

# CITY OF DARIEN

## NOTICE OF SPECIAL MEETING

PLEASE TAKE NOTICE THAT THE MUNICIPAL SERVICES COMMITTEE HAS SCHEDULED A SPECIAL MEETING TO BE HELD ON WEDNESDAY, NOVEMBER 1, 2023, 6:00 PM IN THE CITY COUNCIL CHAMBERS AT CITY HALL, 1702 PLAINFIELD ROAD, DARIEN, ILLINOIS. AGENDA IS AS FOLLOWS:

1. Call to Order & Roll Call
2. Establishment of Quorum
3. New Business
  - a. [PZC2023-09 2941, 2963, and 2985 87TH Street](#) – Woodland Glen Development
4. Adjournment

THIS NOTICE IS GIVEN PURSUANT TO CHAPTER 5, SECTION 120/2.02 OF THE ILLINOIS COMPILED STATUTES (5 ILCS 120/2.01).

JOANNE E. RAGONA  
CITY CLERK  
OCTOBER 30, 2023

**AGENDA MEMO**  
**MUNICIPAL SERVICES COMMITTEE**  
**\*\*SPECIAL MEETING\*\***  
**NOVEMBER 1, 2023**

**CASE**

PZC2023-09

Woodland Glen Development, LLC

(2941, 2963, & 2985 87<sup>TH</sup> Street)

Rezone, Special Use Planned Unit Development (PUD),  
 Preliminary Plat, and Variations/Waivers

**ISSUE STATEMENT**

Petitioner requests approval of a Rezone, Special Use Planned Unit Development (PUD), Preliminary Plat, and Variations/Waivers as deemed necessary. The petition specifically requests approval for a 17-lot subdivision with 34 total dwelling units, or 17 two-family dwellings (i.e. duplexes). Property is comprised of 7.34 acres and is currently zoned Single-Family Residence District (R-1). The proposed zoning is Multi-Family Residence District (R-3).

Applicable Regulations:      City Code Section 5A-7-3, R-3 District Standards  
    City Code Section 5A-3, PUD Regulations  
    City Code Section 5B, Subdivision Regulations

**GENERAL INFORMATION**

Petitioner:                        Woodland Glen Development, LLC  
 Property Owner:                Julian Saybor & Maria Sciullo  
 Property Location:              2941, 2963, & 2985 87<sup>TH</sup> Street  
 PIN Number(s):                 10-06-200-004, 10-06-200-005, & 10-06-200-006  
 Existing Zoning:                 Single-Family Residence District (R-1)  
 Proposed Zoning:                Multi-Family Residence District (R-3)  
 Existing Land Use:                Single-Family Residential  
 Proposed Land Use:              Two-Family Dwellings (i.e. Duplexes)  
 Comprehensive Plan:            Low Density Residential (Existing);  
    Medium Density Residential (Future)

**Key Development Area #9:** This key area can include commercial development if cohesive in nature. It also presents opportunity for further residential development either through infill or subdivision.

Surrounding Zoning & Uses

   North:                        Single-Family Residence District (R-2); Single-Family Residential  
    East:                         Single-Family Residence District (R-1); Single-Family Residential  
    South:                       R-2 Single Family (Unincorporated); Single-Family Residential  
    West:                        R-2 Single Family (Unincorporated); Single-Family Residential

Petition Site Acreage:            7.34 Acres

Floodplain:                         According to the DuPage County Parcel Viewer System, there is no floodplain on the subject site.

Natural Features:                 According to the DuPage County Parcel Viewer System, there is a small area of wetland in the far southeastern portion of the site.

Transportation: The petition site gains access from 87<sup>TH</sup> Street with two (2) proposed ingress/egress cuts for Woodland Lane, one full access and one right-in, right-out.

**PETITIONER DOCUMENTS (ATTACHED TO MEMO)**

- 1) **APPLICATION**
- 2) **COVER LETTER & NARRATIVE**
- 3) **PRELIMINARY ENGINEERING PLANS & PLAT**
- 4) **FLOOR PLAN**
- 5) **COMPARABLE IMAGE**
- 6) **TRAFFIC MEMORANDUM**

**CITY STAFF DOCUMENTS (ATTACHED TO MEMO)**

- 7) **LOCATION MAP & AERIAL IMAGE**
- 8) **STREET FRONTAGE IMAGES**
- 9) **CITY ENGINEER LETTER**
- 10) **TRAFFIC STUDY REVIEW COMMENTS**
- 11) **PUBLIC COMMENT & PETITION OF OPPOSITION**
- 12) **PZC MINUTES (DRAFT) – OCTOBER 18, 2023**

**PLANNING OVERVIEW/DISCUSSION**

The petition site is located on the south side of 87<sup>TH</sup> Street, west of Lemont Road and on the edge of the City's jurisdictional boundary. The site totals 7.34 acres and is comprised of three (3) parcels. There are existing dwellings on the parcels that would be demolished along with other structures if the proposal is approved. The proposal is to develop the site as a 17-lot subdivision containing 17 two-family dwellings (i.e. duplexes), meaning 34 total units. The zoning ordinance defines the proposed dwellings as follows:

*DWELLING, TWO-FAMILY: A detached building or structure containing two (2) dwelling units only, designed for and occupied by two (2) families.*

*DUPLEX: See definition of Dwelling, Two-Family.*

Based on the proposal, the petitioner has requested a rezone, special use (PUD), preliminary plat, and variations/waivers from the subdivision and zoning regulations. The rezone specifically requests the site to be zoned Multi-Family Residence District (R-3). The current zoning is Single-Family Residence District (R-1). The R-1 District does not permit two-family dwellings. With the rezone the petitioner requests approval of a Planned Unit Development (PUD), which is a special use. The requested variations/waivers are listed below and apply to the preliminary plat specifications and zoning:

- *Subdivision Regulation Section 5B-1-7(B)(6) – Variation Request*
  - o This section provides for a 66' right-of-way and 30' pavement width. The proposed plan shows Woodland Lane with a 50' right-of-way and 27' road width.
- *Subdivision Regulation Section 5B-1-8(G)(1) – Variation Request*
  - o This section provides for a 150' curve radius on Minor Streets. The proposed plan shows a 53.5' radius for Woodland Lane.
- *Zoning Section 5A-7-3-5(A) – Waiver request to minimum lot size requirement.*
  - o Waiver request to reduce the minimum lot size for two-family dwellings in the R-

3 District from 20,000 square feet to 10,000 square feet. The proposal does meet gross residential density requirements.

- *Zoning Section 5A-7-3-6(A) – Waiver request to minimum setback requirements.*
  - o Waiver request to modify/reduce the minimum front yard and rear yard setbacks from the required 30’ to 25’ and 18’, respectively.
- *Zoning Section 5A-3-3-8 – Waiver request to open space standard.*
  - o Waiver request to reduce the required percentage of common open space from 25% of the total gross area to 20%.
- *Zoning Section 5A-3-3-9(B) – Waiver request to yards and spaces.*
  - o Waiver request to eliminate the following PUD stipulation: “Buildings of more than 24’ in height shall provide a setback from any property line of not less than equal to the height of such buildings.”

NOTE: The planned unit development may depart from strict conformance with the required density, dimension, area, zoning district size, height, bulk, use, and other regulations of the underlying zoning district to the extent specified in the preliminary and final plans and documents authorizing the development, so long as the development will not be detrimental to or endanger the public health, safety, and welfare of the residents of the City.

The Plan Commission may recommend and City Council authorize variations from these requirements in specific cases which, in its opinion, are in harmony with the intent and purpose of the Comprehensive Plan and Official Map of the City of Darien and in harmony with the intent of the Subdivision Regulations.

### ***Staff Review Comments***

Staff has reviewed the submittal documents. Included with this memo is a letter from the City Engineer (dated August 17, 2023). The letter provides stipulations/conditions of approval for the project and preliminary plan prior to final planning stage. The City’s traffic consultant has also reviewed the submitted traffic memorandum and review comments are attached.

Additionally, the petitioner submitted a cover letter and narrative detailing the request. The narrative is attached to this memo. The petitioner and other representatives will be present during the meeting and will provide a summary presentation on the project, including details on architecture, stormwater management and detention, landscaping, traffic, and utilities, among other things. Included below are the standards for amendments and the special use criteria that are to be considered for recommending on the case.

### ***Standards for Amendments:***

*The Plan Commission shall consider the following factors and other pertinent factors in developing a recommendation for the City Council:*

1. *Existing uses of property within the general area of the property in question, and the resulting character of the general area;*
2. *The zoning classifications of property within the general area of the property in question;*
3. *The suitability of the property in question to the uses permitted under the existing zoning classification including consideration of the length of time the property has been vacant as*

*zoned;*

4. *The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classifications and the impact to surrounding property likely to result from the proposed use;*
5. *The reduction in value of the subject property resulting from the particular zoning restriction as compared to the gain to the public if the property remains restricted; and*
6. *The policies of all current official plans or plan elements of the City.*

*Special Use Criteria:*

*No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:*

1. *That the special use is deemed necessary for the public convenience at the location specified.*
2. *That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.*
3. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
4. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
5. *That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*
6. *That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
7. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
8. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.*

**PZC MEETING – 10/18/2023**

The Planning and Zoning Commission reviewed this petition at its October 18, 2023 meeting. The petitioner was present and provided a thorough presentation on the proposal after staff's introduction of the case. There was a large audience for the meeting and several people provided public comment. The public comments pertained mostly to stormwater/drainage, traffic, density, architecture, and landscaping of the site given the proximity of the proposed structures to adjacent lots. Due to the number of comments and lengthy discussion, please refer to the meeting minutes (draft) from the public hearing that are attached to this memo.

Based on testimony and discussion at the meeting, the Planning and Zoning Commission forwarded the case with a favorable recommendation to the Municipal Services Committee by a vote of 6-0, subject to the following conditions:

- 1) Applicant revise the preliminary plan in regards to the location of duplexes on Lots 1, 2, 3, 9, 10, and 11. The structures on said lots shall be shifted five (5) feet towards Woodland Lane, resulting in a front yard setback of twenty (20) feet and rear yard setback of twenty-three (23) feet for each lot/duplex.
- 2) Fire District Approval.
- 3) Submittal of a Geotechnical Report.
- 4) Submittal of Best Management Practices (BMPs).
- 5) Submittal of Homeowners Association (HOA) covenants and restrictions.
- 6) Response be obtained from DuPage County regarding sidewalk feasibility along 87<sup>TH</sup> Street.
- 7) Traffic light feasibility study be submitted by the applicant to DuPage County.

---

**ALTERNATE CONSIDERATION**

As recommended/directed by the Municipal Services Committee.

**MEETING SCHEDULE**

Municipal Services Committee  
City Council

November 1, 2023  
TBD



**ZONING APPLICATION**

RECEIVED

SEP 14 2023

Community Development  
City of Darien

**CITY OF DARIEN**  
1782 Plainfield Road, Darien, IL 60561  
www.darien.il.us 630-852-5000

**CONTACT INFORMATION**

<u>Woodland Glen Development, LLC</u> Applicant's Name	<u>Maria Sciullo</u> Owner's Name
<u>6432 Joliet Rd., Ste. B, Countryside, IL 60525</u> Address, City, State, Zip Code	<u>502 Redondo Dr., Unit 408, Downers Grove, IL 60516</u> Address, City, State, Zip Code
<u>(708) 482-0860</u> Telephone	<u>(630) 541-7446</u> Telephone
<u>don.stevens@donvenhomes.com</u> Email	<u></u> Email

**PROPERTY INFORMATION**

<u>2963-2985 W. 87th St th Street, Darien, IL 60561</u> Property address	<u>10-06-200-004/ 005</u> PIN Number(s)
<u>R-1 Current</u> Zoning District	<u>Single Family Residence</u> Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

**REQUEST**

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

Rezoning from Darien R-1 Single Family Residential to Darien R-3 Special Use PUD including Plat of Subdivision, Variation/Waiver Approval for 34 duplex attached single family residences on 17 lots served with public sanitary sewer and watermain. Variations from R-3 and PUD zoning. Preliminary/Final Plat Approval.

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that Donald A. Stevens is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.  
Given under my hand and seal, this 8 day of September 2023.

For office use only	
Date Received:	<u>09/14/2023</u>
Case Number:	<u>P2C2023-09</u>
Fee Paid:	<u>\$1,955.00</u>
Hearing Date:	<u>10/19/2023</u>

Joann T. Stevens  
Notary Public



CITY OF DARIEN, ILLINOIS, Community Development Department

Plat of Subdivision petition to the Mayor and City Council of the City of Darien:

RECEIVED

SEP 14 2023

Community Development  
City of Darien

Staff Use Only	
Case No.:	PZC2023-09
Date Received:	09/14/2023
Fee Paid:	\$1,955.00
Check No.:	1002
Hearing Date:	10/19/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
Petitioner's Name

Donald A. Stevens  
Contact Name

6432 Joliet Road, Ste.B, Countryside IL  
Address, City, State, Zip Code. 60525

(708) 482-0860  
Phone #

(708) 482-0872  
Phone #

Fax #

don.stevens@donvenhomes.com  
Email

Maria Sciullo  
Owner's Name

502 Redondo Drive, Unit 408, Downers Grove IL  
Address, City, State, Zip Code 60516

(630) 541-7446  
Phone #

office@clasesandclases.com  
Email

PROPERTY INFORMATION

2963-2985 W. 87th St., Darien IL 60561  
Property address

10-06-200-004/-005  
PIN(s)

4.59 acres  
Acreage

R-1 current  
Zoning

REQUEST

Check the following:  Preliminary Plat  Final Plat

Woodland Glen  
Subdivision Name

Number of Lots: 17

Right-of-way (in miles): 0.1725 miles

Minimum Lot Size: 100' x 108'

Average Lot Size: 12,106 s.f.

Public or other open space: 66,808 s.f.

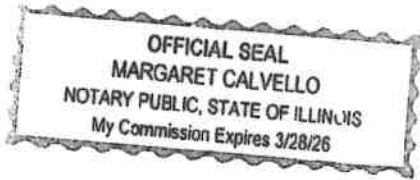
Public ROW 47,157 s.f.

I, Maria Sciullo, do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Maria Sciullo  
Signature

Subscribed and sworn to before this 30th day of June, 2023

Margaret Calvello  
Notary Public





CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien:

RECEIVED  
SEP 14 2023

Community Development  
City of Darien

Staff Use Only	
Case No.:	P220003-09
Date Received:	09/14/2023
Fee Paid:	\$1,955.00
Check No.:	1002
Hearing Date:	10/19/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
 Petitioner's Name  
 Donald A. Stevens  
 Contact Name  
 6432 Joliet Rd., Ste. B., Countryside IL  
 Address, City, State, Zip Code 60525  
 (708) 482-0860  
 Phone #  
 (708) 482-0872  
 Fax #  
 don.stevens@donvenhomes.com  
 Email

Maria Sciallo  
 Owner's Name  
 502 Redondo Drive, Unit 408, Downers Grove IL  
 Address, City, State, Zip Code 60516  
 (630) 541-7446  
 Phone #  
 office@claresanddais.com  
 Email

PROPERTY INFORMATION

2963-2985 W. 87th St. Darien IL 60561  
 Property address  
 10-06-200-004/ -005  
 PIN(s)

4.59 acres  
 Acreage  
 R-1 (current)  
 Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

Woodland Glen  
 PUD Name

Preliminary PUD       PUD Amendment  
 Final PUD

Brief description of the proposed development:  
 Total 7.34 acre development consisting of 34 duplex attached single family homes on  
 17 lots, served by public sanitary, sewer and water main located in the City of Darien IL.

I, Maria Sciallo, do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Maria Sciallo  
 Signature

Subscribed and sworn to before this 30th day of June, 2023

Margaret Calvello  
 Notary Public





**ZONING APPLICATION**

RECEIVED

SEP 14 2023

Community Development  
City of Darien

**CITY OF DARIEN**

1702 Plainfield Road, Darien, IL 60561  
www.darien.il.us 630-852-5000

**CONTACT INFORMATION**

Woodland Glen Development, LLC  
Applicant's Name Donald A. Stevens

Julian Saybor  
Owner's Name

6432 Joliet Rd., Ste.B, Countryside IL  
Address, City, State, Zip Code 60525

2941 W. 87th St., Darien IL 60561  
Address, City, State, Zip Code

(708) 482-0860

(630) 910-7000

Telephone

Telephone

don.stevens@donvenhomes.com

Email

Email

**PROPERTY INFORMATION**

2941 W. 87th St., Darien IL 60561  
Property address

10-06-200-006  
PIN Number(s)

R-1 (current)  
Zoning District

Single Family Residence  
Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

**REQUEST**

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

Rezoning from Darien R-1 Single Family residential to Darien R-3 Special Use PUD

including Plat of Subdivision, Variation/Waiver Approval for 34 duplex attached

single family residences on 17 lots served with public sanitary, sewer and water main.

Variations from R-3 and PUD zoning. Preliminary/Final Plat Approval.

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that Donald A. Stevens is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.

Given under my hand and seal, this 8 day of September 2023

*Joann T. Stevens*

Notary Public

For office use only	
Date Received:	09/14/2023
Case Number:	PZC2023-09
Fee Paid:	\$1,955.00
Hearing Date:	10/19/2023



CITY OF DARIEN, ILLINOIS, Community Development Department

Plat of Subdivision petition to the Mayor and City Council of the City of Darien:

RECEIVED  
SEP 14 2023  
Community Development  
City of Darien

State Use Only  
Case No. PZC2023-09  
Date Received 09/14/2023  
Fee Paid \$1,955.00  
Check No. 1002  
Hearing Date 10/19/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
Petitioner's Name  
Donald A. Stevens  
Contact Name  
6432 Joliet Rd., Ste.B, Countryside IL  
Address, City, State, Zip Code 60525  
(708) 482-0860  
Phone #  
(708) 482-0872  
Fax #  
don.stevens@donvenhomes.com  
Email

Julian Saybor  
Owner's Name  
2941 W. 87th St. Darien IL 60561  
Address, City, State, Zip Code  
(630) 919-7000  
Phone #  
Email

PROPERTY INFORMATION

2941 W. 87th St., Darien IL 60561  
Property address  
10-06-200-006  
PIN(s)

2.75 acres  
Acreage  
R-1 (current)  
Zoning

REQUEST

Check the following:  Preliminary Plat  Final Plat

Woodland Glen  
Subdivision Name  
Number of Lots: 17  
Right-of-way (in miles): 0.1725 miles

Minimum Lot Size: 100' x 108'  
Average Lot Size: 12,106 s.f.  
Public or other open space: 66,808 s.f.  
Public ROW 47,157 s.f.

I, Julian Saybor do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Signature  
Subscribed and sworn to before this 12<sup>th</sup> day of July 20 23  
Juliana Francesca Desantis  
Notary Public



CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien

RECEIVED  
23  
Community Development  
City of Darien

Staff Use Only	
Case No:	PZC2023-09
Date Received:	09/14/2023
Fee Paid:	\$1,955.00
Check No.:	1002
Heard Date:	10/18/2023

PETITIONER INFORMATION

Woodland Glen Development, LLC  
Petitioner's Name

Donald A. Stevens  
Contact Name

6432 Joliet Rd., Ste.B, Countryside IL  
Address, City, State, Zip Code 60525

(708) 482-0860  
Phone #

(708) 482-0872  
Fax #

don.stevens@donvehhomes.com  
Email

Julian Saybor  
Owner's Name

2941 W. 87th St., Darien IL 60561  
Address, City, State, Zip Code

(630) 910-7000  
Phone #

Email

PROPERTY INFORMATION

2941 W. 87th Street, Darien IL 60561  
Property address

10-06-200-006  
PIN(s)

2.75 acres  
Acreage

R-1 (current)  
Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

Woodland Glen  
PUD Name

Preliminary PUD       PUD Amendment  
 Final PUD

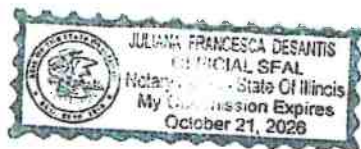
Brief description of the proposed development:  
Total 7.34 acre development consisting of 34 duplex attached single family homes on 17 lots, served by public sanitary, sewer and watermain located in the City of Darien IL.

I, Julian Saybor do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such

[Signature]  
Signature

Subscribed and sworn to before this 12<sup>th</sup> day of July 2023

Juliana Francesca Desantis  
Notary Public



Woodland Glen Residential Development  
87<sup>th</sup> Street – ¼ Mile West of Lemont Road  
Darien, Illinois

The proposed Woodland Glen residential development will consist of 34 duplex single family homes, with 2 homes on each of the 17 residential lots. The proposed site will be located directly on the south side of 87<sup>th</sup> Street, approximately ¼ mile west of Lemont Road.

Woodland Glen will be an upscale, maintenance free residential community, featuring larger ranch style homes with full basements, featuring both “look out” and “walk out” option.

The proposed site for Woodland Glen is on 7.34 acres of land, currently consists of 3 separate parcels owned by 2 different individuals. The property is currently zoned R-1 single family residential, and contains 2 older single family homes. The current homes are served by well and septic systems.

The existing homes on the properties are scheduled for demolition prior to the Woodland Glen site improvements being started. The Woodland Glen development will be rezoned as an R-3 PUD residential community, with utilities served by the City of Darien for public water and DuPage County for sanitary sewers. All utility improvements required for Woodland Glen will be installed by the developer.

The existing uses on 87<sup>th</sup> Street and Lemont Road contains mixed uses, including commercial, multi-family residential and some residential properties, the majority of residential homes do not face 87<sup>th</sup> Street. Accordingly, the Woodland Glen development will not adversely impact the essential character of the 87<sup>th</sup> Street, and will be a positive addition to the corridor.

There will be no adverse effects on the adjoining properties, with open side yards between the groupings of homes allowing for the free flow of light and air through the development and the adjoining properties. The development will have a negligible increase of traffic on 87<sup>th</sup> Street, and allows for the free movement of all police and fire equipment. Working with Darien Staff, the development provides for proper ingress and egress for the development off of 87<sup>th</sup> Street .

The proposed ranch homes at Woodland Glen, with “walk out” or “look out” basements, are perfectly suited for this site, as the land slopes increasingly to the south, away from 87<sup>th</sup> Street, so drainage will not be an issue or negatively impact the area. The trend of development along major signalized roadways like 87<sup>th</sup> Street in this area is towards either commercial development, or higher density multi-family developments. Woodland Glen will therefore offer the best transitional residential zoning from the much higher densities likely to come from the Woodridge zoning areas immediately to the west. The Woodland Glen development will help stabilize and increase the remaining property values in Darien along 87<sup>th</sup> Street.

The Woodland Glen development will have the highest quality architectural design, blending this transitional residential area into the neighboring community. The proposed landscaping will provide a positive environment to the homeowners in the development, and the neighboring community. All utilities will be approved by the City of Darien and DuPage County, providing a

benefit to the future homeowners, but also for the future development of the 87<sup>th</sup> Street corridor in Darien.

The Woodland Glen development will be a positive addition to the City of Darien, and offers the best transitional residential density along the 87<sup>th</sup> Street corridor in Darien.

The Woodland Glen development will conform to all Darien codes and regulations, except those where the City of Darien will be granting a variance or change from its Zoning Code.

1. Permitted reduction to the required right of way width for minor streets to fifty (50) feet from the sixty-six (66) feet as established in Title 5B, Chapter 1, Section 5B-1-7(b)6.
2. Permitted reduction to the required pavement width for minor streets to twenty seven (27) feet from thirty (30) feet as established in Title 5B, Chapter 1, Section 5B-1-7(B)6.
3. Permitted reduction to a minimum lot size of 10,000 square feet, in lieu of the 20,000 square foot R-3 Zoning requirement, is met under PUD regulations, Title 5A, Chapter 3, Section 5A-3-3-4(A). The maximum R-3 residential zoning units per gross residential acre is 7.0, while the Woodland Glen development is only at 4.63 units per gross acre as proposed.
4. Permitted reductions to the minimum Front and Rear yard setbacks to twenty-five feet (25') and eighteen feet (18') from thirty (30) feet established in R-3 Zoning, is considered met under PUD Regulations, Title 5A, Chapter 3, Section 5A-3-3-9(A): *“Required yard or setbacks ... may receive up to fifty percent (50%) of the standards set forth in the underlying zoning districts ...”*
5. Permitted reduction to common open space to twenty percent (20%) from twenty-five percent (25%) established in PUD Regulations, Title 5A, Chapter 3, Section 5A-3-3-8, which states: *“This requirement may be partially or totally waived by the City Council whenever a substantial amount of the land of the planned unit development is proposed for development as single-family residential units.”*
6. Permitted elimination of PUD Regulation, Title 5A, Chapter 3, Section 5A-3-3-9(B) which states: *“Buildings of more that twenty-four feet (24') in height shall provide a setback from any property line not less than equal to the height of such building.”* The required yards shall meet the applicable Sections of the R-3 Zoning requirement, PUD Regulations and/or as noted in 4 above.
7. Permitted reduction to the required horizontal roadway centerline curve radius for minor streets to fifty-three and one half feet (53.5') from one hundred fifty feet (150') as established in Title 5B, Chapter 1, Section 5B-1-8(G)1(a).

# PRELIMINARY ENGINEERING PLANS

## FOR

# WOODLAND GLEN - DARIEN

### DARIEN, ILLINOIS

#### PROJECT TEAM

##### DEVELOPER

Woodland Glen Development, LLC  
6432 Joliet Road, Suite B  
Countryside, Illinois 60525  
708 482 0860  
Contact: Don Stevens

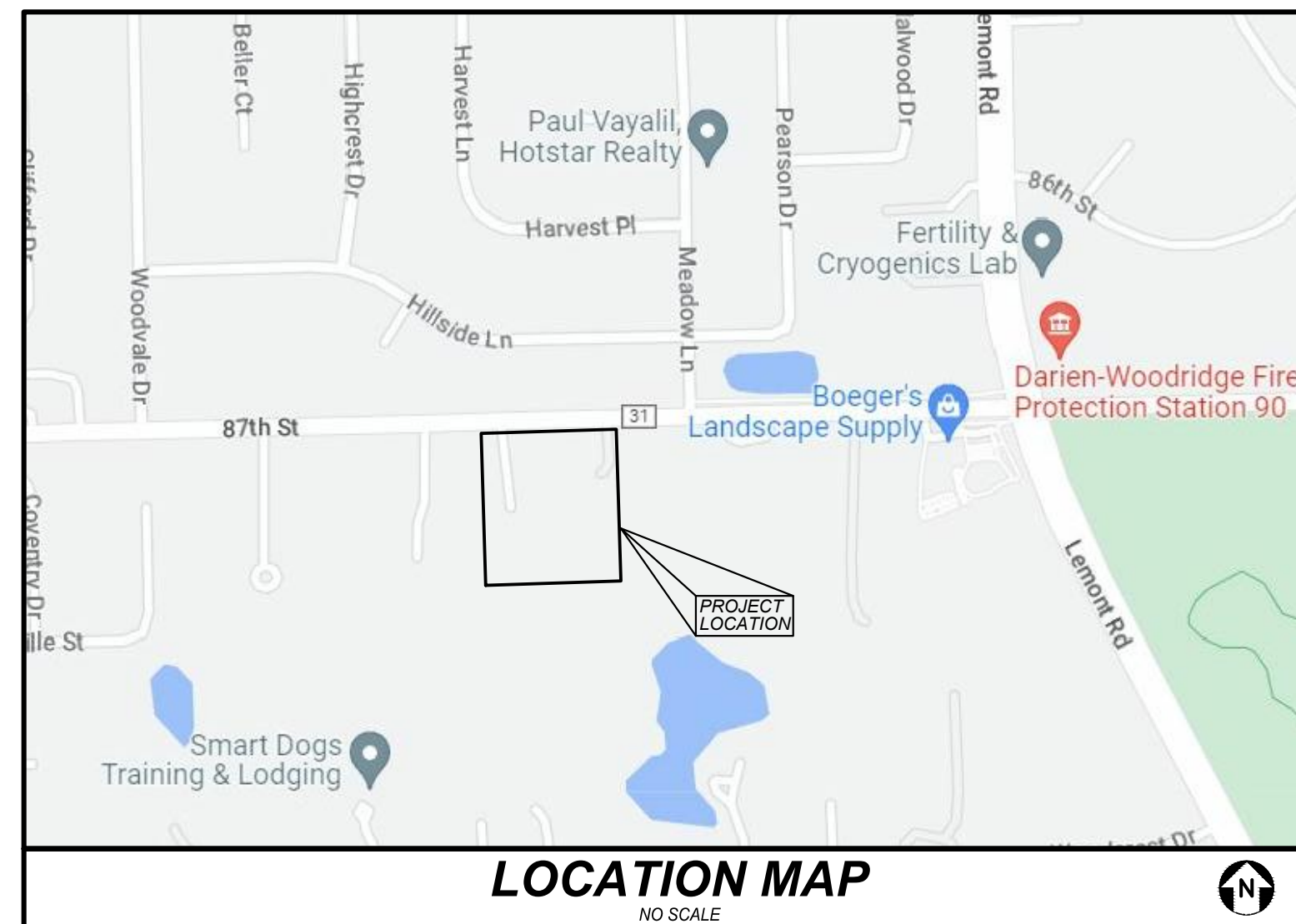
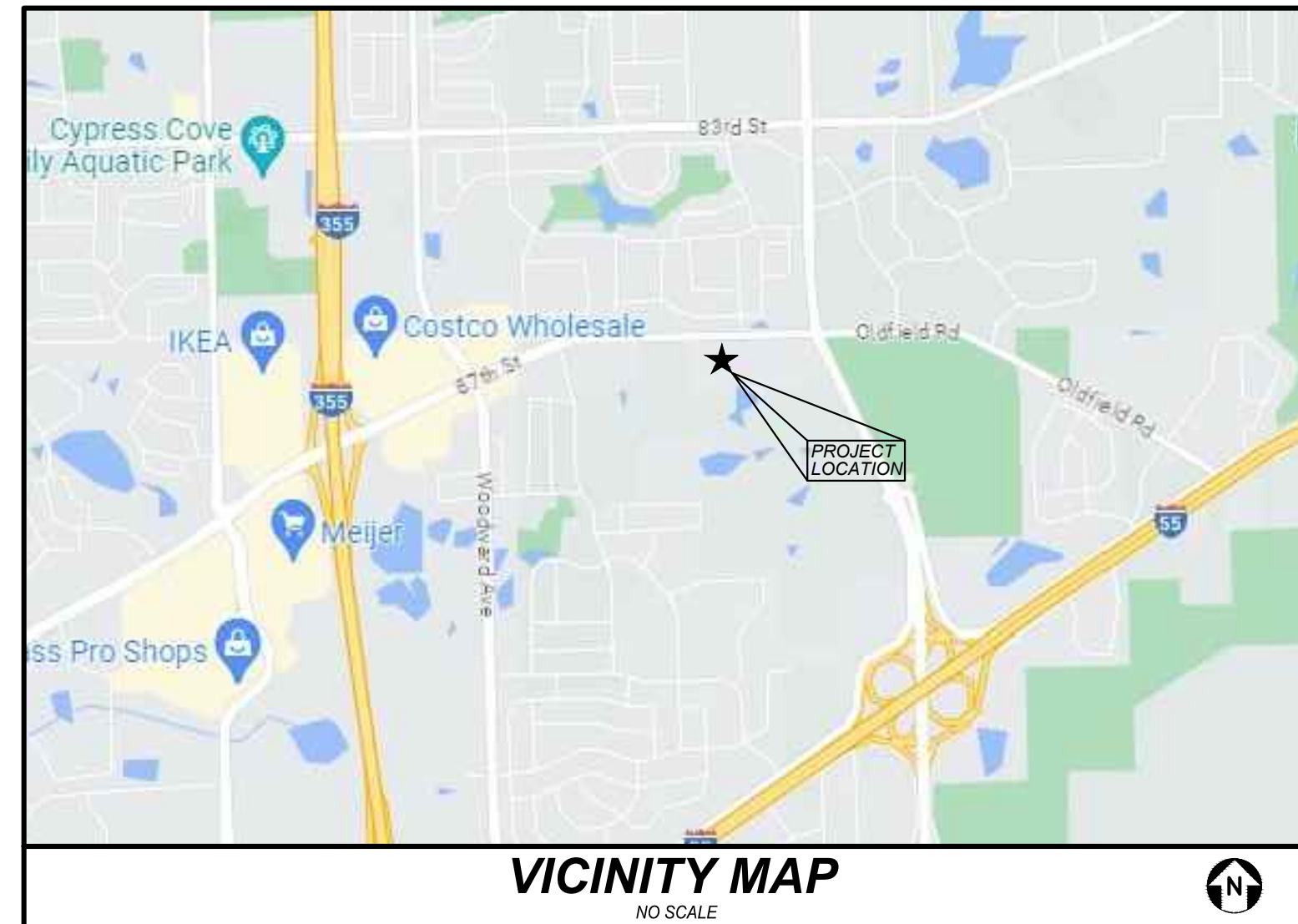
##### ENGINEER

V3 Companies, Ltd.  
7325 Janes Avenue  
Woodridge, Illinois 60517  
630 724 9200  
Project Manager: Steve Kranenborg  
skranenborg@v3co.com  
Project Engineer: Thomas J Kunschke  
tkunschke@v3com.com

#### INDEX

##### CIVIL ENGINEERING PLANS

- 0.0 TITLE SHEET
- 1.1 EXISTING CONDITIONS PLAN - AREA 1
- 1.2 EXISTING CONDITIONS PLAN - AREA 2
- 2.1 PRELIMINARY LAYOUT PLAN - AREA 1
- 2.2 PRELIMINARY LAYOUT PLAN - AREA 2
- 3.1 PRELIMINARY GRADING PLAN - AREA 1
- 3.2 PRELIMINARY GRADING PLAN - AREA 2
- 4.1 PRELIMINARY UTILITY PLAN - AREA 1
- 4.2 PRELIMINARY UTILITY PLAN - AREA 2
- 4.3 PRELIMINARY OFFSITE UTILITY PLAN - AREA 3



#### BENCHMARKS

##### SOURCE:

STATION DESIGNATION: 0213  
ESTABLISHED BY: DUPAGE COUNTY  
DATE: 03/2006

ELEVATION: 756.41 (MEASURED AND RECORD)  
DATUM: NAVD88

DESCRIPTION: FOUND BRASS DISK LOCATED ON CONCRETE BASE OF LIGHT POLE IN SOUTH END OF ISLAND LOCATED AT THE FIRST ENTRANCE OF SHOPPING CENTER ON NORTHWEST SIDE OF 87TH ST. SAID ENTRANCE BEING LOCATED APPROXIMATELY 500' TO THE NORTHEAST OF THE INTERSECTION OF 87TH ST AND WOODWARD AVE.

##### SITE:

BENCHMARK 1  
ESTABLISHED BY: V3 COMPANIES  
DATE: 02/28/2023

ELEVATION: 761.03 (MEASURED)  
DATUM: NAVD88

DESCRIPTION: NORTHERLY TOP FLANGE BOLT OF FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF MEADOW AVE. AND 87TH ST. 7' N. OF E-W WALK AND 7' E. OF N-S WALK.

BENCHMARK 2 V3 CP#101  
ESTABLISHED BY: V3 COMPANIES  
DATE: 02/28/2023

ELEVATION: 770.08 (MEASURED)  
DATUM: NAVD88

DESCRIPTION: SET CUT CROSS IN SIDEWALK ON NORTH SIDE OF BOUGHTON AND 489 FEET WEST OF THE CENTERLINE OF MEADOW AVENUE.

THE ELEVATIONS ABOVE WERE KNOWN TO BE ACCURATE AT THE TIME THEY WERE ESTABLISHED. V3 DOES NOT CERTIFY TO THE ACCURACY THEREAFTER, NOR ASSUMES RESPONSIBILITY FOR THE MIS-USE OR MIS-INTERPRETATION OF THE INFORMATION SHOWN HEREON.

IT IS ADVISED THAT ALL OF THE ABOVE ELEVATIONS BE CHECKED BETWEEN EACH OTHER AND VERIFY A MINIMUM OF 3 SURROUNDING UTILITY RIM ELEVATIONS AND ANY ADJACENT BUILDING FINISHED FLOOR OR TOP OF FOUNDATION ELEVATIONS SHOWN HEREON PRIOR TO USE OR COMMENCEMENT OF ANY CONSTRUCTION OR OTHER WORK.

PERSONS USING THIS INFORMATION ARE TO CONTACT V3 IMMEDIATELY WITH ANY DISCREPANCIES FOUND PRIOR TO THE START OF ANY WORK.

#### REVISIONS

NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

PROJECT NO.: 220945.WG.S03  
 ORIGINAL ISSUE DATE: 05-26-2023  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS

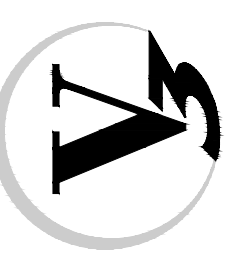
TITLE SHEET

WOODLAND GLEN - DARIEN

ILLINOIS

DARIEN

7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 www.v3co.com



DRAWING NO.  
**0.0**

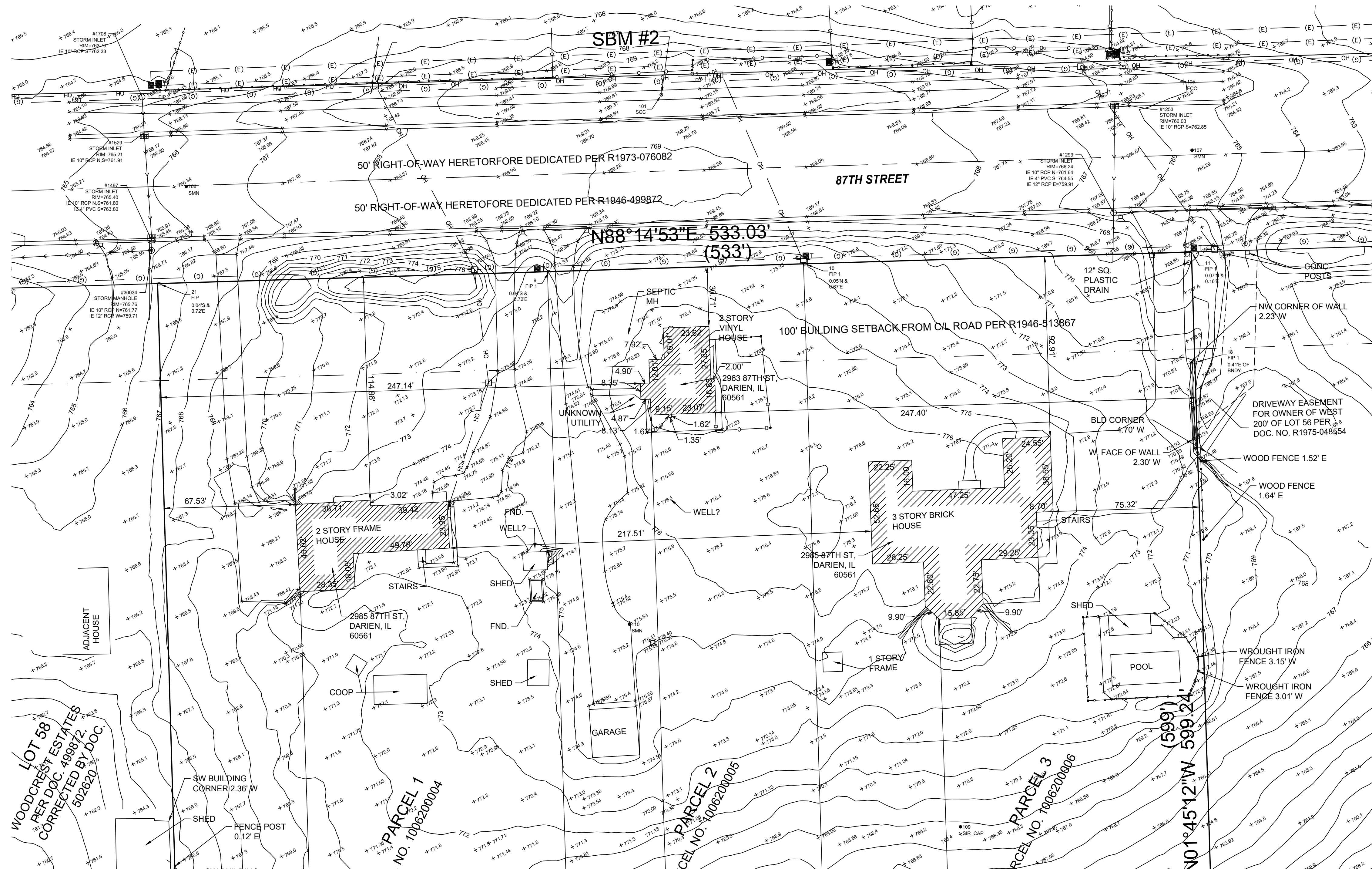
**NOTES:**

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

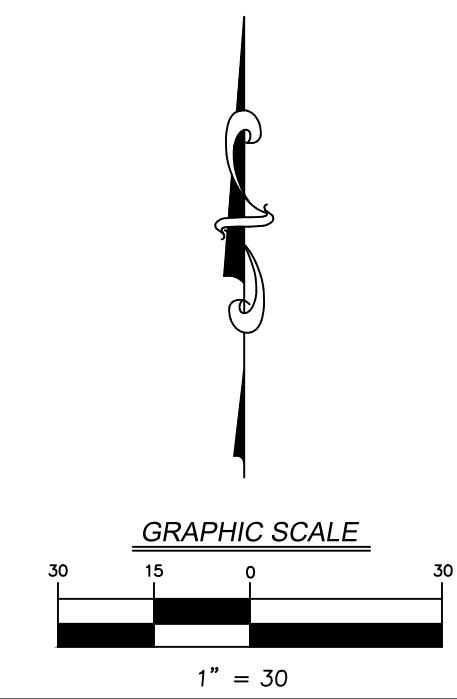
V3 COMPANIES, LTD.  
7325 JANES AVENUE  
WOODRIDGE, IL 60517

COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.



FOR CONTINUATION SEE SHEET 1.2



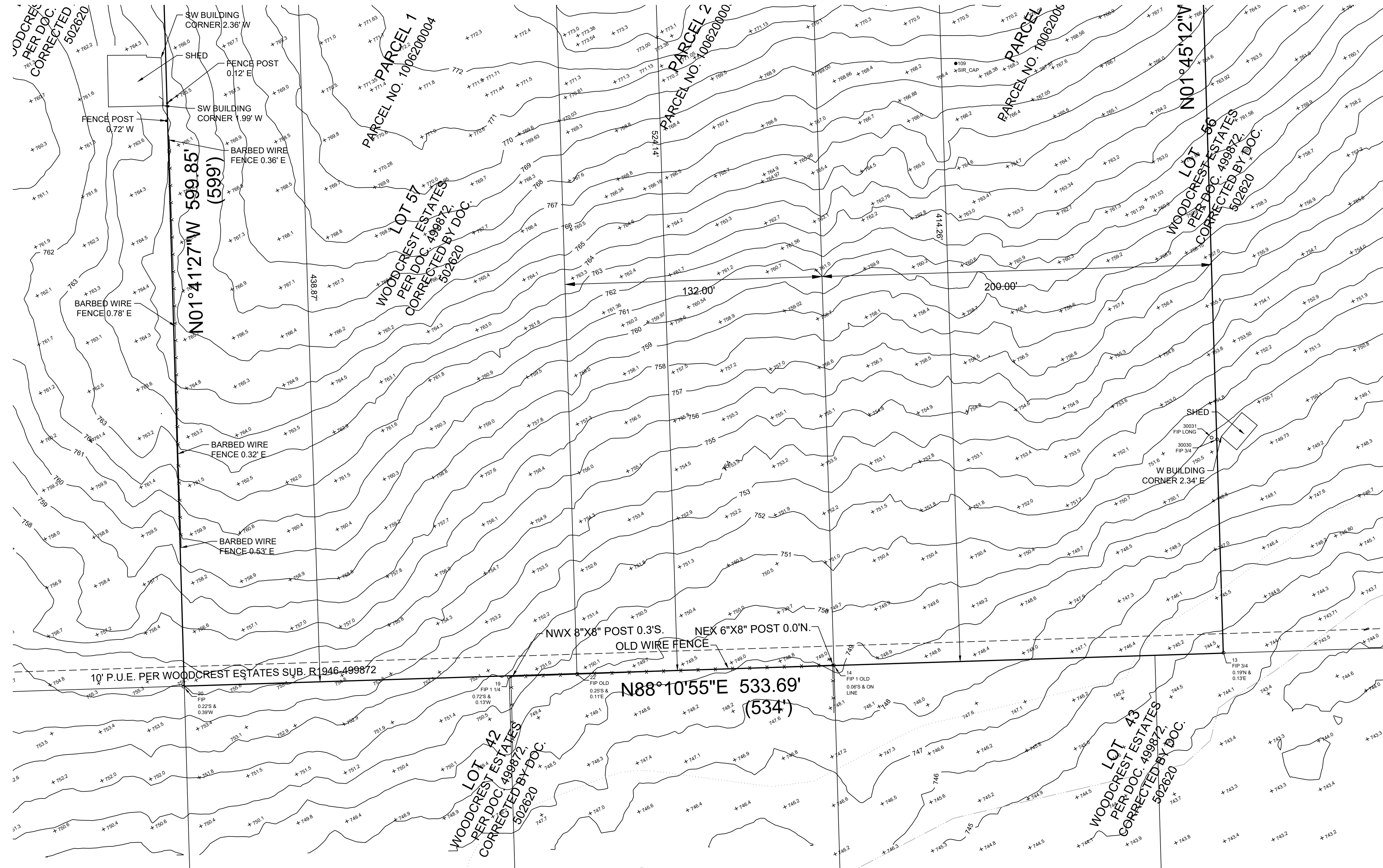
PROJECT NO.: 220945.WG.S03		ORIGINAL ISSUE DATE: 05-26-2023
PROJECT MANAGER: SAK	DESCRIPTION: EXISTING CONDITIONS PLAN - AREA 1	NO.   DATE   DESCRIPTION
DESIGNED BY: TJK	REVISIONS:	1   06-01-23   REVISED PER CLIENT COMMENT
DRAWN BY: NRS		2   07-20-23   REVISED PER CITY REVIEW
ILLINOIS		
DARIEN		
WOODLAND GLEN - DARIEN		
EXISTING CONDITIONS PLAN - AREA 1		
WOODCREST ESTATES CORRECTED BY DOC. 502620		
LOT 58		
WOODRIDGE, IL 60517		
630.724.9200 phone		
www.v3co.com		
DRAWING NO. 1.1		



**NOTES:**

- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:  
  
V3 COMPANIES, LTD.  
7325 JANES AVENUE  
WOODRIDGE, IL 60517
- COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.

FOR CONTINUATION SEE SHEET 1.1



REVISIONS		NO.	DATE	DESCRIPTION
1	06-01-23	REVISOR		REVISED PER CLIENT COMMENT
2	07-20-23	SAK		REVISED PER CITY REVIEW

PROJECT NO.:	220945.WG.S03
PROJECT MANAGER:	SAK
DESIGNED BY:	TJK
DRAWN BY:	NRS

ORIGINAL ISSUE DATE:	05-26-2023
----------------------	------------

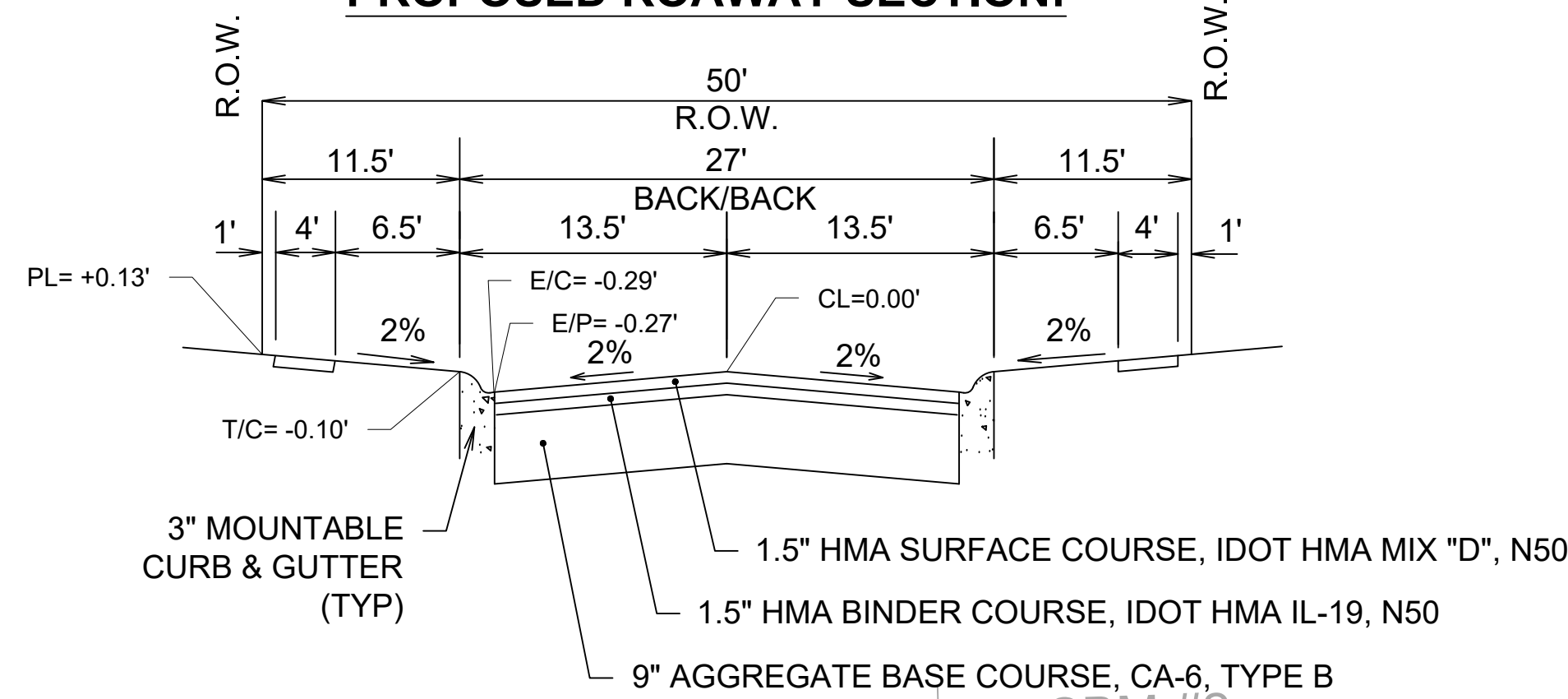
  

EXISTING CONDITIONS PLAN -	
AREA 2	
WOODLAND GLEN - DARIEN	
ILLINOIS	

7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com
DRAWING NO.
1.2

**PROPOSED ROAWAY SECTION:**



LEGEND		DESCRIPTION
---	---	EXISTING
---	---	PROPOSED
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	LIGHT STANDARD

**NOTES:**

- BUILDING DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
- ON-STREET PARKING SHALL BE LIMITED TO ONE SIDE ONLY.
- ALL CURB AND GUTTER SHALL BE M3.12 UNLESS OTHERWISE NOTED.
- SEE PRELIMINARY PLAT OF P.U.D. FOR EASEMENT PROVISIONS.



WOODCREST ESTATES  
PER DOC 499872,  
CORRECTED BY DOC.  
502620

FOR CONTINUATION SEE SHEET 2.2

REVISIONS		NO.	DATE	DESCRIPTION
1	06-01-23	REVIS	PER CLIENT COMMENT	
2	07-20-23	REVIS	PER CITY REVIEW	

PROJECT NO.:	220945.WG.S03
PROJECT MANAGER:	SAK
DESIGNED BY:	TJK
DRAWN BY:	NRS

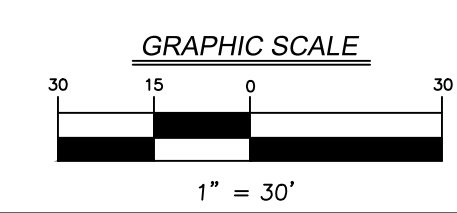
ORIGINAL ISSUE DATE:	05-26-2023
----------------------	------------

PRELIMINARY LAYOUT PLAN - AREA 1	
WOODLAND GLEN - DARIEN	
DARIEN ILLINOIS	

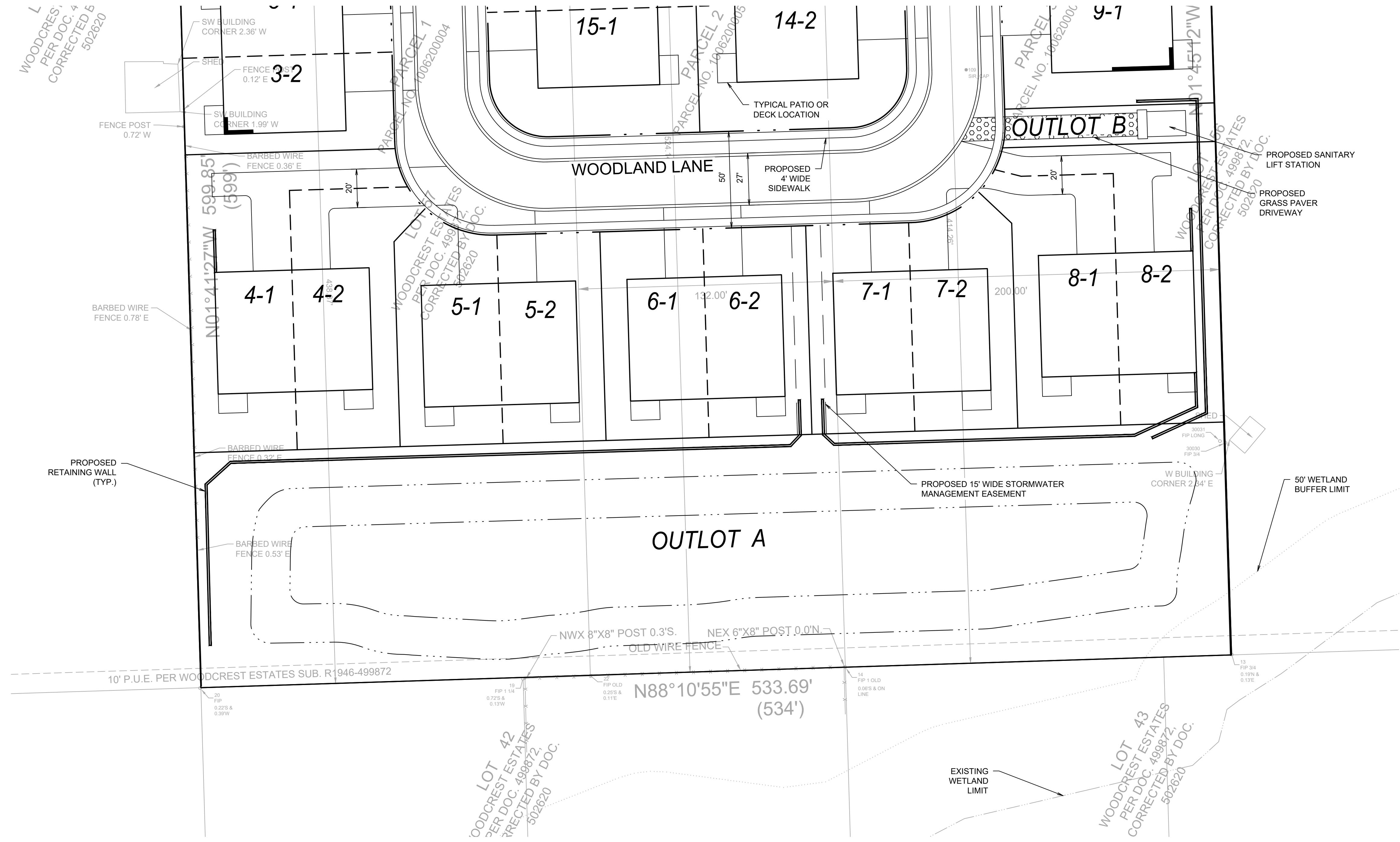
7325 James Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com	
DRAWING NO.	2.1



EXISTING	PROPOSED	DESCRIPTION
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		FENCE LINE
		CENTERLINE
		CURB & GUTTER
		DEPRESSED CURB & GUTTER
		LIGHT STANDARD

- NOTES:**
- BUILDING DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
  - ON-STREET PARKING SHALL BE LIMITED TO ONE SIDE ONLY.
  - ALL CURB AND GUTTER SHALL BE M3.12 UNLESS OTHERWISE NOTED.
  - SEE PRELIMINARY PLAT OF P.U.D. FOR EASEMENT PROVISIONS.

FOR CONTINUATION SEE SHEET 2.1



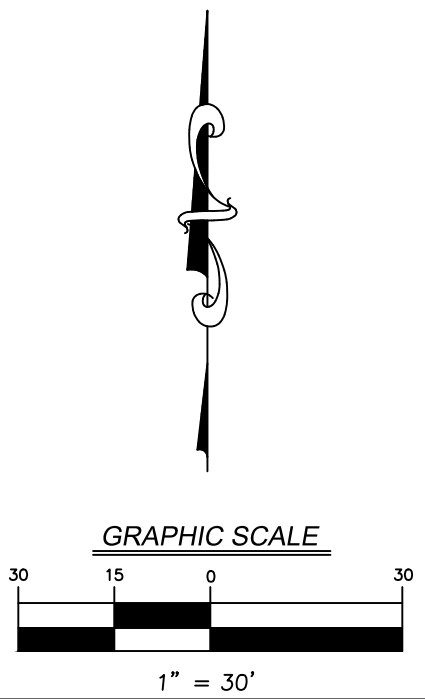
REVISIONS	
NO.	DESCRIPTION
1	REVISED PER CLIENT COMMENT
2	REVISED PER CITY REVIEW

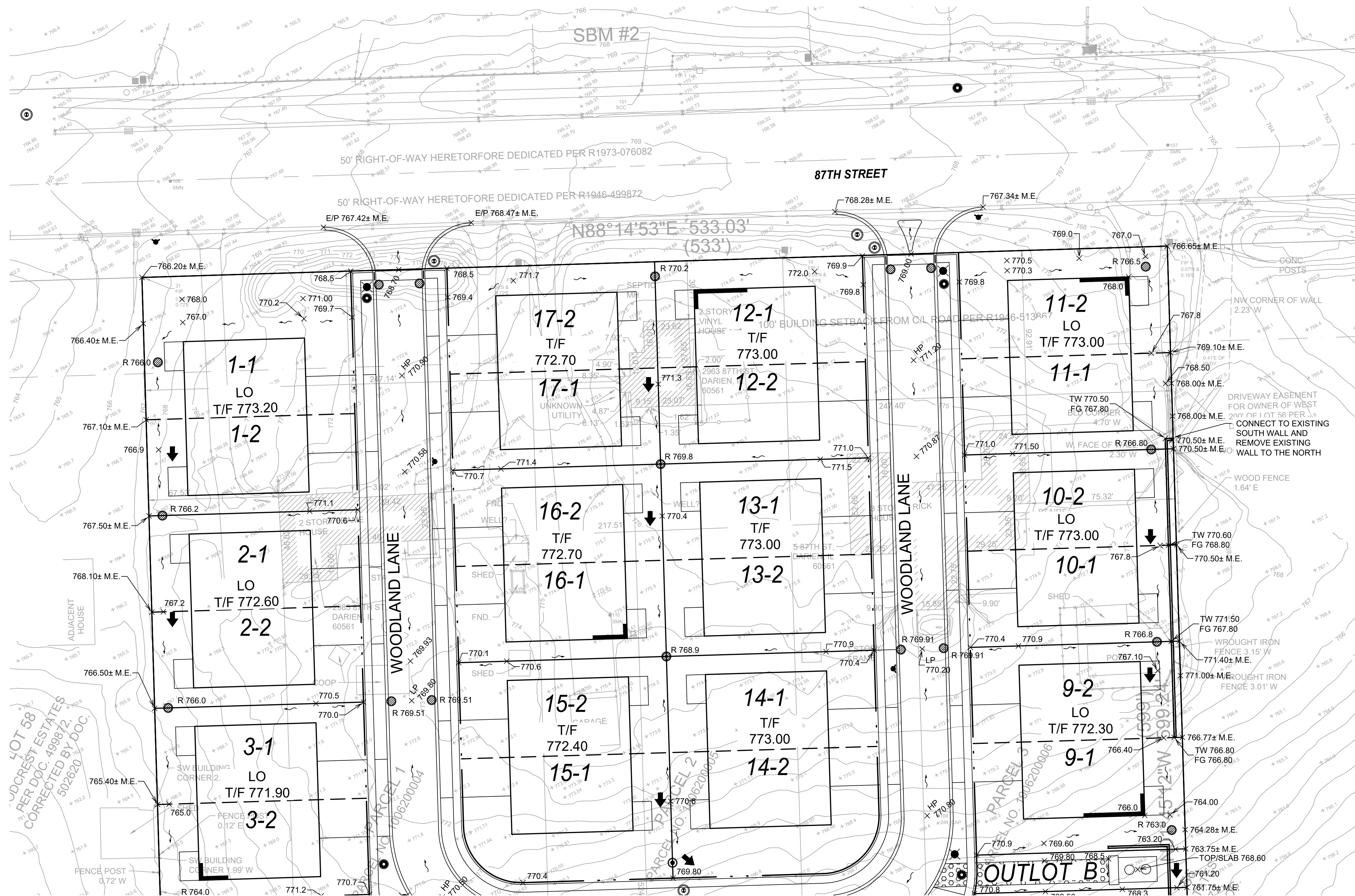
PROJECT NO.:	220945.WG.S03
PROJECT MANAGER:	SAK
DESIGNED BY:	TJK
DRAWN BY:	NRS

PRELIMINARY LAYOUT PLAN -  
**AREA 2**  
 WOODLAND GLEN - DARIEN  
 ILLINOIS

7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.8200 phone  
 www.v3co.com

DRAWING NO.  
**2.2**

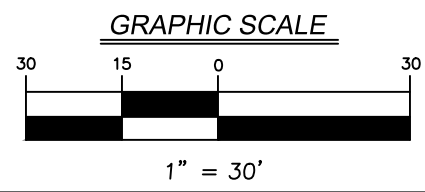




- NOTES:**
1. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
  2. "R" INDICATES RIM ELEVATION OF ALL STRUCTURES LOCATED OUTSIDE THE CURB LINE. FOR STRUCTURES LOCATED WITHIN THE CURB LINE, "R" INDICATES TOP OF CURB ELEVATION.
  3. SPOT ELEVATIONS ALONG CURBS REFLECTS TOP OF CURB (T/C) ELEVATIONS.
  4. ALL PROPOSED SIDEWALK SLOPES TO BE CONSTRUCTED TO MEET LOCAL AND STATE ACCESSIBILITY REQUIREMENTS.

FOR CONTINUATION SEE SHEET 3.2

<p>PROJECT NO.: 220945.WG.S03          PROJECT MANAGER: SAK          DESIGNED BY: TJK          DRAWN BY: NRS</p>		<p>ORIGINAL ISSUE DATE: 05-26-2023</p>
<p>PRELIMINARY GRADING PLAN -          AREA 1          WOODLAND GLEN - DARIEN          ILLINOIS</p>		<p>NO.   DATE   DESCRIPTION</p> <p>1   06-01-23   REVISED PER CLIENT COMMENT</p> <p>2   07-20-23   REVISED PER CITY REVIEW</p>
<p>7325 Janes Avenue          Woodridge, IL 60517          630.724.9200 phone          www.v3co.com</p>		<p>DRAWING NO.  <b>3.1</b></p>

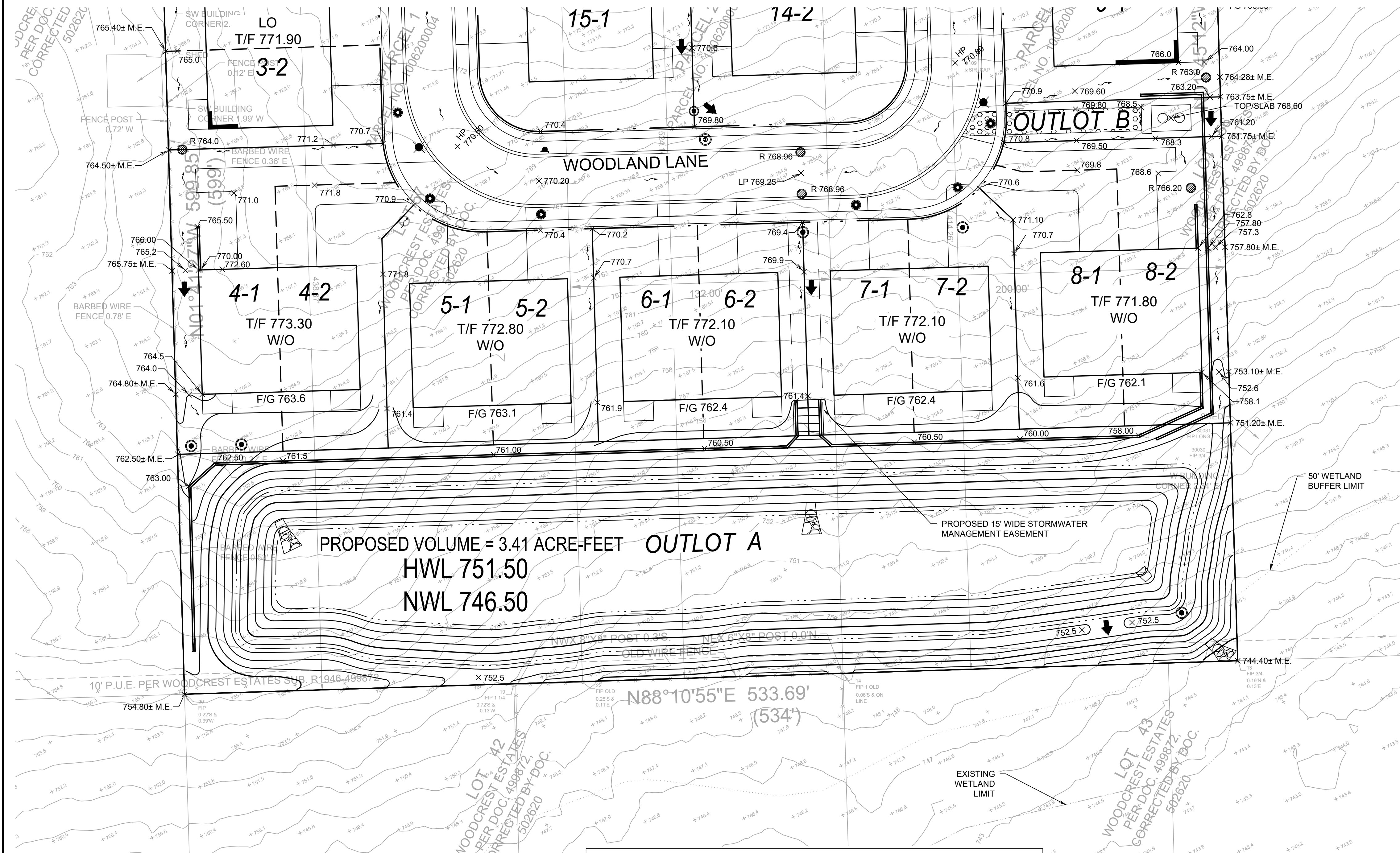


FOR CONTINUATION SEE SHEET 3.1

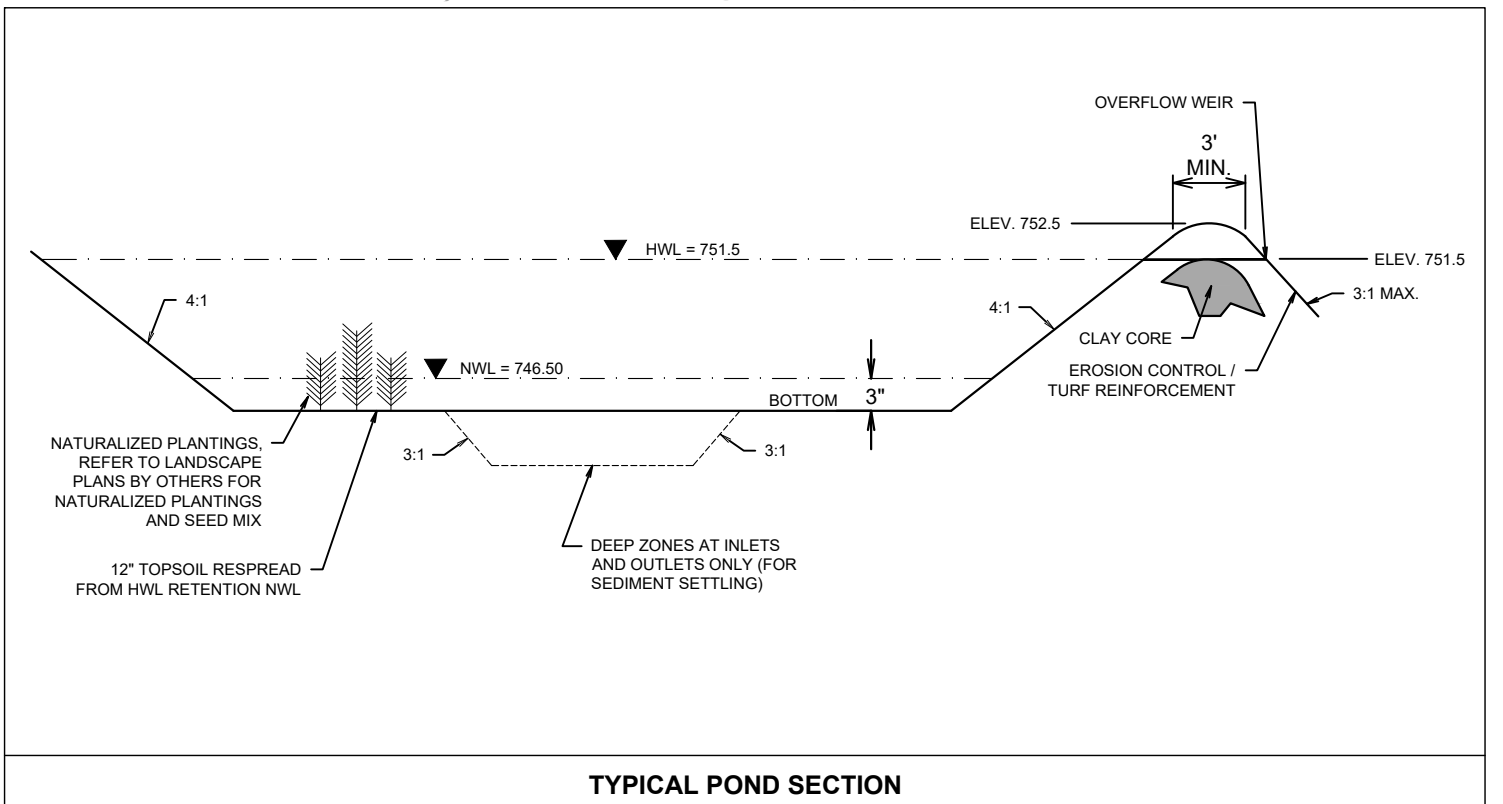
**NOTES:**

1. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
2. "R" INDICATES RIM ELEVATION OF ALL STRUCTURES LOCATED OUTSIDE THE CURB LINE. FOR STRUCTURES LOCATED WITHIN THE CURB LINE, "R" INDICATES TOP OF CURB ELEVATION.
3. SPOT ELEVATIONS ALONG CURBS REFLECTS TOP OF CURB (T/C) ELEVATIONS.
4. ALL PROPOSED SIDEWALK SLOPES TO BE CONSTRUCTED TO MEET LOCAL AND STATE ACCESSIBILITY REQUIREMENTS.

LEGEND		DESCRIPTION
	EXISTING	RIGHT-OF-WAY LINE
	PROPOSED	PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		FENCE LINE
		CENTERLINE
		CURB & GUTTER
		DEPRESSED CURB & GUTTER
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		LIGHT STANDARD
		CONTOUR
		SPOT ELEVATION
		STORMWATER FLOW DIRECTION
		STORMWATER OVERFLOW ROUTE

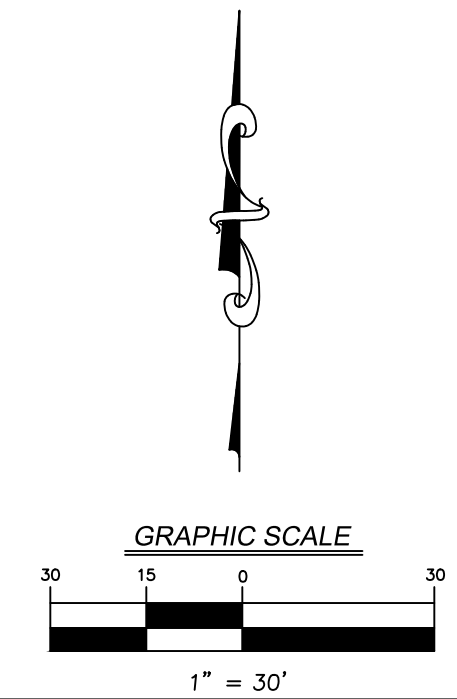


PROPOSED VOLUME = 3.41 ACRE-FEET  
 HWL 751.50  
 NWL 746.50



**NOTES:**

1. THE DETENTION BASIN AND ADJACENT EMBANKMENT AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT AND SPECIFICATIONS HEREIN.
2. THE CLAY CORE SHALL BE CONSTRUCTED AS REQUIRED BY THE SOILS CONSULTANT. THE MATERIAL MUST BE IDENTIFIED AND SAMPLED PRIOR TO BEGINNING WORK.
3. A PROFESSIONAL ENGINEER FROM A QUALIFIED SOILS CONSULTANT MUST BE PRESENT DURING THE CONSTRUCTION OF THIS EMBANKMENT. A STRUCTURAL ENGINEER MUST CERTIFY THE STRUCTURE UPON COMPLETION.
4. DIMENSIONS AND SIZE OF THE CLAY CORE, INCLUDING KEY (IF NECESSARY), SHALL BE PROVIDED BY THE SOILS CONSULTANT PRIOR TO START OF CONSTRUCTION.
5. EMBANKMENT FILL SHALL CONSIST OF COHESIVE SOIL.
6. COMPACTION OF THE EMBANKMENT SHALL BE CONSTRUCTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D 1557) AND SHALL BE PLACED IN APPROXIMATE 8 INCH LIFTS.



REVISIONS		DESCRIPTION
NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

PROJECT NO.: 220945.WG.S03  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS

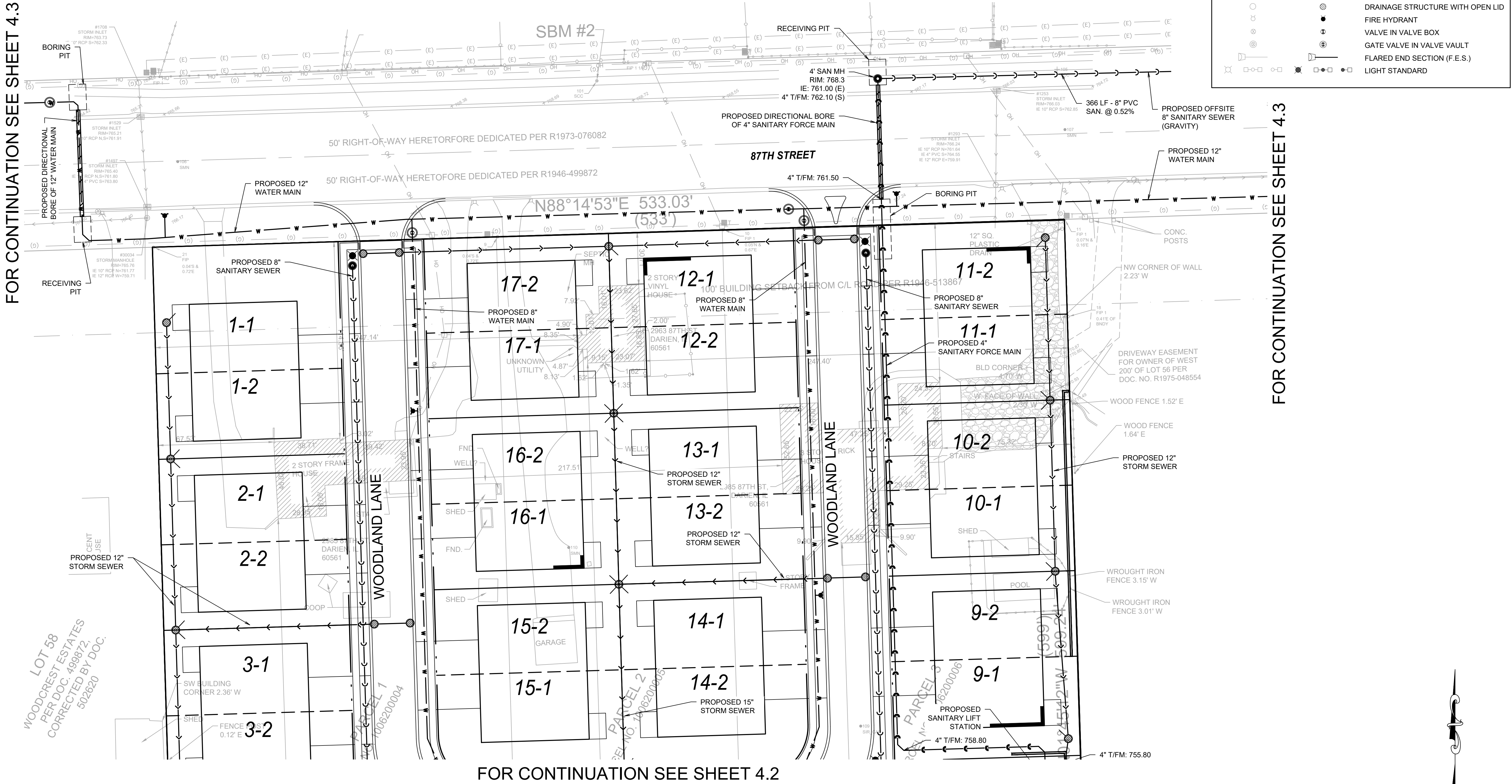
PRELIMINARY GRADING PLAN -  
 AREA 2  
 WOODLAND GLEN - DARIEN  
 ILLINOIS  
 DARIEN

7325 James Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 www.v3co.com

DRAWING NO.  
**3.2**

FOR CONTINUATION SEE SHEET 4.3

WOODCREST ESTATES  
PER DOC. 499872,  
CORRECTED BY DOC.  
502820



**NOTES:**

1. ALL SANITARY SEWER MAIN TO BE 8" PVC UNLESS OTHERWISE NOTED.
2. ALL WATER MAIN TO BE 8" DUCTILE IRON UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 6" DUCTILE IRON UNLESS OTHERWISE NOTED.
3. WATER SERVICE LINES TO BE MINIMUM 1.5" TYPE K, COPPER AND SHALL TERMINATE AT A SHUTOFF VALVE AND BOX TO BE LOCATED IN THE PARKWAY.
4. ALL STORM SEWER TO BE 12" UNLESS OTHERWISE NOTED.
5. THE SUMP DRAINS FOR BUILDINGS 1-3, AND 9-17 SHALL BE CONNECTED TO THE STORM SEWER. BUILDINGS 4-8 SHALL DAYLIGHT TO THE DETENTION BASIN.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	SANITARY SEWER
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	UTILITY STRUCTURE WITH CLOSED LID
---	---	CURB INLET
---	---	DRAINAGE STRUCTURE WITH OPEN LID
---	---	FIRE HYDRANT
---	---	VALVE IN VALVE BOX
---	---	GATE VALVE IN VALVE VAULT
---	---	FLARED END SECTION (F.E.S.)
---	---	LIGHT STANDARD

FOR CONTINUATION SEE SHEET 4.3

FOR CONTINUATION SEE SHEET 4.2

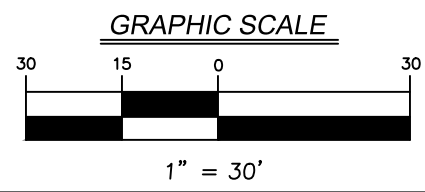
NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

PROJECT NO.: 220945.WG 503  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS

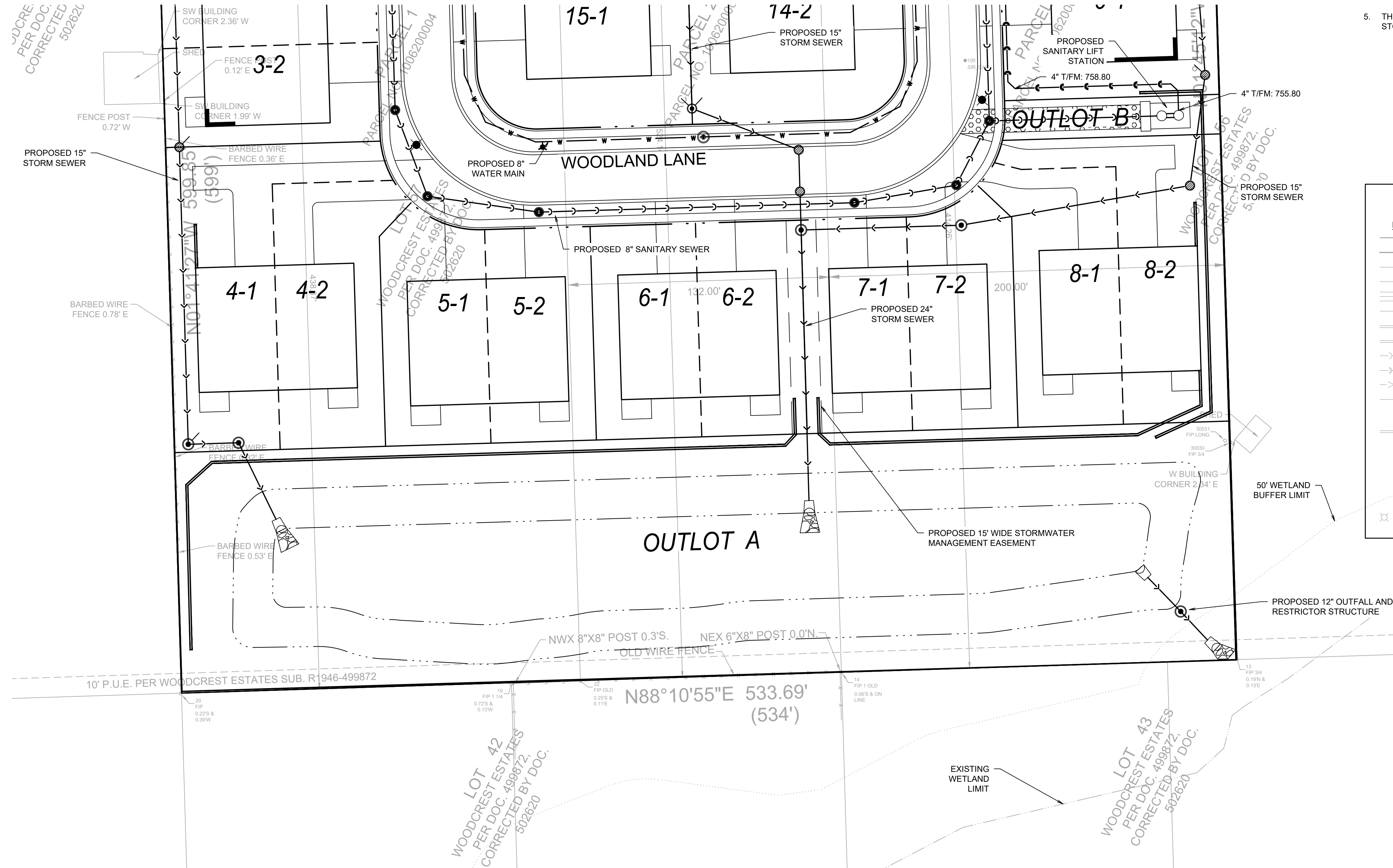
PRELIMINARY UTILITY PLAN -  
 AREA 1  
 WOODLAND GLEN - DARIEN

7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 www.v3co.com

DRAWING NO.  
**4.1**



FOR CONTINUATION SEE SHEET 4.1



EXISTING	PROPOSED	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	SANITARY SEWER
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	UTILITY STRUCTURE WITH CLOSED LID
---	---	CURB INLET
---	---	DRAINAGE STRUCTURE WITH OPEN LID
---	---	FIRE HYDRANT
---	---	VALVE IN VALVE BOX
---	---	GATE VALVE IN VALVE VAULT
---	---	FLARED END SECTION (F.E.S.)
---	---	LIGHT STANDARD

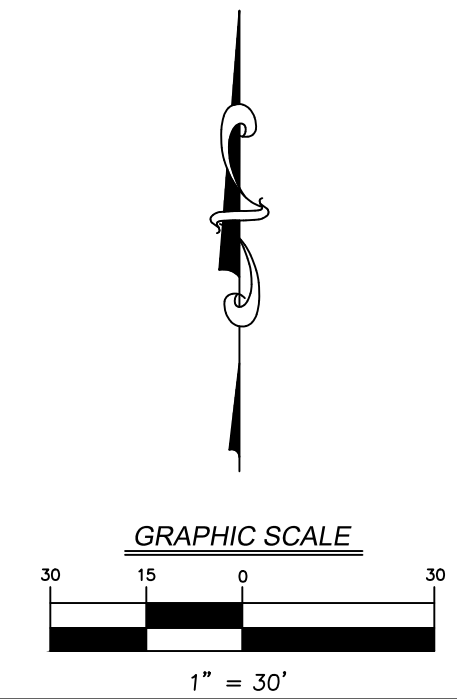
- NOTES:**
1. ALL SANITARY SEWER MAIN TO BE 8" PVC UNLESS OTHERWISE NOTED.
  2. ALL WATER MAIN TO BE 8" DUCTILE IRON UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 6" DUCTILE IRON UNLESS OTHERWISE NOTED.
  3. WATER SERVICE LINES TO BE MINIMUM 1.5" TYPE K, COPPER AND SHALL TERMINATE AT A SHUTOFF VALVE AND BOX TO BE LOCATED IN THE PARKWAY.
  4. ALL STORM SEWER TO BE 12" UNLESS OTHERWISE NOTED.
  5. THE SUMP DRAINS FOR BUILDINGS 1-3, AND 9-17 SHALL BE CONNECTED TO THE STORM SEWER. BUILDINGS 4-8 SHALL DAYLIGHT TO THE DETENTION BASIN.

REVISIONS	
NO.	DATE
1	06-01-23
2	07-20-23

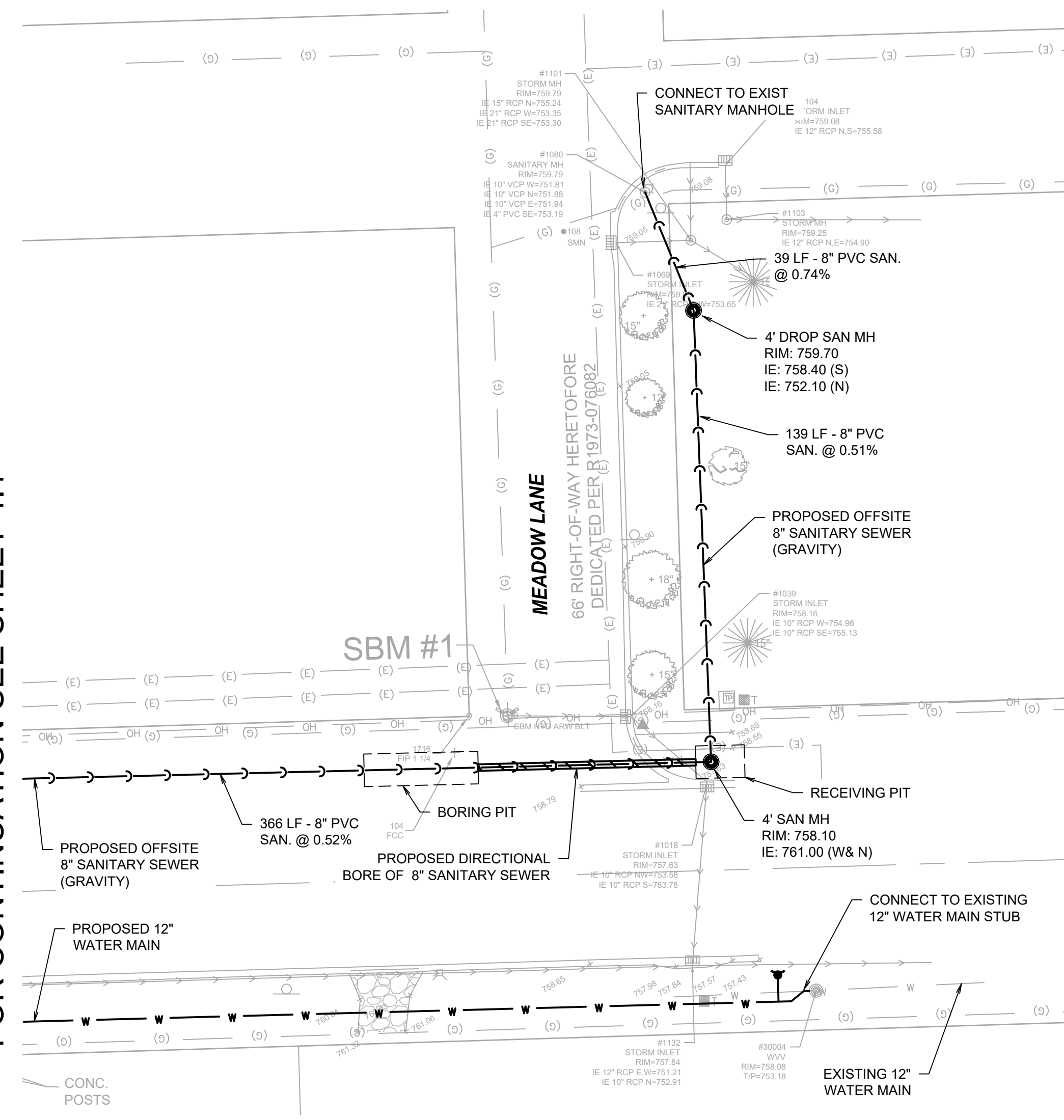
PRELIMINARY UTILITY PLAN -  
**AREA 2**  
 WOODLAND GLEN - DARIEN  
 ILLINOIS

7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 www.v3co.com

DRAWING NO.  
**4.2**

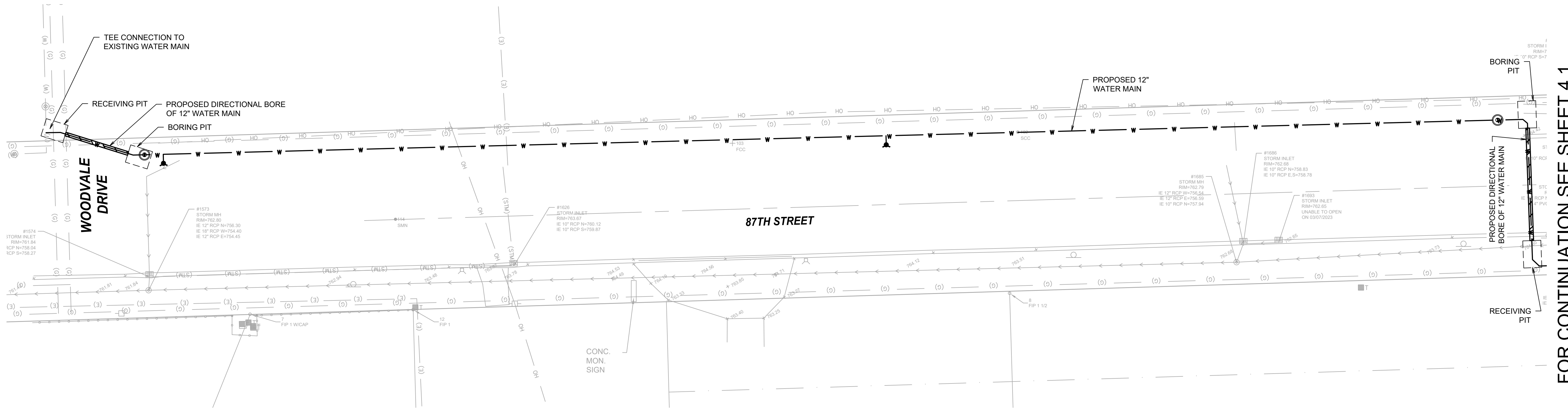
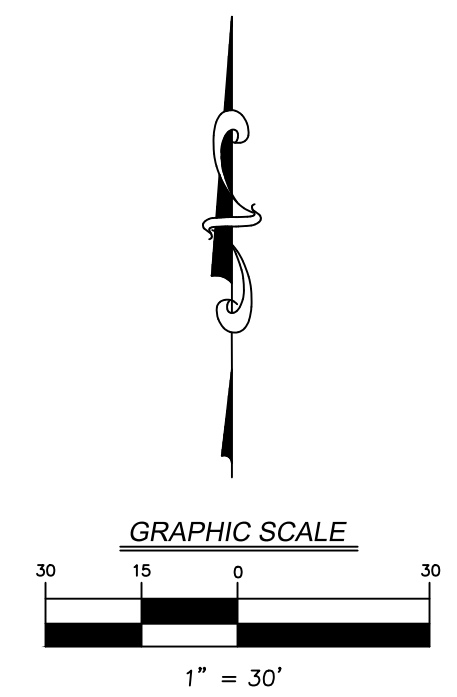


FOR CONTINUATION SEE SHEET 4.1



LEGEND		DESCRIPTION
	EXISTING	RIGHT-OF-WAY LINE
	PROPOSED	RIGHT-OF-WAY LINE
	EXISTING	PROPERTY LINE (EXTERIOR)
	PROPOSED	PROPERTY LINE (EXTERIOR)
	EXISTING	LOT LINE (INTERIOR)
	PROPOSED	LOT LINE (INTERIOR)
	EXISTING	EASEMENT LINE
	PROPOSED	EASEMENT LINE
	EXISTING	FENCE LINE
	PROPOSED	FENCE LINE
	EXISTING	CENTERLINE
	PROPOSED	CENTERLINE
	EXISTING	CURB & GUTTER
	PROPOSED	CURB & GUTTER
	EXISTING	DEPRESSED CURB & GUTTER
	PROPOSED	DEPRESSED CURB & GUTTER
	EXISTING	SANITARY SEWER
	PROPOSED	SANITARY SEWER
	EXISTING	SANITARY FORCE MAIN
	PROPOSED	SANITARY FORCE MAIN
	EXISTING	STORM SEWER
	PROPOSED	STORM SEWER
	EXISTING	WATER MAIN
	PROPOSED	WATER MAIN
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		LIGHT STANDARD

- NOTES:**
- ALL SANITARY SEWER MAIN TO BE 8" PVC UNLESS OTHERWISE NOTED.
  - ALL WATER MAIN TO BE 8" DUCTILE IRON UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 6" DUCTILE IRON UNLESS OTHERWISE NOTED.
  - WATER SERVICE LINES TO BE MINIMUM 1.5" TYPE K, COPPER AND SHALL TERMINATE AT A SHUTOFF VALVE AND BOX TO BE LOCATED IN THE PARKWAY.
  - ALL STORM SEWER TO BE 12" UNLESS OTHERWISE NOTED.
  - THE SUMP DRAINS FOR BUILDINGS 1-3, AND 9-17 SHALL BE CONNECTED TO THE STORM SEWER. BUILDINGS 4-8 SHALL DAYLIGHT TO THE DETENTION BASIN.



FOR CONTINUATION SEE SHEET 4.1

REVISIONS		DESCRIPTION
NO.	DATE	DESCRIPTION
1	06-01-23	REVISED PER CLIENT COMMENT
2	07-20-23	REVISED PER CITY REVIEW

PROJECT NO.: 220945.WG.S03  
 PROJECT MANAGER: SAK  
 DESIGNED BY: TJK  
 DRAWN BY: NRS

**PRELIMINARY OFFSITE UTILITY PLAN - AREA 3**  
**WOODLAND GLEN - DARIEN**  
 ILLINOIS

7325 Janes Avenue  
 Woodridge, IL 60517  
 630.724.8200 phone  
 www.v3co.com

DRAWING NO.  
**4.3**

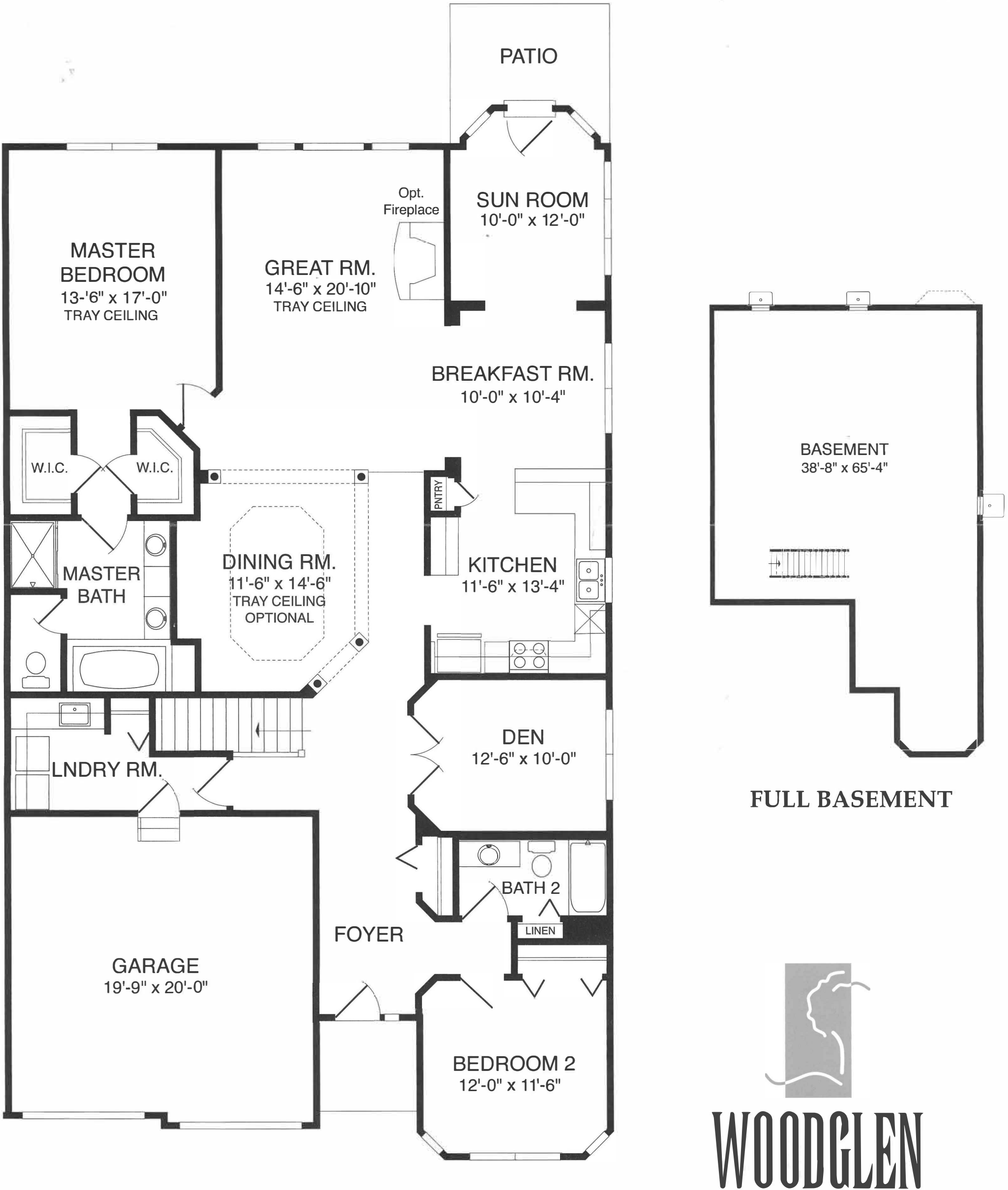




# THE BERKSHIRE

2,200 Sq. Ft.

A luxurious single level ranch home featuring 2 bedrooms plus den and corner sun room with french door to exterior patio or deck • 2 full baths • nine-foot ceilings spacious great room with tray ceiling • formal dining room with elegant columns and tray ceiling • gourmet kitchen including peninsula breakfast bar open to bright breakfast room • master bedroom suite with tray ceiling, 2 walk-in closets and luxurious master bath • large 1st floor laundry room with closet • 2-car garage • full basement • exterior patio or deck







## TECHNICAL MEMORANDUM

---

**DATE:** May 24, 2023

**TO:** Don Stevens, Woodland Glen Development, LLC

**FROM:** Peter Reinhofer, P.E., V3 Companies

**RE:** **Proposed Multifamily Residential Technical Memorandum**  
**87<sup>th</sup> Street Parcels, Darien Illinois**

---

V3 Companies has been retained by Woodland Glen Development, LLC to conduct a trip generation study for a proposed multifamily residential development located on currently-developed land west of the intersection of Lemont Road and Meadow Lane in Darien, Illinois. The site currently consists of three single family homes while the proposed redevelopment consists of 17 duplex buildings with a total of 34 dwelling units. Access to the site will be provided by two proposed driveways on 87<sup>th</sup> Street, a full access driveway and a right in/right out driveway. A site location map and conceptual site plan are attached.

The purpose of this Technical Memorandum is to evaluate the potential traffic impacts of the proposed multifamily residential redevelopment. This Technical Memorandum will evaluate the existing conditions around the site and estimate the number of vehicle trips generated by the proposed redevelopment.

### Project Conditions

*87<sup>th</sup> Street* is an east-west roadway that is classified as a minor arterial and provides two travel lanes in each direction separated by a striped median that provides left turn access to local streets and residential driveways. 87<sup>th</sup> Street has a sidewalk along the north side of the roadway, a posted speed limit of 40 mph, and is under DuPage County jurisdiction.

*Meadow Lane* is north-south local street east of the site with one travel lane in each direction. The posted speed limit on Meadow Lane is 25 mph and is under Village jurisdiction.

*Lemont Road* is a north-south roadway that is classified as a minor arterial with two travel lanes in each direction. Lemont Road has a posted speed limit of 40 mph and is under DuPage County jurisdiction.

The intersection of 87<sup>th</sup> Street and Meadow Lane is unsignalized with stop control along the southbound approach of Meadow Lane. The eastbound approach provides one left turn lane and two through lanes while the westbound approach provides one through lane and one shared through/right turn lane. The southbound approach provides one shared left turn/right turn lane.

The intersection of 87<sup>th</sup> Street and Lemont Road is a signalized intersection. The northbound and southbound approaches of Lemont Road consist of one left turn lane, one through lane, and one shared through/right turn lane. The eastbound approach provides one left turn lane and one shared through/right turn lane while the

westbound approach provides one left turn lane, one through lane, and one right turn lane. There is a marked crosswalk along the west side of the intersection with sidewalk approaches and pedestrian signals.

The existing intersection lane configurations are included in the Exhibits.

### Proposed Vehicle Trip Generation

The proposed residential redevelopment consists of a residential complex of up to 34 dwelling units. Project traffic is estimated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. The following land use categories are used to determine project traffic:

Single-Family Attached Housing (ITE Land Use Code 215) – Single-family attached housing includes any single-family housing unit that shares a wall with an adjoining dwelling unit, whether the walls are for living space, a vehicle garage, or storage space. The database for this land use includes duplexes (defined as a single structure with two distinct dwelling units, typically joined side-by-side and each with at least one outside entrance) and townhouses/rowhouses (defined as a single structure with three or more distinct dwelling units, joined side-by-side in a row and each with an outside entrance).

The *Trip Generation Manual, 11th Edition* estimates trip generation for each land use based on a peak period and an independent variable. In this case, the applicable variable is dwelling units for multi-family housing. The weekday am and weekday pm peak hour trip generation is calculated using either the average rate or fitted curve equation when available. The am and pm peak hour trip generation equations are selected for weekday, peak hour of adjacent street traffic for one hour from 7:00 am to 9:00 am and 4:00 pm to 6:00 pm.

A summary of trip generation for the proposed development is provided in Table 1.

**Table 1: Trip Generation**

LUC	LAND USE	SIZE	Weekday AM Peak			Weekday PM Peak		
			In	Out	Total	In	Out	Total
215	Single-Family Attached Housing	34 Dwelling Unit	3	9	12	10	6	16

It should be noted that the three existing single-family homes also generate vehicle trips access 87<sup>th</sup> Street from the three residential driveways. The three homes generate three vehicle trips during the weekday am peak hour and four vehicle trips during the weekday pm peak hour. This results in the proposed redevelopment only adding nine trips and twelve trips during the weekday am peak hour and weekday pm peak hour, respectively.

### Access Evaluation

The proposed development will be accessed through one full access driveway and one right in/right out driveway on 87<sup>th</sup> Street. It is our understanding that there are no other known planned roadway improvements or developments that will impact the existing traffic patterns in the study area. Based on the redevelopment

only adding nine and twelve vehicle trips during the weekday peak hours and 87<sup>th</sup> Street providing a two-way left turn lane at the full access driveway, it is anticipated that this redevelopment will have minimal traffic impact on the local roadway network.

### **Conclusion**

The purpose of this study is to evaluate the traffic generated by a proposed redevelopment of three existing single-family homes that are proposed to be developed with 17 duplex buildings with a total of 34 dwelling units. The site is located on 87<sup>th</sup> Street west of Meadow Lane. Access to the site will be provided by two proposed driveways on 87<sup>th</sup> Street, a full access driveway and a right in/right out driveway. 87<sup>th</sup> Street at the full access driveway includes a two-way left turn lane so left turn access is provided.

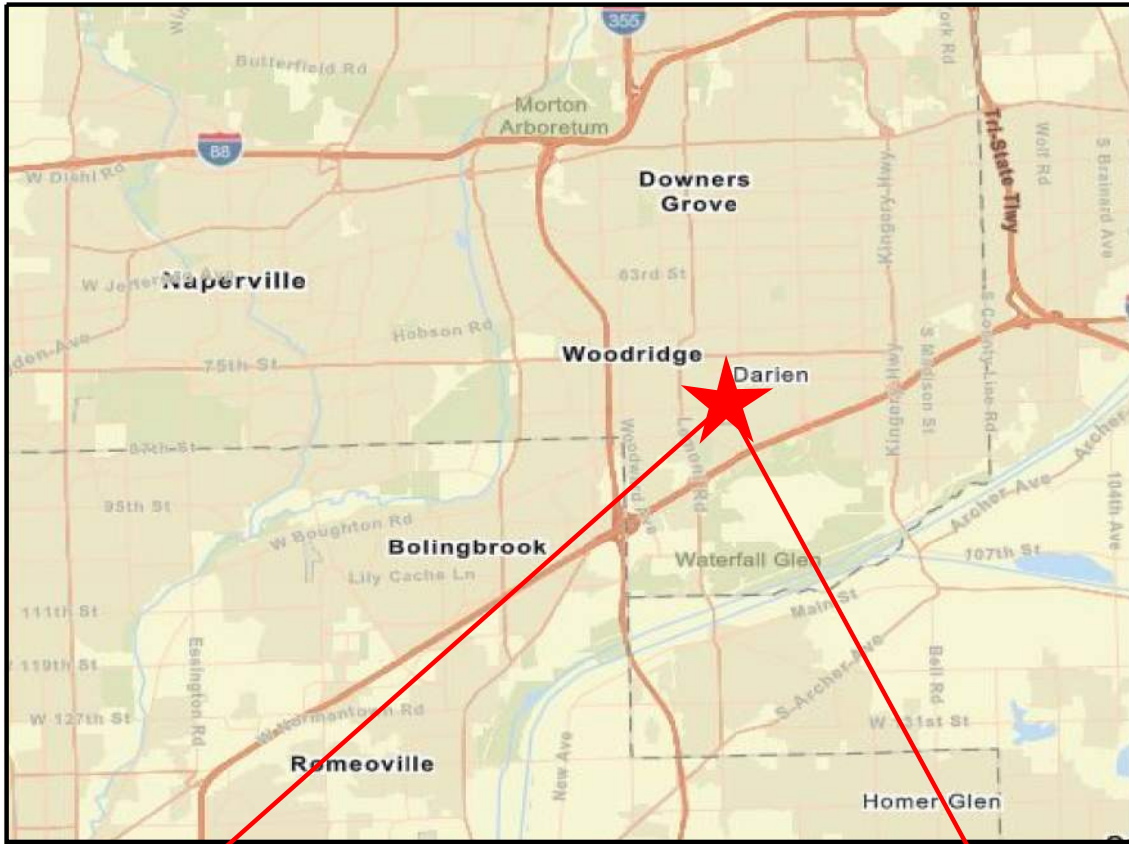
A trip generation evaluation was conducted, and based on the amount of vehicle trips generated by the proposed redevelopment, it is our professional opinion that the new traffic generated by the site will have minimal impact to the roadway network.

### **Exhibits**

Site Location Map

Conceptual Site Plan

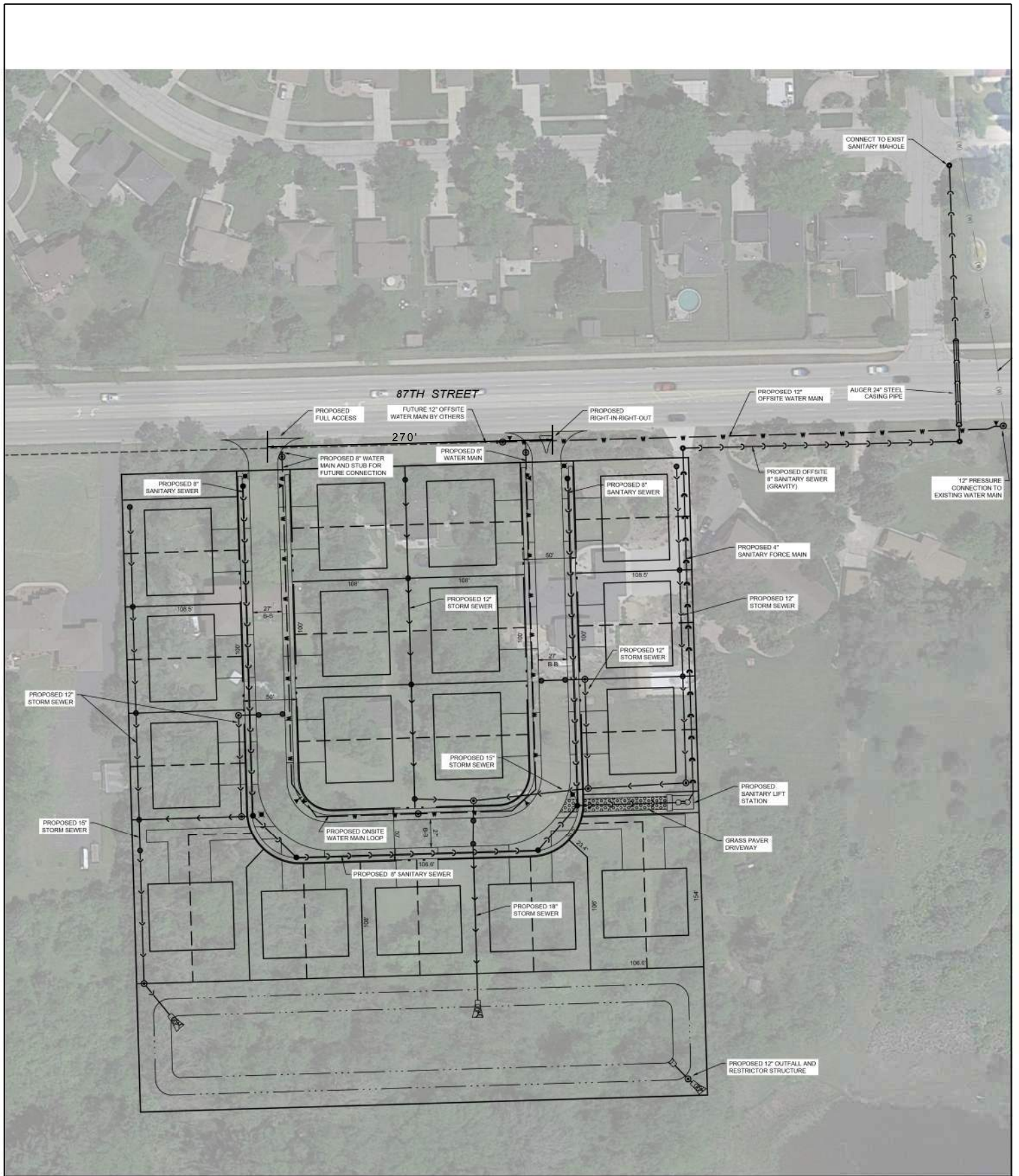
Existing Lane Configuration



**MULTIFAMILY RESIDENTIAL  
DEVELOPMENT**

**FIGURE 1  
SITE LOCATION MAP**





NOT TO SCALE

# MULTIFAMILY RESIDENTIAL DEVELOPMENT

# FIGURE 2 CONCEPTUAL SITE PLAN

DARIEN

ILLINOIS

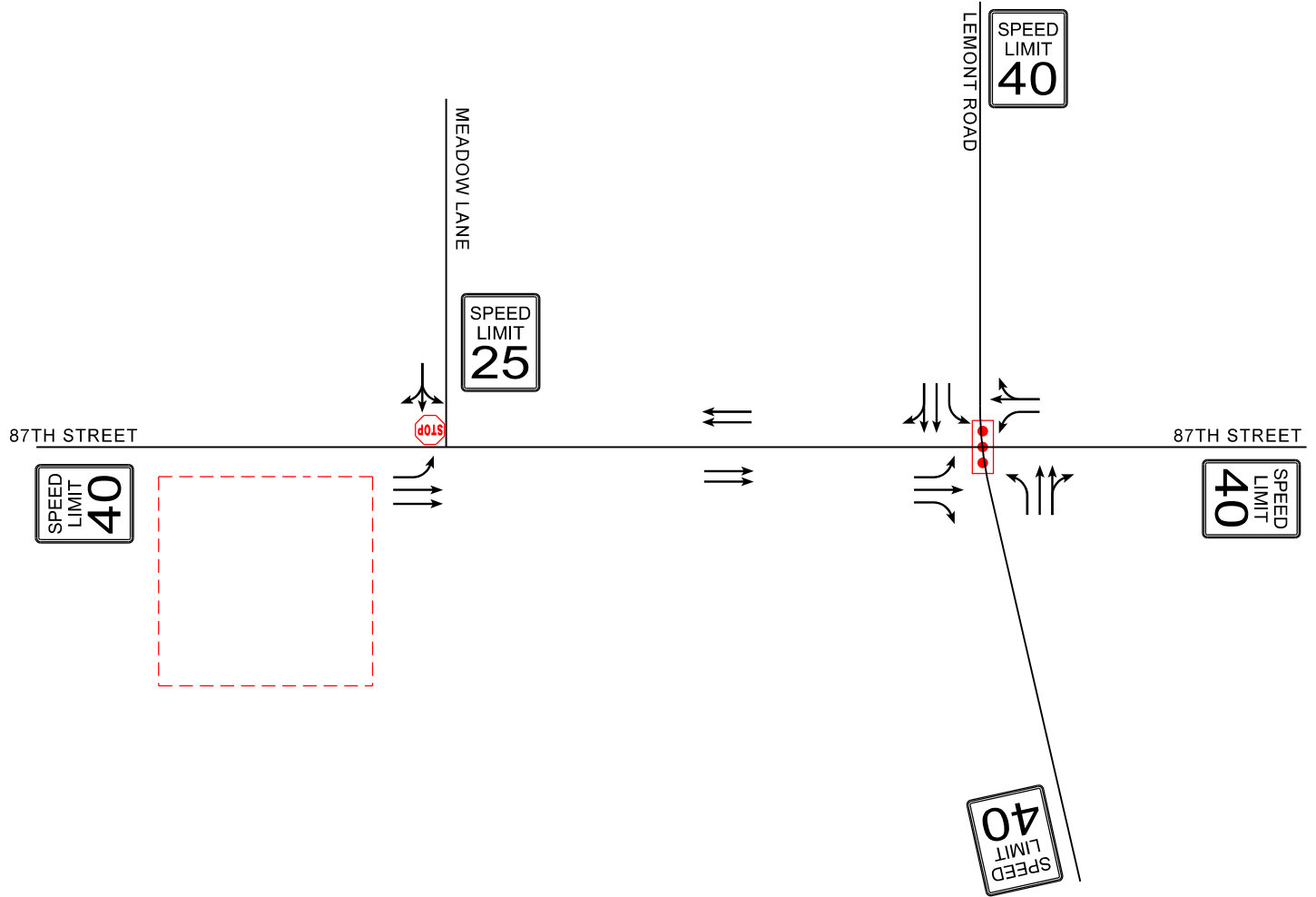




**LEGEND**

 - EXISTING TRAFFIC SIGNAL

 - EXISTING STOP SIGN



**MULTIFAMILY RESIDENTIAL  
DEVELOPMENT**

**EXISTING LANE CONFIGURATION**













**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

August 17, 2023

City of Darian  
1702 Plainfield Road  
Darien, Illinois

Attention: Jordan Yanke

Subject: Woodland Glen – Preliminary Plat  
(CBBEL Project No. 950323.H0255)

Dear: Jordan

As requested on July 28, 2023, we have reviewed the Preliminary Engineering Plans for the above project prepared by V3 and dated July 20, 2023. The proposed project consists of 17 duplex (two unit) homes. We have no objection to the City approving the Preliminary Plat and Preliminary Engineering Plans subject to the comments below. The following comments are submitted for your consideration, which will be addressed during Final Plat and Final Engineering stage of the approval process:

**General Development Comments**

1. It is noted that the Du Page County GIS database indicates wetlands on the property to the southeast and extending onto this property. The City is a partial waiver community under the Du Page County and therefore Du Page County review will be required. This has been acknowledged by the design engineer (V3).
2. Because 87<sup>th</sup> Street is a Du Page County highway, review and approval from DuDOT will be required for the work in the County right of way. This has been acknowledged by V3.
3. Du Page County Public Works will have to approve the proposed sanitary sewer and lift station. This has been acknowledged by V3.
4. A geotechnical report should be submitted. The Kane Du Page report indicates there may be very shallow groundwater on the property.
5. We presume that a homeowner's association will be established to own and maintain the detention basin. Consideration should be given to establishing a special service area in the event the HOA does not adequately maintain the basin. V3 has stated that an HOA will be established to own and maintain the detention basin.
6. A Stormwater Submittal as detailed in the Du Page County Stormwater Ordinance will be required with the final engineering submittal. The design engineer is aware of this requirement.

**Preliminary Plat of Subdivision**

The Preliminary Plat has been reviewed for compliance with Section 5B-1-5 of the City Subdivision Regulations. The following comments are provided:

1. We note that the proposed street is shown to be dedicated a public right of way. Section 5B-1-7.B.6 provides for a 66 foot right of way with 30 foot pavement width. The proposed plan shows a 50 foot wide right of way and although the street width is not labeled, it scales to 27 feet from back of curb to back of curb (confirmed as 27' with dimensions on Preliminary Engineering plan). A variation would be required.
2. Section 5B-1-7.B.13 provides for street trees to be provided at a maximum 50 foot spacing. If a variation is granted for right of way width, consideration should be given to requiring a landscape easement for street trees in the 8 feet adjacent to the right of way on each side. A wider easement may be required along the frontages of buildings 9 – 11 as there is also a proposed sanitary sewer force main outside of the right of way for which Du Page County will require an easement. V3 has stated that this will be addressed on the final plat, and we suggest that it be noted in approval of the preliminary plat.
3. Section 5B-1-5-7.E.1 provides for Drainage and Utility Easements along the rear 10 feet and 6 feet along all side lot lines. Consideration should also be given to the location of private utilities (e.g. ComEd, NiCor, AT&T, Comcast). V3 has stated that this will be addressed on the final plat, and we suggest that it be noted in approval of the preliminary plat.
4. Section 5B-1-7-G.1.a provides for a 150 radius on Minor Streets. The proposed layout does not specify a centerline radius, but it is much less than 150 feet. In their response letter, V3 has stated that the radius is 53.5 feet. It is our understanding that a variance will be requested.

#### **Preliminary Engineering Plan**

1. Although the proposed retaining wall has a maximum height of 3 feet, consideration should be given to some type of barrier at the top of wall for safety. The design engineer has acknowledged the need for a barrier, which will be detailed on the final engineering plans.
2. All required outside agency permitting (Du Page Co., IEPA, etc.) will be completed during final engineering.

If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel Lynch".

Daniel L. Lynch, PE, CFM  
Head, Municipal Engineering Department

Cc Dan Gombac, City of Darien

## Jordan Yanke

---

**From:** Michael Werthmann  
**Sent:** Monday, October 16, 2023 8:47 AM  
**To:** Jordan Yanke  
**Subject:** RE: Woodland Glen Subdivision Pre application Submittal

Jordan:

Per your request, KLOA, Inc. reviewed the *Proposed Multifamily Residential Technical Memorandum, 87<sup>th</sup> Street Parcels, Darien, Illinois* dated May 24, 2023 and prepared by V3 Companies. The site of the development, which currently contains three single-family homes, is located on the south side of Lemont Road just west of Meadow Lane. As proposed, the development is to consist of 34 units in 17 buildings with access provided via a full access drive and a right-turn in/right-turn out access drive on Lemont Road. The following provides our comments concerning the review of the technical memorandum:

- The estimate of the traffic to be generated by the development was calculated correctly and was based on the standard method within the industry. Please note that the development is estimated to generate a total of approximately 210 trips (105 inbound trips and 105 outbound trips) per weekday.
- Access to the development is proposed via a full access drive and a right-turn in/right-turn out access drive on the south side of Lemont Road which will need to be approved by the DuPage County Division of Transportation (DuDOT) as they have jurisdiction of the road. Has the project team submitted the plans to DuDOT and, if so, what is the status of their review? The project team should provide any correspondence that they have had with DuDOT.
- Based on the review of the site plan attached to the traffic study, it appears that the design of the median island at the restricted right-turn in/right-turn out access drive does not meet DuDOT's criteria. As discussed above, the design of the access drive will need to be approved by DuDOT.

If you have any questions, do not hesitate to contact me. Thank you.

Michael A. Werthmann, PE, PTOE  
*Principal*

### **Kenig, Lindgren, O'Hara, Aboona, Inc.**

9575 West Higgins Road, Suite 400  
 Rosemont, IL. 60018  
 (847) 518-9990 office  
[www.kloainc.com](http://www.kloainc.com)





MEMO

**From:** [Abdul Waheed Rajper](#)  
**To:** [Jordan Yanke](#)  
**Subject:** Support to R-3 Rezoning  
**Date:** Sunday, October 15, 2023 12:34:36 PM

---

Hi Jordan

My name is Abdul resident of Darien IL.

I support this Rezoning as it would bring lot of taxes to the city, increase the value of the properties.

Best Regards  
Abdul

CAUTION: This e-mail originated outside of the City's email system. DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

**From:** [Brian Liedtke](#)  
**To:** [Eric Gustafson](#); [Dan Gombac](#); [Jordan Yanke](#)  
**Subject:** A Couple Ward 6 Updates  
**Date:** Monday, October 16, 2023 1:32:33 PM

---

Alderman Gustafson and City Staff:

It's been a busy time and I figured I'd consolidate a few items on my mind into one email, to make it easier for you guys.

1. Thank you for the replacement of the street light at Manning and Carlton Rd. I don't know if this is related to this or not, but ever since that light was replaced, the street light at Carlton and Hamilton has been turned off. This is in my front yard parkway and provided a nice sense of security, and it's been extremely dark at this intersection. I don't know if the power was turned off so the light at Carlton and Manning could be worked on, or if the light just stopped working, but could somebody please come take a look at it.
2. My next comment is for the upcoming hearing at Planning and Zoning for the single-story duplexes planned along 87th St. I wanted to express my full support for this development. I know that Mrs. McIvor is strongly opposed and is sharing her own sentiment but this actually nearly directly relates back to the city's comprehensive plan. When viewing Page 72 of the 2006 Comprehensive Plan PDF, Key Development Area #7 highlights a concept plan for 35 units of one-story duplexes (in addition to multiple 3-story units, assuming still possible if Boeger's Landscape Supply ever moved out). While I have criticized the plan for being very out of date, this is a good development that follows the plan laid out by the city.
3. As a follow up to my prior emails, on Page 70 of that above-mentioned comprehensive plan, it mentions in the Policy Statement that "development at this location will benefit from proximity to future commercial uses near the intersection of Plainfield and Lemont Roads". It's extremely important the city consider this future duplex development when considering the Gerber proposal. While the duplex development means the comprehensive plan, the Gerber proposal would not benefit this duplex development as this is not an appropriate commercial use to benefit this neighborhood community. I do not think it's important to pick which parts of the plan to follow and which ones to ignore. I continue to express my strong opposition to Gerber, but I think this residential development along 87th street is a fantastic opportunity for Darien.

Thank you,  
Brian

CAUTION: This e-mail originated outside of the City's email system. DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

## Jordan Yanke

---

**From:** tim.halik  
**Sent:** Tuesday, October 17, 2023 3:03 PM  
**To:** Dan Gombac; Jordan Yanke  
**Subject:** RE: Woodland Glen Dev Packet

Dan / Jordan -

Thank you for offering to share my comments on the proposed Woodland Glen development at the public hearing on October 18, 2023. Please read the following into the public record during the hearing, and also give the Commission members a paper copy, if possible. (some find it easier to read than to listen to someone present):

"To: The Darien Planning & Zoning Commission -

Thank you for your time this evening and for your service to the Darien community. After review of the documents within the agenda packet for the proposed Woodland Glen development, I offer the following comments for your consideration:

1. The applicant seeks a reduction in street right-of-way width, pavement width, and curve radius for the project. Given these roads are to be dedicated public, why would the City grant any deviations from minimum street design standards when other public streets must comply? This would only serve to allow for an increase in the project's density and may hinder emergency response vehicles. The roads should meet all applicable design and construction standards for a public street or remain privately owned. These requested reductions should be denied.
2. The project density is too high and incongruous with surrounding areas. The more accurate density calculation is 5.43 dwelling units per acre, once the area of the public streets are removed. The applicant seeks a 50% reduction in minimum lot area within the R-3 District from 20,000 square feet to 10,000 square feet, which is too extensive and should be denied. The number of dwelling units should be reduced.
3. The required setback relief sought is too extensive and again only serves to increase the project's density. The plan includes an 85% reduction in the platted 100 foot setback along 87th Street to 15 feet, and a 40% reduction in the required rear setback from 30 feet to 18 feet. Once a 10 foot deck or patio is installed on the houses located along the east and west sides, only an 8 foot setback to the property line will remain. These setback reduction requests should be denied.
4. A comprehensive non-deciduous solid day-one landscape screen should be installed along the east, west, and south property lines to replace the loss of existing vegetation and screening for adjacent properties. However, given the extensive setback variations sought, and yard area drainage requirements, there will not be adequate space in which to do so along the east and west property lines. A proposed landscape plan should be submitted as part of the preliminary review of this project in order to ensure the development layout includes sufficient space for required landscaping. Landscape treatment is a Special Use Criteria to be considered by the Plan Commission as part of the review of this application.
5. The proposed mechanical sanitary lift station is not an ideal design, but necessary in this case due to prevailing site grades. Our region tends to experience occasional electrical power interruptions. The City of

Darien and DuPage County should work with ComEd to improve electric reliability in the area AND a condition should be imposed requiring that the developer install an adequately designed back-up power system to serve the lift station pump during times of primary power outages.

6. A condition should be added requiring that the native plantings proposed for the retention area undergo a minimum 3 year maintenance and monitoring period to ensure their proper establishment, before being turned over to the HOA, through an established SSA. Seasonal mosquito abatement in this area should also be required and be the responsibility of the HOA, through an established SSA.

Thank you again for your consideration and I urge you to accept the above stated actions and recommendations for the benefit of the community.

Tim Halik  
1104 Woodcrest Drive"

Tim Halik  
Sent from my Verizon smartphone

## Jordan Yanke

---

**From:** Melinda Nowak  
**Sent:** Wednesday, October 18, 2023 8:27 AM  
**To:** Jordan Yanke  
**Cc:** Dan Gombac  
**Subject:** REZONING for duplexes

As a long time resident of Darien, I would like to know if the tragic accident that occurred November 2015, has been considered by the City (see below)

<https://abc7chicago.com/news/man-39-fatally-struck-by-car-in-darien/1073836/>

The stretch of 87th, between Lemont and Woodward, is poorly lit and dangerous, especially at night. Add significantly more traffic and this is a recipe for more accidents.

I reached out to my alderman, Eric Gustafson, but haven't heard back from him regarding this.

As a resident of Darien, who lives adjacent to and travels on 87th daily, I strongly OPPOSE this rezoning.

Thank you.  
Melinda Nowak

CAUTION: This e-mail originated outside of the City's email system. DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

## Jordan Yanke

---

**From:** Sylvia Mclvor  
**Sent:** Wednesday, October 18, 2023 6:10 PM  
**To:** Jordan Yanke  
**Cc:** Joe Marchese; Bryon Vana; Dan Gombac; Eric Gustafson  
**Subject:** Proposed rezoning from R1 to R3 on 87th Street

Dear Jordan,

Thank you for the call today. Per our discussion, I am extremely concerned about an even greater increase in noise, traffic and pollution by the proposed rezoning, increasing these lots from 2 residences to 34 residences on this small section of a very busy 87th Street. With this development, and the new one (right around the corner on Woodward), we will be impacted by over 100 new residences bordering the south and west boundaries of Farmingdale Village. With an average 2 people per household, that's 200 more people and 200 more cars - quite a significant population boom in a very small geography. Our once quiet suburb looks, feels and sounds like a city.

In addition, granting rezoning and multiple variances to developers sets dangerous legal precedents for future developers to use against the city and its existing residents and taxpayers.

Please share my comments and concerns with members of the Planning & Zoning Commission and City Council.

Thank you,

Sylvia Mclvor

CAUTION: This e-mail originated outside of the City's email system. DO NOT click links or open attachments unless you confirm the incoming address of the sender and know the content is safe.

## Petition to OPPOSE rezoning to R-3 Multi family residences

Action petitioned for: We the undersigned are concerned citizens, who urge our leaders to act now to, oppose rezoning at 2941, 2963 and 2985 87th Street in Darien, requested by Woodland Glen Development

Date	Signature	Printed Name	Address	Comment
10/15/23		Nicolò Zagorac	2929 Harvest Pl, Darien, IL	19 yrs
10/15/23		SAM ZAGORAC	2929 Harvest Pl, Darien, IL	19 yrs
		Wm Stachely	2977 Harvest Pl Darien IL	32 yrs
10/15/23		Sarah Galdek	2989 Harvest Pl Darien IL	6 yrs.
10/15/23		Jim Hines	20W253 87th Street Darien, IL	10 yrs.
10/16/23		Brandy Konopinski	<del>20W253</del> ↓	↓
10/16/23		Corinne Piotrowski	20W253 87th St Darien IL	10 yrs
10/16/23		Landon Konopinski	20W253 87th St Darien IL	10 yrs
10/16/23		THOMAS SEWELL	2897 87th St Darien IL	2 yrs
10/16/23		ANTHONY ANTIPONEK	2919 87th St Darien IL	27 yrs
10/16/23		Donna Belenese	1125 Woodcrest Dr	60 yrs
10/18/2023		Grant Meeker	1202 Woodcrest dr, DA	40 years

32

# Petition to OPPOSE rezoning to R-3 Multi family residences

Action petitioned for: We the undersigned are concerned citizens, who urge our leaders to act now to, oppose rezoning at 2941, 2963 and 2985 87th Street in Darien, requested by Woodland Glen Development

Date	Signature	Printed Name	Address	Comment
10/15/2023	<i>Roanney Onusaitis</i>	ROANEY ONUSAITS	2964 HARVEST PL DARIEN	
10/15/2023	<i>Mary Ann Wolski</i>	MARY ANN WOLSKI	8619 MEADOW LN	
10/15/23	<i>Chaouki Awad</i>	Chaouki Awad	3020 Harvest Place.	
10/15/23	<i>Melinda Nowal</i>	Melinda Nowal	3384 Gilbert Ct. Darien	
10/15/23	<i>Tatjana Perdjovic</i>	Tatjana Perdjovic	8558 Harvest Ln. Darien	
10/15/23	<i>Randall Gilbert</i>	RANDALL Gilbert	8582 Harvest Ln, Darien	
10/15/23	<i>Susan F Gilbert</i>	Susan F Gilbert	8582 Harvest Ln, Darien	
10/15/23	<i>Erika Cimbarista</i>	Erika Cimbarista	8595 Harvest Ln Darien	
10/15/23	<i>Maria Danielle</i>	Maria Danielle	2988 Harvest Place Darien	
10/15/23	<i>Dorothy L. Daniele</i>	DOROTHY L. DANIELE	2988 HARVEST PL. DARIEN	
10/15/23	<i>Albert Daniele</i>	ALBERT DANIELE	2988 HARVEST PL. DARIEN	
10/15/23	<i>Leah M. Gerbic</i>	LEAH M. GERBIC	8223 Highland Ave. 60516	
10/15/23	<i>Charles D Jank</i>	Charles D Jank	3130 87th St. 60561	
10/15/23	<i>Margaret Jones</i>	Margaret Jones	3130 87th St 60561	
10/15/23	<i>Saad Alchawaj</i>	Saad Alchawaj	200325 87th St 60561	



## Petition to OPPOSE rezoning to R-3 Multi family residences

Action petitioned for: We the undersigned are concerned citizens, who urge our leaders to act now to, oppose rezoning at 2941, 2963 and 2985 87th Street in Darien, requested by Woodland Glen Development

Date	Signature	Printed Name	Address	Comment
10/15/23		David Duck	3045 Hillside Ct.	18
10/15/23		Maireta O'Connell	3012 Hillside Ln	18
10/15/23		BRIGIT P VAYABIL	8595 MEADOW LN	8
10/15/23		Alfred Gary	2941 Meadow Ct.	27
		Constance Gary	2941 Meadow Court	27
10/15/23		Karla Twombly	1132 Woodcrest Drive	67
10/19/23		NEIL TWOMBLY		3
10-15-23		Michael Twombly	1132 Woodcrest Dr	30
10-15-23		Jan Dilworth	1206 Woodcrest Dr	
10-15-23		Fumiko Dilworth	1206 Woodcrest Drive	
10-15-23		Mary Bastuga	8559 Harvest Ln	19
10-15-23		Anna Bastuga	8559 Harvest Ln	19
10-15-23		Anthony Chlada	2940 Harvest Place	23
10/15/23		Sheri Chlada	2940 Harvest Place	
10/15/23		Terrence Booth	2952 Harvest Pl	


# Petition to OPPOSE rezoning to R-3 Multi family residences

Action petitioned for: We the undersigned are concerned citizens, who urge our leaders to act now to, oppose rezoning at 2941, 2963 and 2985 87th Street in Darien, requested by Woodland Glen Development

Date	Signature	Printed Name	Address	Comment	
10/15/23		Robert P. Kobliiska	2941 Hillside Ln, DARIEN IL	oppose it	48
10/15/23		DARLENE JINDRA	2965 HILLSIDE DARIEN, IL	oppose it	45
10/15/23		CHUCK JINDRA	" " "		
10/15/23		JON WARNER	3037 HILLSIDE, DARIEN, IL	oppose it	47
10/15/23		NEIL R. MYGUS	3037 W 124th Street THORNTON	OPPOSE	30
10/15/23		Ronald Bryson	3069 Hillside Ct.	oppose	9
10/15/23		GERMAINE MOORE	2988 HILLSIDE LN	OPPOSE	47
10/15/23		Michelle Skwers	2952 Hillside Ln.	oppose	15
10/15/23		Rebecca Maczek	8055 Meadow Ln	oppose	19
10/15/23		Heidi Knippenberg	2940 Meadow Ct	oppose	30
10/15/23		Jeanene Antipora	2919 87th St.	oppose	27

## Petition to OPPOSE rezoning to R-3 Multi family residences

Action petitioned for: We the undersigned are concerned citizens, who urge our leaders to act now to, oppose rezoning at 2941, 2963 and 2985 87th Street in Darien, requested by Woodland Glen Development

Date	Signature	Printed Name	Address	Comment
10-16-23		RONALD J. BATTIERA	1121 Woodcrest Dr. D.G	CONCERNED

DRAFT – PZC TO REVIEW/APPROVE AT FUTURE MEETING

**MINUTES CITY OF DARIEN  
PLANNING & ZONING COMMISSION MEETING**

**Wednesday, October 18, 2023**

**PRESENT:** Lou Mallers – Chairperson, Robert Erickson, Chris Jackson, Chris Green, John Johnson, Julie Kasprovicz

**ABSENT:** Bryan Gay, Shari Gillespie, Hilda Gonzalez

**OTHERS:** Jordan Yanke - City Planner

Chairperson Lou Mallers called the meeting to order at 7:00 p.m. at the Darien City Hall, Council Chambers, 1702 Plainfield Road, Darien, Illinois. Chairperson Mallers declared a quorum present and swore in the audience members wishing to present public testimony.

**Regular Meeting – New Business**

- a. Public Hearing – PZC2023-09 (PAGE 5) 2941, 2963, and 2985 87TH Street – Woodland Glen Development Petitioner requests approval of a Rezone, Special Use Planned Unit Development (PUD), Preliminary Plat, and Variations/Waivers as deemed necessary. The petition specifically requests approval for a 17-lot subdivision with 34 total dwelling units, or 17 two-family dwellings (i.e., duplexes). Property is comprised of 7.34 acres and is currently zoned Single-Family Residence District (R-1). The proposed zoning is Multi-Family Residence District (R-3).**

Mr. Jordan Yanke, City Planner reported that the site is located on the south side of 87<sup>th</sup> Street, west of Lemont Road and on the edge of the City's jurisdictional boundary. He reported that the site is comprised of three parcels and proposed to develop the site as a 17-lot subdivision containing 17 two-family dwellings or 34 total units. He further reported that the zoning ordinance defines the proposed dwellings as follows: DWELLING, TWO-FAMILY: A detached building or structure containing two (2) dwelling units only, designed for and occupied by two (2) families.

Mr. Yanke reported that the current zoning is Single Family Residence District (R-1) which does not permit two-family dwellings. He reported that the petitioner is requesting approval of a Planned Unit Development (PUD), which is a special use, with waivers/variations. He reported that the City Engineer provided a letter dated August 17, 2023, which provides stipulations/conditions of approval for the project and

preliminary plan prior to final planning stage. He further reported that the City's traffic consultant has also reviewed the submitted traffic memorandum and comments.

Mr. Jim Healey, Attorney, Goldstine, Skrodzki, Russian, Nemecek & Hoff, Burr Ridge presented the proposal for the Woodland Glen residential development. He stated that the development will consist of 34 duplex single-family homes, with 2 homes on each of the 17 residential lots.

Mr. Healey stated that Woodland Glen will be an upscale, maintenance free residential community, featuring larger ranch style homes with full basements, featuring both "look out" and "walk out" option. He stated that the Woodland Glen development will be rezoned as an R-3 PUD residential community, with utilities served by the City of Darien for public water and DuPage County for sanitary sewers and that all utility improvements required for Woodland Glen will be installed by the developer.

Mr. Healey stated that the existing uses on 87th Street and Lemont Road contains mixed uses, including commercial, multi-family residential and some residential properties, and that most residential homes do not face 87th Street. He stated that the Woodland Glen development will not adversely impact the essential character of the 87th Street and will be a positive addition to the corridor and that there will be no adverse effects on the adjoining properties, with open side yards between the groupings of homes allowing for the free flow of light and air through the development and the adjoining properties.

Mr. Healey stated that the development will have a negligible increase of traffic on 87th Street and allows for the free movement of all police and fire equipment with proper ingress and egress for the development off 87th Street.

Mr. Healey stated that the Woodland Glen development will have the highest quality architectural design, blending this transitional residential area into the neighboring community. He stated that the Woodland Glen development will be a positive addition to the City of Darien and offers the best transitional residential density along the 87th Street corridor in Darien.

Mr. Healey stated that the Woodland Glen development will conform to all Darien codes and regulations, except those where the City of Darien will be granting a variance or change from its Zoning Code.

Mr. Scott Stevens, Vice President, Woodland Glen Development, LLC stated that the duplex homes will be 2200 square foot brick buildings with concrete driveways and two car garage for mature buyers with a base price starting in the upper \$500,000. He provided photos from a similar development stating that the development will have a custom single family home appearance.

Mr. Steve Kranenborg, Project Manager, V3 Companies, Ltd., Woodridge stated that there is considerable amount of elevation change and no wetland delineation. He stated that they are proposing 17 residential lots and an additional out lot for stormwater and a sanitary drain and public street. Mr. Kranenborg stated that two new access points are proposed with full driveway access on the west.

Mr. Kranenborg stated that a traffic memo was submitted noting the peak hours and trips generated showing minimum traffic addition. He stated that proposed is a 3.4-acre detention storage basin and that all storm events will be captured offsite to the east with a utility provision that the stormwater released to the southeast and consistent with existing conditions and all approved through DuPage County requirements.

Commissioner John Johnson questioned if the roadway was discussed with the Fire District.

Mr. Yanke reported that Mr. Dan Gombac, Director Municipal Services is in full support of the waiver. He stated that the City has had similar requests and that the Fire District is currently looking at the proposal. Mr. Yanke suggested recommending a condition that the Fire District provide a letter with comments on the preliminary plan.

Commissioner Julie Kasprowicz questioned the landscaping requirement and mosquito abatement.

The petitioner's landscape architect stated that the plan is presently conceptual, but that native and adaptive species are proposed. She stated that there will be complete foundation landscaping and screening on 87<sup>th</sup> Street and south property line with parkway trees. She further stated that DuPage County requires a three-year establishment and from there the Homeowners Association will take over.

Mr. Stevens stated that they work with various consultants and that he did not believe that DuPage County encourages mosquito abatement. He stated that the Homeowners Association will consist of all 34 residences who will monitor and take over the basins and lift station.

Mr. Yanke reported that a final landscaping plan and final plan submittal will come before the Planning & Zoning Commission.

Chairperson Lou Mallers questioned why the large right of way reduction.

Mr. Healy stated that this was necessary for the site.

Commissioner Johnson questioned the distance to the right of way for units 1, 17, 12, and 11. He stated that they appeared close to the right of way.

Mr. Don Stevens, Woodland Glen Development, LLC stated that the distance is 50 feet and that there will room for parkway trees.

Mr. Scott Stevens stated that a fair amount of land area is needed for the single-family ranch style home.

Commissioner Jackson inquired about the market study for 34 units.

Mr. Scott Stevens stated that study was recently updated showing that there is a need and supports more than 34. He stated that the homes are designed for 55 and older. He stated that the development that they built in Lemont had 90 and that they had no problem selling. He further stated that there will be restrictions on rentals and that once 70% of the homes are sold it will be taken over by the Homeowners Association.

Chairperson Mallers opened the meeting to anyone in the audience wishing to present public comment.

Ms. Betty Scialabba stated that the proposal was very nice but that those that live behind the proposal will be flooded. She stated that from 2019 on everything has overflowed due to a tiny 12" pipe. She further stated that the City needs to look at the area a little further.

Mr. Ian Dilworth stated that gallons of water are held in the reservoir and that he would like to see the wetland detention study. Mr. Dilworth stated that the area has wildlife traffic and the rural feel which will change significantly. He questioned the fencing around the entire project and expressed his concern for children accessing the pond and that the petitioner is asking for too many variations.

A woman in the audience provided a poster of the area in the 1940s showing the basin as a swamp. She stated that the area has 12" culvert that the County manages to the pond and that the area is a mess. Ms. Kies stated that there is a very steep uphill pitch, and that the development will be nightmare for the residents and that there is too much house for too small of a lot.

Ms. Jeanine Antiporek stated that she owns the house to the east of the development and that the petitioner is asking for less than standard side yards and setbacks. Ms. Antiporek submitted a petition with fifty signatures opposing the development.

Ms. Margaret Tonal stated that she lives on the north side of 87<sup>th</sup> Street and that the cars are close to the houses and that this is a safety concern.

Ms. Karla Twombly stated that she lives directly behind the development and has lived there for 66 years. She stated that the lots are taking on more and more water flooding her lot.

Ms. Corrine Piorowski stated that her property was dry when she purchased her home and now it is wet.

Mr. Tony Antiporek stated that he has lived in his home for 26 years and that he bought it because of the acreage. He stated that there are no fences on any of the properties and that he did not agree with the variance requests.

Mr. Robert Kokleska stated that the traffic is getting worse and questioned the traffic study. He stated that nothing was addressed regarding lighting.

Mr. Mustafa Sted stated that he lives in Bolingbrook and that this a good project for the area.

Mr. Healy addressed the concerns and stated that the market study is proprietary. He stated that the animals will continue to roam as they do now and that the homes are not multi-family and there will be no fencing at all at this time. Mr. Healy stated that there is R-3 in area to the west and that the detention will be managed by the Homeowners Association. He stated that the density is 4.63 units per acre and that the drawings provided are not to scale.

Mr. Healy addressed the landscaping and lighting stating that they will follow what is required by the City.

Mr. Kranenborg addressed the wetland questions stating that the stormwater management is designed using the rainfall developed by the State. He stated that the proposed stormwater management will benefit anyone downstream and that the water will be slowly released where presently it now runs off. Mr. Kranenborg stated that the information is provided in the analysis.

A woman in the audience stated that the water is flowing from east to west not north to south.

Mr. Kranenborg stated that based on the existing topography there is no flow that goes west to east.

Commissioner Jackson questioned if there was any soil testing for groundwater and absorption rate.

Mr. Kranenborg stated that yes and that he can provide follow up data.

Commissioner Kasprovicz questioned if the petitioner could decrease the number of units to avoid the requests.

Mr. Healy stated that they would have to wipe out half of the subdivision.

Chairperson Mallers read aloud the public comments that were received through correspondence.



There was no one further in the audience to present public comment and at 8:44 p.m. Chairperson Mallers closed the public hearing.

Commissioner Bob Erickson stated that the people in the audience are unincorporated that the Mayor of Darien has fought hard for the residents.

Commissioner Chris Green suggested reducing the front yard setback to gain rear yard setback.

Mr. Kranenborg stated that after review that could not be accomplished.

Mr. Don Stevens stated that the ranch units is the reason for the reduced setback and that the geometry is fixed but that they could look at reducing the front yard setback.

Commissioner Kasprovicz questioned if there was a traffic light study.

Mr. Yanke stated that is the County and that the petitioner can work with the County.

**Commissioner Jackson make a motion seconded by Commissioner Kasprovicz to recommend approval Public Hearing – PZC2023-09 (PAGE 5) 2941, 2963, and 2985 87TH Street – Woodland Glen Development Petitioner requests approval of a Rezone, Special Use Planned Unit Development (PUD), Preliminary Plat, and Variations/Waivers as deemed necessary. The petition specifically requests approval for a 17-lot subdivision with 34 total dwelling units, or 17 two-family dwellings (i.e., duplexes). Property is comprised of 7.34 acres and is currently zoned Single-Family Residence District (R-1). The proposed zoning is Multi-Family Residence District (R-3) with the following conditions:**

- 1) Applicant revise the preliminary plan in regards to the location of duplexes on Lots 1, 2, 3, 9, 10, and 11. The structures on said lots shall be shifted five (5) feet towards Woodland Lane, resulting in a front yard setback of twenty (20) feet and rear yard setback of twenty-three (23) feet for each lot/duplex.**
- 2) Fire District Approval.**
- 3) Submittal of a Geotechnical Report.**
- 4) Submittal of Best Management Practices (BMPs).**
- 5) Submittal of Homeowners Association (HOA) covenants and restrictions.**
- 6) Response be obtained from DuPage County regarding sidewalk feasibility along 87<sup>TH</sup> Street.**
- 7) Traffic light feasibility study be submitted by the applicant to DuPage County.**

**Upon roll call vote the MOTION CARRIED 6-0.**

**Regular Meeting – Old Business**

There was no old business to discuss.

**Staff Updates & Correspondence**

There were no staff updates and correspondence to discuss.

**Next Meeting**

Mr. Yanke announced that the next meeting will be held on Wednesday, November 15, 2023, at 7:00 p.m.

**Public Comments (On any topic related to Planning and Zoning)**

There was no one in the audience wishing to present public comment.

**Adjournment**

**With no further business before the Commission, Commissioner Jackson made a motion, and it was seconded by Commissioner Erickson. Upon voice vote, THE MOTION CARRIED unanimously, and the meeting adjourned at 9:24 p.m.**

**RESPECTFULLY SUBMITTED:**

**APPROVED:**

\_\_\_\_\_  
**Elizabeth Lahey  
Secretary**

\_\_\_\_\_  
**Lou Mallers  
Chairperson**