3	Malus 'PrairieFire' PRAIRIEFIRE CRABAPPLE	2' Cal.	Tree Form
MR	3	Malus 'Royal Raindrops' ROYAL RAINDROPS CRABAPPLE	6' Ht.	Multi-Stem
EVERGREEN TREES				
AC	6	Abies concolor WHITE FIR	8' Ht.	
PG	3	Picea glauca var. densata BLACK HILLS SPRUCE	8' Ht.	
DECIDUOUS SHRUBS				
CS	35	Cornus sericea 'Bailey' BAILEY'S REDTWIG DOGWOOD	36" Tall	5' O.C.
CF	12	Cornus sericea 'Farrow' ARCTIC FIRE REDTWIG DOGWOOD	24" Tall	3' O.C.
HQ	7	Hydrangea quercifolia 'Pee Wee' PEE WEE OAKLEAF HYDRANGEA	24" Tall	3' O.C.
IV	69	Ilex virginica 'Little Henry' LITTLE HENRY VIRGINIA SWEETSPIRE	24" Tall	3' O.C.
PH	14	Physocarpus opulifolius 'Seward' SUMMER WINE NINEBARK	30" Tall	4' O.C.
RA	190	Rhus aromatica 'Gro-Low' GRO-LOW SUMAC	24" Wide	3' O.C.
SH	58	Syringa meyeri 'Paladin' CHARF KOREAN LILAC	24" Tall	4' O.C.
WF	30	Weigela florida 'Alexandra' WINE & ROSES WEIGELA	36" Tall	4' O.C.
EVERGREEN SHRUBS				
JK	66	Juniperus chinensis 'Kallaya Compact' KALLAYA COMPACT FITZGER JUNIPER	24" Wide	4' O.C.
TE	21	Taxus x media 'Everlow' EVERLOW TEH	24" Wide	4' O.C.
TM	90	Taxus x media 'Densifolia' DENSE TEH	24" Wide	4' O.C.
ORNAMENTAL GRASSES				
CK	6	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30" O.C.
SH	64	Sporobolus heterolepis PRAIRIE DROPS	#1	24" O.C.
PERENNIALS				
AB	169	Allium 'Summer Beauty' SUMMER BEAUTY ONION	#1	18" O.C.
HH	235	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
HR	197	Hemerocallis 'Rosy Returns' ROSY RETURNS DAYLILY	#1	18" O.C.
NM	74	Nepeta racemosa 'Walker's Low' WALKER'S LOW CATMINT	#1	18" O.C.
SE	221	Sedum 'Autumn Joy' AUTUMN JOY SEDUM	#1	18" O.C.
MISC. MATERIALS				
65		SHREDDED HARDWOOD MULCH	C.Y.	
64		DECORATIVE STONE MULCH	C.Y.	
169		4' ORNAMENTAL FENCE	LF	

Perimeter Yard Landscaping Requirements	Common Name	Botanical Name	Qty	Species Points	Total Points
Front (Along Frontage Street)	See Plan List	See Plan List	35 Shrubs Trees	35 100 point ea	3,500
Required			372' x 4.5' = 1,674 Points		
Total Front Yard					3,500
Interior Side (Northwest)	See Plan List	See Plan List	11 Shrubs Trees	11 100 point ea	1,100
Required			45 Shrubs Trees	45 80 point ea	3,600
120' x 4.5' = 540 Points					
Total Interior Side Yard					4,700
Interior Side (Southwest)	See Plan List	See Plan List	2 Shrubs Trees	2 100 point ea	200
Required			37 Tall Shrubs	37 15 point ea	555
311' x 4.5' = 1,400 Points			27 Low Shrubs	27 10 point ea	270
Total Interior Side Yard					1,025
Rear	See Plan List	See Plan List	6 Shrubs Trees	6 100 point ea	600
Required			8 Shrubs Trees	8 80 point ea	640
262' x 4.5' = 1,180 Points			27 Tall Shrubs	27 15 point ea	405
10 Low Shrubs			10 10 point ea		100
Total Rear Yard					1,745
Parking Lot Perimeter Requirements					Total Points
Plant (Along Frontage Street)	See Plan List	See Plan List	2 Shrubs Trees	2 100 point ea	200
Required (1 Tree & 37 Shrubs for 100')			25 Tall Shrubs	25 15 point ea	375
207 L.F.			24 Low Shrubs	24 10 point ea	240
Total Front Yard					1,315
Interior Side (Southwest)	See Plan List	See Plan List	5 Shrubs Trees	5 100 point ea	500
Required (1 Tree & 37 Shrubs for 100')			45 Tall Shrubs	45 15 point ea	675
211 L.F.			45 Low Shrubs	45 10 point ea	450
3 Trees & 78 Shrubs					
Total Interior Side Yard					1,625
Rear	See Plan List	See Plan List	2 Shrubs Trees	2 100 point ea	200
Required (1 Tree & 37 Shrubs for 100')			27 Tall Shrubs	27 15 point ea	405
161 L.F.			25 Low Shrubs	25 10 point ea	250
2 Trees & 41 Shrubs					
Total Rear Yard					1,103

NATIVE SEED QUANTITIES

Key	Qty.	Description
0.07 AC.		WET-MESIC PRAIRIE SEED MIX & EROSION CONTROL BLANKET
0.06 AC.		LOW PROFILE PRAIRIE SEED MIX & EROSION CONTROL BLANKET



GRWA
GARY R. WEBER ASSOCIATES, INC.
 LAND PLANNING
 BIOLOGICAL CONSULTING
 LANDSCAPE ARCHITECTURE
 402 W. LIBERTY DRIVE
 WHEATON, ILLINOIS 60157
 PHONE: 630-668-7197

DESIGNED BY
PAUL SWANSON ASSOCIATES, INC.
 401 E. PROSPECT AVE., SUITE 201
 MT. PROSPECT, IL 60056

PREPARED BY
BONO CONSULTING CIVIL ENGINEERS
 1018 BUSSE HWY
 PARK RIDGE, IL 60068

2305 SOKOL COURT
 DARIEN, ILLINOIS
OVERALL LANDSCAPE PLAN

2 07.26.2021
 1 07.19.2021
REVISIONS

DATE: 6.28.2021
 PROJECT NO.: PSW2103
 DRAWN: JLT
 CHECKED: GFB
 SHEET NO.

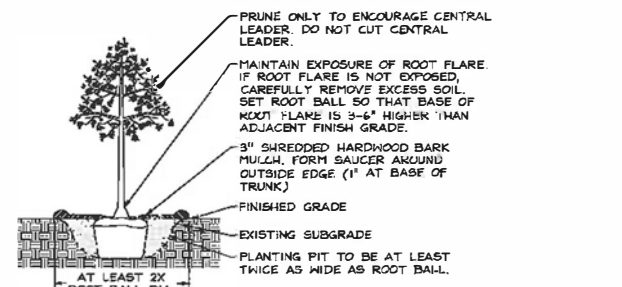
L-1

NATIVE SEED MIXES

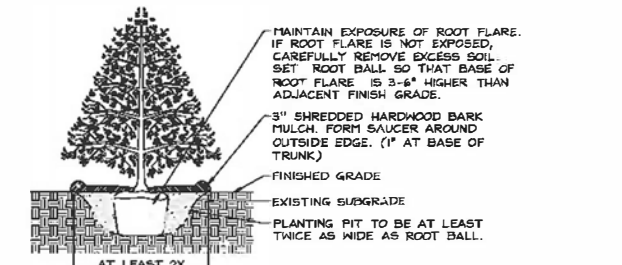
Wet Meadow Seed Mixture		
Lower slopes of basin:		
Botanical Name	Common Name	Lbs / AC
Grasses / Sedges		
<i>Carex bebbii</i>	Bebb's Oval Sedge	0.250
<i>Carex bioknawi</i>	Blkknell's Sedge	0.125
<i>Carex bruxii</i>	Flora Oval Sedge	0.250
<i>Carex cristata</i>	Crested Oval Sedge	0.060
<i>Carex molesta</i>	Field Oval Sedge	0.250
<i>Carex normalis</i>	Spreading Oval Sedge	0.015
<i>Carex scoparia</i>	Pointed Broom Sedge	0.160
<i>Carex stipata</i>	Common Fox Sedge	0.060
<i>Carex stricta</i>	Brown Fox Sedge	0.250
<i>Elymus virginicus</i>	Virginia Wild Rye	3.000
<i>Glyceria striata</i>	Fowl Mann Grass	0.130
<i>Juncus dudleyi</i>	Dudley's Rush	0.020
<i>Juncus torreyi</i>	Torrey's Rush	0.031
<i>Panicum virginicum</i>	Switch Grass	3.000
<i>Scirpus atrovirens</i>	Dark Green Bulrush	0.060
<i>Scirpus cypripedii</i>	Wool Grass	0.060
Total Grasses / Sedges		7.721
Wildflowers/Broadleaves		
<i>Asclepias incarnata</i>	Swamp Milkweed	0.125
<i>Bidens cernua</i>	Nodding Bur Marigold	0.190
<i>Boltonia asteroides</i>	False Aster	0.031
<i>Chamaecrista fasciculata</i>	Partridge pea	0.188
<i>Euthamia graminifolia</i>	Green-leaved Goldenrod	0.300
<i>Eupatorium perfoliatum</i>	Common Boneset	0.016
<i>Heterium autumnale</i>	Snowweed	0.063
<i>Isis virginica aeneol</i>	Blue Flag Iris	1.000
<i>Lobelia siphilitica</i>	Great Blue Lobelia	0.031
<i>Muhlenbergia rigens</i>	Monk's Flower	0.031
<i>Symphoricarpos rosea-argus</i>	New England Aster	0.250
<i>Pyrolanthemum virginicum</i>	Common Mountain Mint	0.063
<i>Rudbeckia fulgida var. sullivanti</i>	Showy Black-Eyed Susan	0.250
<i>Zizia aurea</i>	Golden Alexanders	0.500
Total Forbs		3.837
Total Sedge Meadow Seed Mix		10.758

Low Profile Prairie with Flowers Seed Mix		
Upper basin slopes		
Botanical Name	Common Name	Lbs / AC
Grasses		
<i>Bouteloua curtipendula</i>	Side Oats Grass	8.000
<i>Panicum virgatum</i>	Prairie Switch Grass	0.125
<i>Elymus hystrix</i>	Slender Wheatgrass	2.000
<i>Elymus canadensis</i>	Prairie Wild Rye	1.000
<i>Schizanthus scoparium</i>	Little Bluestem	8.000
Total Grasses		17.125
Wildflowers/Broadleaves		
<i>Allium cernuum</i>	Nodding Wild Onion	0.180
<i>Amorpha canescens</i>	Lead Plant	0.125
<i>Asclepias canadensis</i>	Whorled Milkweed	0.063
<i>Asclepias tuberosa</i>	Butterflyweed	0.500
<i>Astilbe canadensis</i>	Canada Milk Vetch	0.063
<i>Coreopsis palmata</i>	Wilder Coreopsis	0.025
<i>Echinacea pallida</i>	Pale Purple Coneflower	1.000
<i>Echinacea purpurea</i>	Purple Coneflower	0.500
<i>Eryngium yuccifolium</i>	Rattlesnake Master	0.125
<i>Lespedeza capitata</i>	Round-Headed Bush Clover	0.125
<i>Liatris scarpia</i>	Rough Blazing Star	0.280
<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.188
<i>Munarda fistulosa</i>	Prairie Bergamot	0.063
<i>Parthenium integrifolium</i>	Wild Quinine	0.016
<i>Panicum sphaerum</i>	Fragrant Beard Tongue	0.125
<i>Petalostemum candidum</i>	White Prairie Clover	0.125
<i>Petalostemum purpureum</i>	Purple Prairie Clover	0.158
<i>Pteris arguta</i>	Prairie Cinqfoil	0.031
<i>Pyrolanthemum toadatum</i>	Slender Mountain Mint	0.031
<i>Rudbeckia hirta</i>	Yellow Coneflower	0.125
<i>Rudbeckia fulgida var. sullivanti</i>	Showy Black-Eyed Susan	0.500
<i>Rudbeckia hirta</i>	Black-Eyed Susan	0.500
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	0.063
<i>Symphoricarpos rosea</i>	Smooth Blue Aster	0.063
<i>Trochiloxyla obtusifolia</i>	Common Spideewort	0.063
<i>Verbena stricta</i>	Hairy Verbena	0.125
<i>Zizia aurea</i>	Golden Alexanders	0.500
Total Forbs		8.640
Total Low Profile Prairie Seed Mix		22.765

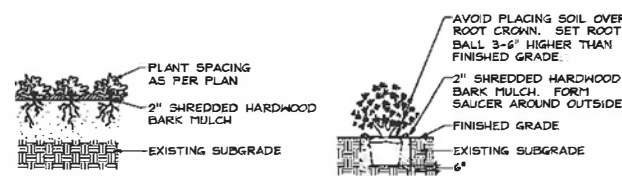
PLANTING DETAILS



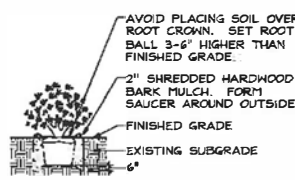
DECIDUOUS TREES
NOT TO SCALE



EVERGREEN TREES
NOT TO SCALE



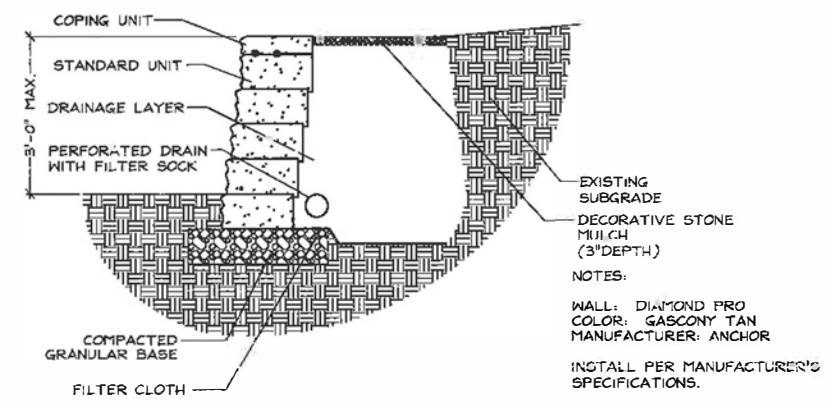
PERENNIALS AND GROUNDCOVERS
NOT TO SCALE



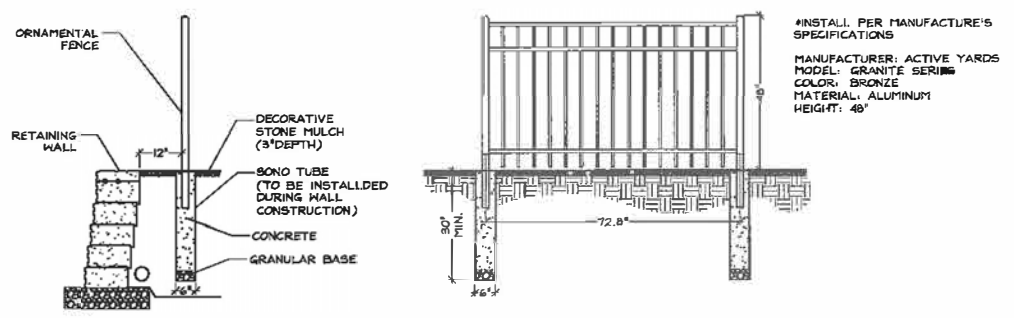
DECIDUOUS AND EVERGREEN SHRUBS
NOT TO SCALE

GENERAL NOTES

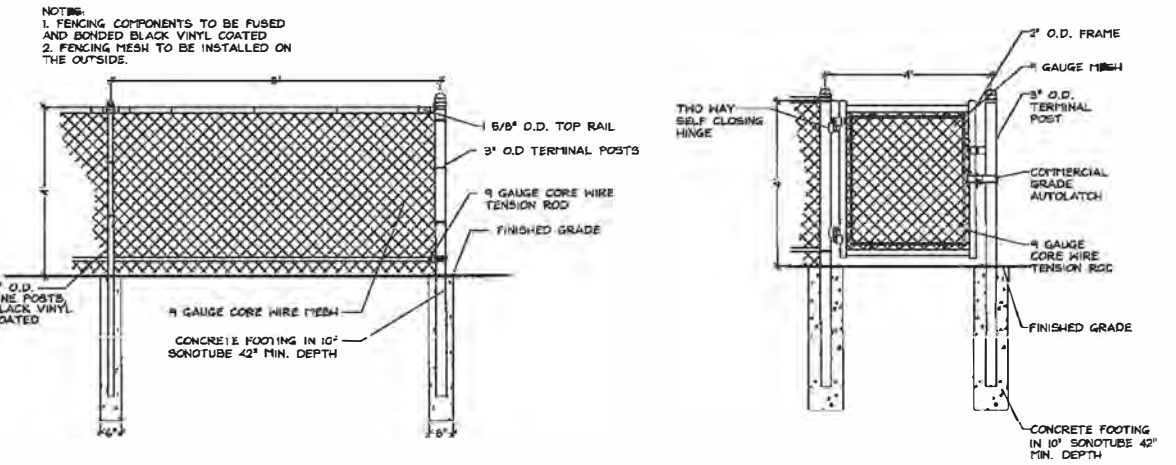
- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractor's convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



RETAINING WALL DETAIL
SCALE: 1/2"=1'-0"



4' ORNAMENTAL FENCE
SCALE: 1/2"=1'-0"



4' CHAIN LINK FENCE DETAILS
SCALE: 1/2"=1'-0"

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CIVIL ENGINEERS
1018 BUSSE HWY
PARK RIDGE, IL 60068

2305 SOKOL COURT
DARIEN, ILLINOIS
LANDSCAPE DETAILS

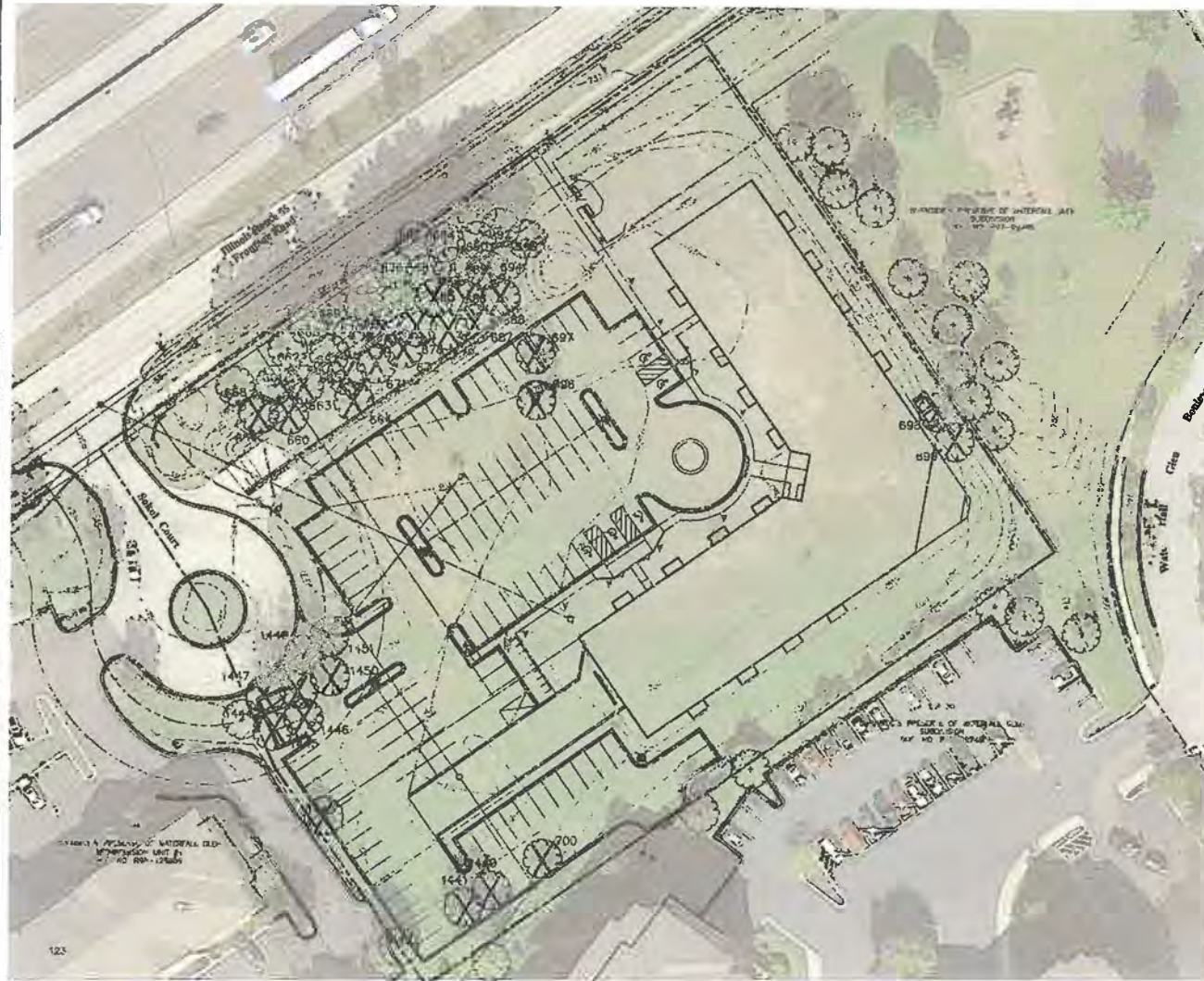
2	07.26.2021
1	07.19.2021

REVISIONS

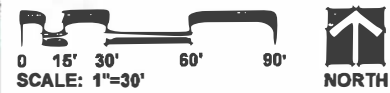
DATE	6.29.2021
PROJECT NO.	PSW2103
DRAWN	JLT
CHECKED	GFB
SHEET NO.	



L-2

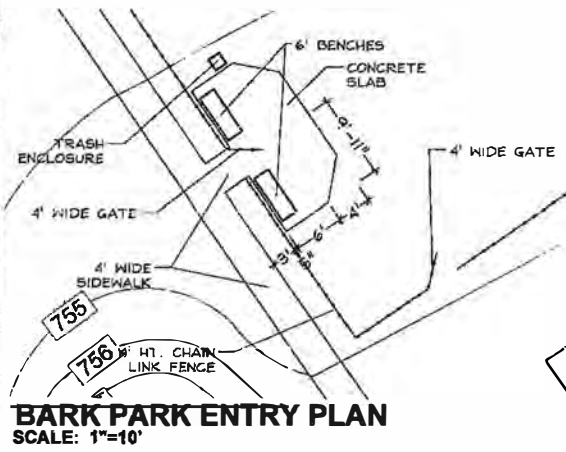


TREE PRESERVATION PLAN

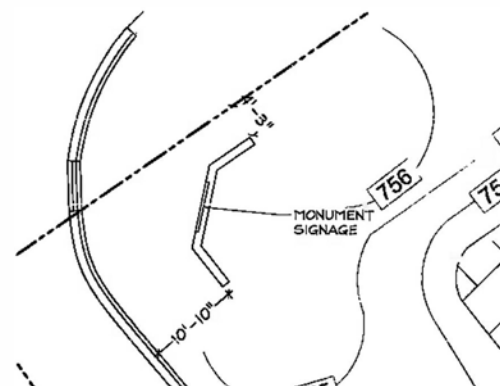


LEGEND

- REMOVED TREE
- PRESERVED TREE



BARK PARK ENTRY PLAN
SCALE: 1"=10'

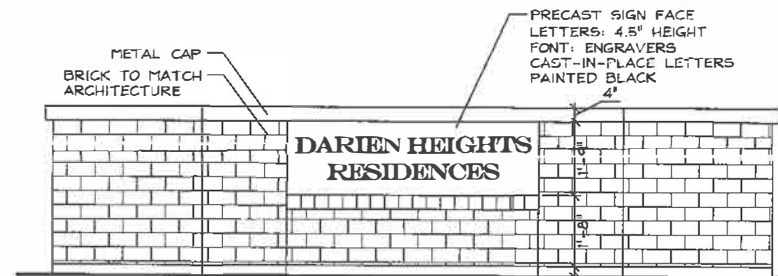


MONUMENT LAYOUT PLAN
SCALE: 1"=10'

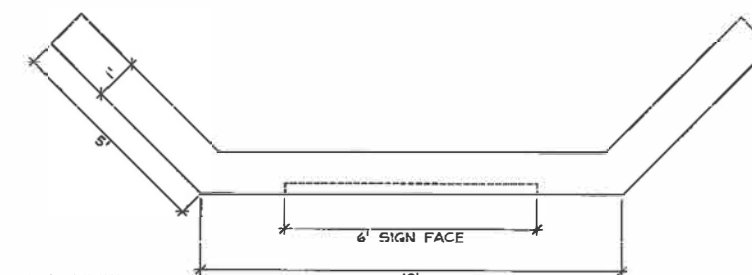
TREE INVENTORY

TAG NO.	SCIENTIFIC NAME	COMMON NAME	DBH (inches)	RATK	NOTES	PROPOSED ACTION
856	<i>Robinia pseudoacacia</i>	Black Locust	6.5	Poor	Split risk	Preserve
859	<i>Robinia pseudoacacia</i>	Black Locust	10	Poor	Leaning	Remove
890	<i>Robinia pseudoacacia</i>	Black Locust	12, 12	Poor	Split risk	Remove
881	<i>Robinia pseudoacacia</i>	Black Locust	12, 8	Poor	Leaning	Preserve
862	<i>Morus rubra</i>	Red Mulberry	30	Fair	Leaning	Preserve
863	<i>Robinia pseudoacacia</i>	Black Locust	11	Fair	Leaning	Remove
864	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Leaning	Remove
865	<i>Robinia pseudoacacia</i>	Black Locust	6	Poor	Dead limbs	Preserve
867	<i>Robinia pseudoacacia</i>	Black Locust	8	Poor	Leaning	Preserve
868	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Leaning	Preserve
859	<i>Azara rubra</i>	Red Mulberry	26	Fair	Dead limbs; unbalanced	Preserve
870	<i>Robinia pseudoacacia</i>	Black Locust	8	Poor	Crowded	Preserve
871	<i>Robinia pseudoacacia</i>	Black Locust	8.5	Poor	Crowded	Remove
872	<i>Robinia pseudoacacia</i>	Black Locust	7	Poor	Crowded	Remove
873	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Leaning	Remove
874	<i>Robinia pseudoacacia</i>	Black Locust	5	Fair	Leaning	Preserve
875	<i>Picea abies</i>	Norway Spruce	22	Poor	Dead limbs; crowded	Preserve
878	<i>Robinia pseudoacacia</i>	Black Locust	10	Good		Preserve
877	<i>Robinia pseudoacacia</i>	Black Locust	9, 5, 4	Poor	Leaning; split risk	Preserve
876	<i>Robinia pseudoacacia</i>	Black Locust	12	Poor	Leaning	Remove
879	<i>Robinia pseudoacacia</i>	Black Locust	8	Fair	Leaning	Remove
880	<i>Robinia pseudoacacia</i>	Black Locust	14	Poor	Leaning	Remove
881	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Crowded	Preserve
882	<i>Picea abies</i>	Norway Spruce	9	Poor	Dead limbs	Preserve
884	<i>Robinia pseudoacacia</i>	Black Locust	14	Fair	Leaning	Preserve
885	<i>Robinia pseudoacacia</i>	Black Locust	10	Fair	Dead limbs	Remove
886	<i>Robinia pseudoacacia</i>	Black Locust	10	Poor	Leaning	Remove
887	<i>Robinia pseudoacacia</i>	Black Locust	11, 8	Poor	Split risk	Remove
888	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Trunk damage	Remove
889	<i>Robinia pseudoacacia</i>	Black Locust	10, 5	Poor	Split risk	Remove
890	<i>Robinia pseudoacacia</i>	Black Locust	12, 8	Poor	Split risk	Preserve
891	<i>Picea abies</i>	Norway Spruce	22	Poor	Dead limbs	Preserve
892	<i>Robinia pseudoacacia</i>	Black Locust	10	Poor	Split risk	Preserve
894	<i>Robinia pseudoacacia</i>	Black Locust	10, 8, 8	Poor	Split risk	Preserve
895	<i>Robinia pseudoacacia</i>	Black Locust	10, 10	Poor	Split risk	Preserve
896	<i>Robinia pseudoacacia</i>	Black Locust	8, 5, 5	Poor	Split risk; unbalanced	Remove
897	<i>Robinia pseudoacacia</i>	Black Locust	14	Poor	Split risk; trunk damage	Remove
898	<i>Salix nigra</i>	Black Willow	8, 5, 5	Poor	Split risk	Remove
899	<i>Populus deltoides</i>	Eastern Cottonwood	5, 5, 5	Poor	Split risk	Remove
700	<i>Morus rubra</i>	Red Mulberry	6, 5	Poor	Split risk	Remove
1440	<i>Acer negundo</i>	Box Elder	10	Poor	Dead leader	Remove
1441	<i>Acer negundo</i>	Box Elder	6, 5	Poor	Crowded	Remove
1442	<i>Tilia americana</i>	American Linden	14	Good		Off property
1443	<i>Malus</i>	Crabapple	8	Good		Remove
1444	<i>Populus deltoides</i>	Eastern Cottonwood	9	Poor	Leaning	Off property
1445	<i>Populus deltoides</i>	Eastern Cottonwood	12	Poor	Crowded	Remove
1446	<i>Populus deltoides</i>	Eastern Cottonwood	12, 10	Poor	Split risk	Remove
1447	<i>Populus deltoides</i>	Eastern Cottonwood	8	Poor	Dead leader	Remove
1448	<i>Populus deltoides</i>	Eastern Cottonwood	6	Poor	Leaning	Remove
1449	<i>Populus deltoides</i>	Eastern Cottonwood	8	Poor	Leaning	Remove
1450	<i>Populus deltoides</i>	Eastern Cottonwood	5, 5	Poor	Split risk	Remove
1451	<i>Populus deltoides</i>	Eastern Cottonwood	7	Poor	Crowded	Remove

TREE INVENTORY: 01/25/2021
 1) Trees measured at 4.5 above the ground - DBH (diameter Breast Height)
 2) All deciduous trees 6" DBH and above tagged. All evergreens 15' in height or greater tagged. Dead trees to include 80% dead wood, shrubs, and cedar were not tagged.
 3) Health Rating:
 Good - Less than 20% dead wood and sound structure
 Fair - 20-60% dead wood, unrotted structure, minor signs of disease
 Poor - 60-90% dead wood, structural damage, heavy signs of disease
 Dead - Greater than 90% dead wood or dead crown with resprouts only



MONUMENT ELEVATION



PLAN VIEW
MONUMENT DETAILS
SCALE: 1/2"=1'-0"

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 PARK RIDGE, IL 60068

2305 SOKOL COURT
 DARIEN, ILLINOIS
LANDSCAPE DETAILS

REVISIONS	DATE
2	07.20.2021
1	07.19.2021

DATE: 8.29.2021
 PROJECT NO.: PS212103
 DRAWN: J.L.T.
 CHECKED: GFB
 SHEET NO.



L-3

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan;
2. The provision of post-planting management as specified herein;
3. Any remedial operations necessary in conformance with the plans as specified in this document;
4. Permits which may be required.

1.2 QUALITY ASSURANCE

A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.

B. Quality Control Procedures:

1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

A. Planting Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting

B. Maintenance Instruction - Landscape Work

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.

C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.

D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.

E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.

B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.

C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.

B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant) and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.

2.2 LAWN SEED MIXTURE

Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified.

- A. Lawn Seed Mixture - 5 lbs./1,000 sq. ft.
- 80% Kentucky Bluegrass 98/85
 - 5% Custer Perennial Ryegrass
 - 10% Spartan Hard Fescue
 - 10% Edge Perennial Ryegrass
 - 10% Express Perennial Ryegrass
 - 5% Pennlawn Creeping Red Fescue

- B. Temporary Lawn Seed Mixture - 5 lbs./1,000 sq. ft.
- 40% Kentucky Bluegrass 98/85
 - 40% Perennial Ryegrass
 - 20% Annual Ryegrass

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material true to name and variety.
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide: single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B&B) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (B&B) evergreen trees and containerized shrubs.
- F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in I.S.C.

2.6 EROSION CONTROL

A. Lawn Seed Areas Erosion Control Blanket: North American Green DB75, or equivalent approved equal.

2.7 MULCH

Provide mulch consisting of premium shredded hardwood bark. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

- A. Sodding New Lawns
1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
 2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
 3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
 4. Lay sod within 24 hours from time of stripping.
 5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
 6. Water sod thoroughly with a fine spray immediately after planting.
- B. Seeding New Lawns

1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.

5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.

6. Sow not less than specified rate.

7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.

C. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

D. Trees and Shrubs

1. Set balled and burlapped (B&B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
3. Mulch pits, trenches and planted areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/regrading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



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BONO CONSULTING
CIVIL ENGINEERS
1018 BUSSE HWY
PARK RIDGE, IL 60068

2305 SOKOL COURT
DARIEN, ILLINOIS
LANDSCAPE SPECIFICATIONS

2	07.28.2021
1	07.19.2021
REVISIONS	

DATE	8.29.2021
PROJECT NO.	PSW2103
DRAWN	J.T.
CHECKED	GFB
SHEET NO.	



L-3



TRAFFIC MEMO

To: Paul Swanson
Paul Swanson Associates, Inc.

From: Kim Lask, P.E., PTOE, CFM

Date: March 10, 2021
Revised April 5, 2021

RE: Darien Heights Residences
2305 Sokol Court, Darien, Illinois
Haeger File No.: 20-174

RECEIVED
APR 23 2021
Community Development
City of Darien

1 – INTRODUCTION

Haeger Engineering LLC has prepared a Traffic Memo for the proposed Darien Heights Residences development located at 2305 Sokol Court in Darien, Illinois. This study was conducted to assess the impact the proposed development would have on traffic conditions, evaluate the anticipated parking demand to determine if sufficient parking will be provided, and to evaluate traffic circulation through the development. The subject property is in Section 5, Township 37N, Range 11E. The project area is 2.81 acres, and the P.I.N.s are 10-05-404-002 and 10-005-404-024. The location map and aerial photograph of the site vicinity are illustrated on *Exhibit 1* in *Appendix A*.

The project consists of a 4-story, 68-unit apartment development with interior and exterior parking. Access to the site will consist of one full access drive along Sokol Court. The site plan is illustrated on *Exhibit 2* in *Appendix A*. A traffic impact study for the previously proposed development was prepared by Metro Transportation Group, Inc., dated 01-18-2005. The traffic study evaluated a 104-unit condominium development; however, the development was thereafter approved to contain only 66 units.

2 – LAND USE

The subject property is currently vacant. Major land uses in the vicinity of the development include an extended stay hotel to the west, a park to the east, and multi-family residential (Waterfall Glen Condominiums and Townhouses) to the east and south.

3 – EXISTING ROADWAY NETWORK

A field investigation was conducted along the adjacent segments of Sokol Court and S. Frontage Road. The following information was obtained about the existing roadway network.



S. FRONTAGE ROAD

- An east-west local roadway providing one lane in each direction that is under the jurisdiction of the City of Darien.
- At its unsignalized T-intersection with Sokol Court, S. Frontage Road provides one through lane at both east and west approaches.
- The posted speed limit is 45 mph. West of Sokol Court, the speed limit reduces to 35 mph along the curved section of the roadway.

SOKOL COURT

- A north-south local roadway providing one lane in each direction that is under the jurisdiction of the City of Darien.
- At its unsignalized T-intersection with S. Frontage Road, Sokol Court provides a single general-purpose outbound lane and one inbound lane, operating under Stop sign control.
- Sokol Court is not a through street. It ends in a cul-de-sac.

4 – EXISTING TRAFFIC

The average annual daily traffic volume on S. Frontage Road, published by Illinois Department of Transportation (IDOT) in 2012, is 2,200 vehicles per day (vpd). To estimate the current pre-pandemic traffic, a growth factor of 1% per year was used, for an estimated volume of 2,406 vpd. The peak hour volume was determined by assuming 12% of the total traffic drives by the site during the peak hour. D-factors of 0.4 for westbound traffic and 0.6 for eastbound traffic were used to establish the directional distribution. The estimated existing traffic volumes are summarized in *Table 1* and *Exhibit 3*. Estimated traffic generated by the existing adjacent hotel are included on the exhibit (refer to section 5-Peak Hour Trip Generation).

Table 1 – Estimated Existing S. Frontage Road Peak Hour Volume

Direction of Travel	Peak Hour Volume (veh)
Westbound on S. Frontage Road	116
Eastbound on S. Frontage Road	173
Total	289

CRASH HISTORY

Crash data was obtained for S. Frontage Road and Sokol Court near the proposed development. During a 3-year time period (2017 to 2019), there was only 1 crash at the intersection involving a vehicle traveling eastbound on S. Frontage Road and a vehicle turning left from Sokol Court. A review of the data indicated that there were no fatalities reported, and the frequency of accidents compared to the traffic traveling along S. Frontage Road and Sokol Court is very low.

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



5 – PEAK HOUR TRIP GENERATION

In order to accurately estimate the traffic that will be generated by the proposed development, data compiled by the Institute of Transportation Engineers (ITE) in the 10th Edition of the *Trip Generation Manual* was utilized. Trip generation for a proposed development depends on the size and characteristics of the anticipated land use. The volume of traffic generated by the number of units of the proposed facility was used to determine anticipated traffic volume. The ITE land use code that was consulted for this analysis is indicated in **Table 2** along with the estimated weekday AM peak hour, weekday PM peak hour, and weekday daily traffic volumes.

The adjacent extended stay hotel also has its only access driveway at Sokol Court. The hotel was contacted on April 1, 2021 to obtain information on the total number of rooms. As a conservative approach, traffic estimated to be generated by the existing extended stay hotel was determined based on the total number of rooms (104 rooms) instead of the average number of occupied rooms.

Table 2 – ITE Land Use Codes and Peak Hour Trip Generation

Land Use	ITE Code	Units	Peak Hour Traffic Volumes				Weekday Daily Trips	
			AM Peak		PM Peak		In	Out
			In	Out	In	Out		
Proposed Multi-family Housing (Mid-Rise)	221	68	7	18	19	13	184	185
Existing All Suites Hotel	311	104	13	11	16	17	211	211
Total			20	29	35	30	395	396

TRIP GENERATION COMPARISON

As stated, the site was previously approved for a 66-unit condominium development. An analysis was done to compare the previously approved trips with the proposed trips. The trip generation comparison is shown in **Table 3**.

Table 3 – Trip Generation Comparison of Previously Approved Volumes and Proposed Volumes

Land Use	ITE Code	Units	Peak Hour Traffic Volumes				Weekday Daily Trips	
			AM Peak		PM Peak		In	Out
			In	Out	In	Out		
Previously Approved Condominium Development	221	66	6	17	18	12	179	179
Proposed Multi-family Housing (Mid-Rise)	221	68	7	18	19	13	184	185
Difference		+2	+1	+1	+1	+1	+5	+6



As indicated in **Table 3**, there will be a slight increase in trips from the previously approved condominium development to the proposed apartment development. Only 2 additional trips are expected during the peak hours.

6 – TRAFFIC STATEMENT OF OPINION

S. Frontage Road is a low volume roadway with sufficient gaps to allow for traffic turning from Sokol Court. It is anticipated that Sokol Court traffic will experience minimal queues and delays. It is the opinion of Haeger Engineering LLC that the proposed development can be constructed with minimal impact to the traffic volumes along S. Frontage Road and at the intersection.

7 – PARKING DEMAND ANALYSIS

Parking demand is the amount of parking that will be used at a particular time and place. Parking demand is affected by various factors such as type of use, time of day, parking duration, and geographic location. Parking adequacy was reviewed and determined based on the review of two (2) criteria: City of Darien City Code parking requirements and *ITE Parking Generation Manual*, 5th Edition recommendations.

The proposed development will include 68 apartments with 27 interior / underground parking spaces and 110 exterior parking spaces. The total proposed parking is 137 spaces, and the proposed parking ratio is 2.01 spaces per unit.

CITY OF DARIEN CITY CODE PARKING CRITERIA

Requirements for off-street parking are included in City of Darien City Code Chapter 11, Section 5A-11-5, Off-Street Parking and Loading Table. Based on Code requirements, multiple family dwellings must provide a minimum of 2.0 parking spaces for each dwelling unit. For a 68-unit multi-family development, the standard parking requirement is 136 parking spaces.

ITE PARKING GENERATION

According to the *ITE Parking Generation Manual*, the average peak parking demand for a 68-unit multi-family mid-rise development is 89 parking spaces (1.31 spaces per unit) on weekdays and 112 parking spaces (1.64 spaces per unit) on weekends.

Based on the above, the proposed 137 parking spaces at a ratio of 2.01 spaces per unit will adequately meet the future parking needs of the residents.

8 – INTERNAL CIRCULATION

The proposed site plan is designed for efficient traffic flow. The two-way drive aisles are designed at a minimum of 24-ft wide to accommodate the projected traffic volumes safely and efficiently. The drive aisles allow sufficient room for vehicles to back out of parking spaces. Access to the site will consist of one full access drive connecting to Sokol Court. An emergency vehicle access is located at the back of the property.



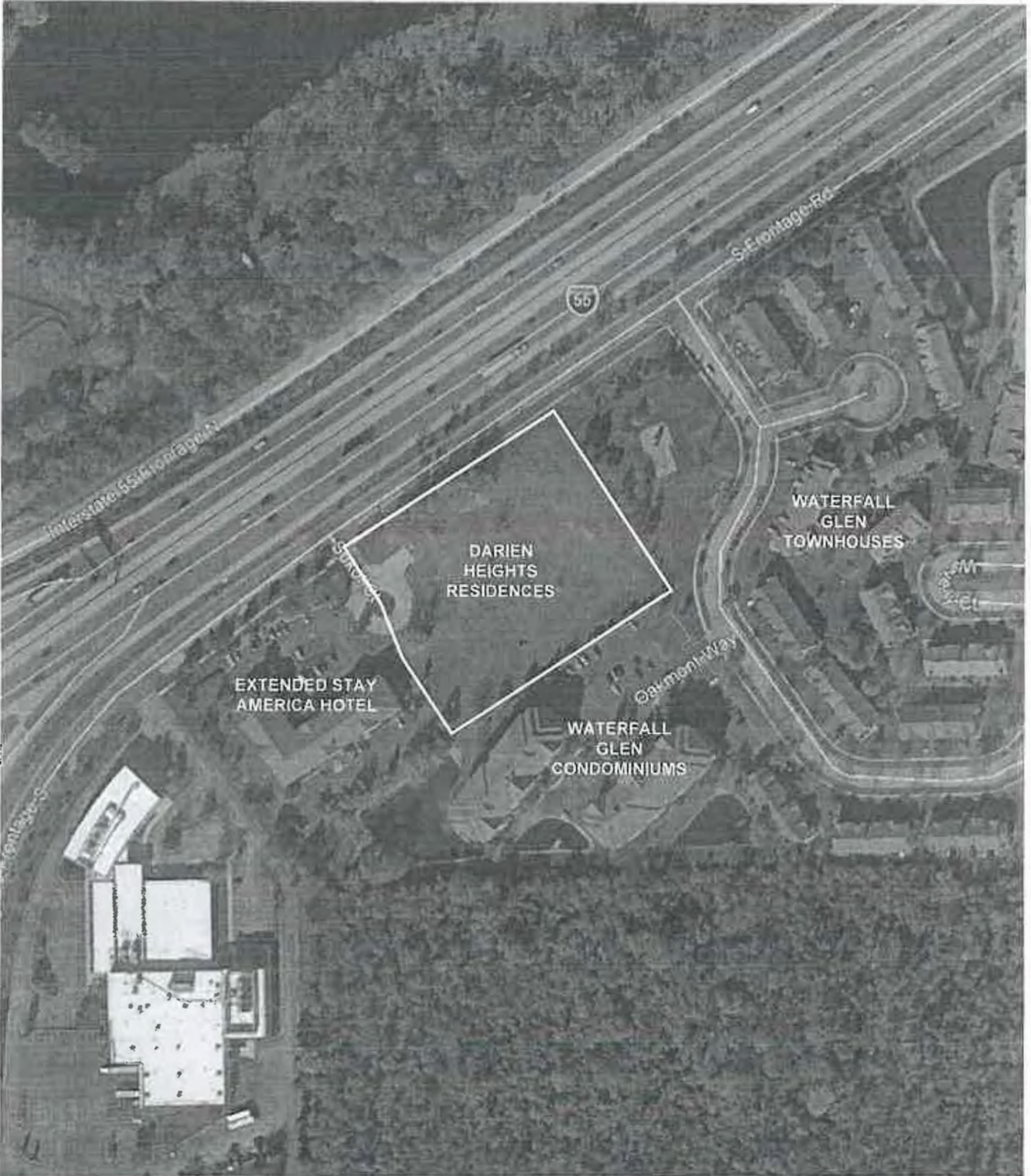
9 – RECOMMENDATIONS AND CONCLUSION

Based on the traffic analyses for Darien Heights Residences, the recommendations and conclusions are summarized below:

- The proposed multi-family residential development will generate a slight increase in traffic volume when compared with the previously approved condominium development.
- The proposed development will have sufficient parking available to accommodate the parking generated and will exceed the Darien City Code and the *ITE Parking Generation Manual*.
- The site plan allows adequate site access and on-site circulation.



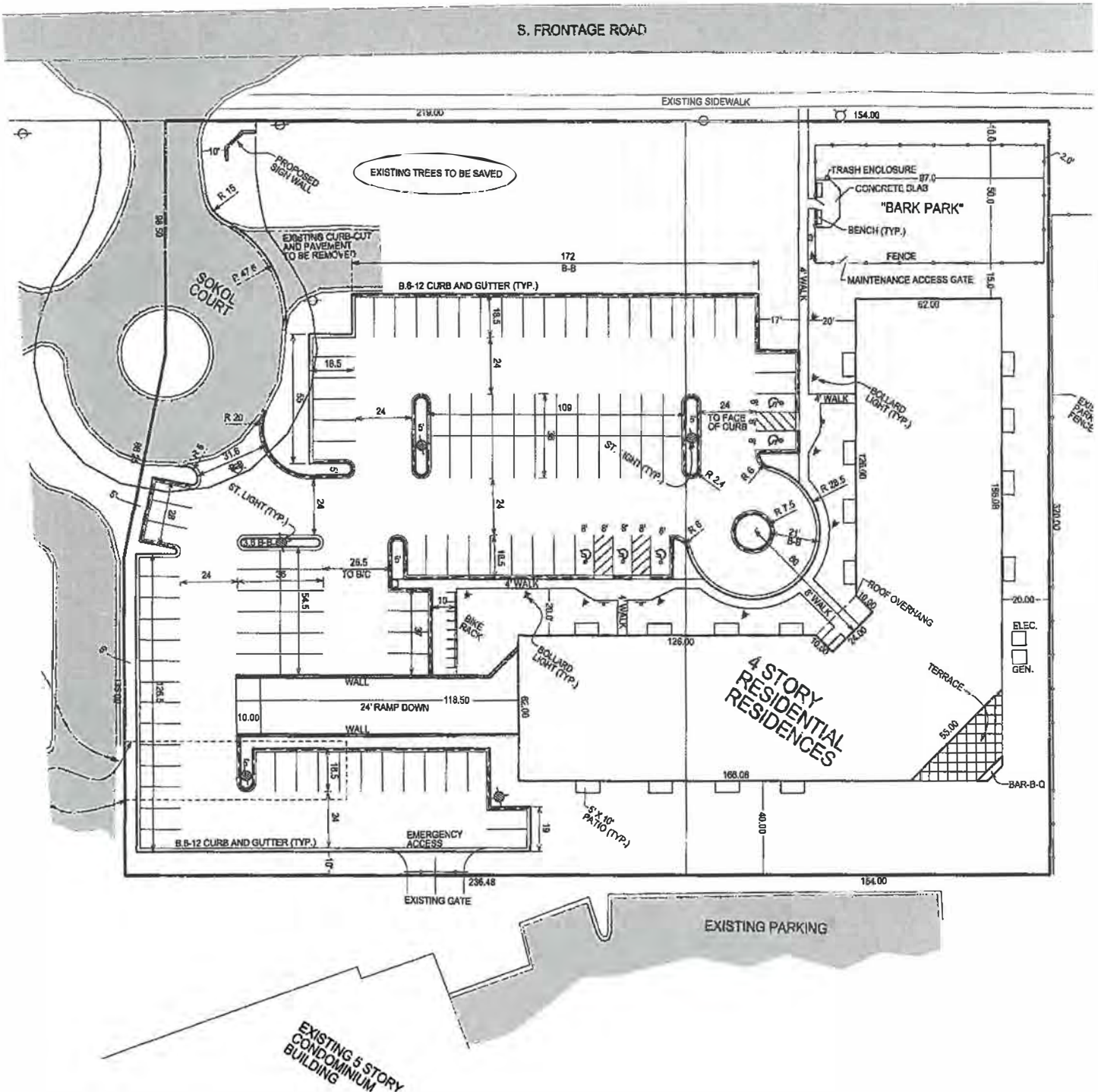
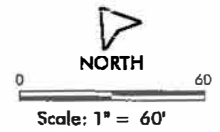
APPENDIX A - Exhibits



AERIAL PHOTO EXHIBIT
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS

 **HAEGER ENGINEERING**
consulting engineers • land surveyors
100 East Stie Parkway, Schaumburg, IL 60173 Tel 817 394 8600 Fax 847 394 6808
Illinois Professional Design Firm License No 181-003152 www.HaegerEngineering.com

Project Manager: KML
Engineer: KML
Date: 03-10-2021
Project No.: 20-174
Sheet: 1 / 5

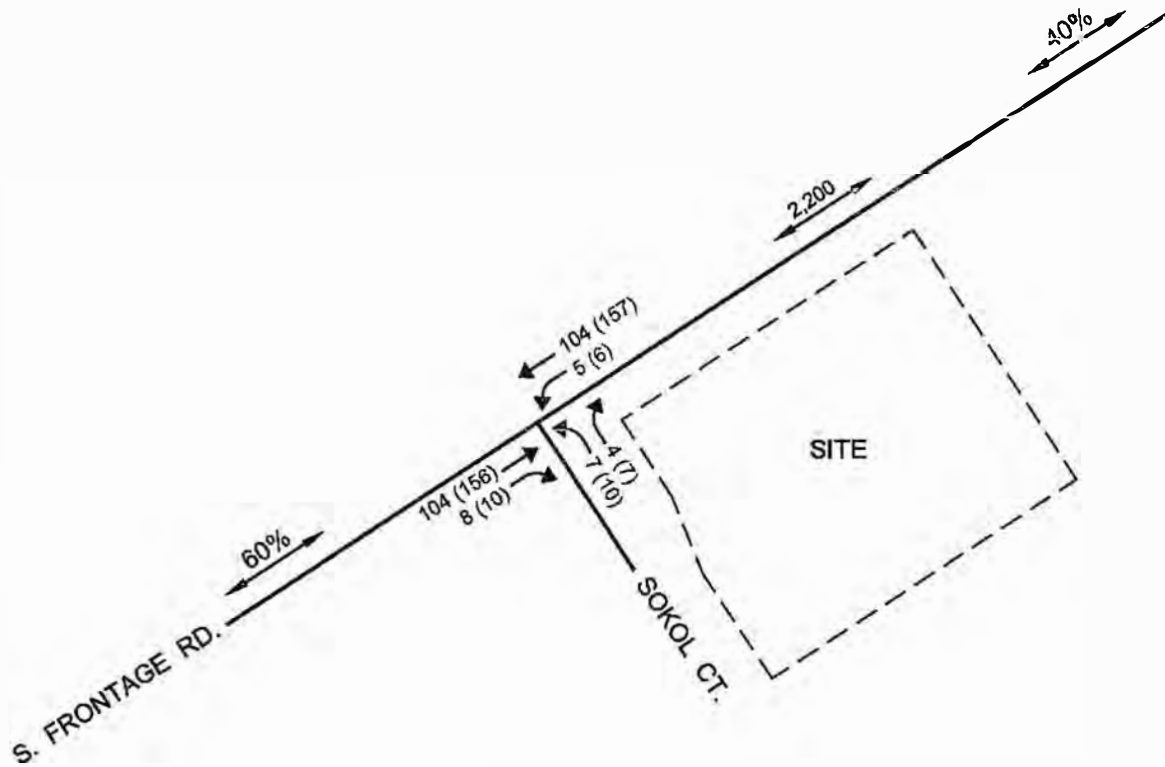


Site Plan prepared by Pearson, Brown & Associates, Inc., dated 01-19-2021

SITE PLAN
DARIEN HEIGHTS
RESIDENCES
 DARIEN, ILLINOIS

HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 Tel 847 394 8600 Fax 847 394 8608
 Illinois Professional Design Firm License No 184-00152 www.HaegerEngineering.com

Project Manager KML
 Engineer KML
 Date 03-10-2021
 Project No 20-174
 Sheet 2 / 5



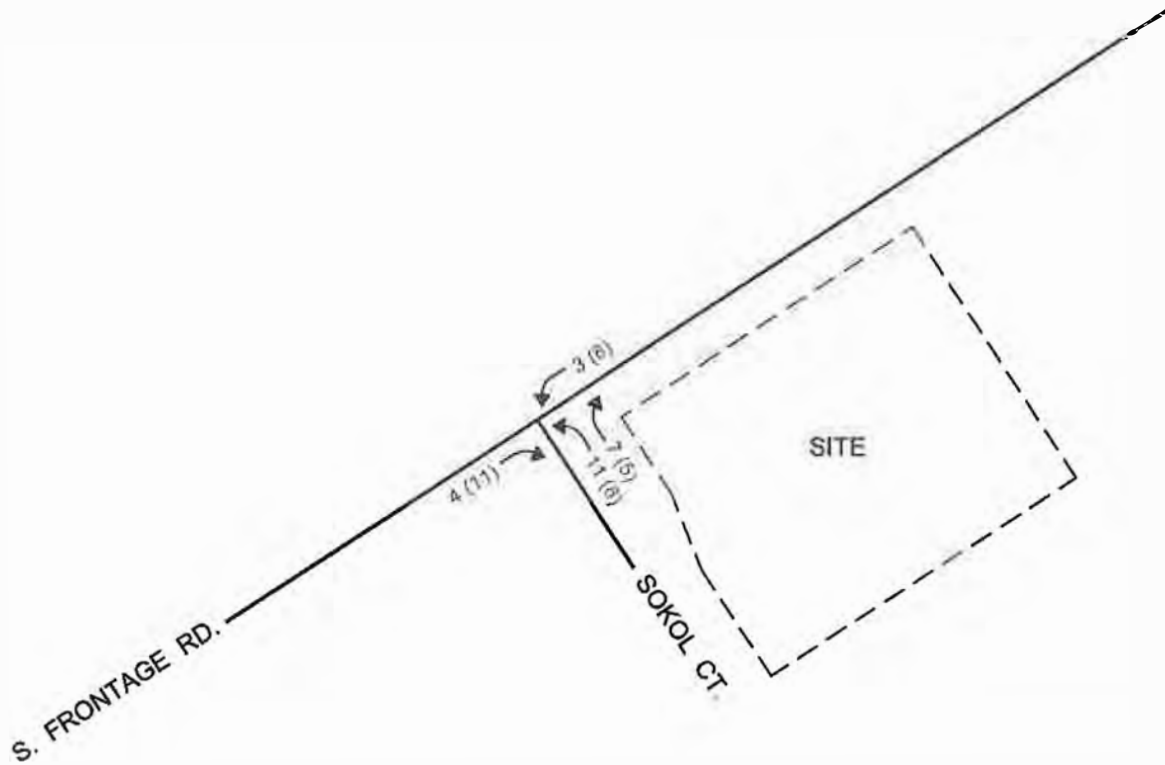
LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour
- XX% Percent Distribution
- XXX IDOT's 2012 Average Daily Traffic (ADT)

**ESTIMATED EXISTING VOLUMES
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS**

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-005152 www.HaegerEngineering.com

Project Manager: KML
Engineer: KML
Date: 04-05-2021
Project No: 20-174
Sheet: 3 / 5



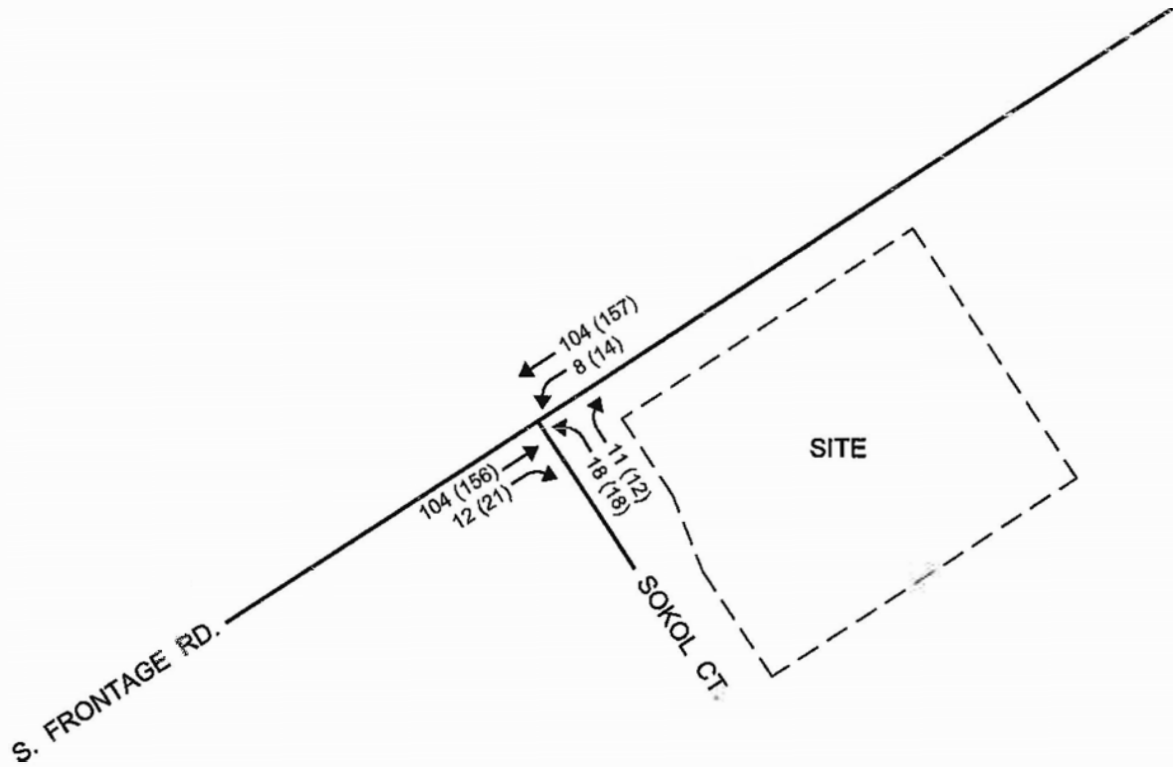
LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour

SITE GENERATED TRAFFIC VOLUMES
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS

HAEGER ENGINEERING
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100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
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Project Manager: KML
Engineer: KML
Date: 04-05-2021
Project No.: 20-174
Sheet: 4 / 5



LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour

TOTAL ESTIMATED TRAFFIC VOLUMES
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS

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Project Manager: KML
Engineer: KML
Date: 04-05-2021
Project No.: 20-174
Sheet: 5 / 5



APPENDIX B – ITE Trip and Parking Generation Graphs

Multifamily Housing (Mid-Rise) (221)

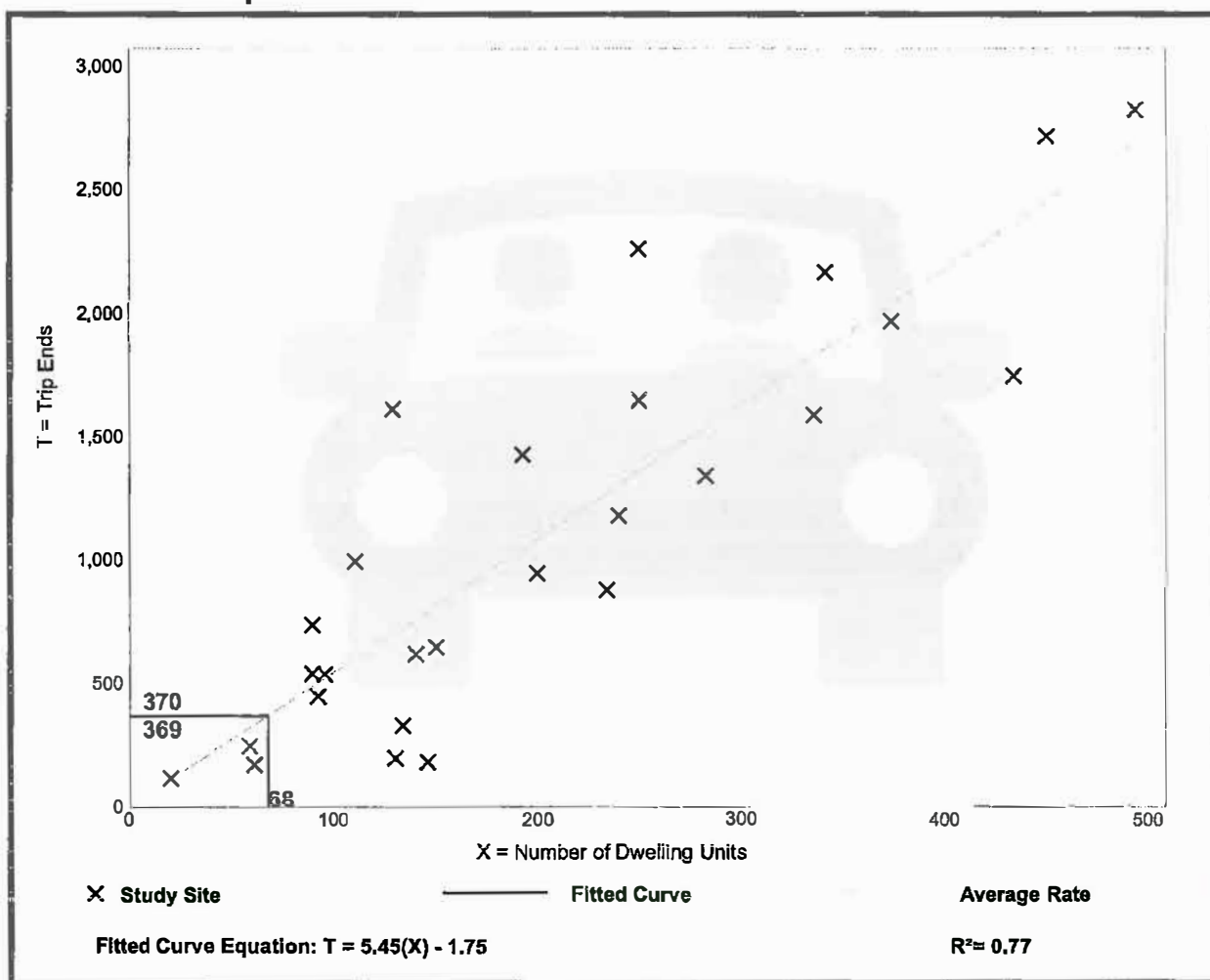
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 27
Avg. Num. of Dwelling Units: 205
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
5.44	1.27 - 12.50	2.03

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

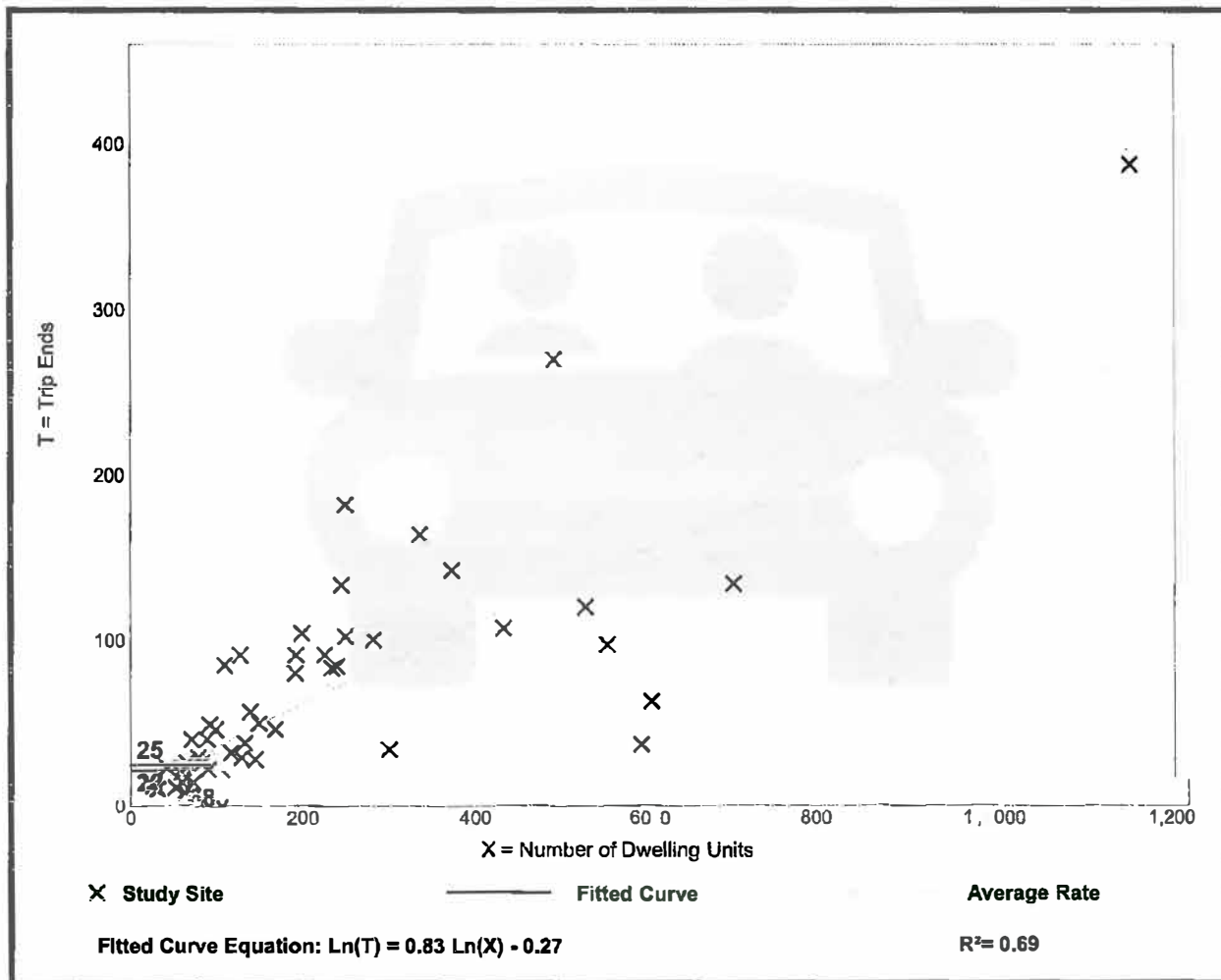
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 48
Avg. Num. of Dwelling Units: 225
Directional Distribution: 27% entering, 73% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.32	0.06 - 0.77	0.17

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Multifamily Housing (Mid-Rise) (221)

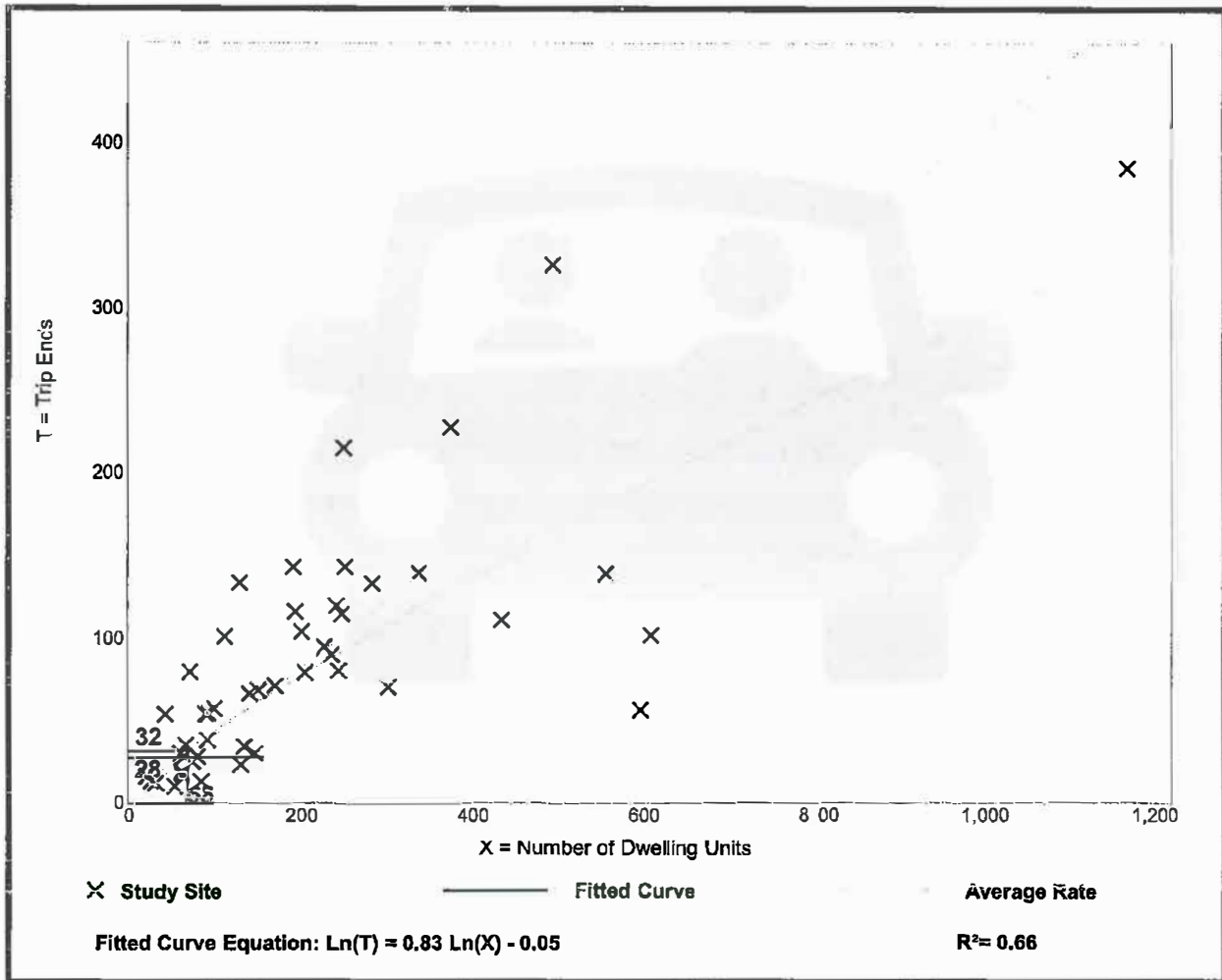
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 47
 Avg. Num. of Dwelling Units: 211
 Directional Distribution: 60% entering, 40% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.41	0.09 - 1.26	0.22

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

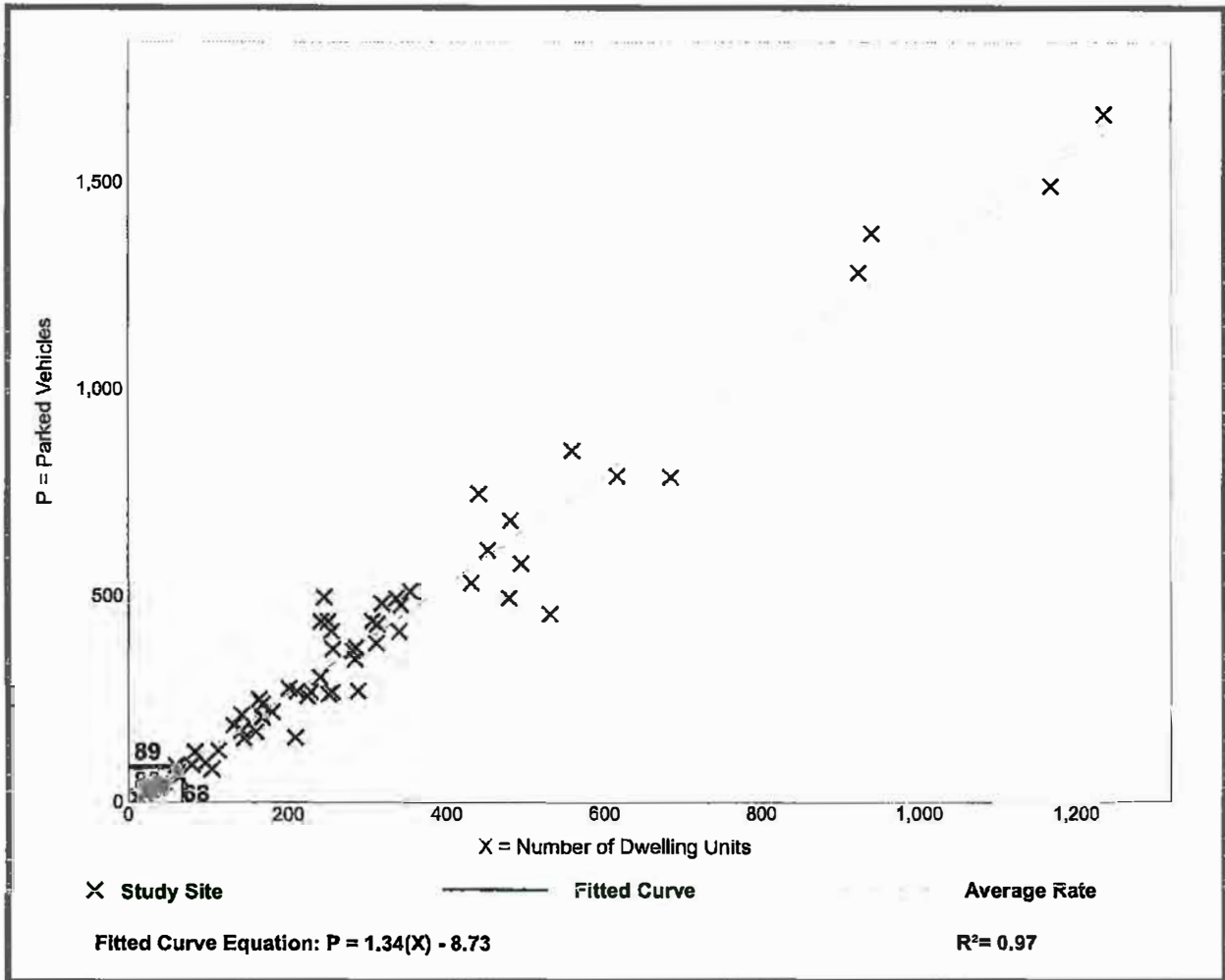
Multifamily Housing (Mid-Rise) (221)

Peak Period Parking Demand vs: Dwelling Units
On a: Weekday (Monday - Friday)
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.
 Number of Studies: 73
 Avg. Num. of Dwelling Units: 261

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.31	0.75 - 2.03	1.13 / 1.47	1.26 - 1.36	0.22 (17%)

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

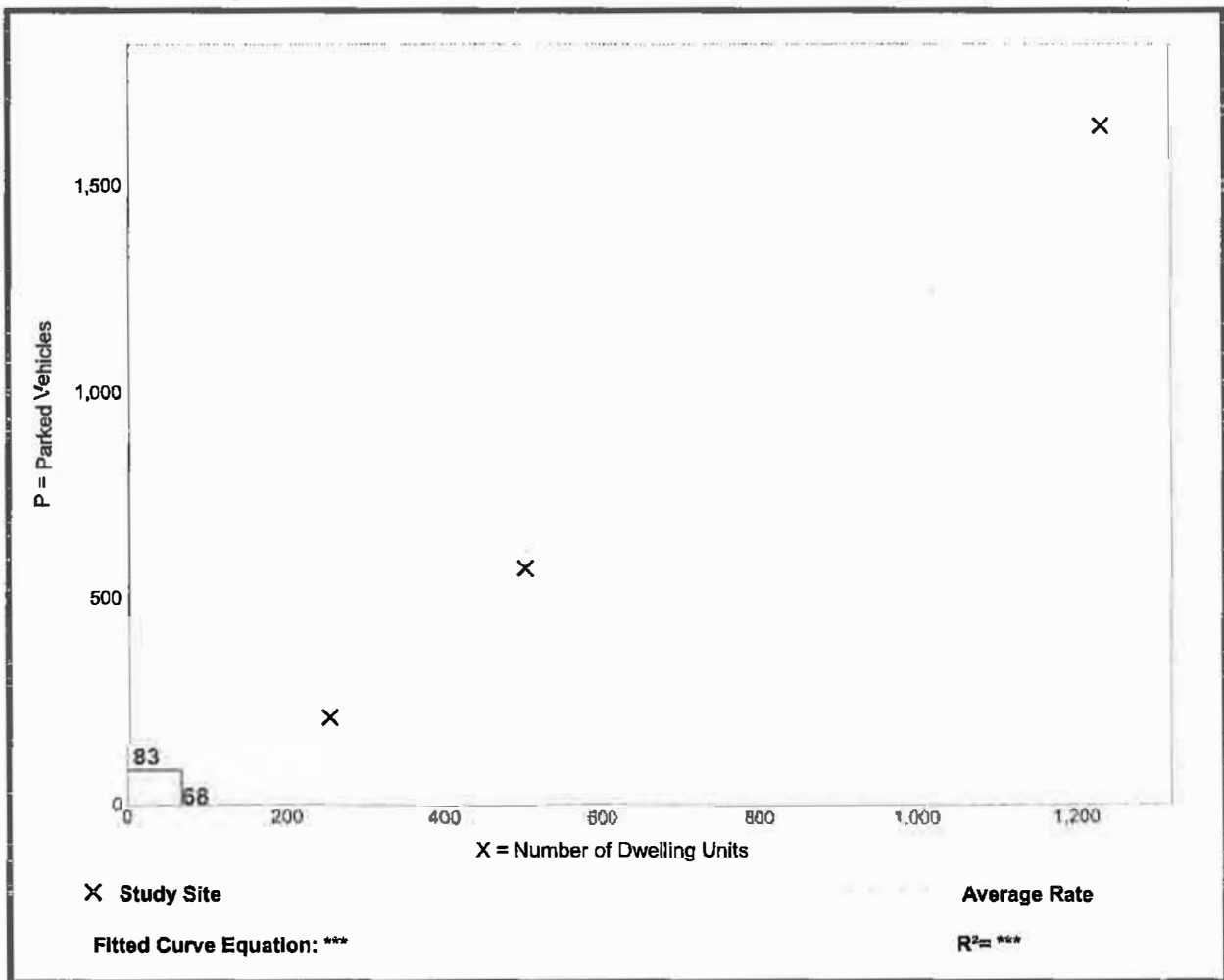
Peak Period Parking Demand vs: Dwelling Units
On a: Saturday
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.
Number of Studies: 3
Avg. Num. of Dwelling Units: 665

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.22	0.84 - 1.33	0.94 / 1.33	***	0.20 (16%)

Data Plot and Equation

Caution – Small Sample Size



Multifamily Housing (Mid-Rise) (221)

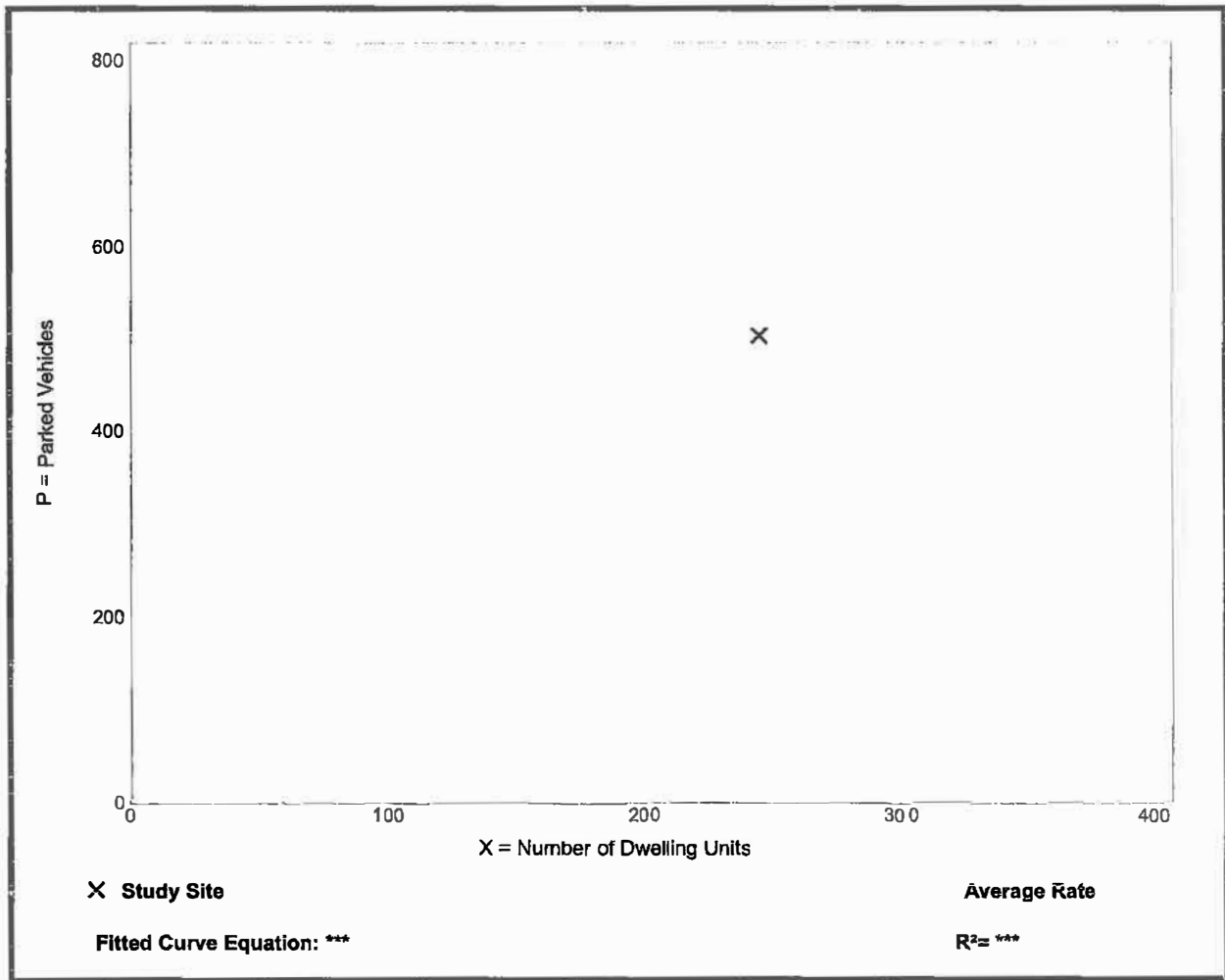
Peak Period Parking Demand vs: Dwelling Units
On a: Sunday
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.
 Number of Studies: 1
 Avg. Num. of Dwelling Units: 245

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.05	2.05 - 2.05	*** / ***	***	***

Data Plot and Equation

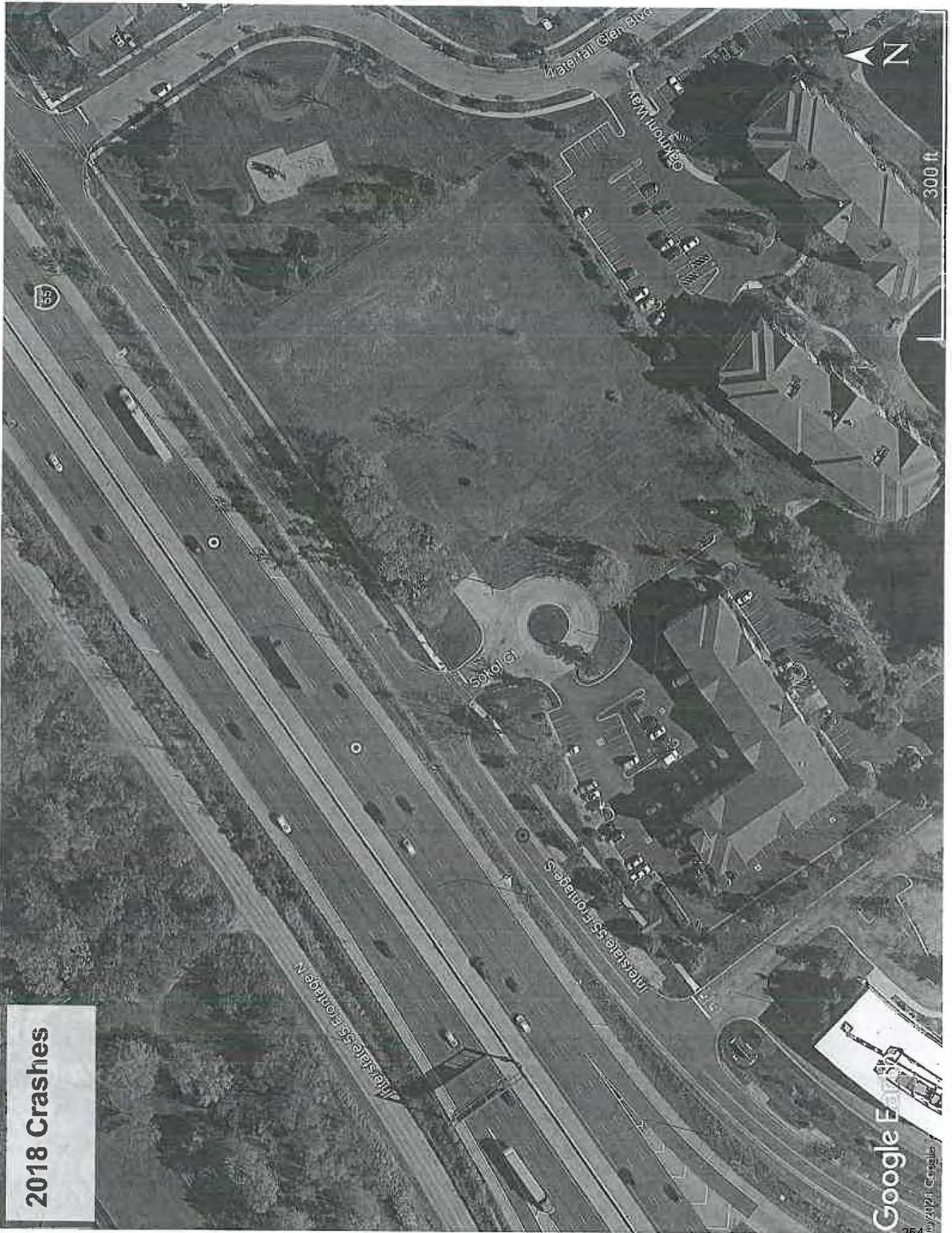
Caution – Small Sample Size





APPENDIX C – Crash Data

2018 Crashes





Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887589.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

Date	Weather	Roadway	Injuries			Killed	Type of Crash	Light Condition	Mile	XCoordinate	YCoordinate	Vehicle Type	DIRP	Maneuver	Event 1	Loc 1	Event 2	Loc 2	Event 3	Loc 3	Unit
			A	B	C																
201801274627																					
9/7/2018 4:35 PM	Rain	Wet	0	0	1	0	Turning	Daylight	0.65	2887473	74392571										
										1847480	73741874	Passenger	Northwest	Turning Left	Motor Vehicle In Traffic	Intersection	(UNK)	(UNK)	(UNK)	(UNK)	1
												Van/Mini-Van	East	Straight Ahead	Motor Vehicle In Traffic	Intersection	(UNK)	(UNK)	(UNK)	(UNK)	2
201801279785																					
9/8/2018 1:48 PM	Clear	Dry	0	0	0	0	Front to Rear	Daylight	271.25	2887548	27827145										
										1847633	23481887	Passenger	North	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	1
												Van/Mini-Van	North	Slow/Stop In Traffic	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	2
201801267151																					
8/27/2018 5:45 AM	Clear	Dry	0	0	0	0	Front to Rear	Dawn	271.26	2887730	42124149										
										1847767	21473019	Passenger	East	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	1
												Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	2
												Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	3
												Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	4
												SUV	East	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	5

Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887589.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

TOTAL CRASHES	FATAL CRASHES	A INJURY CRASHES	B INJURY CRASHES	C INJURY CRASHES	PROPERTY DAMAGE CRASHES	TOTAL KILLED	TOTAL INJURED	A INJURIES	B INJURIES	C INJURIES
3	0	0	0	1	2	0	1	0	0	1

Type of Crash	Total	%	Day of Wk	Total	%	Hour of Day	Total	%	Vehicle Type	Total	%
Front to Rear	2	66.7%	Monday	1	33.3%	05 AM	1	33.3%	Passenger	3	33.3%
Turning	1	33.3%	Friday	1	33.3%	1 PM	1	33.3%	SUV	1	11.1%
TOTAL:	3		Saturday	1	33.3%	4 PM	1	33.3%	Unknown	3	33.3%
			TOTAL:	3		TOTAL:	3		Van/Mini-Van	2	22.2%
									TOTAL:	9	

Weather Cond	Total	%	Light Cond	Total	%	Road Surface	Total	%	DIRP	Total	%
Clear	2	66.7%	Dawn	1	33.3%	Dry	2	66.7%	East	3	33.3%
Rain	1	33.3%	Daylight	2	66.7%	Wet	1	33.3%	North	2	22.2%
TOTAL:	3		TOTAL:	3		TOTAL:	3		Northwest	1	11.1%
									Unknown	3	33.3%
									TOTAL:	9	

Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887589.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

Notes

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.

MEMORANDUM TO: Jordan Yanke
City of Darien

FROM: Michael A. Werthmann, PE, PTOE
Principal

DATE: April 29, 2021

SUBJECT: Review of Revised Traffic Evaluation
Darien Heights Residences
Darien, Illinois

On behalf of the City of Darien, Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) has reviewed the revised traffic and parking analysis for the proposed Darien Heights Residences to be located in Darien, Illinois. As part of this evaluation, KLOA, Inc. reviewed the following documents:

- The revised traffic memorandum dated April 5, 2021, prepared by Haeger Engineering.
- The proposed grade level site plan dated March 10, 2021, prepared by Haeger Engineering and included in the Appendix of the traffic study.

The traffic memorandum summarized the existing roadway conditions, estimated the traffic and parking to be generated by the development, provided an opinion as to the impact of the development on the existing traffic conditions and the adequacy of the parking conditions, and provided a brief discussion of the internal circulation.

Based on our review, we offer the following comments:

- The revised traffic memorandum was performed based on the established methods within the industry.
- The revised traffic memorandum has addressed the comments raised in the KLOA, Inc. March 29, 2021 review memorandum, except one comment which will be addressed below.
- The analysis and evaluation have been performed correctly and KLOA, Inc. generally agrees with the findings of the traffic memorandum.
- It should be noted that the revised surface level plan continues to have one dead-end parking aisle and the two easternmost parking spaces along the southern parking aisle may still be difficult to exit. Further, a basement plan was not included as part of the traffic memorandum and, as such, we were not able to confirm if the parking aisle in the basement continues to have dead-end parking.

VIA Email

April 30, 2021

Mr. Jordan Yanke
Senior Planner
City of Darien
1702 Plainfield Road
Darien, Illinois 60561

**RE: Darien Heights Residences – 2305 Sokol Court, Darien
Response to KLOA Comments
Haeger File No.: 20-174**

Dear Jordan,

Haeger Engineering ("Haeger") is in receipt of the review memorandum prepared by Michael A. Werthmann of KLOA dated April 29, 2021. The original review comment is included below, shown in *italics*, with our response followed in **bold**.

- *It should be noted that the revised surface level plan continues to have one dead-end parking aisle and the two easternmost parking spaces along the southern parking aisle may still be difficult to exit. Further, a basement plan was not included as part of the traffic memorandum and, as such, we were not able to confirm if the parking aisle in the basement continues to have dead-end parking.*

The surface level plan was revised. One parking space at the end of the dead-end parking aisle will be striped to allow for vehicle maneuvering. The curb at the emergency access will be bumped out to allow for vehicles to backout of the last two parking spaces. It should be noted that a parking space along the northern row will be replaced with a landscaped island. There will be 108 surface parking spaces and 28 garage spaces for a total of 136 spaces which complies with City Code.

The basement plan has not changed. A vehicle parked in the last parking space will need to do some back and forth maneuvering to exit the space.

See the revised plan prepared by Arthur Swanson & Associates and the attached markup showing the changes.

Should you require further information or have any questions, please do not hesitate to contact me.

Sincerely,

HAEGER ENGINEERING LLC



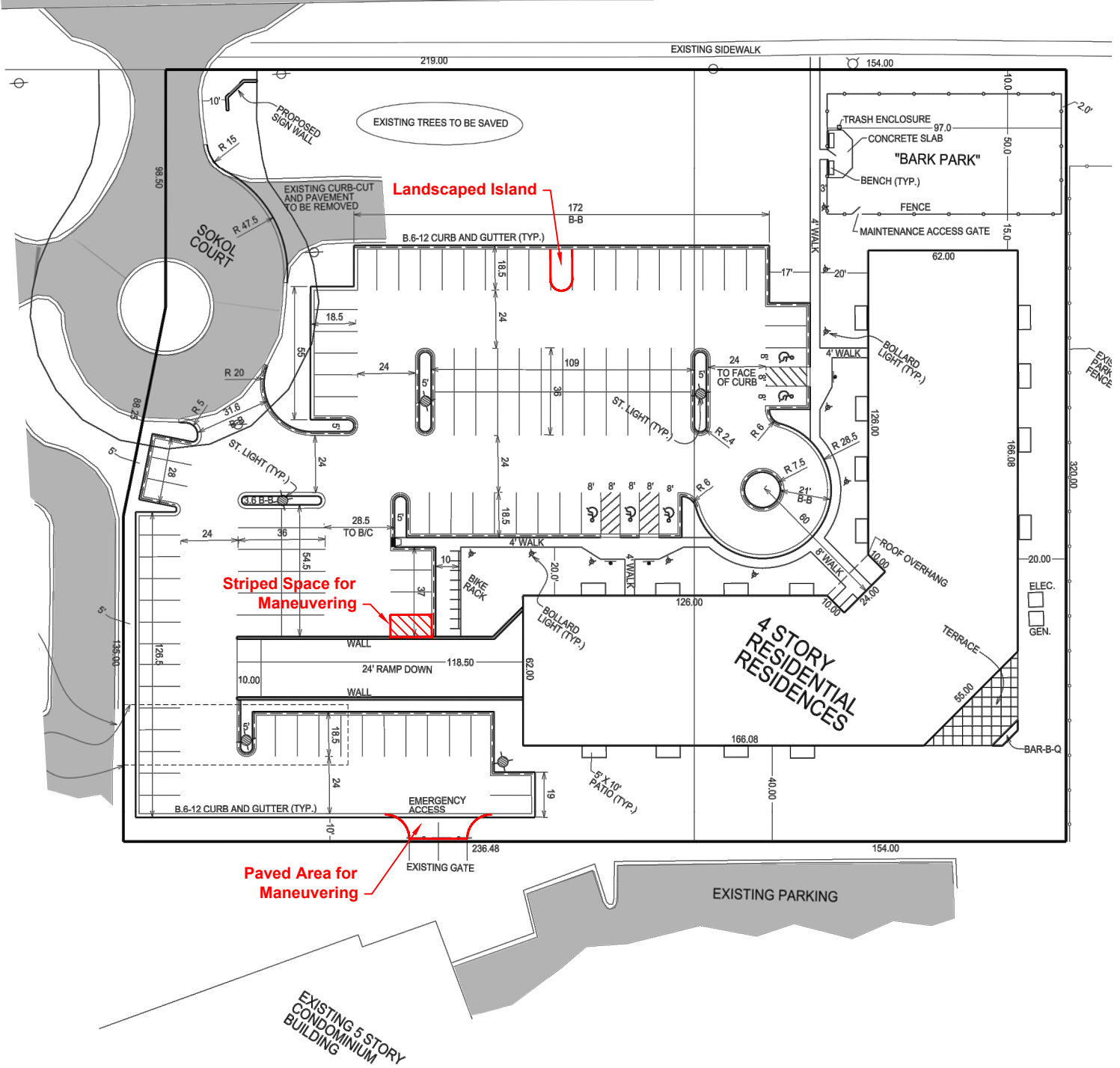
Kim Lask, P.E., PTOE, CFM
Project Manager

cc: Paul Swanson



0 60
Scale: 1" = 60'

S. FRONTAGE ROAD



Site Plan prepared by Pearson, Brown & Associates, Inc., dated 01-19-2021

SITE PLAN
DARIEN HEIGHTS
RESIDENCES
 DARIEN, ILLINOIS

HAEGER ENGINEERING
 consulting engineers • land surveyors

100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
 Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: KML
 Engineer: KML
 Date: 03-10-2021
 Project No. 20-174
 Sheet 260 / 5

**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

August 11, 2021

City of Darian
1702 Plainfield Road
Darien, Illinois

Attention: Jordan Yanke

Subject: 2305 Sokol Court
4 Story Residences
(CBBEL Project No. 950323.H0232)

Dear: Jordan

As requested on August 3, 2021, we have reviewed the final engineering plans and supporting documents for the above project prepared by Bono Consulting, Inc., and dated August 2, 2021. In our opinion the Site Improvement Plans are now in general compliance with Village Code and standard engineering methods, subject to the following comments:

Site Improvement Plans

No Comments

Engineers Opinion of Cost

1. Inlet protection shall be added to the estimate.
2. Include the stormwater lift station in the estimate.

Stormwater Report

No comments

Plat of Consolidation

The plat was received separately, directly from the developer and the following comments must be addressed:

1. A 20 foot wide Public Utility and Drainage Easement must be granted over the proposed watermain which loops through this site.
2. A Stormwater Easement must be granted over the proposed detention basin on the north end of the site.

General Comments

1. We understand that structural calculations for the retaining wall will be submitted before construction begins.
2. A site lighting and photometric plan shall be submitted.
3. We presume that the plan has been submitted to and reviewed by the fire protection district with respect to the location of the building fire suppression connection, fire hydrant location, and access to the site.
4. A development security amount will be established once the engineer's estimate is updated
5. A permit is required from Du Page County Public Works for the sanitary sewer connection.

If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel Lynch".

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

Cc Dan Gombac, City of Darien

**CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS**

ORDINANCE NO. 0-08-21

**AN ORDINANCE APPROVING A MAJOR CHANGE IN A
PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)**

**ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN**

THIS 3rd DAY OF MAY, 2021

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
4th day of May, 2021.**

**AN ORDINANCE APPROVING A MAJOR CHANGE IN A
PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)**

RECITALS

- A. The Subject Property of this Ordinance is approximately 2.81 acres in area with a common address of 2305 Sokol Court and 2345 S Frontage Road and is legally described on **EXHIBIT 1** attached hereto and made a part hereof (the "Subject Property").
- B. The Subject Property is part of a larger parcel annexed to the City in 1996.
- C. Pursuant to Ordinances No. 0-31-05 and 0-33-05, the City granted preliminary and final PUD approval for development of the Subject Property consisting of 66 condominium units in two buildings.
- D. No development has taken place on the Subject Property since the 2005 approvals.
- E. The contract purchaser of the Subject Property ("Developer") has petitioned the City for a major change to the approved 2005 PUD Plan. Specifically, Developer proposes to improve the Subject Property with one 4-story multi-family building containing sixty-eight (68) rental units.
- F. Developer also proposes that in connection with the development plan, the City grant waivers from certain of the bulk standards of the Zoning Ordinance.
- G. Pursuant to notice as required by law, the City's Planning and Zoning Commission conducted a public hearing on Developer's proposal. The Commission recommended against Developer's proposal.

H. The City Council Municipal Services Committee further reviewed Developer's proposal. Following such review, a motion to recommend approval of Developer's proposal to the full City Council failed for lack of a second.

I. The City Council has further reviewed Developer's proposal and has determined that granting this major change to the previously approved PUD is reasonable and will support the sound growth and development of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, ILLINOIS, as follows:

SECTION 1: Major Change Approval. The City Council hereby approves a major change in the previously approved Planned Unit Development for the Subject Property, which change would allow the development of the Subject Property as a 4-story 68-unit multi-family rental development, subject to the terms, conditions, and limitations set forth in this Ordinance.

SECTION 2: Preliminary Plan Approved; Approved Preliminary Plan Identified. In accordance with Section 5A-3-2-2 of the Darien City Code, the City Council approves the preliminary plan for the Subject Property. The following submittals constitute the approved preliminary plan for the Subject Property, copies of which documents are on file with the City:

- A. Site Plan, 1 Sheet, prepared by Arthur Swanson & Associates, LTD., latest version dated January 19, 2021.
- B. Floor Plan, 2 Sheets, prepared by Arthur Swanson & Associates, LTD., latest version dated January 19, 2021.
- C. Building Elevations, 1 Sheet, prepared by Arthur Swanson & Associates, LTD., latest

ORDINANCE NO. 0-08-21

version dated January 19, 2021.

- D. Preliminary Engineering Plan (Includes Existing Conditions, Geometric Site Plan, Engineering Plan), 3 Sheets, prepared by Fearson, Brown, & Associates, Inc., latest version dated January 19, 2021.
- E. Landscape Plan, 3 Sheets, prepared by Gary R. Weber Associates, Inc., latest version dated January 19, 2021.

SECTION 3: Waivers. As part of the approved preliminary plan, the following waivers are granted in connection with the development of the Subject Property:

- A. A waiver from Section 5A-3-3-4 of the Zoning Ordinance is granted to allow a residential density of 9.9 du/residential acre.
- B. A waiver from Section 5A-3-3-5 of the Zoning Ordinance is granted to waive the requirement for the required one off-street loading berth.
- C. A waiver from Section 5A-3-3-9(B) of the Zoning Ordinance is granted to allow a setback from the eastern property line of 20 feet instead of the required 40 feet.
- D. A waiver from Section 5A-3-3-10 of the Zoning Ordinance is granted to allow a four-story structure with a maximum building height of 40 feet instead of a maximum of three-story building of 35 feet in height.

SECTION 4: Additional Development Condition. Except as provided herein, the development of the Subject Property shall proceed in accordance with all applicable ordinances of the City, including but not limited to ordinances relating to final PUD Plan approval.

SECTION 5: Effective Date. This Ordinance shall be in full force and effect upon its passage, approval, and publication as required by law.

ORDINANCE 0-08-21

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of May, 2021.

AYES 4 - Belczak, Schauer, Vaughan, Mayor Marchese

NAYS: 3 - Gustafson, Kenny, Sullivan

ABSENT: 1 - Chlystek

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of May, 2021.



JOSEPH MARCHESE, MAYOR

ATTEST:



JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:



CITY ATTORNEY



EXHIBIT 1

Legal Description of 2305 Sokol Court & 2345 S Frontage Road

PARCEL 1: LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RESUBDIVISION UNIT 1, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 25, 1959 AS DOCUMENT 916621, IN DUPAGE COUNTY, ILLINOIS, SAID SOUTHWEST CORNER BEING ALSO THE NORTHWEST CORNER OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, AND RUNNING THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS EAST ALONG THE SOUTH LINE OF LOT 1 OF HOMER GLEN SUBDIVISION, BEING ALSO THE NORTH LINE OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, A DISTANCE OF 369.80 FEET TO THE SOUTHEAST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION; THENCE NORTH 33 DEGREES 36 MINUTES 05 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 1 OF HOMER ANDRUS SUBDIVISION, A DISTANCE OF 578.33 FEET TO THE SOUTH LINE OF FORMER ROUTE 66 PER DOCUMENT NO. 931792 AND DOHLMAN'S RESUBDIVISION (DOCUMENT NO. 967060), BEING ALSO THE SOUTH LINE OF FEDERAL AID HIGHWAY ROUTE 98 PER DOCUMENTS 524869 AND 524870; THENCE NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST, A DISTANCE OF 19.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST ALONG SAID SOUTH LINE OF FORMER ROUTE 66, A DISTANCE OF 373.00 FEET; THENCE SOUTH 33 DEGREES 14 MINUTES 03 SECONDS EAST, A DISTANCE OF 320.00 FEET; THENCE SOUTH 56 DEGREES 45 MINUTES 57 SECONDS WEST, A DISTANCE OF 297.48 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST, A DISTANCE OF 160.50 FEET; THENCE NORTH 84 DEGREES 18 MINUTES 21 SECONDS WEST, A DISTANCE OF 97.08 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST, A DISTANCE OF 98.50 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. WHICH PROPERTY IS ALSO KNOWN AS LOT 31 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

PIN: 10-05-404-002/024. The property is located at 2305 Sokol Court & 2345 S Frontage Road, Darien, Illinois 60561.

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

I, JoAnne E. Ragona, do hereby certify that I am the duly qualified CITY CLERK of the CITY OF DARIEN of DuPage County, Illinois, and as such officer I am the keeper of the records and files of the City;

I do further certify that the foregoing constitutes a full, true and correct copy of ORDINANCE NO. O-08-21 "*AN ORDINANCE APPROVING A MAJOR CHANGE IN A PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT AND GRANTING PRELIMINARY PUD APPROVAL (DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)*" of The City Of Darien, Du Page County, Illinois, Duly Passed and Approved by the Mayor and City Council at a Meeting Held on May 3, 2021.

IN WITNESS WHEREOF, I have hereunto affixed my official hand and seal this 3rd day of May, 2021.




City Clerk



MEMORANDUM

VIA E-MAIL

TO: The Preserves of Waterfall Glen Townhome Association

FROM: Jordan Yanke, City of Darien

DATE: August 18, 2021

RE: Darien Heights Residences – Final PUD Submittal

Please see the following City Staff and City Engineer responses to your inquiries submitted on 08/16/2021. For ease of reading, our responses are set out on a question-by-question basis and in red text.

1. In Mr. Swanson's letter to you of 8/11/21, he indicates his development will not "effect" the present storm water detention issues of our townhome association in any way. Did you take that to mean he is saying it will not "affect" our storm water detention? This grammatical error, however common, is consistent with our continued lack of confidence in the credibility of this petitioner.
 - **Noted, and yes it will not "affect" stormwater detention for the Townhomes.**
2. His very short answer to your question on how his development would impact the future storm water detention of our townhome Association still leaves us with ambiguity. If he gave you a more detailed answer, we would appreciate seeing it. If he did not, it speaks to due diligence. We are dependent that the City's review process is comprehensive. Also, it appears Mr. Swanson's letter of 8/11/21 was not included in the 8/13/21 PZC packet. When they see the letter, will the Committee be satisfied with the answer? We are well aware that the City has had issues with this petitioner in the past.
 - **In reference to the 08/11/2021 correspondence, it was an email response and did not have substance to be included in the meeting packet. The City reviews all detention requirements per the DuPage County Stormwater Ordinance and the project has been deemed compliant. Please see the City Engineer's response to the following point.**
3. He states that all storm water from the proposed Darien Heights project will flow only into the two ponds to the west of the condos. Does the City concur? If so, we would like to see an opinion from the City Engineer on that as well.
 - **Here is the City Engineer's response:**
The original Waterfall Glen Development (i.e. townhomes, condo buildings, hotel, and the Sokol Ct. lot (i.e. gymnasium)) were planned together for storm water management purposes. There is a detention basin adjacent to Frontage Road that serves only the townhomes, and the three basins along the south line of the development that serves the rest (as well as part of the townhomes). The original stormwater design assumed this lot would be developed with 50% impervious cover, and detention was accordingly provided for in the south pond.

The current development plan has more than 50% impervious cover, and therefore the developer is required to provide additional detention storage based on current design practices. The plan includes an additional new detention basin north of the parking lot. This will accommodate the additional impervious area above what was originally designed for.

The stormwater from this site is carried by storm sewer and overland flow to the existing pond between the west condo building and hotel. The new north detention basin will have a restricted outflow, and discharge through the existing detention between the west condo and hotel. The detention basins along the south side of the development discharge into the forest preserve.

This request also includes what is the impact, if any, on our Association's storm water facilities and our potential future maintenance costs?

- For the reasons outlined above, there are no impacts that weren't anticipated with the original development.

The information we are requesting should also include the City Engineer's most recent opinion in requirements for the applicant to comply with as part of any final approval (pp72-73 of the PZC packet of 8/13/21).

- The referenced pages of the PZC Meeting Packet is the Conditional Approval Letter from the City Engineer. The letter specifies the requirements (i.e. conditions) for the applicant to comply.
4. We are again also seeking a written reply from the City that the Preserves of Waterfall Glen Townhome Association shall continue to have no responsibility for any future maintenance costs related to the storm water facilities of the two ponds adjacent to the condos.
 - The existing Townhomes do not have responsibility or potential maintenance costs outside of their detention area(s). The HOA should review their covenants for any additional language.
 5. There is another question our Association has posed in which we are still awaiting an answer. What shall be the responsibility being put in place by the City that obligates both present and future owners of the Darien Heights property to assume their fair share of future storm water maintenance costs, as the City has previously obligated the townhome and condo associations? What would be some of the City's options in requiring such an adequate amount of financial responsibility?
 - In the event that any of the infrastructure should fail, the City does have the right to complete repairs and invoice the property owner of the detention/retention facility. An example of such would be should a tree fall and block the outgoing flow, the City would respond and remove the blockage to prevent any negative impact and invoice the HOA.
 6. In the interest of the City's providing transparency to its citizens, we would also like to know what were the other issues between the City and the petitioner causing the unusual delay in the review process following the preliminary approval.
 - The City has not experienced "other issues" with the petitioner, and the City cannot speak for the petitioner as to when final plans were formally submitted. Note that the petitioner was required to submit detailed plans for the final submittal including:
 - Site/Civil Engineering & Improvement Plans
 - Landscape Plan
 - Photometric Plan
 - Final Plat

7. Finally, following the PZC meeting on 8/18/21, do you expect the issue will be referred to the Municipal Services Committee for its next regularly scheduled meeting?
 - Correct. At this time the case is expected to be heard by the Municipal Services Committee (MSC) on Monday, August 23, 2021. If this schedule changes, the City will notify you.

**MINUTES
CITY OF DARIEN
MUNICIPAL SERVICES COMMITTEE MEETING
June 21, 2021**

PRESENT: Alderman Thomas Belczak -Chairman, Alderman Eric Gustafson,
Alderman Joseph Kenny, Dan Gombac – Director, Mayor Joseph Marches, Bryon
Vana, City Administrator, Elizabeth Lahey - Secretary

ABSENT: None

ESTABLISH QUORUM

Chairperson Thomas Belczak called the meeting to order at 6:20 p.m. at the City of Darien City Hall, 1702 Plainfield Road, Darien, Illinois. Chairperson Belczak declared a quorum present.

NEW BUSINESS

- a. **Resolution - Authorizing the purchase of one (1) new Water Main Service Trailer from Arizona Trailer Specialists dba C & I Equipment Co. in an amount not to exceed \$32,140.00.**

Mr. Dan Gombac, Director reported that the watering trailer is used as a part of the fleet for watering plantings, restorations, (turf and seed), washing down of streets after maintenance repairs, and tree watering. He reported that this equipment is an essential part of the fleet as it promotes to establish optimal growth and provides cleanliness upon completion of excavations.

Mr. Gombac reported that the pump & trailer are 12 years old and has served its useful life and that the new trailer will be equipped with a side sprayer, a wireless mechanical nozzle which allows the controlled flow and water spray and used on a daily basis during the summer and fall season and also during the off-season to wash down roadways from excavations such as water main breaks.

There was no one in the audience wishing to present public comment.

Alderman Kenny made a motion, and it was seconded by Alderman Gustafson approval of Resolution authorizing the purchase of one (1) new Water Main Service Trailer from Arizona Trailer Specialists dba C & I Equipment Co. in an amount not to exceed \$32,140.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- b. **Resolution - Authorizing the purchase of one (1) Waterdog Sprayer from Air One Equipment in an amount not to exceed \$7,759.00.**

There was no one in the audience wishing to present public comment.

Alderman Kenny made a motion, and it was seconded by Alderman Gustafson approval of Resolution authorizing the purchase of one (1) Waterdog Sprayer from Air One Equipment in an amount not to exceed \$7,759.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- c. Resolution – Accepting the unit price proposal from Hispano Lawn Maintenance & Landscaping Co. dba HL Landscape for the purchase and installation of the 50/50 Parkway Tree Program and the Parkway Tree Replacement Program in an amount not to exceed \$31,145.00.**

Mr. Dan Gombac, Director reported that this Resolution is for the 50/50 Parkway Tree Program and the Parkway Tree Replacement Program. He reported staff advertised and received one bid with the sole bidder Hispano Lawn Maintenance & Landscaping Co.

There was some discussion regarding the storm and potentially needing additional trees. Mr. Gombac proposed that there may be a need for 100 additional trees at \$400 per tree.

There was no one in the audience wishing to present public comment.

Alderman Kenny made a motion, and it was seconded by Alderman Belczak approval of Resolution accepting the unit price proposal from Hispano Lawn Maintenance & Landscaping Co. dba HL Landscape for the purchase and installation of the 50/50 Parkway Tree Program and the Parkway Tree Replacement Program in an amount not to exceed \$71,000.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- d. Resolution – Authorizing the services for the purchase and installation of an in-ground irrigation system for the planter beds located at 75th Street and Plainfield Rd from Dynamic Irrigation in an amount not to exceed \$79,280.00.**

Mr. Dan Gombac, Director reported that this Resolution authorizes services for the purchase and installation on an in-ground irrigation system. He reported that staff cannot provide efficient watering during the summer.

Alderman Gustafson questioned the cost and why it was needed.

There was no one in the audience wishing to present public comment.

Alderman Kenny made a motion, and it was seconded by Alderman Belczak approval of Resolution authorizing the services for the purchase and installation of an in-ground irrigation system for the planter beds located at 75th Street and Plainfield Rd from Dynamic Irrigation in an amount not to exceed \$79,280.00.

Upon voice vote, the MOTION CARRIED 2-1. Alderman Gustafson voted nay.

- e. **Motion - Authorizing a \$15,000 expenditure for essential materials and services to supply and transition the irrigation system for the planter beds located at 75th St and Plainfield Rd to the City's water system.**

There was no one in the audience wishing to present public comment.

Alderman Kenny made a motion, and it was seconded by Alderman Belczak authorizing a \$15,000 expenditure for essential materials and services to supply and transition the irrigation system for the planter beds located at 75th St and Plainfield Rd to the City's water system.

Upon voice vote, the MOTION CARRIED 2-1. Alderman Gustafson voted nay.

- f. **Resolution – Authorizing the purchase of one (1) new SkyJack electric powered scissor lift model SJ3220 from Lift Works Inc. in an amount not to exceed \$15,475.00.**

Mr. Dan Gombac, Director reported that the original banners were purchased in 2017 and particularly, the summer banners have severely faded and are no longer aesthetically pleasing. He reported that many of the banners have also sustained damage from high winds and ultraviolet light and that staff has been replacing the banners on as need basis and has determined that the existing summer banners have exceeded their useful life.

Mr. Gombac reported that the City requested quotes for 125 mesh summer banners and received one responsive bid from Bannerville USA. He reported that the vendor is a local company and has been providing replacement banners with excellent service.

Mr. Gombac reported that the mayor has also requested banners for September 11th.

Alderman Belczak stated that he did not want to see outside groups putting up a banner.

Alderman Kenny made a motion, and it was seconded by Alderman Gustafson approval of a Resolution authorizing the purchase of one (1) new SkyJack electric powered scissor lift model SJ3220 from Lift Works Inc. in an amount not to exceed \$15,475.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- g. **Resolution - Authorizing the purchase of 125 banners from Bannerville USA in an amount not to exceed \$13,760.00.**

Mr. Dan Gombac, Director reported that over the last few years, staff has discussed solutions to the drainage issues at Holly Park with the Park District staff. He reported that the Park District has been successful in implementing a native planting area at Chestnut Park for several years and that the environmental benefits of such areas have been demonstrated in the past and with both staffs' collaborated efforts to convert specific turf areas into native plantings at Holly Park.

Mr. Gombac reported that the total cost for the project will be shared by both agencies and special funds will be used.

There was no one in the audience wishing to present public comment.

Alderman Gustafson made a motion, and it was seconded by Alderman Kenny approval of a Resolution authorizing the purchase of 125 banners from Bannerville USA in an amount not to exceed \$13,760.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

h. Resolution – Authorizing a reimbursement for a Native Area Planting-Holly Park, to the Darien Park District for the amount of \$7,445.00.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion, and it was seconded by Alderman Gustafson approval of a Resolution authorizing a reimbursement for a Native Area Planting-Holly Park, to the Darien Park District for the amount of \$7,445.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

i. Resolution - Accepting a quote from National Wash Authority LLC, for the pressure washing services for the City's potable water tanks at a cost not to exceed \$19,900.00.

Mr. Dan Gombac, Director reported that the scope of work calls out for pressure power washing at all of the City's elevated water towers. He reported that the tanks are susceptible to dirt and mildew primarily due to climate temperature differentials between potable water, steel tank and the atmosphere.

Mr. Gombac reported that the company uses a frictionless method of washing and that there will be no direct contact of equipment with the tank itself. He stated that the process utilizes a soft washing technique which includes a bleach soak and soap rinse and a mildew inhibitor applied to prolong the return of mildew growth on the tanks and inspect the exterior of the tanks for any deficiencies.

Mr. Gombac reported that pressure washing was done approximately 7 years ago and references for the vendor have been verified with positive responses.

There was no one in the audience wishing to present public comment.

Alderman Kenny made a motion, and it was seconded by Alderman Gustafson approval of a Resolution accepting a quote from National Wash Authority LLC, for the pressure washing services for the City's potable water tanks at a cost not to exceed \$19,900.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

j. Resolution - Approval to accept a Storm Sewer Easement from the following property: 7929 Glen Lane 09-34-208-004.

Mr. Dan Gombac, Director reported that the property owners at 7929 Glen Lane have agreed to grant a storm sewer easement to the City in anticipation of an upcoming rear yard drainage project. He reported that the scope of work includes installing an under drainpipe through the proposed side yard easement of the participating property and connect to a storm sewer structure located on Glen Lane.

Mr. Gombac reported that the easement is required to install a drain-tile pipe to rid the rear yard area of nuisance ponding and provide positive drainage. He reported that staff has reached out to the residents for a storm sewer easement to be dedicated only to the City of Darien and that the plat requires City Council approval and will be recorded by DuPage County.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion, and it was seconded by Alderman Kenny approval of a Resolution to accept a Storm Sewer Easement from the following property: 7929 Glen Lane 09-34-208-004.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

k. Resolution - Authorizing the purchase of one new trailer mounted high pressure sewer cleaner from Hot Jet USA, Model XF21240UHO, in an amount not to exceed \$33,245.00.

Mr. Dan Gombac, Director reported that the Municipal Services Department owns and maintains rear yard drainage infrastructure throughout the City and that the services of a smaller jet cleaning equipment are required to get into rear yards and or parks to address blockages within pipes that range from 4-12 inches. He reported that currently these services are outsourced, and the County of DuPage has also assisted.

Mr. Gombac reported that the proposed equipment will allow the Department to perform the services of jetting and cleaning rear yard basins as part of a maintenance program as well as responding to clogged pipe situations immediately.

There was no one in the audience wishing to present public comment.

Alderman Kenny made a motion, and it was seconded by Alderman Gustafson approval of a Resolution authorizing the purchase of one new trailer mounted high pressure sewer cleaner from Hot Jet USA, Model XF21240UHO, in an amount not to exceed \$33,245.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

I. Resolution - Authorizing the purchase of one (1) new HP DesignJet XL 3600dr PostScript Multifunction Printer from MasterGraphics Incorporated in an amount not to exceed \$14,318.00.

Mr. Dan Gombac, Director reported that the proposed printer and color copier would be replacing an obsolete 2010 large copy printer. He reported that the new plotter and color printer would be linked to the server allowing anyone the ability to print black and white or color maps which are often used to show projects for budget purposes and storyboards for the public as well as field plans for the City.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion, and it was seconded by Alderman Kenny approval of a Resolution authorizing the purchase of one (1) new HP DesignJet XL 3600dr PostScript Multifunction Printer from MasterGraphics Incorporated in an amount not to exceed \$14,318.00.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

m. Minutes – May 24, 2021 Municipal Services Committee

Alderman Kenny made a motion, and it was seconded by Alderman Gustafson approval of the May 24, 2021 Municipal Services Committee Meeting Minutes.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

DIRECTOR'S REPORT

Mr. Dan Gombac, Director reported on the recent tornado damage to the area. He reported that there were 10 buildings with structural damage and numerous trees down. Mr. Gombac reported that he has been in contact with DuPage County and they sent bucket trucks and chippers and crew. He further reported that Homer Tree will be working as well and that residents are getting assistance with the removal debris off of driveways.

Mr. Gombac reported that there was no damage to City property.

NEXT SCHEDULED MEETING

Chairperson Belczak announced that the next meeting is scheduled for Monday, July 26, 2021.

ADJOURNMENT

With no further business before the Committee, Alderman Kenny made a motion, and it was seconded by Alderman Gustafson to adjourn. Upon voice vote, THE MOTION CARRIED unanimously, and the meeting adjourned at 6:55 p.m.

RESPECTFULLY SUBMITTED:

Thomas Belczak
Chairman

Eric Gustafson
Alderman

Joseph Kenny
Alderman