

**CITY OF DARIEN**  
**PLANNING AND ZONING COMMISSION**  
**AGENDA**

**Wednesday, January 15, 2014**  
**7:00 PM**

**City Hall**  
**Council Chambers**

1. Call to Order
2. Establish Quorum
3. Regular Meeting:
  - A. **Public Hearing**  
**PZC 2013-11: 2551 75<sup>th</sup> Street:** Petitioner requests to rezone the subject property from B-1 Neighborhood Convenience Shopping District to B-2 Community Shopping Center Business District, and special use approval for a drinking establishment within the B-2 Community Shopping Center Business District.
  - B. **Public Hearing**  
**PZC 2013-12: 105 74<sup>th</sup> Street:** Petitioner requests to rezone the subject property from R-2 Single Family Residence to B-1 Neighborhood Convenience Shopping District related to expanding The Patio Restaurant parking lot.
4. Correspondence
5. Old Business/Planner's Report
6. Minutes: December 4, 2013
6. Next Meeting: **February 5, 2014, 7:00 PM**
7. Adjournment

**AGENDA MEMO**  
**PLANNING AND ZONING COMMISSION**  
**MEETING DATE: January 15, 2014**

**Issue Statement**

**PZC 2013-11:**                   **2551 75<sup>th</sup> Street:** Petitioner requests to rezone the subject property from B-1 Neighborhood Convenience Shopping District to B-2 Community Shopping Center Business District, and special use approval for a drinking establishment within the B-2 zoning district.

**Applicable Regulations:**    Zoning Ordinance: 5A-2-2-5: Amendments, Map.  
  Zoning Ordinance: 5A-2-2-6: Special Uses.  
  Zoning Ordinance: 5A-8-3-4: Special Uses, B-2 Community Shopping Center Business District.

**General Information**

**Petitioner:**                    Vladas Kriauciunas  
  7036 Cambridge Road  
  Downers Grove, IL 60516

**Property Owner:**            Liberd Inc.  
  8383 Main Street  
  Downers Grove, IL 60516

**Property Location:**        2551 75<sup>th</sup> Street, Darien, IL 60561

**PIN:**                            09-29-301-001

**Existing Zoning:**            B-1 Neighborhood Convenience Shopping District

**Existing Land Use:**         Retail building, vacant

**Proposed Zoning:**          B-2 Community Shopping Center Business District

**Proposed Land Use:**        Drinking establishment, sports bar

**Surrounding Zoning and Land Use from shopping center:**

**North:**    B2 General Business District (Village of Downers Grove): restaurant, auto service related businesses.  
**South:**   R-2 Single-Family Residence: single-family, detached homes.  
**East:**    R-2 Single-Family Residence: single-family, detached homes.

West: B-2 Community Shopping Center Business District: restaurant, café, variety store.

Comprehensive Plan Update: Commercial

History: The property was annexed in 1979 and zoned B-1. In 1987, several variations were granted related to the site plan for a camera shop, including building setbacks, parking setbacks and reduction in the number of required parking stalls, from 27 to 25. The property has been vacant for several months resulting in property maintenance issues.

Size of Property: 25,052 square feet

Floodplain: Floodplain map does not show floodplain on this parcel.

Natural Features: None

Transportation: Property has frontage along 75<sup>th</sup> Street and Main Street. Access is from Main Street only.

**Documents Submitted**

This report is based on the following information submitted to the Community Development Department by the petitioner:

1. Plat of Survey, 1 sheet, prepared by DJA Civil Engineers and Surveyors, dated December 29, 2009.
2. Building Floor Plan, 1 sheet, prepared by petitioner.
3. Letter from petitioner, 1 sheet, dated December 5, 2013.

**Planning Overview/ Discussion**

The subject property is located at the southeast corner of 75<sup>th</sup> Street and Main Street, the former Wolf Camera shop.

The petitioner proposes to establish a sports bar on the property. The petitioner provided a description of the proposed use in a letter dated December 5, 2013, summarized below:

My next commercial investment in your city would be a modern sports bar located 2551 75<sup>th</sup>

street. The growing Lithuanian community is underserved and needs a place to meet and watch sporting events such as basketball and soccer. This sports bar would help preserve culture and traditions for our growing community. The bar would specialize in American and Lithuanian appetizers and meals, while guests would have a good time watching sports programming and enjoy wine, beer and liquor.

The petitioner should clarify what is meant by “appetizers and meals”. Do they intend to provide full food menu?

Currently, the property is zoned B-1 Neighborhood Convenience Shopping District. Within this zoning district, a drinking establishment, bar, is neither a permitted nor a special use. A drinking establishment is a special use within the B-2 zoning district. Permitted uses are allowed by right, special uses require City Council approval. A table at the end of this memo shows the permitted and special uses within the B-1 and B-2 zoning districts.

The property to the west is currently zoned B-2. Furthermore, other commercial properties in Darien along 75<sup>th</sup> Street between Lemont Road and Plainfield Road are currently zoned either B-2 Community Shopping Center Business District or B-3 General Business District. Rezoning the subject property to the B-2 zoning district would treat the subject property in the same manner as other commercial properties along this stretch of 75<sup>th</sup> Street.

In terms of the proposed use, the property to the west currently includes a restaurant and café, both of which serve alcohol. 75<sup>th</sup> Street is one of the main commercial corridors through Darien where one would expect to find both eating and drinking establishments.

The petitioner is not proposing changes to the site at this time. The plat of survey shows existing site conditions, showing existing parking and fencing. In 1987, the City granted several variations related to the site plan for a then camera shop, ordinance included in agenda packet.

The plat of survey shows 25 parking stalls. If the proposed use was to be established as a new development, on an un-built property, 57 parking stalls would be required. The petitioner should address parking, is it adequate for the proposed use?

The plat of survey shows an existing 6-foot tall fence south of the building enclosing a service entrance. The plat of survey also shows an existing 6-foot tall fence just east of the parking area north of the building, staff believes this fence belongs to the property to the east. The service area at the south end of the building should be cleaned up. The fence appears to be in good condition.

Interior alterations require a building permit.

Alderman McIvor noted several concerns from residents in an email dated January 15, 2014, included with this agenda memo.

The special use request must address the following criteria for approval:

1. That the special use is deemed necessary for the public convenience at the location specified.
2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be a variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.
7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Planning and Zoning Commission and the Municipal Services Committee.

### **Staff Findings/Recommendations**

The petitioner should clarify if this will be a bar only, or include a full food menu such as a bar/restaurant.

The petitioner should address parking, will there be adequate parking for the proposed use?

Petitioner to address concerns raised by residents, including those noted in an email dated January 15, 2014, to Alderman McIvor.

### **Decision Mode**

The Planning/Zoning Commission will consider this item at its meeting on January 15, 2014.

<b>B-1 District</b>	<b>B-2 District</b>
<p><b>Permitted Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Bakeries</li> <li>▪ Barber shops</li> <li>▪ Beauty shops</li> <li>▪ Candy and ice cream stores</li> <li>▪ Drugstores</li> <li>▪ Dry-cleaning establishments, not including industrial dry-cleaning plants.</li> <li>▪ Employment agencies</li> <li>▪ Equipment rental stores</li> <li>▪ Florist shops</li> <li>▪ Food stores, grocery stores, meat markets and delicatessens</li> <li>▪ Gift shops</li> <li>▪ Hardware stores</li> <li>▪ Nursery schools, preschools and day care centers</li> <li>▪ Offices, business and professional</li> <li>▪ Package liquor stores</li> <li>▪ Shoe and clothing repair stores</li> <li>▪ Wearing apparel shops</li> <li>▪ Variety stores</li> </ul>	<p><b>Permitted Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Any permitted use within the B-1 district</li> <li>▪ Animal hospitals</li> <li>▪ Antique shops</li> <li>▪ Art shops or galleries, but not including auction rooms</li> <li>▪ Automobile parts and accessories stores</li> <li>▪ Banks and financial institutions</li> <li>▪ Bicycle sales, rental and repair stores</li> <li>▪ Blueprinting and copying establishments</li> <li>▪ Book and stationery stores</li> <li>▪ Business and office machine stores, sales and service</li> <li>▪ Camera and photographic supply stores</li> <li>▪ Carpet and rug stores, retail sales only</li> <li>▪ Catering establishments</li> <li>▪ China and glassware stores</li> <li>▪ Clinics, medical and dental</li> <li>▪ Clothing and costume rental stores</li> <li>▪ Coin and stamp stores</li> <li>▪ Custom dressmaking establishments</li> <li>▪ Dairy product establishments</li> <li>▪ Department stores</li> <li>▪ Dry goods stores</li> <li>▪ Electrical, light fixtures and household appliance stores including radio and television sales and repair</li> <li>▪ Employment agencies</li> <li>▪ Frozen food stores, including locker rental in conjunction therewith</li> <li>▪ Furniture stores, including upholstering when conducted as part of the retail operations and secondary to the principal use</li> <li>▪ Furrier shops, including the incidental storage and conditioning of furs</li> <li>▪ Garden supply, tool and seed stores</li> <li>▪ General retail</li> <li>▪ Hearing aid stores</li> </ul>

	<ul style="list-style-type: none"><li>▪ Hobby shops, for retail of items to be assembled or used away from the premises</li><li>▪ Household appliance stores</li><li>▪ Interior decorating shops, including upholstering and making of draperies, slipcovers, and other similar articles, when conducted as part of the retail operations and secondary to the principal use</li><li>▪ Jewelry stores, including watch repair</li><li>▪ Leather goods and luggage stores</li><li>▪ Locksmith shops</li><li>▪ Mail order, catalog store</li><li>▪ Millinery shops</li><li>▪ Musical instrument sales and repair</li><li>▪ Optician, retail sales</li><li>▪ Orthopedic and medical appliance stores</li><li>▪ Paint, glass and wallpaper stores</li><li>▪ Pet shops</li><li>▪ Phonograph record and sheet music stores</li><li>▪ Photography studios, including the developing of film and pictures when conducted as part of the retail business on the premises</li><li>▪ Picture framing, when conducted for retail trade on the premises only</li><li>▪ Radio and television sales, service and repair shops</li><li>▪ Schools, music and dance</li><li>▪ Secondhand stores and rummage shops</li><li>▪ Sewing machine sales and service</li><li>▪ Shoe stores</li><li>▪ Sporting goods stores</li><li>▪ Tailor shops</li><li>▪ Ticket agencies</li><li>▪ Tobacco shops</li><li>▪ Toy shops</li><li>▪ Travel bureaus and transportation ticket offices</li><li>▪ Undertaking establishments</li></ul>
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<p><b>Special Uses:</b></p> <ul style="list-style-type: none"><li>▪ Banks and financial institutions</li><li>▪ Civic buildings and governmental uses</li><li>▪ Drive-in and drive-thru establishments</li><li>▪ Eating establishments, not including entertainment or dancing</li><li>▪ Planned unit developments</li><li>▪ Public and private utility facilities</li><li>▪ Swimming, tennis racquet and other athletic club facilities</li><li>▪ Undertaking establishments</li></ul>	<p><b>Special Uses:</b></p> <ul style="list-style-type: none"><li>▪ Any special use in the B-1 district, except those that are permitted uses in the B-2 district</li><li>▪ Amusement establishments, including, but not limited to, bowling alleys, sports complexes, pool halls, dance halls, and skating rinks, and establishments utilizing more than four (4) automatic amusement devices as either: a) an accessory use to a restaurant offering complete meals; or b) an accessory use to an approved amusement establishment</li><li>▪ Automobile service stations, repair facilities, and car washes used in conjunction with an automobile service station</li><li>▪ Bus stations</li><li>▪ Drinking establishments</li><li>▪ Eating establishments</li><li>▪ Garages for storage, repair and servicing of motor vehicles, including body repair, painting and engine rebuilding</li><li>▪ Hotels and motels</li><li>▪ Motor vehicle sales</li><li>▪ Publicly owned and operated parks, playgrounds and forest preserves</li><li>▪ Radio and television stations and studios</li><li>▪ Theaters</li><li>▪ Wholesale establishments</li></ul>
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CITY OF DARIEN

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ORDINANCE NUMBER 0-07-87

AN ORDINANCE GRANTING APPROVAL OF CERTAIN  
VARIATIONS TO ZONING ORDINANCE - (LION PHOTO).

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ADOPTED BY THE  
MAYOR AND CITY COUNCIL  
OF THE  
CITY OF DARIEN

THIS 6th DAY OF April, 1987

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Published in pamphlet form  
by authority of the Mayor  
and City Council of the  
City of Darien, DuPage  
County, Illinois, this  
8th day of April,  
1987.

STATE OF ILLINOIS)  
 ) SS  
COUNTY OF DU PAGE)

CERTIFICATE

I, Gertrude M. Coit, C.M.C., certify that I am the duly elected and acting municipal clerk of the City of Darien, Du Page County, Illinois.

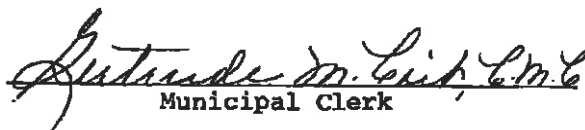
I further certify that on April 6, 19 87, the Corporate Authorities of such municipality passed and approved Ordinance Number 0-07-87, entitled AN ORDINANCE GRANTING APPROVAL OF CERTAIN VARIATIONS TO ZONING ORDINANCE - (LION PHOTO)

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance Number 0-07-87, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on April 8, 19 87, and continuing for at least ten (10) days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at Darien, Illinois, this 8th day of April, 19 87.

(SEAL)

  
Municipal Clerk

ORDINANCE NUMBER 0-07-87

**AN ORDINANCE GRANTING APPROVAL OF CERTAIN  
VARIATIONS TO ZONING ORDINANCE - (LION PHOTO).**

WHEREAS, the City of Darien has received a petition for certain variations to allow the development of a property legally described herein; and,

WHEREAS, the petitioner wishes to develop a property which is zoned B-1 Neighborhood Convenient Shopping District as a Camera and Photographic Supply Store; and,

WHEREAS, pursuant to proper legal notice a Public Hearing was held before the Zoning Board of Appeals on March 3, 1987; and,

WHEREAS, the Zoning Board of Appeals at their regular meeting of March 3, 1987 has recommended to the City Council the approval of certain variations subject to certain conditions.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The granting of variations herein is for the following legally described property:

Lot 1 in Sharon Estates being a subdivision of Tract "A" of Downers Grove Township Supervisor's Assessment Plat Number 2 of the North 1050.0 feet of the Northwest Quarter of the Southwest Quarter of Section 29, Township 38 North, Range 11, East of the Third Principal Meridian, according to the plat of said Sharon Estates recorded March 6, 1957 as Document 834504 in DuPage County, Illinois.

SECTION 2: The property shall be developed in accordance with the following:

ORDINANCE NUMBER 0-07-87

- A) The Site Plan as drawn by Robert Geudtner & Associates, Inc., 711 North McKinley Road, Lake Forest, Illinois, Job No. 1194, Sheet SK-2, March 5, 1987 revision, and herein included by reference.
- B) The Landscape Plan as drawn by Robert Geudtner & Associates, Sheet 1, the March 9, 1987 revision, and herein included by reference.
- C) The building elevations as shown by the Proposed Darien, Illinois, Store for Lion Photo Plan, as drawn by Robert Geudtner & Associates, Job No. 1194, Sheet SK-2, the January 3, 1987 revision, and herein included by reference.

SECTION 3: The following variations to the City of Darien Zoning Ordinance are hereby granted:

- A) To permit a Camera and Photographic Supply Store in a B-1 Zoning District in addition to the uses as permitted by Section 5A-8-2-2.
- B) To permit a rear yard building setback of twenty-one feet (21') instead of thirty-five feet (35') as required by Section 5A-8-1-4B and Section 5A-8-2-7C.
- C) To permit an interior side yard building setback of twenty feet (20') instead of thirty-five feet (35') as required by Section 5A-8-1-4B and Section 5A-8-2-7B.
- D) To permit a front yard parking setback of fifteen feet (15') instead of thirty feet (30') as required by Section 5A-8-2-7A.
- E) To permit a corner side yard parking setback of zero feet (0') instead of twenty feet (20') as required by Section 5A-11-2-1D3.
- F) To permit a side yard parking setback of twenty feet (20') instead of thirty feet (30') as required by Section 5A-11-2-1D3.
- G) To permit a rear yard parking setback of ten feet (10') instead of thirty feet (30') as required by Section 5A-11-2-1D3.
- H) To permit twenty-seven (27) parking spaces instead of twenty-nine (29) parking spaces as required by Section 5A-1-4.

ORDINANCE NUMBER 0-07-87

- I) To permit fencing and landscaping as shown by the referenced Site Plan and Landscape Plan instead of the fencing as required by Section 5A-5-8-3A.
- J) To permit nine foot by twenty foot (9' x 20') parking spaces instead of ten foot by twenty foot (10' x 20') parking spaces as required by Section 5A-11-2-1G3.

Where this Ordinance is silent, the referenced Plans of Section 2 above shall apply.

**SECTION 4:** This Ordinance shall be in full force and effect from and after its passage and approval and shall subsequently be published in pamphlet form as provided by law.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6th day of April, 1987.

*Gertrude M. Leit, C.M.C.*  
CITY CLERK

AYES: 6: Biehl, Gillespie, Sims, Smith,  
Stumpe, Thompson

NAYS: 0: None

ABSENT: 2: Nosbisch, VonZuckerstein

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, THIS 8th DAY OF April, 1987.

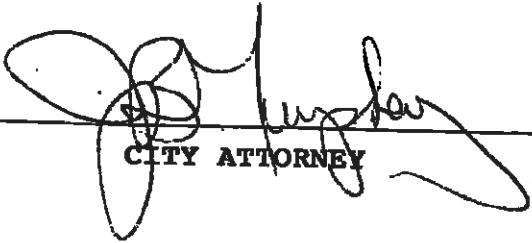
*Edward J. ...*  
MAYOR

ATTEST:

*Gertrude M. Leit, C.M.C.*  
CITY CLERK


ORDINANCE NUMBER 0-07-87

APPROVED AS TO FORM:

  
CITY ATTORNEY

Lion Power Supply Inc. being the owner or other party in interest of the property legally described within this Ordinance, having read a copy of the Ordinance, does hereby accept, concur, and agree to develop and use the subject property in accordance with the conditions specified therein.

Dated: 4-14-87

  
Owner ASNT FR

Vladas Kriauciunas  
Owner  
Vlada's Kitchenette  
2551 75<sup>th</sup> street  
Darien, IL 60516

December 5, 2013

Mayor Kathleen A. Weaver  
City of Darien  
1702 Plainfield Road  
Darien, IL 60561

Dear Mayor,

I am writing you in regards to opening a sports bar in the city of Darien and requesting the class D liquor license.

Since 2004, I have owned and operated the Lithuanian restaurant Cafe Smilga in your fine city. I would like to expand my investment in the city of Darien.

Last year, I was able to obtain my liquor license from DuPage County for Cafe Smilga. This licensing dually allowed my business increase its contribution to Darien's economy and gain experience in responsibly serving and managing alcohol consumption.

My next commercial investment in your city would be a modern sports bar located 2551 75th street. The growing Lithuanian community is underserved and needs a place to meet and watch sporting events such as basketball and soccer. This sports bar would help preserve culture and traditions for our growing community. The bar would specialize in American and Lithuanian appetizers and meals, while guests would have a good time watching sports programming and enjoy wine, beer and liquor. I would like to know what steps are necessary for me to transition this vision from the planning stage to the developmental stage.

Your office's guidance is greatly appreciated. Thank you for your time and consideration in this matter. If you need any additional information, please contact me at 630-935-5073

Sincerely,

Vladas Kriauciunas  
Owner, Cafe Smilga



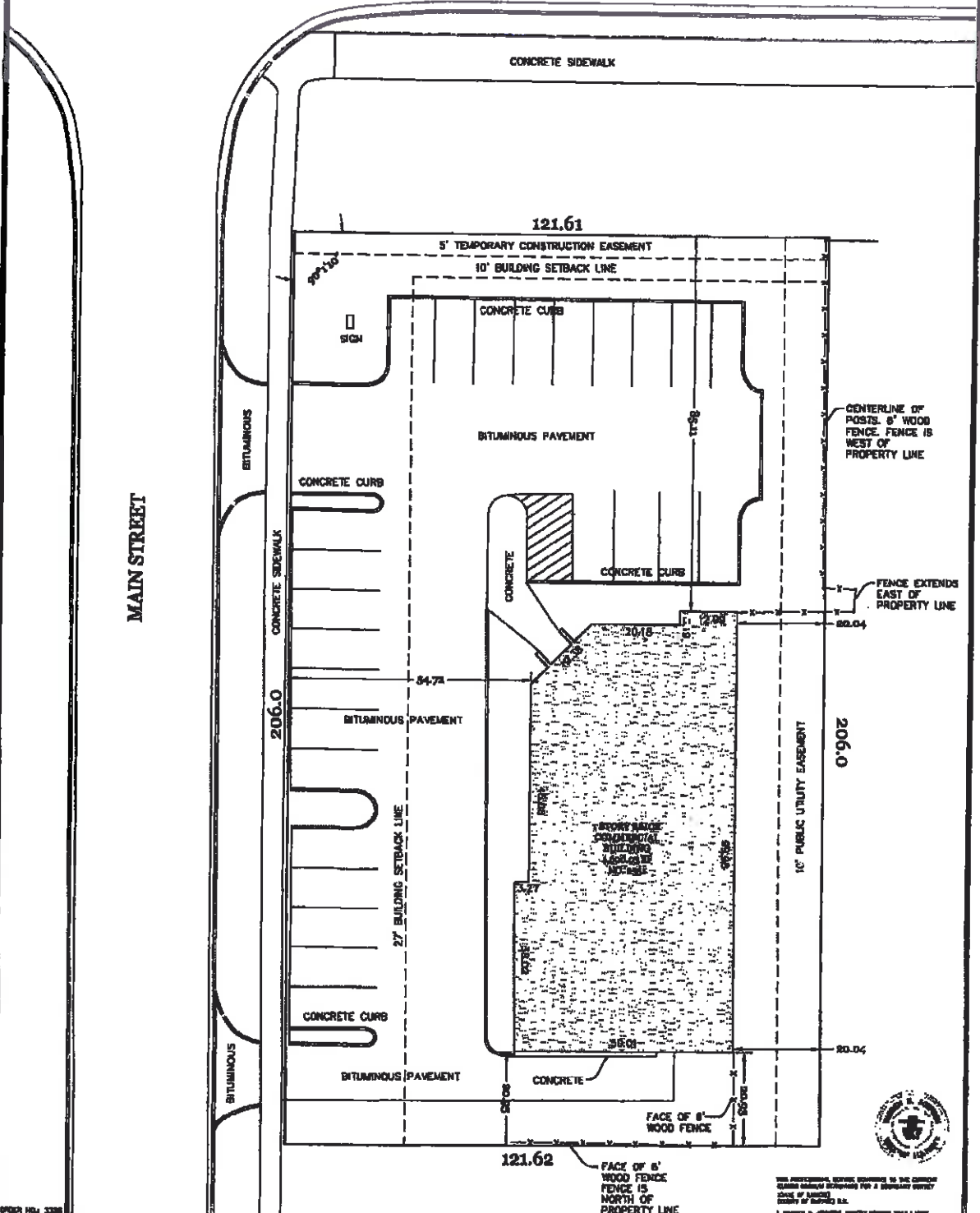
# PLAT OF SURVEY

LEGAL DESCRIPTION FOR A 24' WIDE SIDEWALK, BEING A RECONSTRUCTION OF TRACT "C" OF DONORS ABOVE TOWNSHIP SUPERVISORS AND A PART OF TRACT "D" OF DONORS ABOVE TOWNSHIP SUPERVISORS AND A PART OF TRACT "E" OF DONORS ABOVE TOWNSHIP SUPERVISORS, ALL BEING PARTS OF THE SURVEY OF THE TOWNSHIP OF BERTHLETT, BARREN COUNTY, MISSISSIPPI, AS SHOWN ON THE PLAT OF SAID TOWNSHIP SUPERVISORS RECORDED MARCH 6, 1997 AS DOCUMENT # 2044, IN BARREN COUNTY, MISSISSIPPI.

ADDRESS: 1211 75TH STREET, BARREN, MISSISSIPPI  
P.L.N. 22-99-04-004



75TH STREET



SPICER 1441 5388  
**DIA**  
DIA ENGINEERING, INC.  
11111 Highway 44, Suite 100  
P.O. Box 100  
Barren, Mississippi 38824  
Phone: 662-638-1111  
Fax: 662-638-1112  
www.dia-engineering.com

OWNER: THE BARREN COUNTY BOARD OF SUPERVISORS  
THE BARREN COUNTY BOARD OF SUPERVISORS HAS REVIEWED THIS PLAT OF SURVEY AND HAS APPROVED IT FOR RECORDATION IN THE PUBLIC RECORDS OF BARREN COUNTY, MISSISSIPPI.  
DATE: APRIL 20, 2011

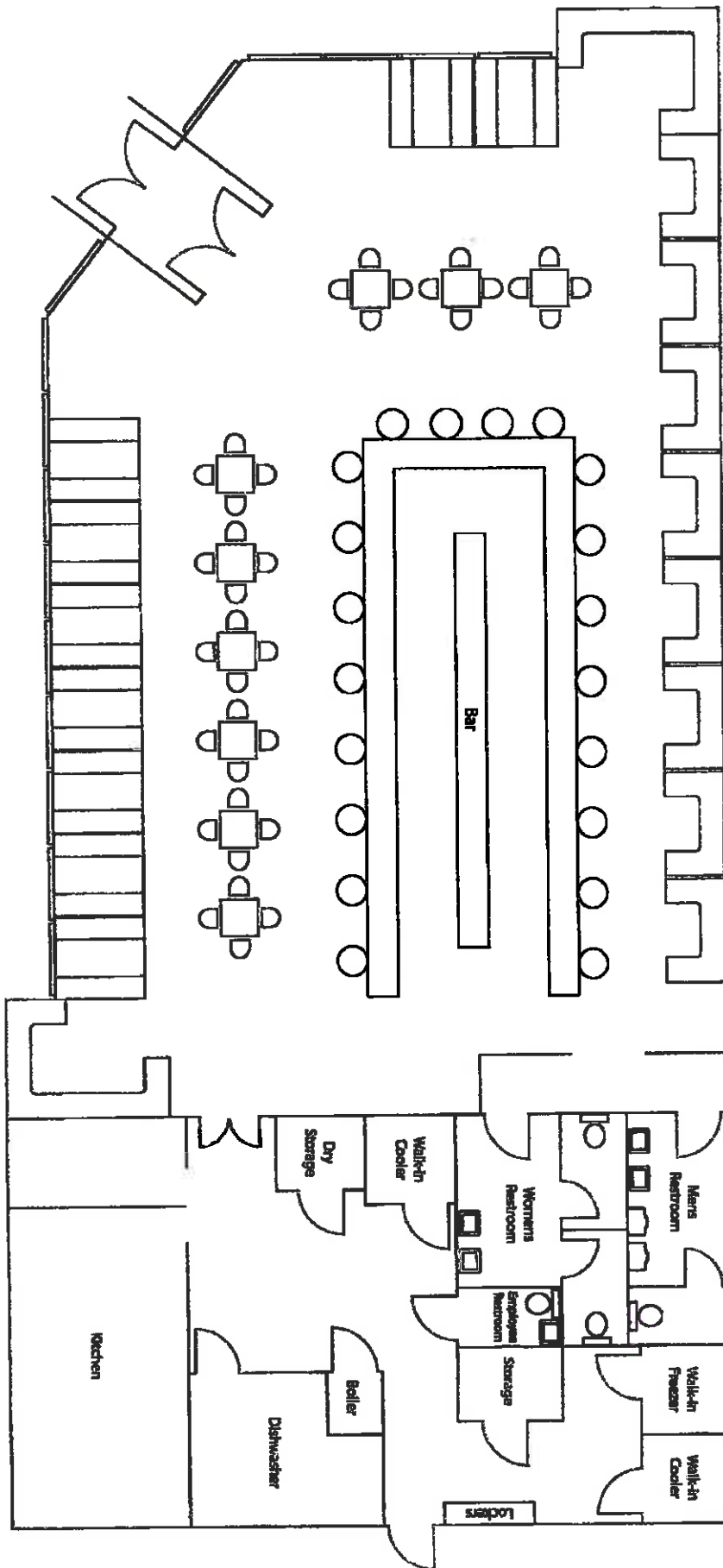
121.62  
FACE OF 6' WOOD FENCE IS NORTH OF PROPERTY LINE

THIS INSTRUMENT, BEING CONFORMING TO THE COMMON LAW OF MISSISSIPPI, HAS BEEN RECORDED IN THE PUBLIC RECORDS OF BARREN COUNTY, MISSISSIPPI, THIS 20th DAY OF APRIL, 2011, AT 10:00 AM.  
RECORDED IN BOOK 1441, PAGE 5388.  
DIA ENGINEERING, INC.  
11111 Highway 44, Suite 100  
P.O. Box 100  
Barren, Mississippi 38824  
Phone: 662-638-1111  
Fax: 662-638-1112  
www.dia-engineering.com



# Plan

2551 75th st  
Darien, IL 60561



## **IMPORTANT: STOP REZONING OF WOLF CAMERA TO A SPORTS BAR**

From: Luanne Spiros and Joe Weber (7521 Main Street)

Hello Neighbors and fellow Darien Residents.

We wanted to share this important news.

The city is holding a hearing on **WEDNESDAY, JANUARY 15, 7:00 PM @ DARIEN CITY HALL** (1702 Plainfield Rd) to consider rezoning the Wolf Camera location. It would be rezoned for a **SPORTS BAR** (i.e., a "Drinking Establishment" ). Attached are some details: Notice of Public Hearing [Attachment #1], Petition Request [Attachment #2]

The commission will evaluate the request using eight criteria [Attachment #3] and make its recommendation to the Municipal Services Committee and Darien City Council.

We believe the **SPORTS BAR** violates many of the criteria for rezoning and special use including "will not" "diminish property values", "endanger public [children]... safety", "be injurious to the use and enjoyment of property in the immediate vicinity" among other things [Attachment #4].

### **If you agree, join us in stopping the rezoning by taking the following ACTIONS:**

- ④ Attend the **WEDNESDAY, JANUARY 15, Zoning Hearing @ 7:00 PM @ DARIEN CITY HALL** (1702 Plainfield Rd, Darien) [Attachment #1]
- ④ Contact via phone/email any or all of our city leaders [Attachment #5]

We are not against bars, economic development, or increasing sales tax revenues; we are opposed to the rezoning allowing a bar at this location.

### **YOUR VOICE IS IMPORTANT.**

**PLEASE** attend the Zoning meeting, contact our city leaders and keep Darien "A Nice Place to Live".

Luanne Spiros and Joe Weber [Luanne\\_spiros@hotmail.com](mailto:Luanne_spiros@hotmail.com), [jweber@airsourcepro.com](mailto:jweber@airsourcepro.com)

Attachment 1

CITY OF DARIEN

NOTICE OF PUBLIC HEARING

Notice is hereby given that there will be a public hearing to be held before the Planning and Zoning Commission of the City of Darien, on January 15, 2014, commencing at 7:00 PM, in the City Hall Council Chambers, 1702 Plainfield Road, Darien, IL 60561.

The purpose of the public hearing will be to hear testimony requesting a rezoning from B-1 Neighborhood Convenience Shopping District to B-2 Community Shopping Center Business District and special use approval to establish a drinking establishment within the B-2 Community Shopping Center Business District, for the legally described property:

LOT 1 IN SHARON ESATES, BEING A SUBDIVISION OF TRACT "A" OF DOWNERS GROVE TOWNSHIP SUPERVISORS ASSESSMENT PLAT NUMBER 2, OF THE NORTH 1050.0 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID SHARON ESTATES RECORDED MARCH 6, 1957 AS DOCUMENT 834504, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-29-301-001

The property is located at 2551 75<sup>th</sup> Street, Darien, Illinois 60561.

The petitioner is: Vladas Kriauciunas, 7036 Cambridge Road, Downers Grove, Illinois 60516.

The property owner is: Liberd Inc., 8383 Main Street, Downers Grove, Illinois 60516

A copy of the petition is on file in the City Clerk's office for review by the public during normal business hours. All persons are invited to attend the public hearing and will be given an opportunity to state their views.

The City of Darien, in compliance with the Americans with Disabilities Act, requests those individuals with disabilities, who require certain accommodations to allow them to observe and/or participate in meetings, services, or activities of the City of Darien, or have any questions about the accessibility of the meetings, services, activities or facilities, contact the ADA Coordinator at (630) 852-5000 to allow the City to make reasonable accommodations for those persons.

JoAnne E. Ragona  
City Clerk

Published in the Suburban Life  
December 27, 2013

Vidas Krauciunas  
Owner  
Vladas Krauciunas  
2551 75th Street  
Darien, IL 60918

December 5, 2013

Mayor Kathleen A. Weaver  
City of Darien  
1702 Plainfield Road  
Darien, IL 60961

Dear Mayor,

I am writing you in regards to opening a sports bar in the city of Darien and requesting the class B liquor license.

Since 2004, I have owned and operated the Lithuanian restaurant Cafe Smilga in your fine city. I would like to expand my investment in the city of Darien.

Last year, I was able to obtain my liquor license from DuPage County for Cafe Smilga. This licensing quality allowed my business increase its contribution to Darien's economy and gain experience in responsibly serving and managing alcoholic consumption.

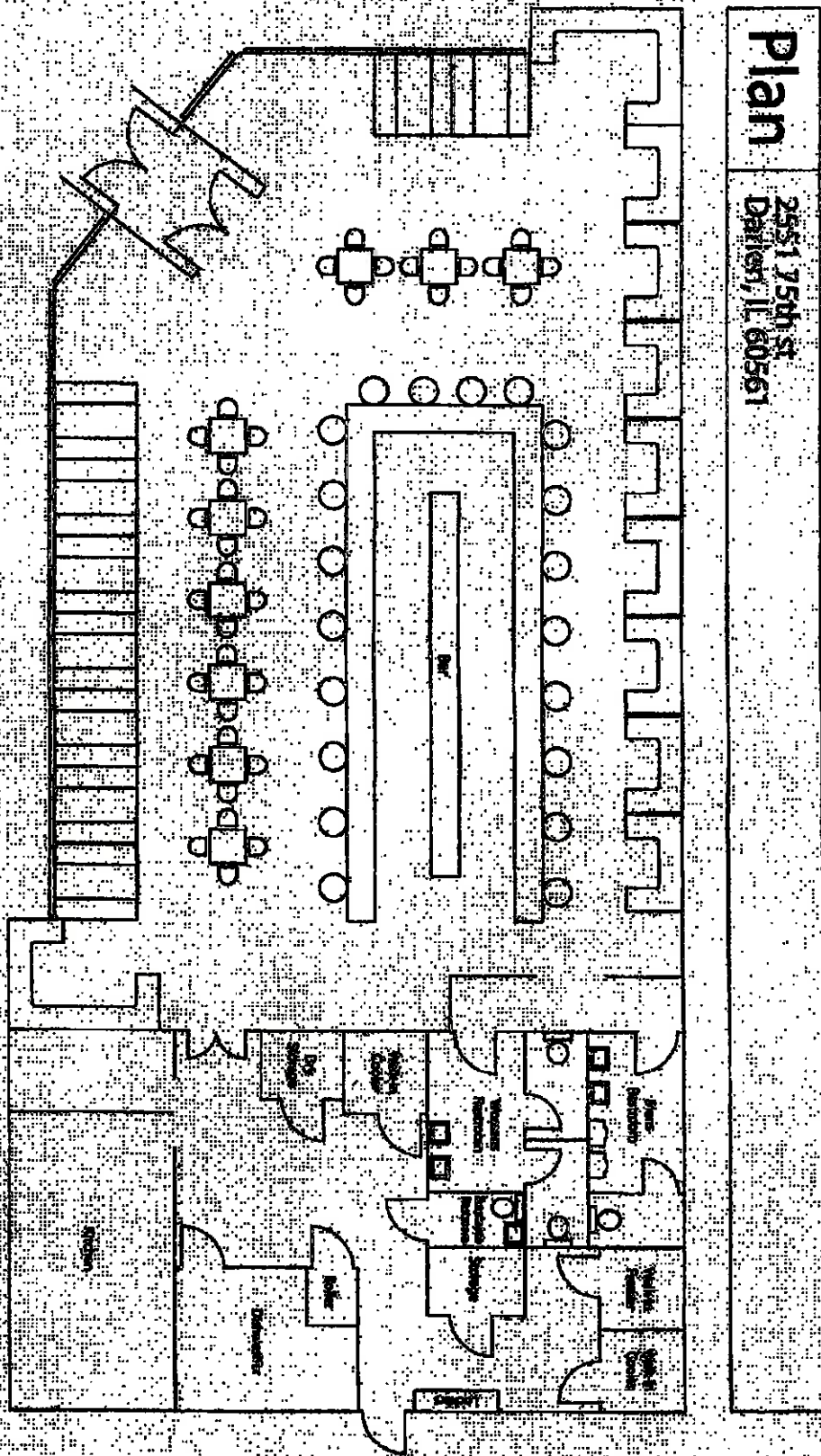
My next commercial investment in your city would be a modern sports bar located 2551 75th street. The growing Lithuanian community is underserved and needs a place to meet and watch sporting events such as basketball and soccer. This sports bar would help preserve cultures and traditions for our growing community. The bar would specialize in American and Lithuanian appetizers and meals while guests would have a good time watching sports programming and enjoy wine, beer and liquor. I would like to know what steps are necessary for me to transition this vision from the planning stage to the developmental stage.

Your office's guidance is greatly appreciated. Thank you for your time and consideration in this matter. If you need any additional information, please contact me at 630.935.3073.

Sincerely,

Vidas Krauciunas  
Owner, Cafe Smilga





# Plan

2551 75th St  
Darien, IL 60561



Attachment 3

The special use request must address the following criteria for approval:

1. That the special use is deemed necessary for the public convenience at the location specified.
2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be a variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.
7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Planning and Zoning Commission and the Municipal Services Committee.

**CONCERNS AND COMMENTS BASED ON THE EIGHT CRITERIA THAT "The Special Use...":**

**"Will not endanger the Public Health, Safety, and General Welfare"**

- The corner of 75<sup>th</sup> and Main is the bus stop for the neighborhood children. Do we want to have our children dropped off by the bus in the afternoon in front of an open bar? Then expect them to navigate the ingress/egress of the bar parking lot in order to get home? Dodging cars driven by people who, almost by definition, have been drinking?
- There is a big difference between a restaurant where people primarily go to eat food and might have a drink like Old Vilnius Café and Mi Hacienda (both at the end of the street) versus a bar where people primarily go to drink and might have something to eat
  - We have no problems with the existing restaurants, they are relatively low volume and close at 9 or 10; how late will the bar's liquor licenses be? 12 or 1 AM?

**"Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted"**

- The residents' ability to safely go for evening walks, children riding their bikes or running down our quiet "nice place to live" street will be negatively impacted. There will be new concerns over safety, traffic, and noise pollution.
  - How many other standalone bars are there in Darien? The closest examples we know of are Joannies Dry Dock and Q's – both very isolated from single family residential homes especially when compared to the subject property
- As someone who comes from a family that has owned a sports bar and a former smoker, it's highly likely the first future additions/modifications the petitioner will consider is a beer garden/smoking patio
  - Where does the petitioner propose to place it? or does he propose that smokers just take a walk down the street to have a smoke and make a phone call. This is exactly what people do when visiting neighborhood bars in urban areas. This is injurious to our quality of life.
- The sports bar will directly, negatively impact the neighborhood residents' quality of life.

**Negative Impact to Existing Economic Development**

- The petitioner states, "The growing Lithuanian community is underserved", yet the proposed site is within 50 yards of a Lithuanian restaurant that serves alcohol.
- There are existing B-1 or B-2 vacancies @Cass/75<sup>th</sup> Street (strip mall former True Value, former restaurants Senese's Vineyard, Little Italy). Old Blockbuster in Chestnut Court? New redevelopment at Heritage Plaza? All of which would appear to be a more appropriate location for a "drinking establishment".
- Petitioner has been operating a business (i.e., Café Smilga) in Darien for almost 10 years but has not joined our Chamber of Commerce. Yet one of the residents who stands to be one of the



most adversely affected by this rezoning is a Darien business owner of over (10) years and a member of the Darien Chamber of Commerce.

**"Will not diminish and impair property values"**

- **A sports bar will decrease residential property values in the immediate area. If you were seeking a quiet, residential home in Darien, would you seek out a home within a few hundred feet of a sports bar?**
- **There is little-to-no "buffer" between "single family residential" and the proposed B-2. The Wolf Camera location is currently zoned B1 for a reason, might that be because it abuts on both the east and south side directly with single family residences.**
  - **Where else in Darien does a stand-alone bar (not a restaurant the services alcohol) directly abut a residential property and share an immediate residential neighborhood street for ingress and regress into said bar?**

**PARKING AND OVERFLOW PARKING DOWN THE RESIDENTIAL STREET**

- **Since the opening of Old Vilnius Café right next to MI.Hacienda, there has been an issue with parking in the lot for Old Vilnius and MI.Hacienda, it seems the lot might be a bit small for the number of seats available at the two restaurants. Thus the overflow goes into the vacant Wolf Camera lot.**
  - **It appears that the city code of (4) spaces per 1000 sq ft of building space might be fine for a retail store but not sufficient for a bar or restaurant.**
  - **What are the numbers of seat/tables proposed in this development? Will the existing 25 parking spaces be sufficient?**
    - \* **If those spaces are not sufficient then what happens to the overflow? The bar patrons will park on Main Street. Then bar patrons will most likely turn around in residences' driveways to exit our dead end street. This will further negatively impact our quality of life and safety of our children**

*Remonstrator Exhibit B99*  
**Attachment 5**

**DARIEN GOVERNMENT CONTACTS**

**Sylvia Mcivor**  
Ward 6 Alderman  
312-961-9230  
[smcivor@darienil.gov](mailto:smcivor@darienil.gov)

**Bryon Vana**  
City Administrator  
630-353-8114  
[bvana@darienil.gov](mailto:bvana@darienil.gov)

**Michael Griffith**  
Senior City Planner  
630-353-8113  
[mgriffith@darienil.gov](mailto:mgriffith@darienil.gov)

**Joseph Marchese**  
Chairman Municipal Services Committee  
630-254-2421  
[jmarchese@darienil.gov](mailto:jmarchese@darienil.gov)

**Dan Gombac**  
Community Development Director  
Municipal Services Director  
630-353-8106  
[dgombac@darienil.gov](mailto:dgombac@darienil.gov)

**Kathleen Weaver**  
Mayor  
630-271-1619  
[kweaver@darienil.gov](mailto:kweaver@darienil.gov)

**Michael Griffith**

---

**From:** Sylvia McIvor <smcivor@energysystemsgroup.com>  
**Sent:** Wednesday, January 08, 2014 10:59 AM  
**To:** Michael Griffith; Dan Gombac; Bryon Vana; Kathy Weaver  
**Subject:** Rezoning of Wof Camera - January 15, 2014 P&ZC Meeting

**Importance:** High

All,

I have already heard from a few residents who are concerned about the proposed rezoning on this site, from B-1 to B-2, and for special use approval for a drinking establishment (bar) within the B-2 zoning district. In particular, their concerns include the following:

1. Increased noise levels and traffic
2. Late hours of operation
3. Smoking areas in close proximity to residences
4. Proximity of a drinking establishment to single family residences and school bus stop
5. Potential for disorderly conduct in close proximity to single family residences
6. Potential for another gambling location in Darien

Based upon the photos shown below, it is easy to understand their concerns. The Wolf Camera property is in direct contact and extreme close proximity to four (4) existing, single family properties/residences (one on the east side of Main St. and three on the west side of Cambridge Rd.).



**On Main Street, looking east.**



**Please share these concerns with the Planning and Zoning Commission.**

Thank you,

**Sylvia McIvor – Alderman, Ward 6**

**DISCLAIMER:**

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**AGENDA MEMO**  
**PLANNING AND ZONING COMMISSION**  
**MEETING DATE: January 15, 2014**

**Issue Statement**

**PZC 2013-12:**                   **105 74<sup>th</sup> Street, The Patio Restaurant:** Petitioner requests to rezone the subject property from R-2 Single Family Residence to B-1 Neighborhood Convenience Shopping District related to expanding their parking lot.

**Applicable Regulations:**    Zoning Ordinance: 5A-2-2-5: Amendments, Map  
  Zoning Ordinance: 5A-10: Landscaping Requirements  
  Zoning Ordinance: 5A-11: Off-Street and Loading Requirements

**General Information**

**Petitioner/Property**

**Owner:**                           Patio Restaurant of Darien, LLC  
  7220 W. 91<sup>st</sup> Street  
  Bridgeview, IL

**Property Location:**           105 74<sup>th</sup> Street, Darien, IL 60561

**PIN:**                               09-26-116-004

**Existing Zoning:**               R-2 Single-Family Residence

**Existing Land Use:**           Single-family home

**Proposed Zoning:**              B-1 Neighborhood Convenience Shopping District

**Proposed Use:**                 Parking for The Patio Restaurant, parking lot expansion

**Surrounding Zoning and Land Use (subject property):**

**North:**    R-2 Single-Family Residence: single-family detached homes  
**South:**   OR Office Research (Village of Willowbrook): office building  
**East:**     B-1 Neighborhood Convenience Shopping District: restaurant (petitioner's property)  
**West:**     R-2 Single-Family Residence: single-family detached home

**Comprehensive Plan Update: Low Density Residential**

History: None.

Size of Property: 20,000 square feet

Floodplain: Floodplain map does not show floodplain on this parcel.

Natural Features: None.

Transportation: Property has frontage along 74<sup>th</sup> Street, proposed access will be from the existing parking lot to the east.

### **Documents Submitted**

This report is based on the following information submitted to the Community Development Department by the petitioner:

1. Plat of Survey, 1 sheet, prepared by Hoefflerle-Butler Engineering, Inc., dated October 2, 2013.
2. Site Development Plan, 4 sheets, prepared by Hoefflerle-Butler Engineering, Inc., dated November 6, 2013.
3. Photometric Plan, 1 sheet, prepared by CREE, Inc., dated October, 16, 2013.
4. Landscape Plan, 1 sheet, prepared by Trippiedi Design, most recent revision dated December 11, 2013

### **Planning Overview/ Discussion**

The subject property is located on the south side of 74<sup>th</sup> Street, west of The Patio Restaurant. Currently, a single-family home is on the property.

The petitioner proposes to demolish the existing structures and expand their parking lot. The proposed expansion will increase the petitioner's parking from 80 to 113 parking stalls. The plan shows 5 handicapped stalls, as required, all near the entrance.

Parking stalls are shown to be 9 feet wide by 18 feet long, in compliance. Driveway aisles are shown to be 24-feet wide for two-way traffic, in compliance.

Access to the new parking area will be from the existing parking lot.

**Agenda Memo**

**PZC 2013-12: 105 74<sup>th</sup> Street, The Patio Restaurant**

**Page 3**

The west edge of the parking lot will be approximately 60 feet from the west lot line, where 30 feet is the minimum required. The parking setback along 74<sup>th</sup> Street and south property line is being maintained.

The site plan notes removing an existing fence along 74<sup>th</sup> Street and replacing it with a new 6-foot tall white vinyl fence. The proposed fence wrap around to the west and south sides of the parking lot, extending almost to the southwest drive-way entrance onto The Patio Restaurant site. In addition, the plan provides landscaping, including a variety of deciduous, evergreen and ornamental trees, flowering and evergreen shrubs, native grasses and sedges. The amount of landscaping complies with the Zoning Ordinance, specifically, the amount of landscaping along the west and northern areas of the property (landscaping will be located on the parking lot side of the fence).

Stormwater detention is to be located at the far west end of the property, between the west edge of the parking lot and the residential property further west. The engineering plan has been reviewed and approved by Dan Lynch, PE, City Engineer, Christopher B. Burke, Engineering, Ltd., most recent review letter dated December 20, 2013.

Three light poles will be located within the new parking area. The photometric plan shows the lights will not exceed the amount of light permitted at the property line, 3 foot-candles. These lights will be required to be adjusted so that they do not cause glare onto adjacent properties.

At the end of this memo is a table listing the permitted and special uses for the R-2 and B-1 zoning districts.

The following standards are to be used when considering Map Amendments to the Zoning Ordinance, per the Zoning Ordinance:

1. Existing uses of property within the general area of the property in question, and the resulting character of the general area;
2. The zoning classifications of property within the general area of the property in question;
3. The suitability of the property in question to the uses permitted under the existing zoning classification including consideration of the length of time the property has been vacant as zoned;
4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classifications and the impact to surrounding property likely to result from the proposed use;
5. The reduction in value of the subject property resulting from the particular zoning restriction as compared to the gain to the public if the property remains restricted; and
6. The policies of all current official plans or plan elements of the City.



### **Staff Findings/Recommendations**

The Patio Restaurant needs additional parking. At peak times the parking lot fills up and motorists circle the parking lot, while some may end up parking on the adjacent retail property to the south.

Staff does not object to the proposed rezoning. The proposed use and proposed zoning of the subject property is consistent with other uses and zoning designations within the vicinity of the property. The proposed B-1 district zoning classification is the most restrictive business zoning district under the Darien Zoning Ordinance. The proposed parking lot expansion is screened from residents to the north and west.

Therefore, staff recommends the Planning and Zoning Commission make the following recommendation granting the petition:

**Based upon the submitted petition and the information presented, the request associated with PZC 2013-12 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.**

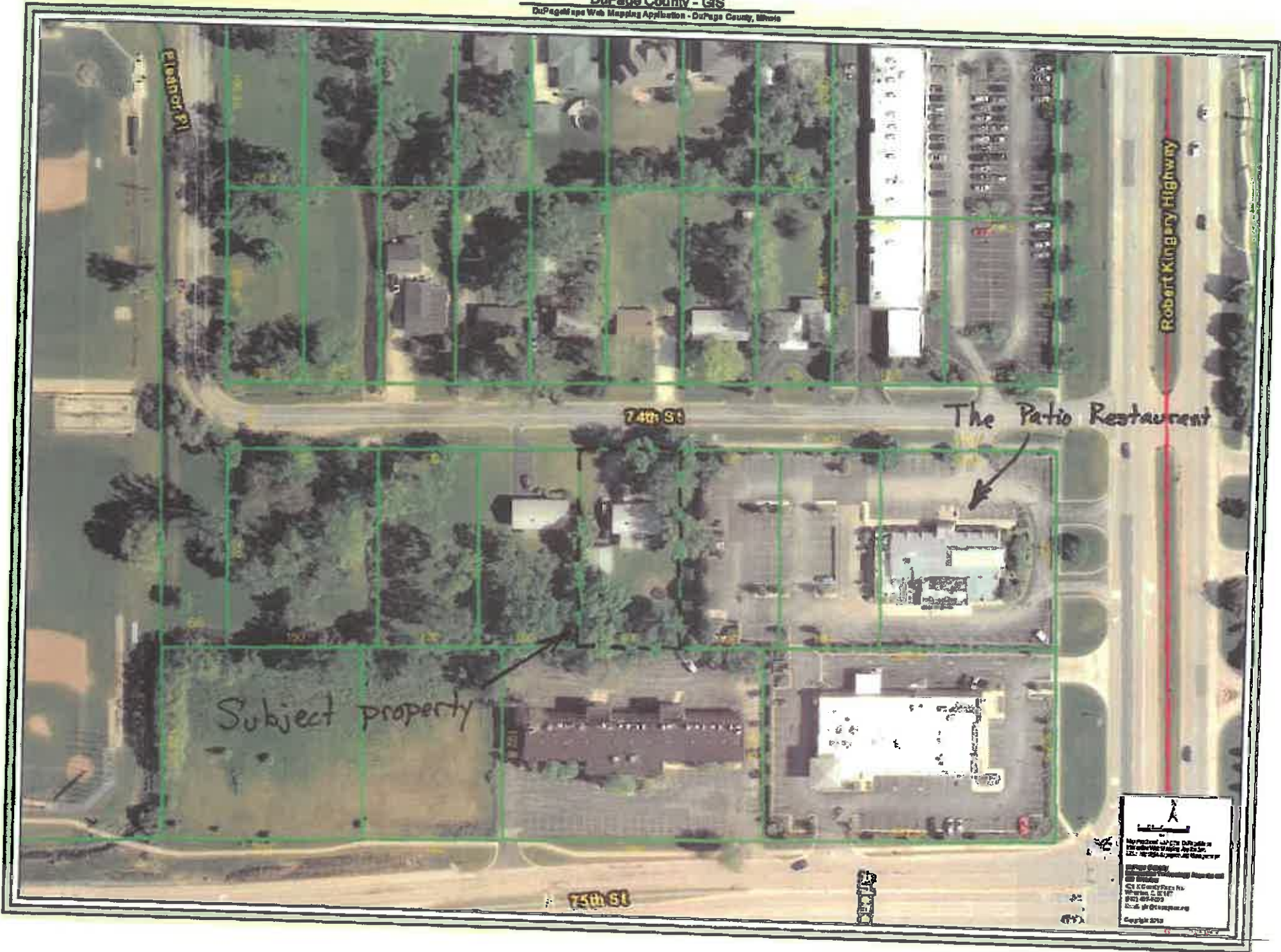
### **Decision Mode**

The Planning/Zoning Commission will consider this item at its meeting on January 15, 2014.

<b>R-1 District</b>	<b>B-1 District</b>
<p><b>Permitted Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Single-family detached dwellings</li> <li>▪ Public, denominational, or private schools, limited to elementary, junior or high schools, without boarding</li> <li>▪ Parks, playgrounds and forest preserves when publicly owned and operated</li> <li>▪ Accessory uses and buildings to the above permitted uses</li> </ul>	<p><b>Permitted Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Bakeries</li> <li>▪ Barber shops</li> <li>▪ Beauty shops</li> <li>▪ Candy and ice cream stores</li> <li>▪ Drugstores</li> <li>▪ Dry-cleaning establishments, not including industrial dry-cleaning plants.</li> <li>▪ Employment agencies</li> <li>▪ Equipment rental stores</li> <li>▪ Florist shops</li> <li>▪ Food stores, grocery stores, meat markets and delicatessens</li> <li>▪ Gift shops</li> <li>▪ Hardware stores</li> <li>▪ Nursery schools, preschools and day care centers</li> <li>▪ Offices, business and professional</li> <li>▪ Package liquor stores</li> <li>▪ Shoe and clothing repair stores</li> <li>▪ Wearing apparel shops</li> <li>▪ Variety store</li> </ul>
<p><b>Special Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Civic buildings and governmental uses</li> <li>▪ Planned unit developments</li> <li>▪ Public and private utility facilities</li> <li>▪ Religious institutions, including, but not limited to churches, rectories, seminaries, convents and monasteries, including dormitories and other accessory uses required for operation</li> <li>▪ Swimming, tennis, racquet and other athletic club facilities</li> <li>▪ Golf courses, not including commercially operated driving ranges or miniature golf courses</li> <li>▪ Nursery schools, preschools and daycare centers</li> <li>▪ Privately owned parks and playgrounds</li> </ul>	<p><b>Special Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Banks and financial institutions</li> <li>▪ Civic buildings and governmental uses</li> <li>▪ Drive-in and drive-thru establishments</li> <li>▪ Eating establishments, not including entertainment or dancing</li> <li>▪ Planned unit developments</li> <li>▪ Public and private utility facilities</li> <li>▪ Swimming, tennis racquet and other athletic club facilities</li> <li>▪ Undertaking establishments</li> </ul>

DuPage County - GIS

DuPageGIS Web Mapping Application - DuPage County, Illinois



13th Street

74th St

The Patio Restaurant

Robert Kingery Highway

Subject property

75th St

Scale bar and north arrow.

DuPage County  
Information Technology Department  
GIS Services  
601 E. DuPage Ave.  
Weston, IL 60157  
630.454.4000  
gis@dupage.gov

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**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 West Higgins Road Suite 600 Rosemont, Illinois 60015 TEL (847) 823-0500 FAX (847) 823-0520

December 20, 2013

City of Darien  
1702 Plainfield Road  
Darien, IL 60581

Attention: Mike Griffith

Subject The Patio Restaurant-Parking Expansion  
(CBBEL Project No. 95-323H159)

Dear Mike:

We received the revised landscape plan for the aforementioned property on December 16, 2013. All of our previous comments on the planting plan have been addressed. Not all of our suggested maintenance recommendations have been incorporated, but it is the applicant's responsibility to establish the specified vegetation. At this time, we have no objection to a permit being issued, subject to the following:

1. The required Stormwater Development Security is \$80,820 (110% of engineer's estimate of \$73,473).
2. The Stormwater Permit Fee is \$138 (\$300/acre x 0.46 acres).
3. The Engineering Inspection Fee is \$1,470 (2% of engineer's estimate).

If you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Daniel L. Lynch'.

Daniel L. Lynch, PE, CFM  
Head, Municipal Engineering Department

# SITE DEVELOPMENT PLAN FOR PATIO RESTAURANT PARKING LOT ADDITION

## ROUTE 83 AND 74TH STREET DARIEN, IL

### ABBREVIATIONS

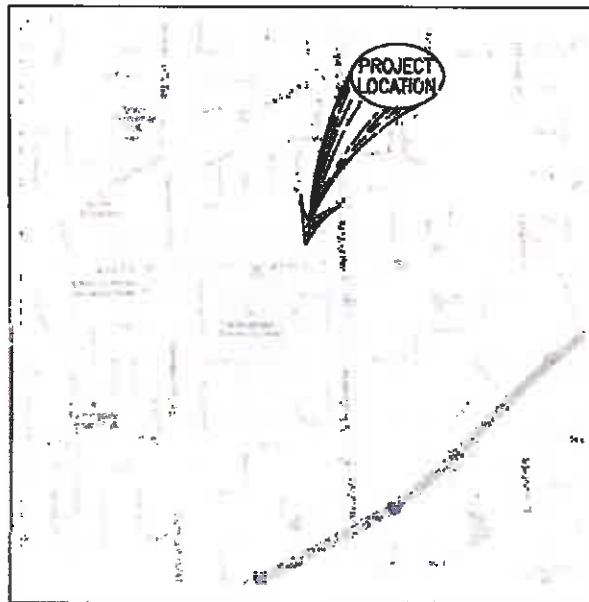
BBOX	BUFFALO BOX (WATER SHUT OFF)	PCC	POINT OF COMPOUND CURVATURE
B-B	BACK TO BACK OF CURB	P.C.C.	PORTLAND CEMENT CONCRETE
BM	BENCH MARK	P.I.	POINT OF INTERSECTION
C&G	CURB AND GUTTER	P.R.C.	POINT OF REVERSE CURVATURE
CB	CATCH BASIN	PVC	POLYVINYL CHLORIDE
CD	CLEANOUT	P.T.	POINT OF TANGENCY
DWG	DRAWING	PL	PROPERTY LINE
DIP	DUCTILE IRON PIPE	P.C.	POINT OF CURVATURE
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
ELEV. OR EL.	ELEVATION	PP	POWER POLE
EOB	EDGE OF BRICK	R	RADIUS
EOC	EDGE OF CONCRETE	R.O.W.	RIGHT OF WAY
EOG	EDGE OF GRAVEL	STA	STATION
EOP	EDGE OF PAVEMENT	SAN	SANITARY
FG	FINISHED GRADE	SANMH	SANITARY MANHOLE
F-F	FACE TO FACE OF CURB	TF	TOP OF FOUNDATION ELEVATION
FF	FINISHED FLOOR ELEVATION	TC/BC	TOP OF CURB/BACK OF CURB
FL	FLOW LINE	TW	TOP OF WALK
F.H.	FIRE HYDRANT	RCP	REINFORCED CONCRETE PIPE
FES	FLARED END SECTION	TYP	TYPICAL
G	GAS	V.C.	VERTICAL CURVE
HDW	HEADWALL	VCP	VITRIFIED CLAY PIPE
HOR	HORIZONTAL	W	WATER
H.P.	HIGH POINT	WF	WOOD FENCE
H.W.L.	HIGH WATER LEVEL	WM	WATER MAIN
INV	INVERT ELEVATION	WSO	WATER SHUT OFF
IP	IRON PIPE	WV	WATER VALVE
IN	INLET	WW	WATER VALVE VAULT
MFP	METAL FENCE POST	XBRICK	CORNER OF BRICK BUILDING
MH	MANHOLE	XFRAME	CORNER OF FRAME BUILDING
P	TOP OF PAVEMENT GRADE	XSTONE	CORNER OF STONE BUILDING

### INDEX TO SHEETS

1. TITLE, LEGEND, STANDARD ABBREVIATIONS
  2. PROJECT DIMENSION AND DEMOLITION PLAN
  3. PROJECT GRADING AND EROSION CONTROL PLAN
  4. STANDARD CONSTRUCTION DETAILS/NOTES
- EX.1. PHOTOMETRIC PLAN  
EX.2-3. LANDSCAPE PLAN

### LEGEND

PROPOSED 4' DIA. STORM M.H.	⊙	EXISTING 4' DIA. STORM M.H.	⊙
PROPOSED 4' DIA. CATCH BASIN	⊙	EXISTING 4' DIA. CATCH BASIN	⊙
PROPOSED 2' DIA. STORM INLET	⊙	EXISTING 2' DIA. STORM INLET	⊙
PROPOSED STORM CURB INLET	⊙	EXISTING STORM CURB INLET	⊙
PROPOSED 2' DIA. CATCH BASIN	⊙	EXISTING 2' DIA. CATCH BASIN	⊙
PROPOSED SANITARY MANHOLE	⊙	EXISTING BEEHIVE	⊙
PROPOSED STREET LIGHT	⊙	EXISTING SANITARY MANHOLE	⊙
PROPOSED POWER POLE	⊙	EXISTING STREET LIGHT	⊙
PROPOSED FIRE HYDRANT	⊙	EXISTING POWER POLE	⊙
PROPOSED WATER VALVE IN VAULT	⊙	EXISTING FIRE HYDRANT	⊙
PROPOSED WATER VALVE IN BOX	⊙	EXISTING WATER VALVE IN VAULT	⊙
PROPOSED B-BOX	⊙	EXISTING WATER VALVE IN BOX	⊙
PROPOSED COMBINED SEWER	—))—))—))	EXISTING B-BOX	⊙
PROPOSED STORM SEWER	—))—))—))	EXISTING GAS VALVE	⊙
PROPOSED SANITARY SEWER	—))—))—))	EXISTING COMBINED SEWER	—))—))—))
PROPOSED WATERMAIN	—))—))—))	EXISTING STORM SEWER	—))—))—))
PROPOSED GROUND ELEVATION	XXX	EXISTING SANITARY SEWER	—))—))—))
PROPOSED PAVEMENT ELEVATION	XXX P	EXISTING WATERMAIN	—))—))—))
PROPOSED GROUND CONTOUR	XXX	EXISTING GROUND ELEVATION	XXX
PROPOSED TRENCH BACKFILL	XXXX	EXISTING GROUND CONTOUR	XXX
PROPOSED PAVEMENT	XXXX	EXISTING FENCE	—X—X—X—
PROPOSED CONCRETE	XXXX	EXISTING GAS MAIN	—G—G—G—
EROSION CONTROL SILT FENCE	—S—S—S—	EXISTING TELEPHONE LINE	—T—T—T—
PROPOSED FLOW/SLOPE DIRECTION	→	EXISTING ELECTRIC LINE	—E—E—E—



PLANS PREPARED BY:

**Hoefflerle-Butler Engineering, Inc.**

Consulting Civil Engineers • Land Surveyors

### SITE BENCHMARK

SET PK NAIL IN 74TH STREET DIRECTLY NORTH OF PROJECT SITE AS INDICATED ON THE PLAN  
ELEVATION: 721.97'



*Reduced Plans  
Do Not Scale*



SIGNATURE: *N. Christie*  
DATE: 11/6/13



### PUBLIC UTILITY NOTE:

CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, SEWER AND WATER, ETC.) PRIOR TO COMMENCING ANY CONSTRUCTION.

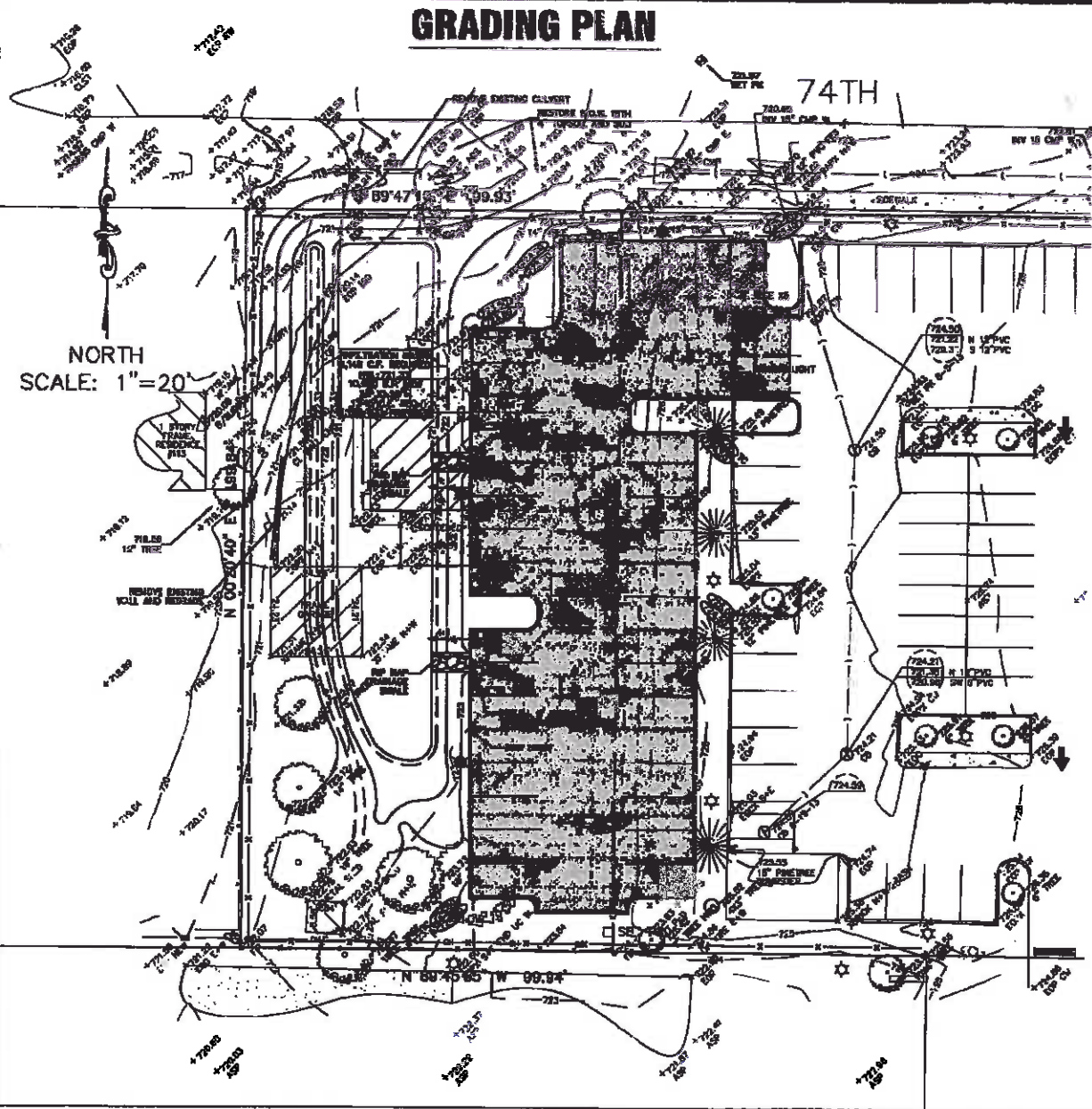
THESE COMPANIES WILL LOCATE ON THE GROUND THE LOCATION OF ALL CONDUITS, DUCTS, UNDERGROUND PIPING, ETC., ADJOINING & CROSSING PROPOSED CONSTRUCTION.

ON-Y PLANS WITH AN EMBOSSED SEAL ARE OFFICIAL COPIES. THIS PLAN MUST BE TRANSFERABLE.

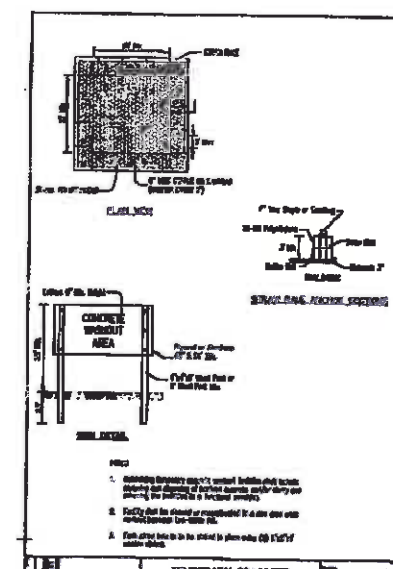
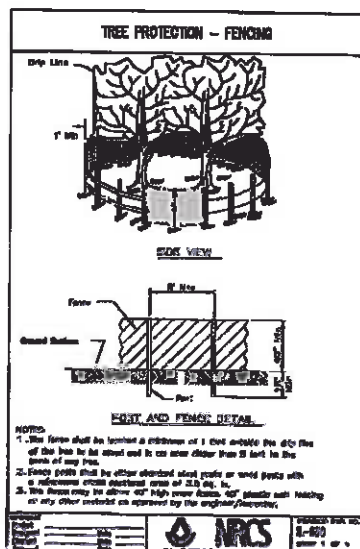
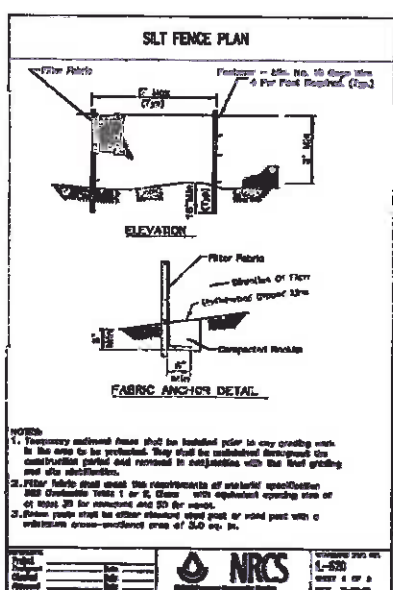
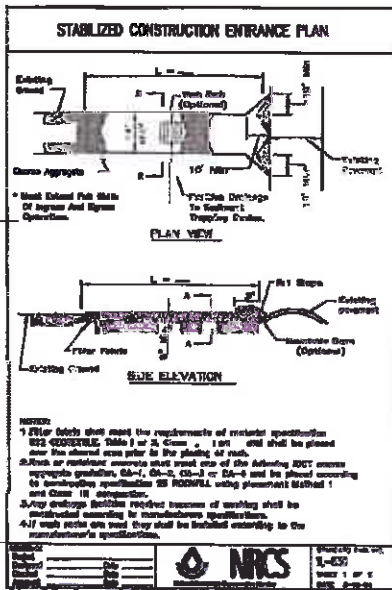
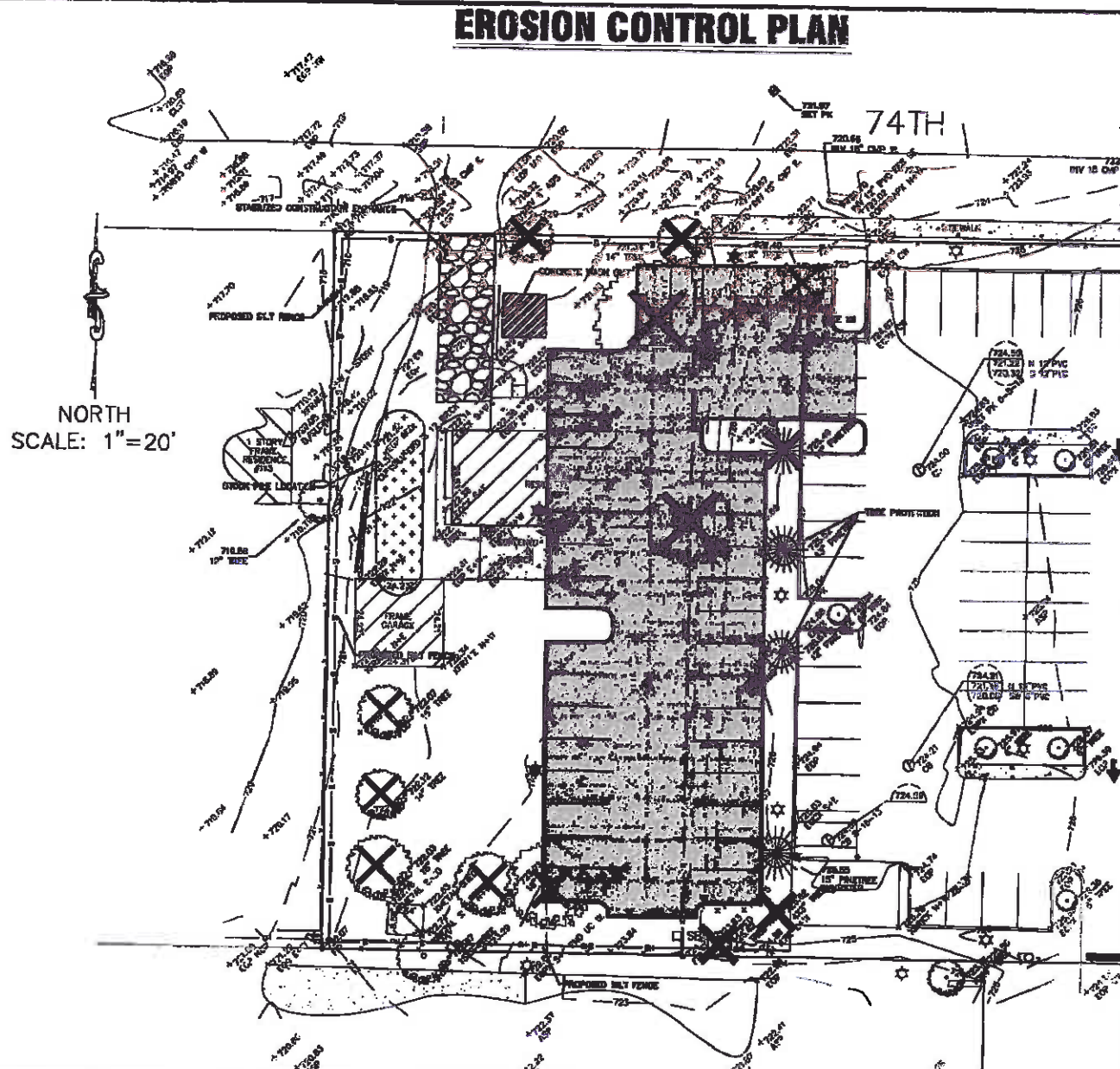
<p>DESIGNED BY: INC CHECKED BY: INC DATE: 09/04/13</p> <p>PER VILLAGE REVIEW: INC DESCRIPTION: PATIO RESTAURANT PARKING LOT ADDITION BY: JST DATE: 11/06/13</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr> <tr><td>1</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td></tr> </table>	NO.	DATE	DESCRIPTION	BY	1				2				3				4				5				6			
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<p>PREPARED BY: <b>hbe</b> Hoefflerle-Butler Engineering, Inc.</p> <p>Consulting Civil Engineers • Land Surveyors PROFESSIONAL DESIGN FIRM LICENSE NO. 001-000000 6704 S. ROBERTS ROAD, HICKORY HILLS, ILLINOIS 60141 (708) 599-8989 FAX (708) 599-8978</p>																													
<p>PROJECT NO: 13-042 DRAWING FILE: SDP.DWG</p>																													
<p>1 OF 4</p>																													



# GRADING PLAN



# EROSION CONTROL PLAN



**PREPARED BY:** Hbe

**DESIGNED BY:** HNC

**CHECKED BY:** HNC

**DATE:** 09/04/13

**SCALE:** 1"=20'

**PER VILLAGE REVIEW:** HNC

**DESCRIPTION:** 17-001

**REVISIONS:**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

**PROJECT NO:** 13-042

**DRAWING FILE:** SDP.DWG

**3 OF 4**

**GRADING AND EROSION CONTROL PLAN**

**PATIO RESTAURANT PARKING LOT ADDITION**

**ROUTE 83 AND 74TH STREET**

**PREPARED FOR:** JES PROPERTIES

**2700 WEST 81ST STREET, INDIANAPOLIS, IN 46240**

**Hoefferle-Butler Engineering, Inc.**

**Consulting Civil Engineers - Land Surveyors**

**PROFESSIONAL LICENSE NO. 04-48897**

**674 S. HARRIS ROAD, INDIANAPOLIS, INDIANA 46217**

**PHONE: 317-599-8999 FAX: 317-599-8770**

## GENERAL CONDITIONS

The project general provisions shall consist of the improvement plan for this project and the following specifications.

**NOTIFICATION.** The Contractor shall notify the utility companies, governing agencies, Owner and Engineer in writing prior to commencing any work within the Project. Modification Engineering, Inc. and the owner shall be notified at least 10 (ten) working days prior to the commencement of work. Hoefler-Butler Engineering, Inc. is to be notified 72 hours if construction staging is required. Phone number (708) 880-8800.

**COORDINATION BETWEEN CONTRACTORS.** Each Contractor shall cooperate with all other Contractors and the Owner in the execution of his work to avoid interference that might arise if the work were not done. Where this is not done, the Owner reserves the right to have necessary changes made to avoid interference. Such changes are to be made at the expense of the Contractor(s) responsible.

**PROVISIONS FOR PUBLIC CONVENIENCE AND SAFETY.** Construction along existing roadways shall be coordinated with the Village, City and/or County having jurisdiction, and the Owner to insure that the construction and safety of the general public and of residents along the roadway shall be provided for by an adequate and satisfactory manner. As to the work shall the existing roadway be closed to traffic, unless approved by the Owner, the Engineer, and the Village, City and/or County having jurisdiction. During construction reasonable access shall be provided to public property along existing roadways. The Contractor(s) shall be responsible for the installation and maintenance of adequate signs, barricades, and warning devices to inform and protect the public. Unless specifically indicated as a way from the cost of furnishing and maintaining signs, barricades, and warning devices shall be included in the contract and no additional compensation will be allowed.

**CONSTRUCTION ALONG AND/OR ADJACENT STATE, COUNTY, OR TOWNSHIP HIGHWAYS AND RIGHTS-OF-WAY.** The Contractor(s) at his expense, shall be responsible for the securing of all construction permits, and the posting of bonds as required by the various Highway Departments for those portions of the project which are within their right-of-way.

All work and materials for portions of the project within State, County, or Township right-of-way shall be as shown on the plans and as approved by the Highway Department having jurisdiction. The Contractor(s) shall cooperate with the Highway Department for the proper handling, storage, and required protection of the roadway before any construction begins. The Contractor(s) shall be responsible for all damage to the Highway Department facilities.

**CONNECTIONS TO EXISTING SERVICES.** The Contractor(s) shall make all temporary and permanent connections of every kind to all services and equipment needed (water, power, etc.) at his own expense and to the satisfaction of the Owner, Utility Company, and the Village, City and/or County having jurisdiction.

**EXISTING UNDERGROUND STRUCTURES AND UTILITIES.** The plans may show the location of certain underground and overhead utility lines, water mains, gas mains, telephone lines, electric lines, and sewers according to information available in the field and in records. This information is not deemed to be complete. It is the express responsibility of the Contractor to determine the exact location and elevation of all existing facilities, pipes, and lines, and to provide for their proper protection, support and maintenance during all construction operations.

Whenever existing utility lines of any nature are encountered which conflict in location or elevation with proposed construction, the Contractor shall notify the Engineer who will assist in arranging for their removal or relocation. No separate payment for any work performed on dislocated lines will be made to the Contractor(s) and all items of the construction will be paid for at the contract price.

**EXISTING FIELD TILE AND/OR DRAIN PIPE.** All field tile and/or drain pipes encountered during construction operations shall be connected to the proposed storm sewer system or extended to collect in a proposed drainage way. If this cannot be accomplished then it shall be replaced with new pipe of the same size and material, connected to the original line and grade and put into acceptable operating condition. A record of the location of all field tile or the unexcavated shall be kept by the contractor and turned over to the Engineer upon completion of the project. The cost of this work shall be included as incidental to the contract and no additional compensation will be allowed.

**RESTORATION.** Contractor(s) is to restore all improved areas damaged during construction operation to their original condition including the fine grading and making of areas within finished-surface. Any existing curbs, pavement or sidewalks disturbed during construction to be replaced as required in the satisfaction of the Village/City/County or Governmental Agency having jurisdiction. Payment shall be made only in those cases related to the improvements within this project. All excess hauled material from the installation of the water main and/or sewer is to be removed from the site.

Contractor is to restore all permanent fixtures removed or disturbed during construction operations to a condition which is equal in appearance and quality to the condition that existed before the work began. Paving along private property shall be replaced within five working days upon completion of work within the property.

**JOBSITE SAFETY.** The Engineer will not be responsible nor assume any liability for accidents or errors of omissions of any contractor, any sub-contractor, or any of the contractor's sub-contractors' agents or employees or any persons (except Engineer's own employees) at the project site or elsewhere performing any work of the project. Any contractor or sub-contractor, as well as the Engineer, will be responsible for his own safety program.

Neither the professional activities of the Engineer, nor the presence of the Engineer or his or her employees at the construction site, shall release any contractor or sub-contractor of his or her obligations, duties and responsibilities including, but not limited to, construction means, methods, sequence, schedules or procedures necessary for performing, supervising or coordinating all portions of the work of construction in accordance with the contract documents and any health or safety provisions required by any regulatory agencies, the Engineer and his or her personnel have no authority to exercise any control over any construction contractor or other entity of sub-contractor in connection with their work or any health or safety provisions.

**TRAFFIC CONTROL.** The Contractor shall provide, erect, maintain, and remove all signs, barricades, cones, pavement striping and all other traffic control devices as may be necessary for the purpose of regulating, warning, or guiding traffic. Placement and maintenance of all traffic control devices shall be as directed by the Engineer and in accordance with the applicable portions of Article 107.14 of the Illinois State Traffic Code and the Illinois Manual on Uniform Traffic Control Devices for Streets and Highways. The contractor is to keep all streets, including intersecting streets, open at all times to local two-way traffic. The contractor shall maintain ingress and egress to all existing public properties along the improvement. This shall include the placement of aggregate on any area within the limits of the job open to traffic that is determined by the Engineer to be responsible or a hazard to traffic.

**STREET MAINTENANCE.** The Contractor is to keep the street swept and free of any and all debris caused by his work. The street is to be swept on a daily basis within the work area. Dust/suspension shall be considered incidental to the cost of the contract. No additional compensation will be allowed for this.

## PAVING

All paving work within the limits of this project shall be done in accordance with the applicable sections of the current Standard Specifications for Road and Bridge Construction in Illinois, and all related items, with the Construction Notes, and with the Special Provisions. The Standard Specifications shall apply only insofar as they relate to materials and workmanship.

**GRANULAR BASE COURSE.** A granular base course shall be installed shall be installed in accordance with section 311 of the Standard Specifications. Type 5 material shall be used in the thickness shown in the plans.

When the granular base course is installed, all of the subgrade work shall be completely in place and approved, and all existing or new curb sections on the roadway shall have been completed.

The main grading contractor shall verify to the Owner (or Owner's Representative) that the sub-grade elevation is within the specified tolerance before the placement of the sub-base is allowed.

No more than one week and no less than 24 hours before placement of the base course, a minimum of 100-100 shall be applied to the sub-base as specified in the Standard Specifications at a rate of no less than 0.30 gallons per square yard.

**BITUMINOUS BINDER COURSE.** All materials and installation of the bituminous binder course shall comply with section 305 of the Standard Specifications. The binder course shall be installed at the compacted thickness indicated on the plans. Before any binder course is laid, all grading of the granular base course shall be completed and approved by the Owner (or Owner's Representative).

The Contractor shall be responsible for maintaining the binder course in a safe and passable condition during construction. Should any condition occur, which, in the judgment of the Owner, would constitute a hazard to vehicular or pedestrian traffic, the Contractor shall do whatever is required to restore the roadway to a safe condition.

## EARTHWORK

All site work and grading operations within the limits of this project shall be done in accordance with the applicable sections of the current Standard Specifications for Road and Bridge Construction in Illinois, and all related items, with the Construction Notes, and with the Special Provisions. The Standard Specifications shall apply only insofar as they relate to materials and workmanship.

All clearing, stripping and staking topsoil, removing unsuitable materials, the construction of embankments, retaining structures, and final grading and final grading shall be done in accordance with the applicable sections of the Standard Specifications, unless otherwise specified in the Special Provisions.

The "Shrink Urban Manual for Soil Grading Control" shall be used as guidance and shall control all earthwork operations.

**SITE DRAINAGE.** The rough grading operations, the construction of embankments, and striping shall not create ponding of storm water. All areas within the project shall be graded to allow positive drainage.

**RELATIONSHIP TO EXISTING UTILITIES.** Proposed grading lines and elevations shall be coordinated with a graded sub-grade on elevations on the project shall be coordinated with the pavement structure to be installed with a tolerance of + or - 0.1 foot. The sub-grade for the pavement, including the public utility (if located), shall be graded to + or - 0.1 foot of the specified elevation. Grading shall be done as indicated by the proposed grading plan to be installed on the site. Whenever a tolerance is specified it shall be assumed to mean that the maximum of the high and low will average the true line and grade specified.

**EXCESS TRIMMED MATERIAL.** The sub-grade shall be laid uniformly low by the main grading contractor to allow for the placement of the topsoil from the landscaping activities. The unexcavated contractor shall dump all excess trim material over the trench and limited to adjacent to the trench. The main grading contractor shall spread and level the topsoil as necessary to obtain the required sub-grade elevations. All acceptable dry material from the trench shall be compacted in 6" lifts and the excess compacted material is to be compacted in unexcavated fill areas.

**BALANCE OF MATERIAL.** The main grading contractor shall sub-grade the lot area to allow sufficient material for the final grading contractor to balance the required cut and fill on each lot or between adjacent lots.

**BOUNDARY/REGISTRATION.** Any clay borrow excavation required shall be obtained from suitable sources within the lot area. The location of clay borrow excavations must be approved by the Owner, Engineer, and/or the site engineer, and the material must be approved by the site engineer as suitable for structural fill.

All borrow areas are to be cross-sectioned before excavation proceeds and prior to filling. Contractor is to provide suitable in-situ sand sectioning at the cost to the Owner. All cross-sectioning of the borrow areas is to be the main grading contractor's responsibility. Pumpage to be provided at its cost to the Owner.

If any clearing or topsoil stripping and staking of a borrow pit area is necessary, this work shall be paid for at the contract price per cubic yard.

The borrow pit shall be filled with excavated material from the site. The material shall be placed in uniform layers (as herein specified) and compacted to a minimum density of eighty-five (85) per cent of maximum density in accordance with ASTM Specification D1557 or to such other density as may be determined appropriate by the site engineer for the type of materials used. Following completion of the borrow excavation and striping operations, the borrow pit area shall be stepped to conform with the grading plan.

**UNSATURATED SOIL DRAINAGE.** If Contractor encounters any unsuitable or poor bearing soil within the project limits he shall notify the Owner at once. All unsuitable soil contact areas shall be cross-sectioned before excavation proceeds and prior to filling. Contractor is to provide suitable in-situ sand sectioning at its cost to the Owner.

All topsoil and any unsuitable materials shall be removed from within roadway areas, building pad areas, and other necessary locations as directed by the site engineer. The areas of topsoil and suitable material shall be retained as necessary with select material as specified for permanent construction and the placement of all material.

All dewatering of the undercut areas is to be the main grading contractor's responsibility. Pumpage to be provided at its cost to the Owner.

**HYDROPHOBING.** Where it is necessary to stabilize excavated material, such as topsoil, clay content, organic material, etc., the main grading contractor shall stabilize materials on the site at locations designated by the Owner and in accordance with the specifications. Excavated materials shall be stabilized in such quantities as to be adequate to stabilize any retarding or double movements by the Contractor. Failure to properly stabilize the excavated material shall constitute a claim for additional compensation.

**EMBANKMENT AREAS.** The construction of embankments shall be in accordance with the applicable paragraphs of Section 305 of the Standard Specifications.

All existing vegetable matter and topsoil shall be removed from the surface upon which embankments are to be constructed to a depth where an adequate foundation is encountered, as determined by the site engineer. Topsoil removed shall be stockpiled and used in final finishing operations. The foundation shall be graded and it is uniform and then compacted to not less than ninety (90) per cent of maximum density for public works, and to ninety-five (95) per cent of maximum density with roadway areas and for building pads, all in accordance with ASTM Specification D1557, or to such other density as may be determined appropriate by the site engineer for the materials encountered.

**PLACEMENT OF MATERIAL.** The selected fill material shall be placed in level uniform layers so that the compacted thickness is approximately six (6) inches, however, if the compacting equipment determines the ability to compact a greater thickness, then a greater thickness may be specified. Each layer shall be thoroughly rolled being spreading to insure uniformity.

Excavated material shall be compacted to a minimum of ninety (90) per cent of maximum density for public works, and to ninety-five (95) per cent of maximum density with roadway areas and for building pads, all in accordance with ASTM Specification D1557, or to such other density as may be determined appropriate by the site engineer for the materials encountered.

All building pad areas are to be capable of supporting a minimum bearing pressure of 3000 psf, or as required by local ordinance.

Non-structural fills in open areas and yards shall be compacted to eighty-five (85) per cent of maximum density in accordance with ASTM Specification D1557, or to such other density as may be determined appropriate by the site engineer for the materials encountered.

## PAVING

After the binder course has set for a period of six (6) months or until construction traffic has generally ceased on a street, whichever is later, all binder course surfaces shall be repaired to the satisfaction of the Owner (or Owner's Representative). The binder course shall be cleaned with power broom and hand where necessary.

**BITUMINOUS SURFACE COURSE.** All materials and installation of the bituminous surface course shall comply with section 305 of the Standard Specifications.

The paving contractor shall verify to the Owner (or Owner's Representative) that the bituminous binder course elevation is within the specified tolerance before placement of the bituminous surface course will be allowed.

Prior to the installation of the surface course, minimum prime coat SS-1 or other approved equivalent shall be applied to the base course as specified in the Standard Specifications at a rate of no less than 0.10 gallons per square yard.

Within a tolerance of 24 hours and a minimum of five (5) days after priming, a bituminous concrete surface course, with a compacted thickness as indicated on the plans shall be constructed upon the binder course.

The surface course of the roadway pavement shall not be laid until breaking of all existing dry joints across the roadway have completely settled or compacted to the satisfaction of the Owner (or Owner's Representative).

Corings, at the request of the Owner (or Owner's Representative) for cores, shall be taken under an independent Engineer's supervision after the paving has been completed and after the subgrade has reached acceptable.

**CURB AND GUTTER.** P.C.C. curb and gutter shall be constructed in accordance with the details shown in the plans and applicable sections of Section 600 of the Standard Specifications. The curb and gutter shall be constructed on a bedding of gravel, or an alternative indicated on the plans. Curb and gutter shall have expansion joints at maximum 80 feet spacing or at all P.O.D., P.C.C., and grade ends of each pour. Above construction joints 2 inches deep shall be provided at equal spacing between normal expansion joints or at a maximum spacing of 25 feet. Any joint occurring on the back of the curb shall be centered before backfilling or placement of the base course at no extra cost to the Owner.

## INFILTRATION BASIN MAINTENANCE PLAN

A. Maintenance shall be provided for a period of (1) year beginning at the time of Final Bid Acceptance. The annual year of maintenance shall be published within a separate contract.

B. During the bid grading season plan to improve shall enter a month with a safety storm for plan that has been in place. Work shall be set back to be done in the year following each budget or below. The annual grading budget and frequency to be adjusted to maintain control of weeds with herbicide during the rainy season. Contractor shall monitor water level, weed density and weed height to determine optimal time for spraying. Timing of maintenance shall not be worked.

C. Do not put weeds - pulling weeds control and maintenance, except new weed control and mowing for maintenance. Remove any maintenance work from the landscaping operation.

D. At the end of maintenance, do not mow down the weeds growth. Leave it to help protect the young plants over the winter. The contractor and the owner shall maintain the site, including the site of the basin, during the last year.

E. Maintain proper or correct water level with Final Acceptance as specified. Maintenance will include re-planting, mowing, and weed control.

F. Paving or related work directed by the Landscape Architect at any time shall occur during the maintenance period as specified under Final Acceptance.

G. Keep plants or related work directed by the Landscape Architect during the maintenance period. Do not cut maintenance area as related to the site. Paving or related work shall occur during the maintenance period as specified under Final Acceptance.

H. The existing Contractor shall install permanent metal stakes (or equivalent) along the boundary of the surface vegetation planting area a minimum of every 10 feet (10') in order to delineate the boundary of the area for the adjacent landscaper to install, planting stakes may be replaced by the maintenance Contractor when the surface vegetation area can be readily identified from the maintenance plan.

I. Control the construction of the site during the maintenance period. Do not allow any construction work to be done on the site during the maintenance period. Do not allow any construction work to be done on the site during the maintenance period. Do not allow any construction work to be done on the site during the maintenance period.

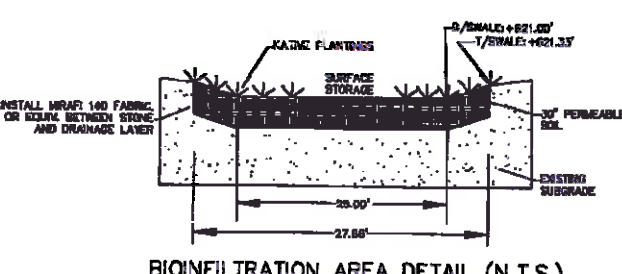
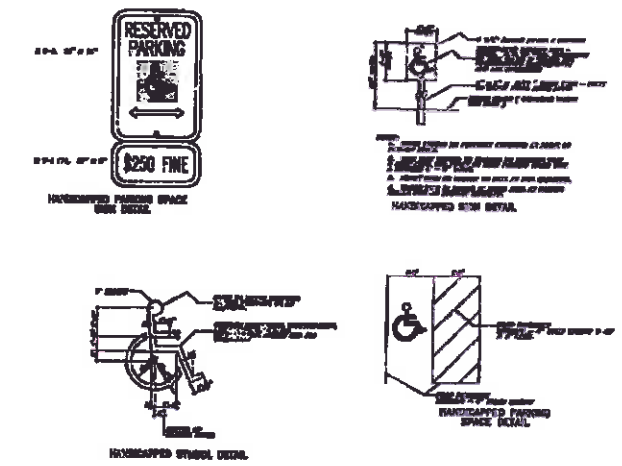
J. This year and beyond maintenance shall include the maintenance of the site during the maintenance period. Do not allow any construction work to be done on the site during the maintenance period. Do not allow any construction work to be done on the site during the maintenance period.

## TOPSOIL DEPTHS

Public Areas - Minimum Lot Coverage: 10'-24" depth (we can have the landscape contractor report depth for the islands if we need to control quality/depth)

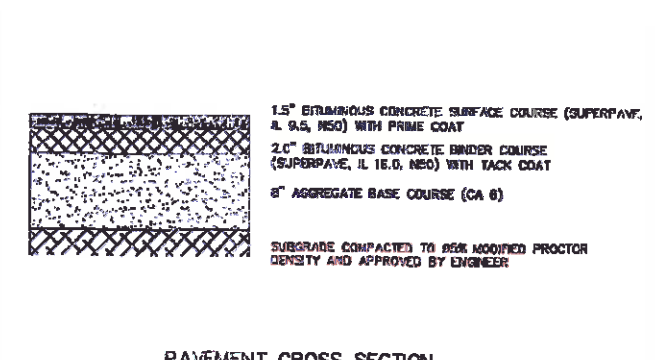
Block - West Parking: 10'-12" depth

Just 4" minimum depth



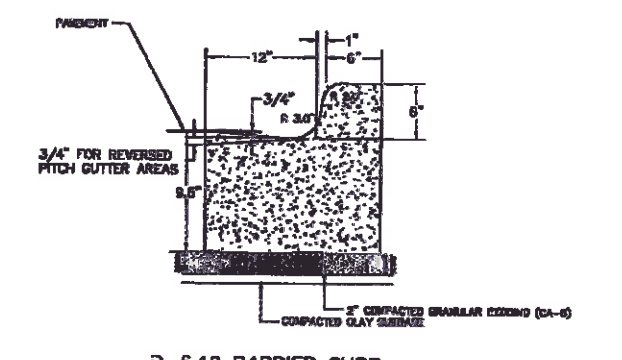
**BIOINFILTRATION AREA DETAIL (N.T.S.)**

PERMEABLE SOIL COMPOSITION:  
40% FA-2 SAND  
60% TOPSOIL WITH MAX 20% CLAY CONTENT



**PAVEMENT CROSS SECTION**

1.5" BITUMINOUS CONCRETE SURFACE COURSE (SUPERPAVE, A, 9.5, NEG) WITH PRIME COAT  
2.0" BITUMINOUS CONCRETE BINDER COURSE (SUPERPAVE, II, 11.0, NEG) WITH TACK COAT  
6" AGGREGATE BASE COURSE (CA 6)  
SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DENSITY AND APPROVED BY ENGINEER



**B-6.12 BARRIER CURB**

**B-6.12 CURB AND GUTTER**

NOTES:  
1. EXPANSION JOINTS AT 50' ON CENTER AND CONTRACTION JOINTS AT 20' ON CENTER.  
2. CONCRETE SHALL BE DOT CLASS "B".  
3. THE MINIMAL LONGITUDINAL CURB SLOPE SHALL BE 0.4%.

DESIGNED BY	DATE	SCALE
CHECKED BY	DATE	SCALE
PER VILLAGE REVIEW	DATE	REVISIONS
NO.	DESCRIPTION	DATE
6		
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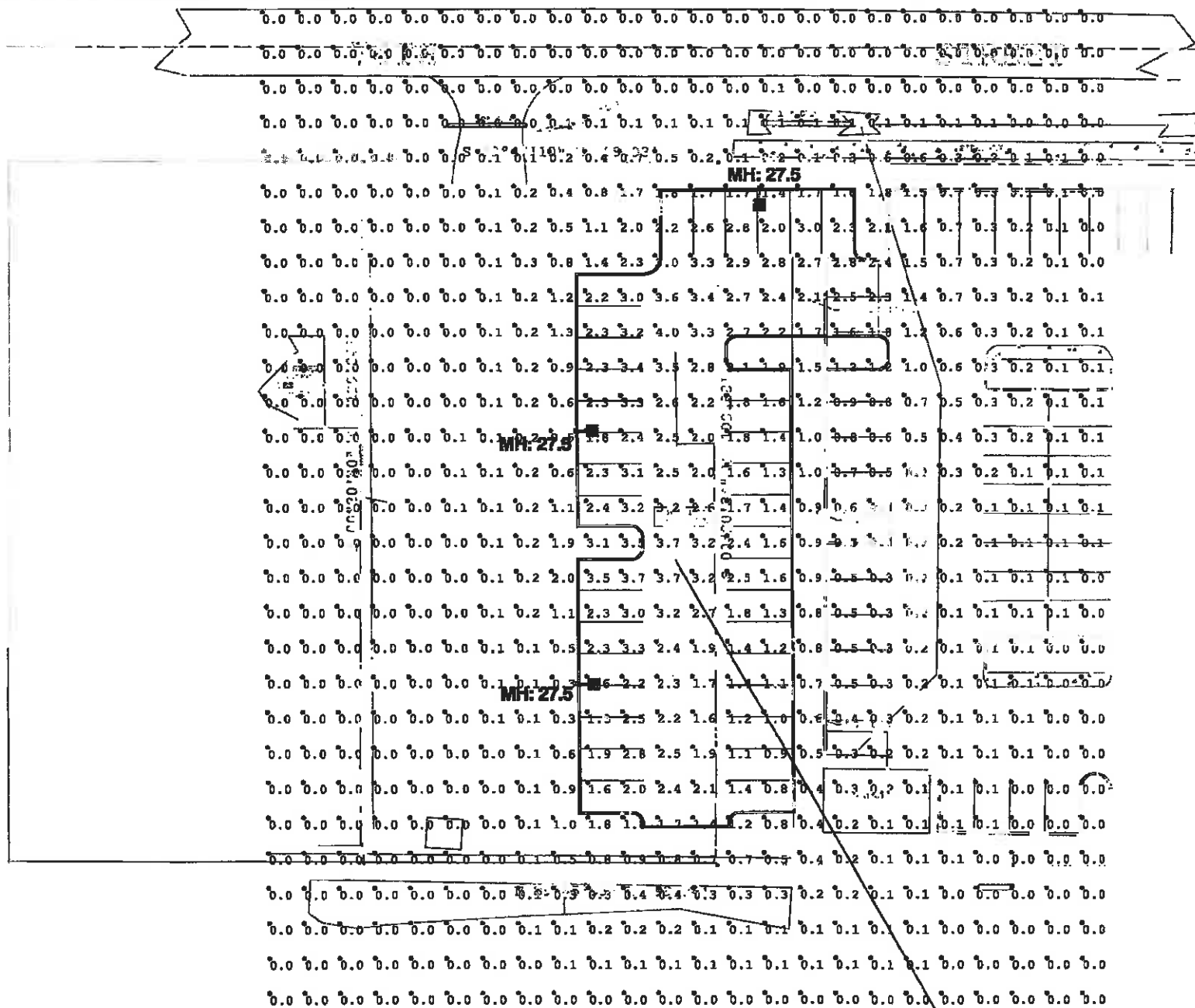
DESIGNED BY: NMC  
CHECKED BY: JIB  
DATE: 09/04/13  
SCALE: 1" = 20'

PREPARED BY: hbe  
CONSTRUCTION DETAILS/NOTES  
RESTAURANT PARKING LOT ADDITION  
ROUTE 83 AND 74TH STREET

PROJECT NO: 13-042  
DRAWING FILE: SDP.DWG  
4 OF 4

Hoefler-Butler Engineering, Inc.  
Consulting Chief Engineers - Lead Surveyors  
PROFESSIONAL DESIGN FOR LICENSE #18 104-0007  
674 S. RIVERSIDE ROAD, INDUSTRY HILLS, ILLINOIS 60131  
TEL: 708-399-8888 FAX: 708-399-0790





**NEW PARKING LOT ONLY**

**Illuminance (Fc)**  
**Average = 2.32**  
**Maximum = 4.0**  
**Minimum = 0.8**  
**Avg/Min Ratio = 2.90**  
**Max/Min Ratio = 5.00**

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Description
—■	3	4MB-E	SINGLE	13853	0.930	ARE-EDG-4MB-DA-12-E-UL-BZ-625 120 LED's
						Lum. Watts 202

**(3) PS4S25C1BZ 25 x 4 x .125 Square steel poles**  
 \*\*\* Poles meet 110 mph wind zone requirements

Footcandles calculated using predicted lumen values after 50K hours of operation					
Label	Avg	Max	Min	Avg/Min	Max/Min
CALC	0.64	4.0	0.0	N.A.	N.A.
NEW PARKING LOT ONLY	2.32	4.0	0.8	2.90	5.00

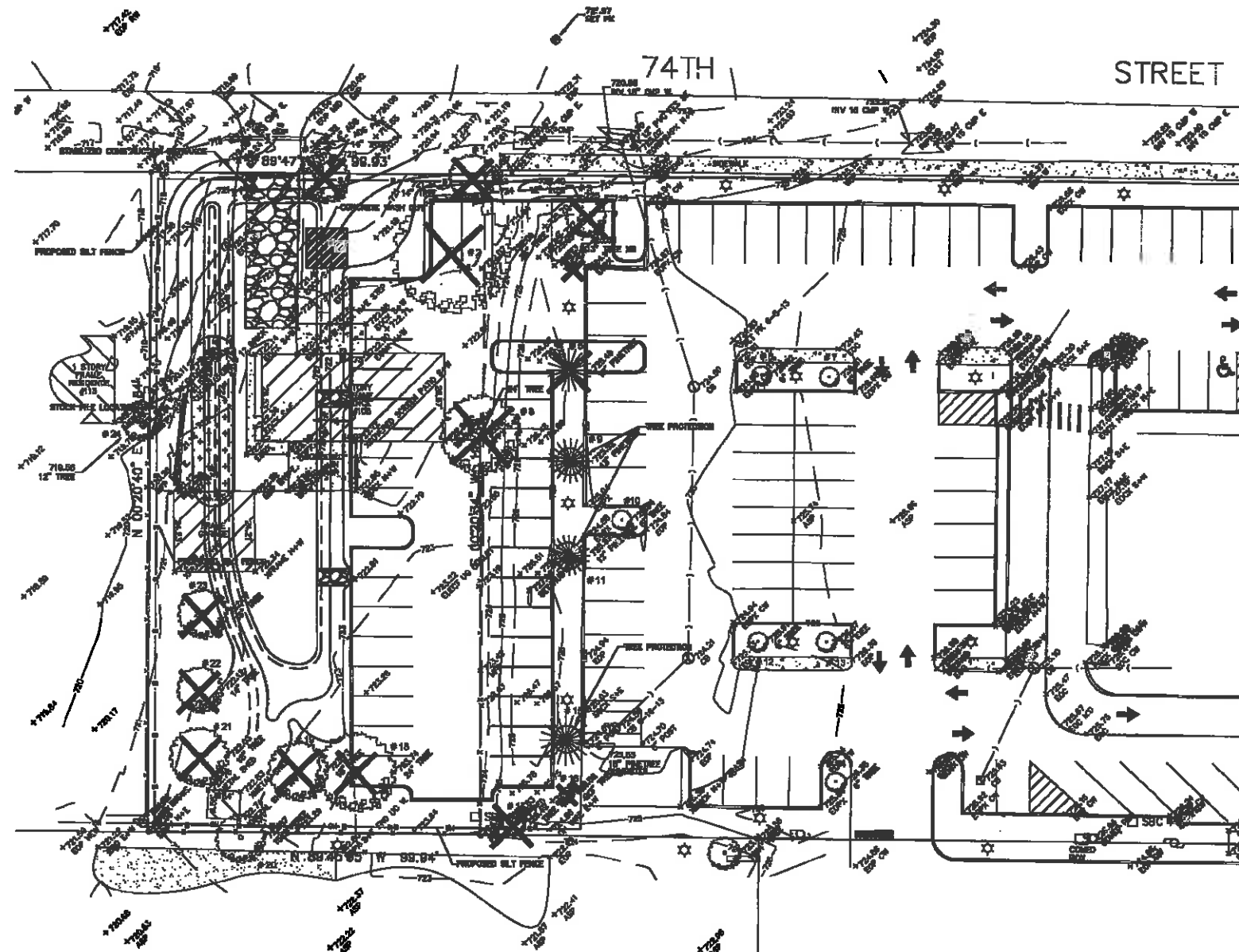


1200 92nd Street - Burlington, WI 53177  
 www.cree.com - (800) 236-8800

Project Name: Patio Restaurant Customer No: 01872  
 Date: 10/16/2013 Scale: 1"=20' Footcandles calculated at grade  
 Filename: V:\Common\app\Eng\OUT\131014MC1BRSR2.AGI Layout by: Bill Schubert

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.





**TREE PRESERVATION AND REMOVAL PLAN**

SCALE: 1"=20'-0"



**TREE SURVEY**

No.	Botanical Name	Common Name	Size (DBH)	Condition	Proposed Action
1	Fraxinus pennsylvanica	Green Ash	14"	Poor, 80% dead	Remove
2	Acer rubrum	Red Maple	36"	Good to Fair	Remove - in conflict with new site improvements
3	Acer platanoides	Norway Maple	12"	Poor, sparse canopy	Remove - in conflict with new site improvements
4	Malus sp.	Crabapple	8 x 8"	Poor	Remove - in conflict with new site improvements
5	Pinus nigra	Austrian Pine	12"	Fair	Preserve
6	Pinus c. chinensis	Chinese Pine	8"	Excellent	Preserve
7	Pinus c. chinensis	Chinese Pine	8"	Excellent	Preserve
8	Abies grandis	Box Elder	24"	Poor, 60% dead	Remove
9	Pinus nigra	Austrian Pine	12"	Fair	Preserve
10	Pinus c. chinensis	Chinese Pine	8"	Excellent	Preserve
11	Pinus nigra	Austrian Pine	12"	Fair	Preserve
12	Pinus c. chinensis	Chinese Pine	8"	Excellent	Preserve
13	Pinus c. chinensis	Chinese Pine	8"	Excellent	Preserve
14	Pinus c. chinensis	Chinese Pine	8"	Excellent	Preserve
15	Pinus nigra	Austrian Pine	10"	Fair	Preserve
16	Abies grandis	Box Elder	4 x 8"	Poor	Remove
17	Abies grandis	Box Elder	7"	Poor	Remove
18	Fraxinus pennsylvanica	Green Ash	24"	Poor, 80% dead	Remove - in conflict with new site improvements
19	Fraxinus pennsylvanica	Green Ash	19"	Poor, 80% dead	Remove
20	Ulmus parviflorus	European Elm	2 x 16"	Fair	OK site - no action
21	Fraxinus pennsylvanica	Green Ash	18"	Poor, 10% dead	OK site - no action
22	Fraxinus pennsylvanica	Green Ash	14"	Poor, 80% dead	Remove
23	Fraxinus pennsylvanica	Green Ash	19"	Poor, 80% dead	Remove
24	Fraxinus pennsylvanica	Green Ash	12"	Poor, 90% dead	OK site - no action
25	Fraxinus pennsylvanica	Green Ash	14"	Poor, 40% dead	Remove

Description	General Criteria
Excellent	The tree is typical of the species, has less than 5% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
Good	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
Good to Fair	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.
Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not easily corrected with normal care, and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to minimize the impact of storm stress and to insure continued health.
Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay or structural defect, insect, disease, or other problems that can be easily corrected in the long term or create a hazardous tree that is not corrected in a short period of time or if the tree is subjected to additional stress.
Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely injured with its soil, disease, or other problems that even if corrected would not result in the long term survival of the tree.
Dead	Less than 10% of the tree shows signs of life.

**GENERAL NOTES**

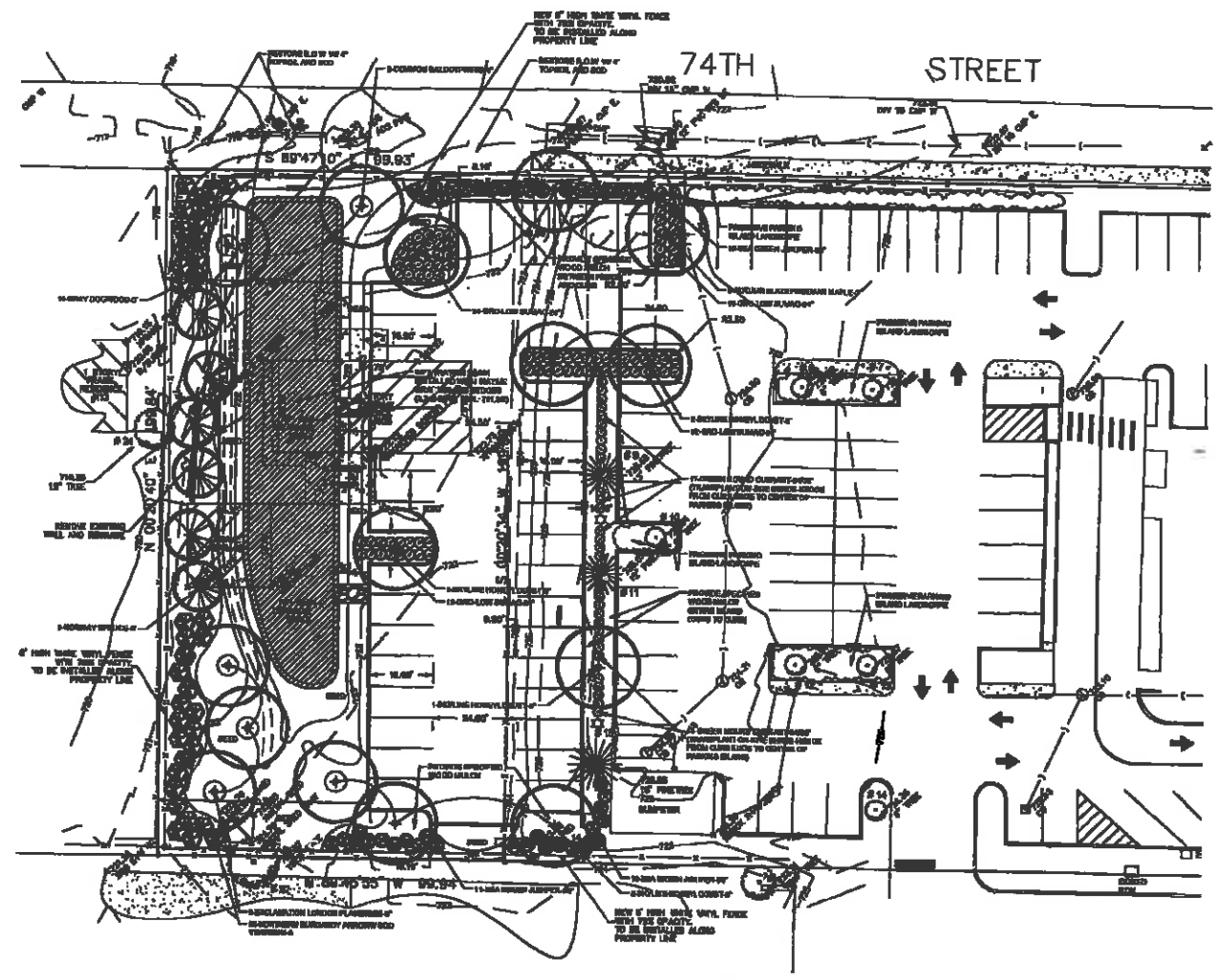
1. DATA INFORMATION ACCORDING FROM CURRENT SITE GRADING AND DIMENSION PLANS PREPARED BY HOFFERLE-BAUER ENGINEERING, INC.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PURCHASING ALL PERMITS, FEES AND INSURANCE NECESSARY FOR PROPER IMPLEMENTATION OF THIS WORK. COMPLY WITH CODES APPLICABLE TO THIS WORK.
3. CONTRACTOR SHALL APPLY AND OBTAIN TREE REMOVAL PERMIT FOR APPROVAL OF PROPOSED TREE REMOVALS PRIOR TO ANY WORK.
4. TEMPORARY TREE PRESERVATION FENCING SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND LOCATED AS ILLUSTRATED ON THE CIVIL DIMENSION GENERAL PLANS. THE PROTECTIVE FENCING SHALL BE MAINTAINED DURING THE ENTIRE CONSTRUCTION PERIOD.
5. NO CONSTRUCTION ACTIVITY, MOVEMENT AND PLACEMENT OF EQUIPMENT, OR MATERIAL, OR SPILL STORAGE AND NO EXCESS SOIL, ACCUMULATED FILL, LITTER, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO BE PRESERVED NOW AT ANY HIGHER LOCATION.
6. CRUSHED LIMESTONE HYDROCARBONS AND OTHER MATERIAL DETRIMENTAL TO TREES SHALL NOT BE DEPOSITED WITHIN THE ROOT ZONE OF ANY TREE NOW AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD REASONABLY EXPECT TO AFFECT THE HEALTH OF THE TREE.
7. EXISTING GRADES SHALL BE MAINTAINED WITH NO DISTURBANCE PERMITTED AND GRADING OR SOIL BACKFILLING WITHIN THE CANOPY OF TREES TO BE PRESERVED.
8. PRESERVE EXISTING TREES AS INDICATED. PREPARE REMOVAL AND DISPOSAL OF IDENTIFIED TREES AND VEGETATION IN COMPLIANCE WITH NEW SITE AND LANDSCAPE RECONSTRUCTION. GRUB TREE ROOTS 18" BELOW GRADE AND SHIELD ROOTS 12" BELOW GRADE. NUMBER STOCK TREES AND NUMBER DESIGNATED FOR REMOVAL SHALL ALSO INCLUDE REMOVAL OF ROOTBALL.
9. PRESERVED TREES LOCATED WITHIN THE CONSTRUCTION ZONE SHALL BE PROPERLY PRUNED TO REMOVE DEAD WOOD AND WORK BRANCHES. SELECTIVE PRUNING (SHRUBS) SHALL BE NECESSARY TO COMPENSATE FOR ROOT LOSS AND PROTECTIVE CLIPPING. TREES LOCATED CLOSE PROXIMITY OF EXCAVATION SHALL HAVE ROOT PRUNING PERFORMED WITHIN (1) FOOT OF EXCAVATION WORK IN ORDER TO PROMOTE NEW ROOT GROWTH AND PREVENT BRINDLING DAMAGE. EQUIPMENT FOR ROOT PRUNING MAY INCLUDE A TRENCHER, ROOT PRUNERS, OR OTHER EQUIPMENT. TREES LOCATED WITHIN THE CONSTRUCTION ZONE SHALL BE TREATED WITH A SOIL INJECTED LIQUID ROOT FERTILIZER AS SPECIFIED AND PERFORMED BY A CERTIFIED ARBORIST.
10. THE SERVICES OF A CERTIFIED ARBORIST SHOULD BE REQUIRED TO PERFORM THE AFORESAID TREE PRUNING, ROOT PRUNING, FERTILIZING AND SITE MONITORING DURING AND AFTER CONSTRUCTION.
11. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 FOR UTILITY LOCATION FOR EXCAVATION 1-800-888-0123.



PREPARED FOR: <b>JEK PROPERTIES</b> 7220 WEST 91ST STREET BRIDGEVIEW, IL	PREPARED BY: <b>TRIPIEDI design</b> LANDSCAPE ARCHITECTURE 902 SUNDEN COURT AURORA, ILLINOIS 60204 630-375-8400 FAX 630-375-0487	REVISION: 1 ISSUE FOR VILLAGE REVIEW 11-08-2019	SHEET TITLE: <b>TREE PRESERVATION AND REMOVAL PLAN</b>	PROJECT NAME: <b>PATIO RESTAURANT - PARKING LOT EXPANSION</b> ROUTE 60 AND 74TH STREET DAPER, IL	DATE: 08-04-2019 PROJECT NUMBER: 1308A DRAWN BY: MCT CHECKED BY: MCT	SHEET NUMBER: <b>L1</b> OF 2
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PERIMETER YARD LANDSCAPE REQUIREMENTS

Item	Material Name	Quantity	Unit	Total
A. 1/2" - 3/4" Gravel	Arborea S. 'Molokai'	2	100	200
	Arborea S. 'Molokai'	2	100	200
	Arborea S. 'Molokai'	2	100	200
B. 1/2" - 3/4" Gravel	Arborea S. 'Molokai'	3	100	300
	Arborea S. 'Molokai'	1	100	100
	Arborea S. 'Molokai'	14	100	1400
	Arborea S. 'Molokai'	20	100	2000
Subtotal				1,200
C. 1/2" - 3/4" Gravel	Arborea S. 'Molokai'	1	100	100
	Arborea S. 'Molokai'	1	100	100
	Arborea S. 'Molokai'	1	100	100
Subtotal				300

MATERIAL SCHEDULE

Item	Material Name	Qty	Unit	Remarks
1. 1/2" - 3/4" Gravel	Arborea S. 'Molokai'	2	100	200
	Arborea S. 'Molokai'	2	100	200
	Arborea S. 'Molokai'	2	100	200
	Arborea S. 'Molokai'	2	100	200
2. 1/2" - 3/4" Gravel	Arborea S. 'Molokai'	3	100	300
	Arborea S. 'Molokai'	1	100	100
	Arborea S. 'Molokai'	14	100	1400
	Arborea S. 'Molokai'	20	100	2000
Subtotal				1,200
3. 1/2" - 3/4" Gravel	Arborea S. 'Molokai'	1	100	100
	Arborea S. 'Molokai'	1	100	100
	Arborea S. 'Molokai'	1	100	100
Subtotal				300

GENERAL NOTES

1. ALL CONTRACTORS SHALL VERIFY THAT THEY HAVE CURRENTLY PLANNED TO COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.
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NATIVE STEWARDSHIP FOR INFILTRATION AREA

1. ALL CONTRACTORS SHALL VERIFY THAT THEY HAVE CURRENTLY PLANNED TO COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.
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<p>PREPARED FOR:</p> <p><b>JEK PROPERTIES</b> 7220 WEST 61ST STREET MCKINNEY, TX</p>	<p>PREPARED BY:</p> <p><b>TRIPEDI design</b> LANDSCAPE ARCHITECTURE 402 BURNING OILYNT MCKINNEY, TEXAS 75069 972-562-8888 FAX 972-562-8887</p>	<p>REVISIONS:</p> <p>1. ISSUE FOR VILLAGE REVIEW 11-08-2023 2. ISSUE FOR REVIEW COMMENTS 12-11-2023</p>	<p>PROJECT NAME:</p> <p><b>LANDSCAPE DEVELOPMENT PLAN</b></p>	<p>PROJECT NAME:</p> <p><b>PATIO RESTAURANT - PARKING LOT EXPANSION</b> ROUTE 66 AND 74TH STREET CHARTER 1</p>	<p>DATE: 10-14-23</p> <p>PROJECT NUMBER: 1001</p> <p>ISSUED BY: JAY</p> <p>CHECKED BY: JAY</p>	<p>PROJECT NUMBER:</p> <p><b>L2</b></p> <p>OF 2</p>
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**MINUTES  
CITY OF DARIEN  
PLANNING & ZONING COMMISSION MEETING  
December 4, 2013**

**PRESENT:** Beverly Meyer – Chairperson, Don Hickok, Lou Mallers, Ray Mielkus, Pauline Oberland, Michael Griffith – Senior Planner, Elizabeth Lahey – Secretary.

**ABSENT:** Ron Kiefer, John Lind, Ken Ritzert, Susan Vonder Heide

Chairperson Meyer called the meeting to order at 7:00 p.m. at the City Hall – City Council Chambers, Darien, Illinois and declared a quorum present and swore in the audience members wishing to present public testimony.

**A. Public Hearing - PZC 2013-08: 334 Janet Avenue: Petitioner seeks a variation to reduce the required front yard setback from 35 feet to 30 feet in order to construct a front porch.**

Mr. Michael Griffith – Senior Planner reported that this variation is to reduce the required front yard setback from 35 feet to 30 feet. He reported that the petitioner has taken down the existing home and is building a new home on the same foundation. Mr. Griffith further reported that the new home will have a front covered porch.

Mr. Griffith stated that the petitioner provided a building elevation drawing and that the porch is modest with no concerns from staff. He stated that he did not receive any phone calls regarding this petition.

Chairperson Meyer reported that she spoke with Director Dan Gombac and that he stated that there were no issues with the porch or stormwater. She questioned where the gutters would be located and where they would drain.

The petitioner, Mr. Larry Sakiri, Darien reported that the gutters will drain to all three sides facing the front of the home.

Mr. Griffith reported that the Zoning Ordinance language triggered a variation because of the roof.

The petitioner stated that he has started construction and that they are working on the concrete to raise the existing foundation.

Mr. Griffith reported that staff issued the petitioner a building permit without the porch included.

Commissioner Hickok questioned why the petitioner was raising the foundation.

The petitioner reported that the crawl space was too narrow.

There was no one in the audience wishing to present public comment and Chairperson Meyer closed the public hearing at 7:06 p.m.

**Commissioner Mallers made a motion and it was seconded by Commissioner Hickok that based upon the information presented, the request associated with PZC 2013-08 is in conformance with the standards of the Darien City Code and move that the Planning and Zoning Commission approve the petition as presented.**

**Upon roll call vote, THE MOTION CARRIED UNANIMOUSLY 5-0. Commissioner Kiefer, Commissioner Lind, Commissioner Ritzert and Commissioner Vonder Heide were not present.**

Mr. Griffith announced that this would be forwarded to the Municipal Services Committee on Monday, December 23rd at 6:30 p.m.

#### **MINUTES**

**Commissioner Hickok made a motion and it was seconded by Commissioner Mielkus to waive the reading of the November 20, 2013 Meeting Minutes.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 5-0. Commissioner Kiefer, Commissioner Lind, Commissioner Ritzert and Commissioner Vonder Heide were not present.**

**Commissioner Oberland made a motion and it was seconded by Commissioner Hickok to approve the November 20, 2013 Meeting Minutes.**

**Upon roll call vote, THE MOTION CARRIED UNANIMOUSLY 5-0. Commissioner Kiefer, Commissioner Lind, Commissioner Ritzert and Commissioner Vonder Heide were not present**

#### **CORRESPONDENCE**

None.

#### **OLD BUSINESS/PLANNER'S REPORT**

None.

#### **NEXT MEETING**

Mr. Griffith announced that the next meeting is scheduled for Wednesday, December 4, 2013 at 7:00 p.m.

#### **ADJOURNMENT**

**With no further business before the Commission, Commissioner Mallers made a motion and it was seconded by Commissioner Hickok. Upon voice vote, THE MOTION CARRIED unanimously and the meeting adjourned at 7:20 p.m.**

**RESPECTFULLY SUBMITTED:**

**APPROVED:**

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**Elizabeth Lahey**  
**Secretary**

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**Beverly Meyer**  
**Chairman**