

AGENDA MEMO
PLANNING, ZONING, AND ECONOMIC DEVELOPMENT COMMISSION
APRIL 2, 2025

CASE

PZC2024-09

Rezone, Preliminary Plat of Subdivision, Variations
(Chestnut Court Darien IL LLC – 7511 Lemont Road)

ISSUE STATEMENT

Petition from Chestnut Court Darien IL, LLC for the rezoning and redevelopment of the Chestnut Court shopping center located in the B-3 (General Business) zoning district at the southeast corner of 75th Street and Lemont Road, commonly known as 7511 Lemont Road (PINs 09-29-300-008, 09-29-300-022, 09-29-300-023, 09-29-300-024, and 09-29-300-025). The project includes the following:

- A request to change the zoning for the project site from B-3 (General Business District) to M-U (Mixed-Use);
- A variation to allow for ground-floor residential for a multifamily apartment building;
- A variation to reduce the required parking ratio from 2 spaces per dwelling unit to 1 space per dwelling unit;
- The construction of three (3) retail buildings totaling 107,165 square-feet and one 151,196 square-foot four-story 156-unit multifamily apartment building comprised of studio, one-bedroom and two-bedroom units, with residential amenities including a fitness room, club room, storage, and outdoor recreation areas, with an option to increase the number of units to a total of 166-units;
- Façade improvements for the commercial center;
- On-site improvements including landscaping, fencing, walkways, parking and loading areas, on-site utilities, and drainage/stormwater facilities.

GENERAL INFORMATION

Petitioner:	Chestnut Court Darien IL LLC
Property Owner:	Chestnut Court Darien IL LLC
Property Location:	7511 Lemont Road
PIN Numbers:	09-29-300-008, 09-29-300-022, 09-29-300-023, 09-29-300-024, and 09-29-300-025
Existing Zoning:	B-3 (General Business District)
Proposed Zoning:	M-U (Mixed-Use)
Existing Land Use:	Shopping Center
Comprehensive Plan:	Commercial (Existing); Commercial (Future)
	<u>Key Development Area #1:</u> Prioritized for mixed-use development, infill development and site enhancements or improvements.
Surrounding Zoning & Uses	
North:	N/A, City of Downers Grove; Shopping Center
East:	Single Family Residence District (R-2); Single Family
South:	Office, Research and Industrial District (OR-I); Wetlands
West:	N/A, Village of Woodridge; Shopping Center
Size of Property:	15.6 Acres
Floodplain:	N/A
Natural Features:	N/A

Transportation/Access:

The petition site gains access from three driveways on 75th Street, and three driveways on Lemont Road, one of which is signalized.

ATTACHMENTS

- A) LOCATION MAP AND AERIAL PHOTO**
- B) SITE PLAN**
- C) EXISTING ZONING MAP**
- D) COMP PLAN UPDATE; KEY DEVELOPMENT AREA NO. 1**
- E) PROPOSED ZONING MAP**
- F) PARKING AND TRAFFIC ANALYSIS**
- G) RETAIL FLOOR PLANS AND ELEVATIONS**
- H) MULTIFAMILY FLOOR PLANS AND ELEVATIONS**
- I) LANDSCAPE PLANS**
- J) GRADING AND UTILITY PLAN**
- K) PRELIMINARY PLAT OF SUBDIVISION**
- L) PROJECT REVIEW CRITERIA**

BACKGROUND

The 15.6-acre subject property is located at the southwest corner of 75th Street and Lemont Road (see Attachment A – Location Map and Aerial Photo), within the General Business District (B-3). Prior to incorporation into the City of Darien, the property was rural in character. In 1986, the City of Darien adopted Ordinance No. O-05-86, and entered into an annexation agreement for the property, which had recently been approved for development of a shopping center under the jurisdiction of DuPage County. Amendments to the agreement were approved in 1997 and 2002, to allow for expansion of the center and changes to the freestanding signs on the property. The site configuration remains roughly the same as originally permitted and is comprised of roughly 172,697 square-feet of retail space.

Chestnut Court was highly successful in the 80's, 90's, and 2000's. It was formerly occupied by many big box stores such as Stein Mart, Joann Fabric, the Salvation Army, bakeries and furniture stores and stores such as Blockbuster Video. In recent years, the site has experienced a high vacancy rate as big box stores and retail continues its downward trend following the popularization of delivery services and effects of the COVID pandemic. Currently the site needs maintenance and repair.

In 2022, the City adopted a Comprehensive Plan update that identified the site as Key Development Area No. 1. The City's stated goals for the site include the prioritization of mixed-use development, and the facilitation of additional tenants and improvements for the shopping center. In June 2024, the City adopted a Zoning Text Amendment establishing a Mixed-Use Zoning District in the City Code, in anticipation of future development in Key Areas identified in the Comprehensive Plan, including the project site.

PROPOSAL

Chestnut Court Darien IL LLC, who purchased the property in late 2023, is now petitioning for a major redevelopment of the site to revitalize the center (see Attachment B – Site Plan), which includes the following:

- Demolition of approximately 90,204 square-feet of building area primarily located along the south wing of the shopping center, including a small retail building on Lemont Road
- Construction of new retail buildings:
 - Retail “A” – 11,228 square-feet
 - Retail “H” (Drive-through restaurant) – 5,000 square-feet
 - Retail “F” (Remodeled portion of a previous building) – 13,040 square-feet
 - New overall total of 107,165 square-feet of retail space
- Construction of one (1) 151,196 square-foot, four-story, 156-unit multifamily apartment building comprised of studio, one-bedroom and two-bedroom units, with residential amenities including a fitness room, club room, storage, and outdoor recreation areas
 - Includes a request for an option to increase the number of units to a total of 166-units without changing the square footage of the building
- Façade improvements for the rest of the commercial center
- On-site improvements including landscaping, fencing, walkways, parking and loading areas, on-site utilities, and drainage/stormwater facilities.

A preliminary plat of subdivision to re-subdivide the site for development purposes is also proposed. In order to allow the multi-family apartment building on the site, the petition includes a request to change the zoning for the project site from B-3 (General Business District) to M-U (Mixed-Use). Variations are also requested to allow for ground-floor residential for a multifamily apartment building, and a reduction in the required parking ratio from 2 spaces per dwelling unit to 1 space per dwelling unit.

ANALYSIS

A) Existing Zoning and Land Use

Existing Zoning and Land Use: The subject property currently lies within the General Business District (B-3) (see Attachment C – Existing Zoning Map). Due to the location of the property at the northwest corner of the city, it is bordered to the north by the City of Downers Grove, and to the west by the Village of Woodridge – with each jurisdiction hosting a shopping center at the border of the site. Bordering the site to the east is Single Family Residence District (R-2) and single family homes, and to the south, wetlands within the Office, Research and Industrial District.

Comprehensive Plan: As mentioned in the Background section of this report, in 2022, the City adopted a Comprehensive Plan Update that identified the site as Key Development Area No. 1 (see Attachment D – 2022 Comp Plan Update; Key Development Area No. 1). The City’s stated goals for the site include the prioritization of mixed-use development, and the facilitation of additional tenants and improvements for the shopping center. Staff’s review of the proposed project finds that it is consistent with the Comprehensive Plan and implements all of the stated policies and objectives for Key Development Area No. 1.

B) Rezone

Rezone: The petitioner proposes to rezone the property from the General Business District (B-3) to the Mixed-Use (M-U) District, which would facilitate the development of the site with both residential and commercial uses on the same property (see Attachment E – Proposed Zoning Map). The proposed zone change, if approved, would directly implement the policies and objectives of the Comprehensive Plan Update adopted in 2022, as analyzed previously. In addition, the land uses proposed comply with those allowed within the Mixed-Use District, City Code Section 5A-8-5-5.

C) Mixed-Use Redevelopment

Land-Use and Development Standards: The stated intent of the Mixed-Use (M-U) District promotes efficient land use by facilitating compact, high-intensity development, minimizing the amount of land needed for surface parking and other facilities. As such, development standards are not restrictive, and the developer is able to propose a site layout tailored to this specific development. The project meets or exceeds all design and development standards for the Mixed-Use (M-U) District established in Section 5A-8-5 of the City Code, with the exception of residential parking and the placement of residential on ground floors, as analyzed further in this report.

Density/Unit Mix: There are no density restrictions within the Mixed-Use District. The resulting density proposed by the project is approximately 10.6 units/acre. The table below summarize the unit mix that is anticipated for the multi-family apartment building.

Table 1: Unit Matrix (Estimated)

	Studio	1 Bedroom	2 Bedroom	Total
No. of Units (% of Total)	16 units (10%)	92 units (59%)	48 units (38%)	156 units

Site Design, Access and Circulation: As shown Attachment B – Site Plan, the buildings on site are generally placed near the perimeter, with the interior portions of the site comprised of shared surface parking areas. Multiple access points are provided: three driveways on 75th Street, and three driveways on Lemont Road, one of which is signalized. A system of drive aisles, loading berths and service roadways connect interior parking areas.

Site Parking: Four shared surface parking areas are created by the redevelopment plan. No covered spaces are provided. Refer to the table below for a parking summary.

Table 2: Parking Area Summary

Use	Size	Parking Standard	Total Parking	
			Required	Proposed
Retail / Shopping Center	107,165 sq. ft.	4 space / 1000 sq. ft.	429 stalls	461 stalls

Multifamily Apartments	156 units (166 units with option)	2 stalls/unit	332 stalls	274 stalls (1.65 stalls/unit)
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Parking and Traffic Impact Analysis: To evaluate any possible traffic impacts from the project and the proposed reduction in required parking, the petitioner prepared a parking traffic impact analysis (see Attachment F). The study evaluated existing conditions without the project, existing conditions plus the project, nationally standardized parking requirements published by the Institute of Transportation Engineers (ITE), and analyzed the specific roadway and site access improvements that are included as part of the project. The study concluded that due to the reduction in retail space, which is generally a high-demand land use, there will be a reduction in traffic volume generated by the site of approximately 9-10%, and that the parking provided for the apartments (1.65 spaces/unit) will exceed parking demand (1.19 spaces/unit). No additional site or traffic improvements were recommended.

Architecture: The retail shopping center features varied massing with flat and gabled rooflines, incorporating projecting cornices and standing seam metal roofing for visual interest. The façade blends red-brick veneer, stucco, and EIFS cladding, complemented by storefront window systems that enhance visibility. Architectural details such as ornamental gable windows, aluminum awnings, aluminum cladding, and wall sconce lighting add depth and articulation. The design balances traditional and contemporary commercial elements, creating a dynamic design (see Attachment G – Retail Floor Plans and Elevations)

The apartment building features a rectilinear massing with a slightly undulating flat roofline. The lower levels utilize brick veneer, while the upper floors transition to EIFS/stucco with cornices. Aluminum awnings and wrought iron balconies add depth, blending traditional and contemporary urban design elements (see Attachment H – Multifamily Floor Plans and Elevations).

Landscaping and Fences: A preliminary landscape plan was provided by the petitioner (see Attachment I). Landscaping consists of a variety of shade trees, ornamental trees, shrubs and groundcover. The final landscape plan will be required to comply with the City’s Zoning Ordinance. No new fences are proposed. The existing fence located along the eastern boundary of the site is required to remain, and will be evaluated during the building permit process. Any portions in disrepair will be required to be repaired or replaced.

Grading, Utilities and Drainage: The grading plan (see Attachment J) illustrates that the fully-developed site is generally flat, and is serviced by three stormwater basins, at the northwest, northeast, and southeast corners of the site. The redevelopment plan proposes to modify this system by reducing the size of the northwest basin and eliminating the northeast basin. A new underground detention stormwater storage system below the new parking area will replace the lost detention volume. The southeast basin will remain in its current configuration, and may be improved with new retaining walls. New public utility infrastructure will be required to service the site. Staff are working with the developer to determine the nature of additional watermain

infrastructure requirements that would be required for the development.

D) Preliminary Plat of Subdivision

The petitioner has also submitted a preliminary plat in accordance with Section 5B-1-5 of the City Code. The proposed preliminary plat map (see Attachment K) would subdivide the 15.6-acre project site into a total of 5 lots for development purposes, and sets the lot configuration and easements for the project. The preliminary plat meets the lot requirements for the Mixed-Use Zoning District per City Code Section 5A-8-5-9. Refer to the table below for a lot summary.

Table 3: Lot Summary

Lot No.	Lot Size (in square-feet)
1	46,407 sq. ft.
2	312,634 sq. ft.
3	238,135 sq. ft.
4	30,166 sq. ft.
5	53, 987 sq. ft.

Lot 4 is included as a vacant outlot, which at this time is not proposed for development. Any future project on the outlot will be required to be evaluated separately.

E) Zoning Variations

Ground-floor Residential: As noted previously in this report, the project proposes ground-floor residential, through the placement of a standalone multifamily apartment building on a separate parcel. Section 5A-8-5-5 (Permitted Uses) of the Mixed-Use District Ordinance permits multifamily residential on upper floors of a building only. In order to permit the project as proposed, a variation from the Section is 5A-8-5-5 would be required to allow ground floor residential.

Based on staff's review of the proposed project and established planning practice, this variation would meet the purpose and intent of the Mixed-Use District. It is widely recognized that there are two types of mixed-use development: vertical and horizontal. Vertical mixed-use developments have multiple uses within a single building. For example, each floor may have a different use and purpose (i.e., ground floor retail/restaurants with office or residential uses above). Horizontal mixed-use developments refer to sites where each building is generally single-use, within a larger development. This conforms with the City's Code in providing for a more balanced mix of uses in the siting and design of new developments such as the proposed project.

Parking: The petitioner has also requested relief from the minimum parking requirements in Section 5A-11-5 of the City Code to allow for a parking ratio of 1 space per dwelling unit, in lieu of the required 2 spaces per dwelling units. As previously analyzed in this report, the petitioner has provided a parking study that found that the site will continue to have sufficient parking if approved.

F) Justification Narrative / Project Review Criteria

The various criteria the administrative bodies use when acting on this project are included in Attachment L. The petitioner submitted a *Justification Narrative* and *Findings of Fact* that would support the application request (see Attachment M).

G) Economic Incentives / Economic Development

During the application review process, the petitioner was asked to clarify the nature of any economic incentives that would be requested to develop the project. The petitioner has formally requested economic incentives to assist with construction of the project and has stated that the project will face serious challenges moving forward without financial support. The subject application does not include any financial incentives and is comprised solely of the rezone and land development entitlements necessary for construction of the project. The City is currently exploring available economic incentives and any future financial incentive will be required to receive separate review and approval by the appropriate administrative bodies.

H) Public Comment

Pursuant to City Code and Illinois Statutes, a public notice was published and mail notices were sent to all property owners, business owners and occupants within 250 feet of the project boundary. The City shared project plans with several interested parties who contacted staff for information.

At the time of publication of this staff report, three (3) public comments have been received. Two comments from residents to the east of the site were received, and generally expressed support for the project, but asked that the developer be required to repair any fencing in disrepair along the project boundary. One public comment was received from the owner of a small parcel of land that is located within the signalized driveway on Lemont Road, but is outside of the project boundary and not located within the City of Darien. The commenter objected to the use of his property for ingress and egress to the project site. Based on staff's review of recorded easements and project documents submitted by the petitioner, staff note that permanent easements appear to be recorded over the property for public utilities and access, and that no development or alterations are proposed on the commenter's property.

DECISION MODE

The Planning, Zoning, and Economic Development Commission will consider this item at its meeting on April 2, 2025.

MEETING SCHEDULE

Planning, Zoning, and Economic Development Commission
Municipal Services Committee
City Council

April 2, 2025
April 28, 2025
May 5, 2025

CITY OF DARIEN

PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION

APRIL 2, 2025

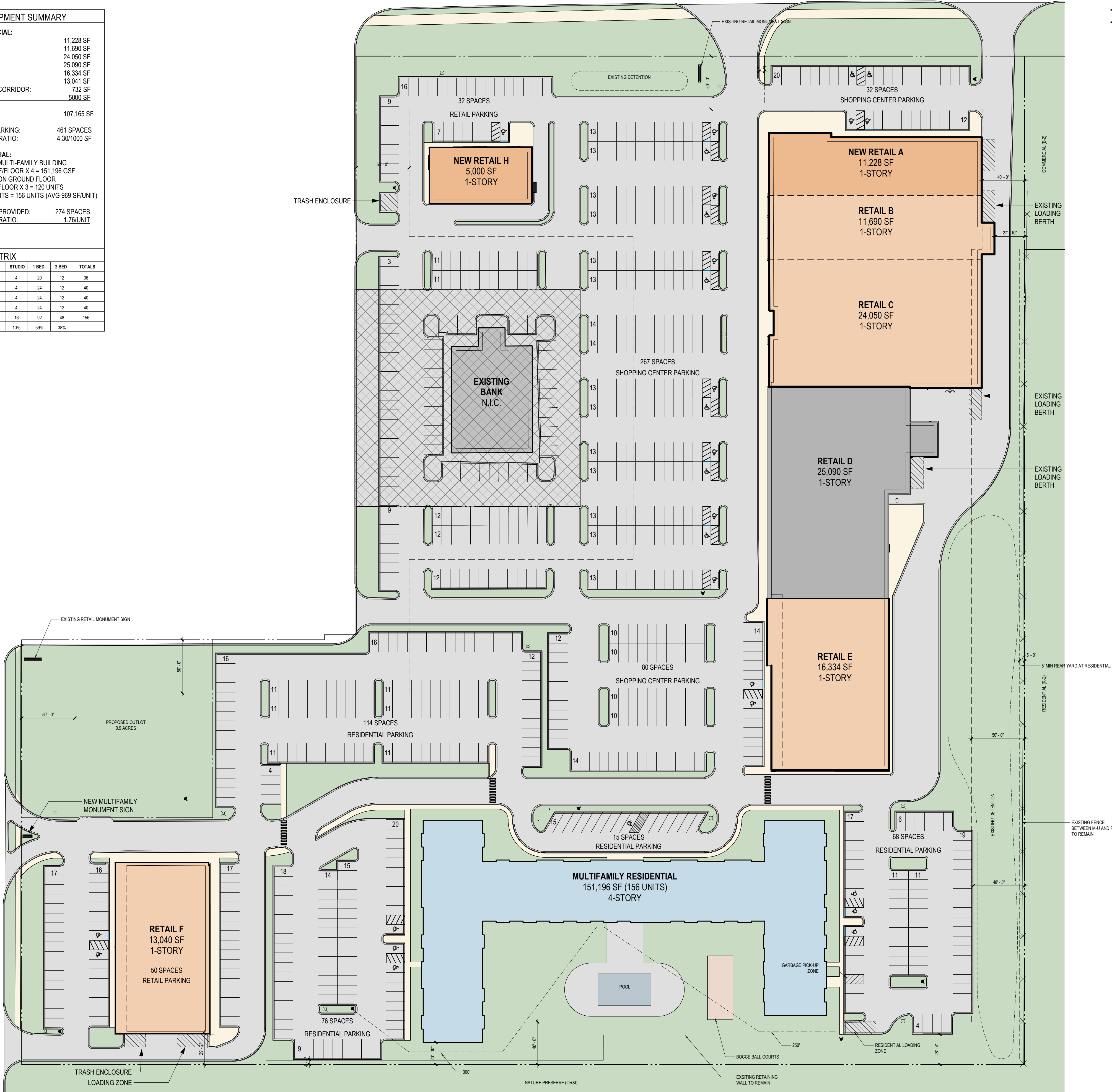
LOCATION MAP



Project No.: PZC2024-09 – 7511 Lemont Road

ZONING SUMMARY		
ZONING DISTRICT: MIXED-USE DISTRICT (M-U)		
USE: PLANNED UNIT DEVELOPMENT WITH RETAIL AND RESIDENTIAL		
LOT SIZE: 60,000 SF (1.34 ACRES)		
MINIMUM LOT SIZE:	ORDINANCE REQUIREMENTS	PROPOSED
2,500 SF		15.6 ACRES
MINIMUM LOT WIDTH:	20'	400' MIN
YARD REQUIREMENTS:	FRONT YARD DEPTH: NO MINIMUM SIDE YARD DEPTH: NO MINIMUM REAR YARD DEPTH: NO MINIMUM ADJONING NON-RESIDENTIAL: 5'-0" MIN. ADJONING NON-RESIDENTIAL: 10'-0" MIN. ADJONING NON-RESIDENTIAL: 10'-0" MIN.	COMPLIES, BUILDING SIDE YARD DEPTHS VARY: 5' CORNER SIDE YARD DEPTH AT R-2 SHOWN DASHED ON PLAN.
FAR:	1.5 MAXIMUM	0.38 PROPOSED
BUILDING HEIGHT:	75'-0" MAXIMUM	VARIES, MULTI-FAMILY (TALLEST) = 48'-0"
BUILDING STORES:	SIX (6) MAXIMUM	RETAIL BUILDINGS: ONE (1) STORY MULTI-FAMILY BUILDING: FOUR (4) STORES
MIXED-USE BUILDING:	AT LEAST ONE FLOOR OF MULTI-FAMILY BUILDING DEVOTED TO ALLOWED NON-RESIDENTIAL USES	VARIANCE REQUEST: MULTI-FAMILY BUILDING HAS NO NON-RESIDENTIAL USES
LANDSCAPE:		
PERIMETER YARD:	FRONT, CORNER SIDE, INTERIOR SIDE, AND REAR YARDS SHALL BE LANDSCAPED PER FORMULA PROVIDED IN CHAPTER 16 SECTION SA-10-5 OF DARIEN IL CITY CODE.	YARDS TO BE LANDSCAPED PER ZONING REQUIREMENTS.
PARKING LOT LANDSCAPING:	ONE (1) SHADE TREE AND THIRTY SEVEN (37) SHRUBS FOR EA. ONE HUNDRED (100) LINEAR FT. OF PARKING SPACES. ONE (1) LANDSCAPE ISLAND EVERY FIFTEEN (15) PARKING SPACES. MINIMUM 9'-0" WIDE ISLAND AT END OF EVERY ROW	YARD PROVIDED AROUND PARKING LOT FOR REQUIRED LANDSCAPING. ONE (1) LANDSCAPE ISLAND PROVIDED EVERY FIFTEEN (15) PARKING SPACES.
FOUNDATION LANDSCAPING:	10'-0" WIDE PLANTING BED FOR MINIMUM 50% OF THE BUILDING FACES	FOUNDATION LANDSCAPING DOES NOT EXIST/NOT PROPOSED AT EXISTING SHOPPING CENTER
REFUSE DISPOSAL LANDSCAPING:	10'-0" WIDE PLANTING BED ON TREE (3) SIDES OF REFUSE DISPOSAL AREA	10'-0" WIDE MIN. FOUNDATION LANDSCAPING PROVIDED AT MULTI-FAMILY BUILDING
PARKING:		
SHOPPING CENTER UNDER 200,000 SF:	4 SPACES PER 1,000 SF 88,362 SF / 1,000 x 4 = 354 SPACES	SHOPPING CENTER RETAIL: 379 SPACES
RETAIL OUTLOTS:	4 SPACES PER 1,000 SF RETAIL F: 13,040 SF / 1,000 x 4 = 53 SPACES RETAIL H: 5,000 SF / 1,000 x 4 = 20 SPACES	RETAIL F: VARIANCE REQUEST - 50 SPACES PROVIDED RETAIL H: 32 SPACES
DWELLING, MULTI-FAMILY:	2 SPACES PER DWELLING UNIT: 156 UNITS x 2 = 312 SPACES REQUIRED 1 LOADING BERTH FOR FIRST 200K SF, THEN 1 PER 200K SF AFTER	VARIANCE REQUEST - 273 SPACES PROVIDED 140 BHK PARKING SPACES PROVIDED IN BUILDING 1 LOADING BERTH PROVIDED 1 GARBAGE PICK UP ZONE PROVIDED
DINING DRINKING	1 STALL PER 3 SEATS, INDOOR AND OUTDOOR 1 STALL PER 2 SEATS	SHARED WITH SHOPPING CENTER PARKING
ACCESSIBLE SPACES:	21 TO 50 = 2 ACCESSIBLE SPACES 51 TO 75 = 3 ACCESSIBLE SPACES 201 TO 300 = 7 ACCESSIBLE SPACES 301 TO 400 = 8 ACCESSIBLE SPACES	RETAIL H OUTLOT: 1 PROVIDED RETAIL F OUTLOT: 2 PROVIDED MULTI-FAMILY: 7 PROVIDED SHOPPING CENTER: 19 PROVIDED
RETAIL OFF-STREET LOADING	SETBACK: ADJONING NON-RESIDENTIAL: 20'-0" MIN. ADJONING RESIDENTIAL: 30'-0" MIN. SIZE: 12' x 30', 14' VERTICAL CLEARANCE REQUIRED FOR BUILDINGS 7,000 TO 60,000 GSF	LOADING PROVIDED BEHIND RETAIL BUILDINGS VARIES, SEE PLAN.

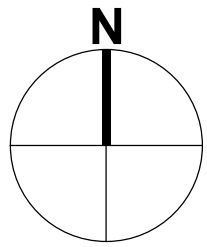
DEVELOPMENT SUMMARY				
COMMERCIAL:				
RETAIL A:	11,228 SF			
RETAIL B:	11,690 SF			
RETAIL C:	24,050 SF			
RETAIL D:	25,090 SF			
RETAIL E:	16,334 SF			
RETAIL F:	13,041 SF			
SERVICE CORRIDOR:	732 SF			
RETAIL H:	5,000 SF			
TOTAL:	107,165 SF			
RETAIL PARKING:	461 SPACES			
PARKING RATIO:	4.30/1000 SF			
RESIDENTIAL:				
4 STORY MULTI-FAMILY BUILDING				
37,799 GSF FLOOR X 4 = 151,196 GSF				
36 UNITS ON GROUND FLOOR				
40 UNITS/FLOOR X 3 = 120 UNITS				
TOTAL UNITS = 156 UNITS (AVG 969 SF/UNIT)				
PARKING PROVIDED:	274 SPACES			
PARKING RATIO:	1.78/UNIT			
UNIT MATRIX				
	STUDIO	1 BED	2 BED	TOTALS
LEVEL 01	4	20	12	36
LEVEL 02	4	24	12	40
LEVEL 03	4	24	12	40
LEVEL 04	4	24	12	40
TOTALS	16	92	48	156
RATIO	10%	59%	38%	



PLAN LEGEND:	
[Dashed Outline]	SCOPE OF PROJECT AREA WITHIN INDICATED OUTLINE
[Grey Box]	EXISTING BUILDINGS TO BE REMAIN
[Orange Box]	EXISTING BUILDINGS TO BE RENOVATED
[Light Orange Box]	NEW BUILDINGS WITHIN SCOPE OF WORK AREA
[Blue Box]	NEW MULTIFAMILY RESIDENTIAL BUILDING
[Hatched Box]	LOADING ZONE
[Fire Hydrant Symbol]	FIRE HYDRANT
[X Symbol]	EXISTING LIGHT POLE
[X Symbol]	NEW LIGHT POLE



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



PROJECT

SCALE: 1" = 50'
0 25' 50' 100'

RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
02/26/25 Project #: 23079

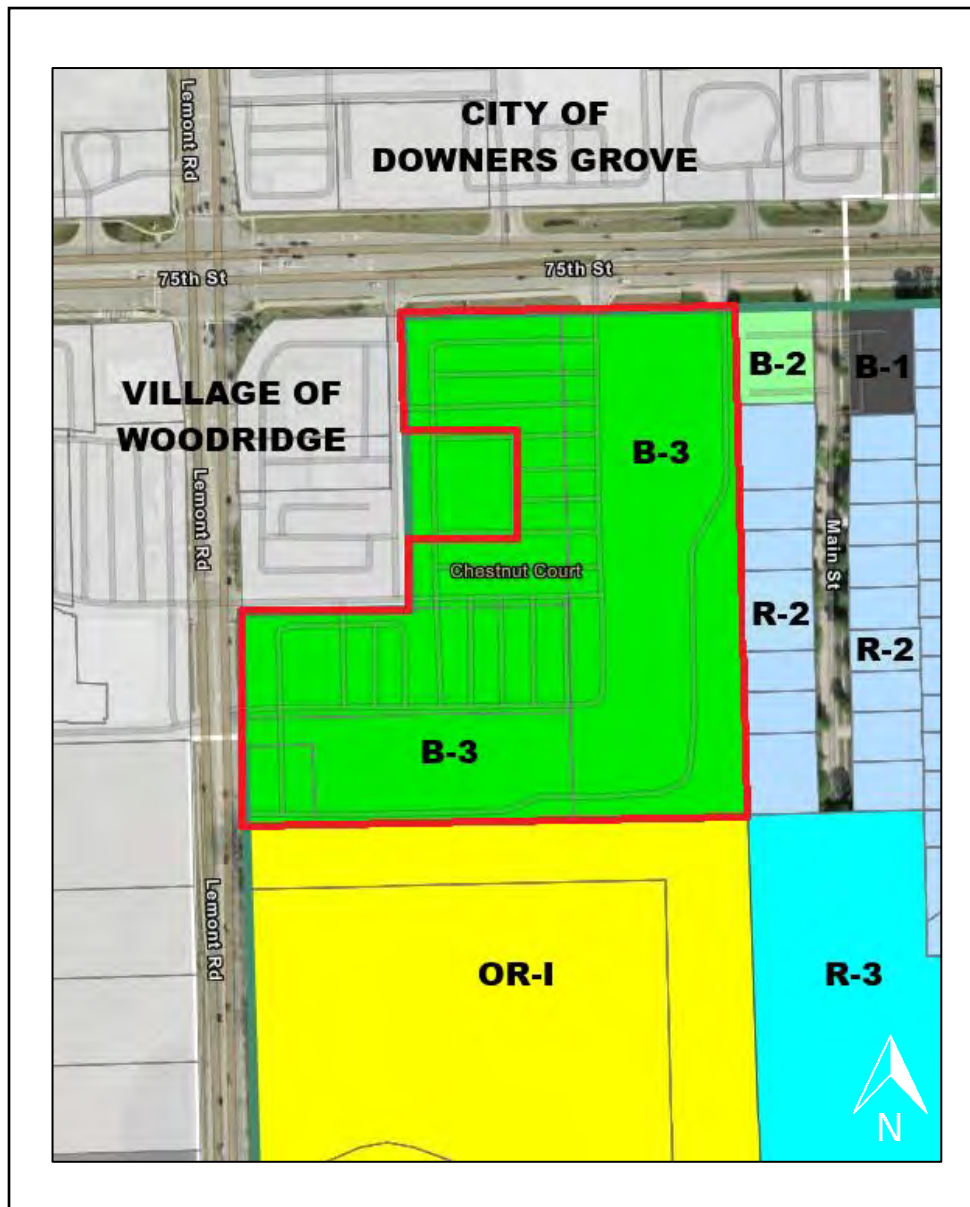
02
SITE PLAN -
PROPOSED

CITY OF DARIEN

PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION

APRIL 2, 2025

EXISTING ZONING MAP



Project No.: PZC2024-09 – 7511 Lemont Road

KEY DEVELOPMENT AREA #1

Location: Southeast corner of 75th Street and Lemont Road intersection (Chestnut Shopping Center).

Existing Conditions: Fully developed shopping and commercial center with existing retail uses throughout.

Zoning: B-3 Business District.

Proposed Land Use: Prioritize mixed-use redevelopment but also focus on filling existing tenant vacancies and improving the aesthetics of the site (i.e. façade enhancements). Infill development consistent with the current center is also viable.

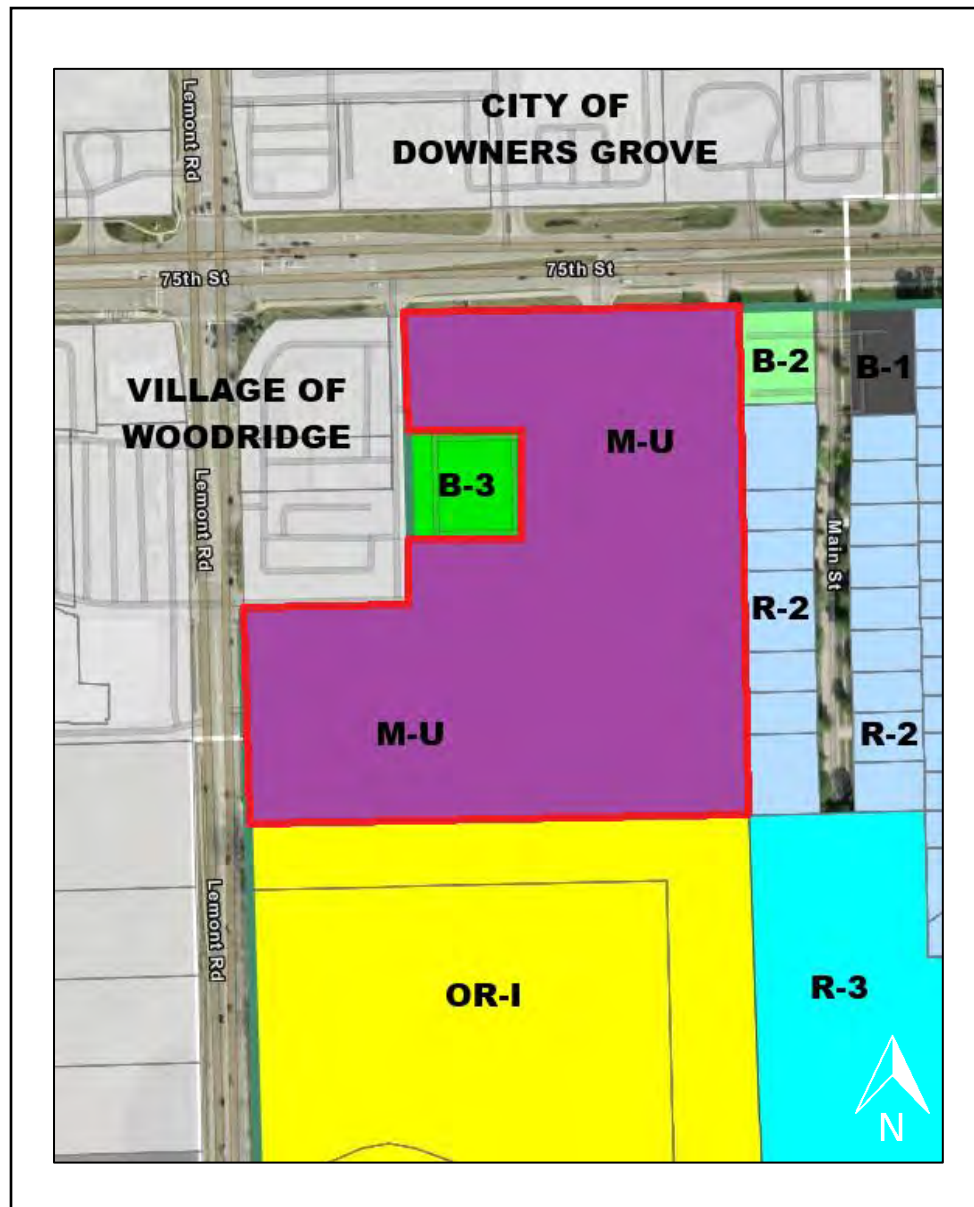
Adjacent Land Uses:

- North: Commercial
- South: Forest Preserve
- East: Residential
- West: Commercial



CITY OF DARIEN
PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION
APRIL 2, 2025

PROPOSED ZONING MAP



Project No.: PZC2024-09 – 7511 Lemont Road



Memorandum

TO: Mr. Kumar Bhavanasi
Chestnut Court Darien IL, LLC

FROM: Stephen B. Corcoran, P.E., PTOE
Director of Traffic Engineering

DATE: October 2, 2024

RE: Traffic and Parking Analysis
Chestnut Court Shopping Center Redevelopment
Darien, Illinois

This memorandum provides a traffic and parking analysis for the redevelopment of Chestnut Court Shopping Center in Darien, Illinois. Chestnut Court Shopping Center is a retail center near the southeast corner of 75th Street and Lemont Road. The redevelopment plan will replace a portion of the retail space with apartments. The purpose of this study is to assess the change in traffic volumes and the parking needs of the development.

Development Plan

The center is located near the southeast corner of the 75th Street and Lemont Road intersection. The site is bounded by Lemont Road, Chase Bank, and Home Run Pizzeria along the west side of the site and 75th Street along the north side. Single family homes are located to the east and DuPage County Forest Preserve land lies south of the site.

The proposed development plan consists of a four-story apartment building, retail, and a drive through restaurant. The five-story building will have 156 apartments. After redevelopment, the retail will be reduced to 103,933 square feet and add a 2,500 restaurant with a drive thru. Parking lot improvements are proposed.

Site Access

Access to the site is provided by three existing access drives on 75th Street and three on Lemont Road.

75th Street (DuPage 33) is an east-west Other Principal Arterial along the north side of the site. It has three travel lanes in each direction. At its signalized intersection with Lemont Road, there are a separate right-turn lane, three thru lanes, and dual left-turn lane in each direction. Access to the site is provided by two right-in and right-out turn access drives and a left-in, right-in, and right-out drive. It has a 40-mph speed limit and is under the jurisdiction of DuPage Division of Transportation.

Lemont Road is a north-south Minor Arterial Road along the west side of the site with two travel lanes in each direction. At 75th Street, it has a sperate right-turn lane, two thru lanes, and dual left-turn lane in each direction. A signalized intersection serving the Chestnut Court and Woodgrove Festival shopping centers is 625 feet south of 75th Street. The Lemont Road legs have a shared thru/right-turn lane, a separate thru lane, and a left-turn lane. The retail space has access drives have a shared thru/right-turn lane, and a left-turn lane. A full access drive under stop sign control, and a right-in and -out drive also serves the site. It has a 40-mph speed limit and is under the jurisdiction of DuPage Division of Transportation.

All access drives to Chestnut Court will remain unchanged with the redevelopment.

Trip Generation

Trip estimates were made for the existing and proposed development to document the changes in traffic generated by the site. Site trips for each use was based on data in the Institute of Transportation Engineer's Trip Generation 11th Ed. Manual which contains trip generation surveys of similar uses. Copies of the trip calculations are included in the **Appendix**.

The existing Chestnut Court development has a total of 151,633 square feet of retail space. The proposed plan will have a drive-through restaurant (2,500 square feet), retail stores (103,933 square feet), and 156 apartments. The resulting site traffic volumes are shown in **Tables 1 and 2**.

Table 1
Existing Site Traffic Volumes

Use	Size	Morning Peak			Evening Peak			Saturday Peak		
		In	Out	Total	In	Out	Total	In	Out	Total
Shopping Center	151,633 sq. ft.	415	431	846	442	377	819	490	453	943

Table 2
Proposed Site Traffic Volumes

Use	Size	Morning Peak			Evening Peak			Saturday Peak		
		In	Out	Total	In	Out	Total	In	Out	Total
Apartments⁽¹⁾	156 units	14	41	55	37	24	61	31	30	61
Restaurant with Drive-thru⁽²⁾	2,500 sq. ft.	60	66	126	65	62	127	70	68	138
Shopping Center⁽³⁾	103,933 sq. ft.	284	296	580	303	258	561	336	310	646
Totals		358	403	761	402	344	749	437	408	845
Change in Traffic		-57	-28	-85	-40	-33	-70	-53	-45	-98

(1) ITE Land Use Code 221 – Multi-Family (Mid Rise)

(2) ITE Land Use Code 934: - Fast Food Restaurant with Drive-Through Window

(3) ITE Land Use Code 821 – Shopping Plaza (40 - 150k)

Site Traffic Impact

The proposed development plan will add apartments and a drive-thru restaurant to the site while reducing the size of the existing retail space. Traffic conditions will improve at the site access points and at the two signalized intersections on Lemont Road with the reduction of overall site traffic volumes. No off-site traffic improvements are required.

Existing Chestnut Court Parking

The existing on-site parking supply is 674 parking spaces with an additional 25 accessible spaces for a total of 699 spaces. The parking lot totals did not include parking at Chase Bank and parking stalls adjacent to Home Run Inn Pizza. The Darien zoning code requires four parking spaces per one thousand square feet of area or 606 spaces as shown in **Table 3**. The current center has a surplus of parking spaces.

Table 3
Existing Site Parking per Darien Zoning Code

Use	Size	Parking Requirements	Total Parking	
			Required	Provided
Shopping Center	151,633 sq. ft.	4 spaces/1,000 sq. ft.	606	674

Proposed Parking Plan

The redevelopment plan creates four separate parking areas for the main retail/restaurant area on the north side of the site, for the apartments, for an existing retail space to remain in the southwest corner, and a future development outlot. The outlot was not included in the parking analysis and will have to be evaluated separately when a plan is proposed. **Table 4** shows the future required parking for the development plan of 745 spaces while the site plan shows 743 spaces provided. A parking variation of 2 spaces for Retail F

and 33 spaces for the apartments are required. Retail H has 33 surplus spaces. Retail spaces A thru E meet the zoning code with no surplus.

Table 4
Proposed Site Parking per Darien Zoning Code

Location	Use	Size	Parking Requirements	Total Parking		
				Required		Provided
Residential	Apartments	156 units	2 spaces/unit	312		279 (1.79 sp/unit)
Retail H	Restaurant With Drive-thru	2,500 sq. ft. (50 seats)	1 per 3 seats plus 15 stacking spaces for drive-thru lane	17	27	60
		2,500 sq. ft.		10		
Retail A-E	Shopping Center	88,392 sq. ft.	4 spaces/1,000 sq. ft.	354		354
Retail F		13,040 sq. ft.		52		50
	Totals			745		743

National Parking Requirements

National parking data is available from other Institute of Transportation Engineers (ITE) in their publication Parking Generation, 6th Edition for multifamily housing (Land use code 221), drive-through restaurant (Land use code 934), and retail for plaza center (Land use code 821). The ITE data shows lower parking demand than the zoning code requirements and is less than the parking provided.

Table 5
National Parking Survey Results (Proposed)

ITE Land-Use Code	Use	Size	Weekday	Saturday
221	Apartments	156 units	186 (1.19 sp/unit)	156
934	Restaurant (Drive-thru)	2,500 sq. ft.	19	21
821	Shopping Plaza	103,932 sq. ft.	323	249
Totals			528	426

Conclusions

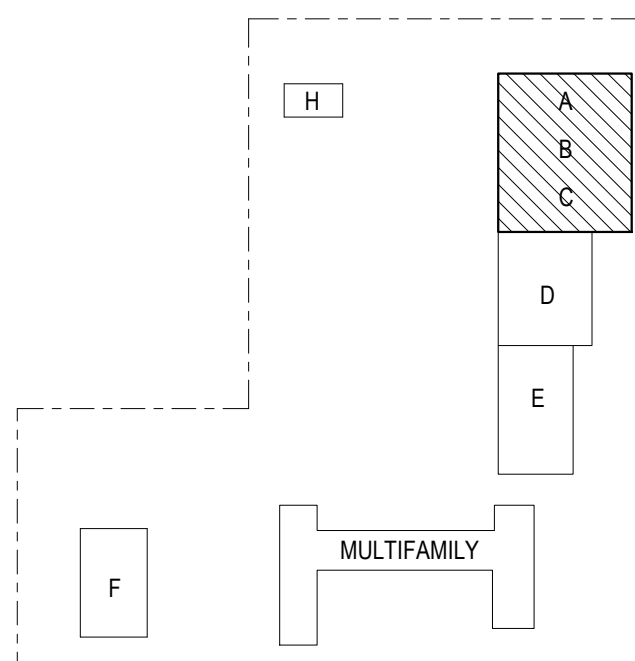
Based on the review of traffic and parking conditions around the proposed site, the following conclusions were reached:

1. The proposed plan with 156 apartments, 103,392 sq. ft. of retail space, and 2,500 sq. ft. of drive through restaurant space of retail will generate 9-10% less traffic volumes than the existing retail space which will benefit existing traffic conditions.
2. The six site driveways on 75th Street and Lemont Road will remain and do not require additional changes.
3. The Darien zoning code requirement for the site is 745 spaces and 743 are provided.
4. Apartment parking is provided at a ratio of 1.79 spaces which is less than the required parking of 2 spaces per unit. The expected parking demand is 1.19 space per unit based on parking surveys of other apartment projects.

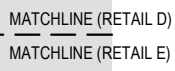
Appendix

ITE Parking Generation Calculations

ITE Trip Generation Calculations

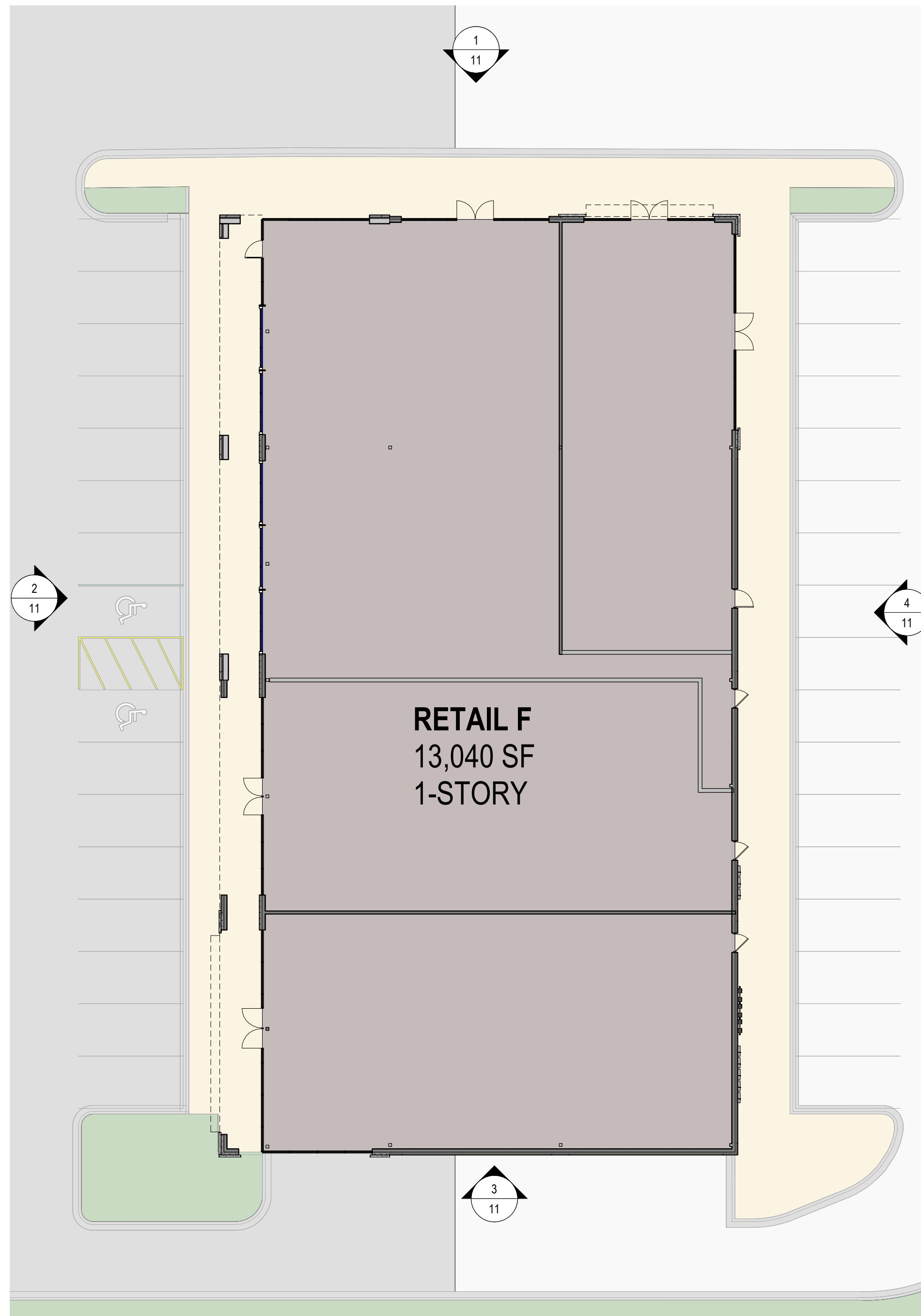
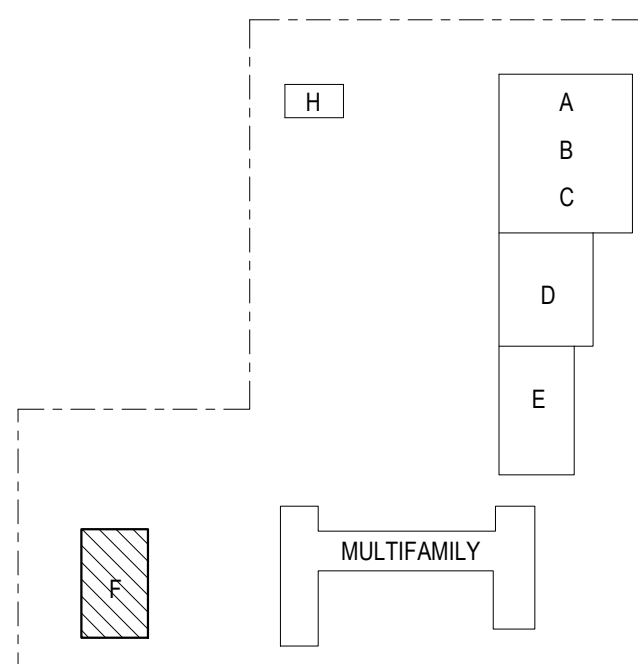


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SCALE: 1/16" = 1'-0"



2 NEW FLOOR
SCALE: 1/16" = 1'-0"

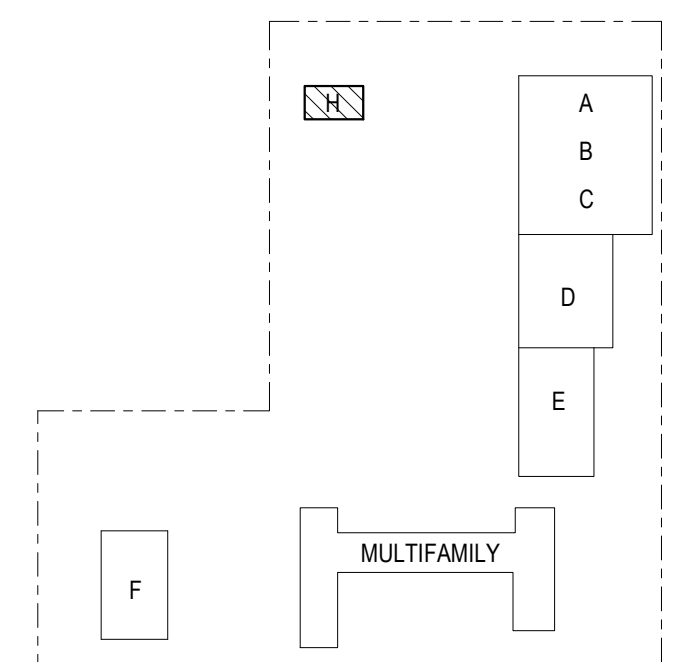




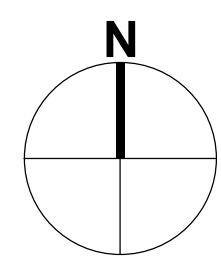
2 NEW FLOOR PLAN - RETAIL F
SCALE: 1/16" = 1'-0"



1 NEW FLOOR PLAN - RETAIL H
SCALE: 1/16" = 1'-0"



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PROJECT

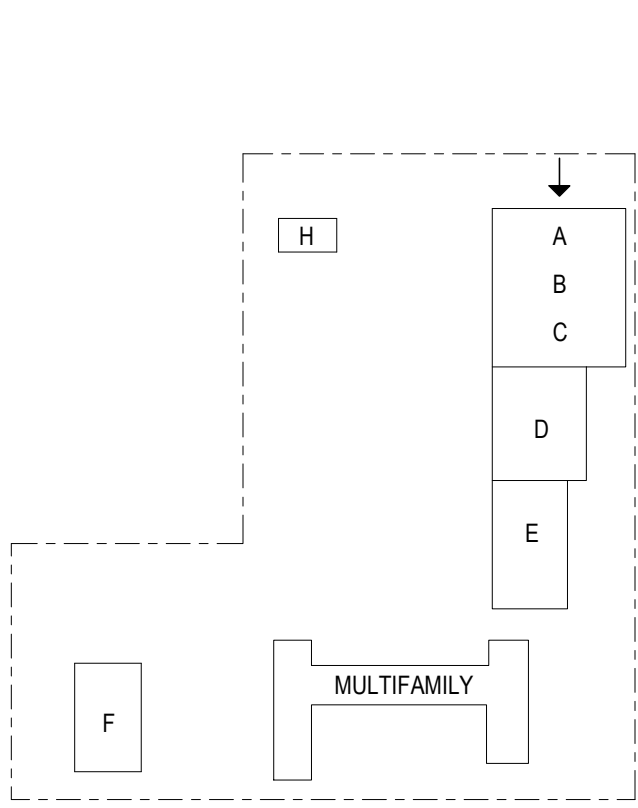
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0' 2' 4' 8' 16'

RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
11/26/24 Project #: 23079

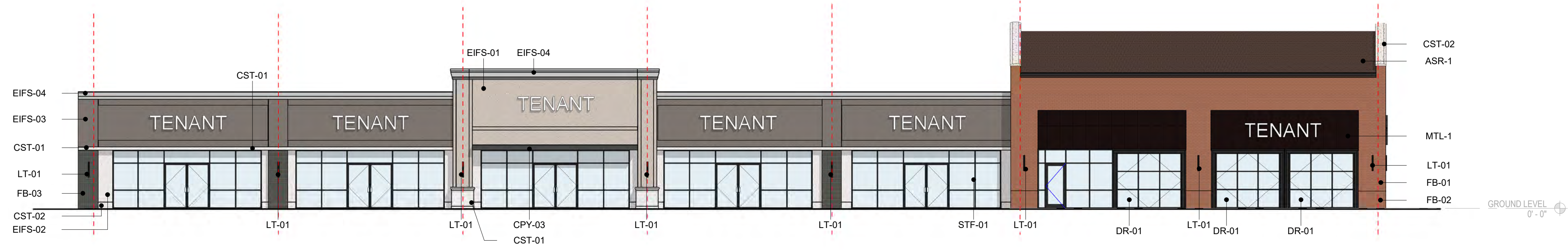
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NEW FLOOR
PLAN - RETAIL
F & H

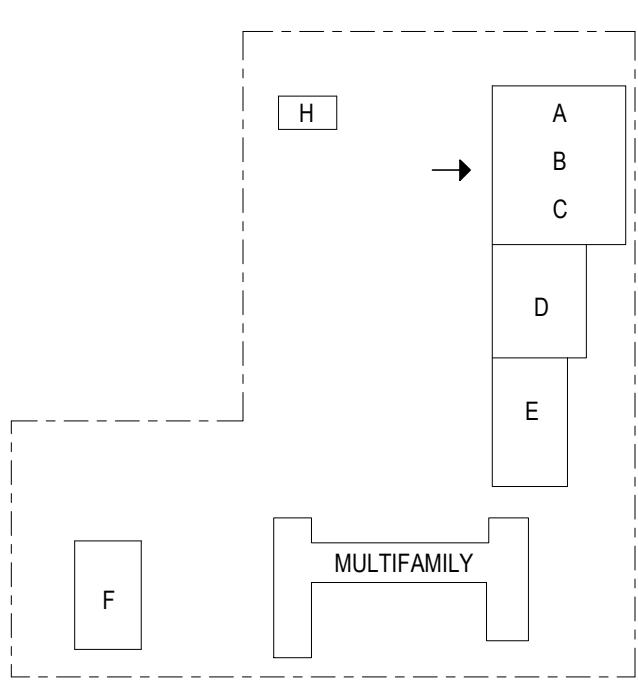


3 NORTH ELEVATION - RETAIL A

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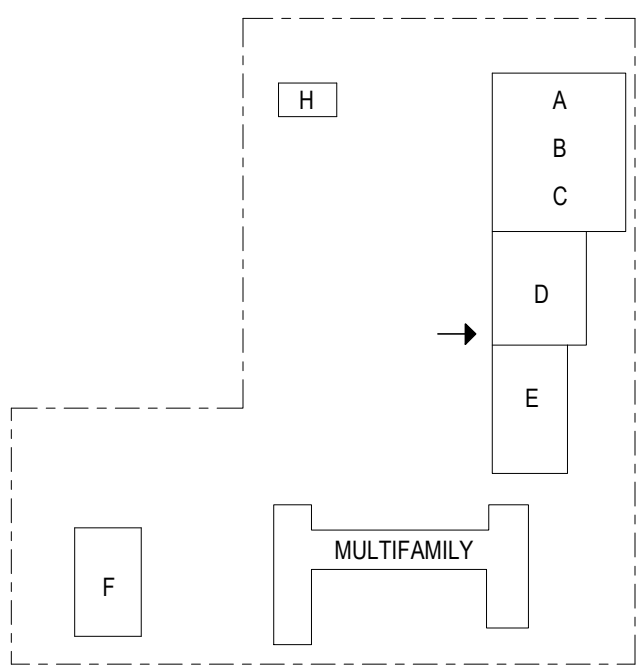
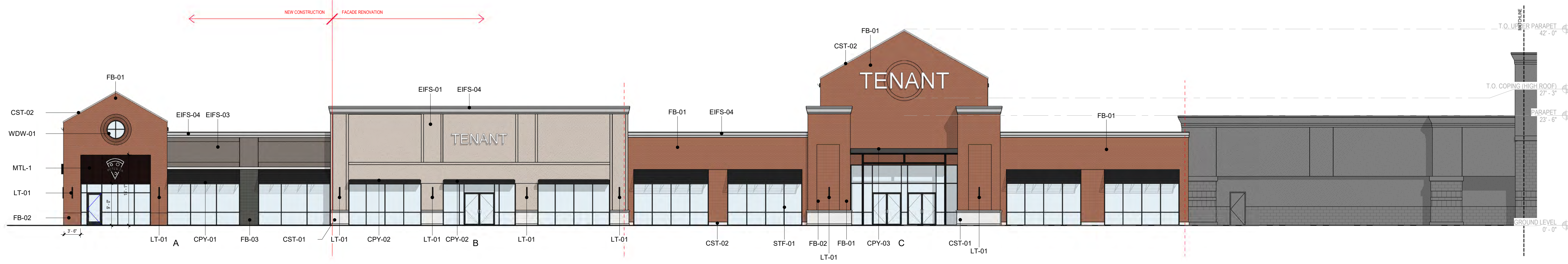


KEYNOTE LEGEND	
KEY NOTE	COMMENT
ASR-1	SLOPED ASPHALT SHINGLE ROOF W/ DARK BRONZ MTL GUTTER
CPY-01	SLOPED SQUARE METAL TRELLIS CANOPY
CPY-02	BLACK METAL TRELLIS
CPY-03	METAL CLAD SOLID CANOPY, ASSUME ROOF DRAIN
CST-01	CAST STONE
CST-02	CAST STONE CORNICE
DR-01	OVERHEAD DOOR WITH GLASS INFILL PANELS
EIFS-01	EIFS LIGHT TAN
EIFS-02	EIFS LIGHT GREY
EIFS-03	EIFS DARK GREY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND
FB-02	FACE BRICK 1 - STACKED SOLDIER BOND
FB-03	FACE BRICK 2 - STACKED SOLDIER BOND
LT-01	DECORATIVE SCONCE
MTL-1	METAL PANEL - BRONZE
STF-01	STOREFRONT SYSTEM
WDW-01	ROUND GABLE WINDOW WITH MASONRY SURROUND



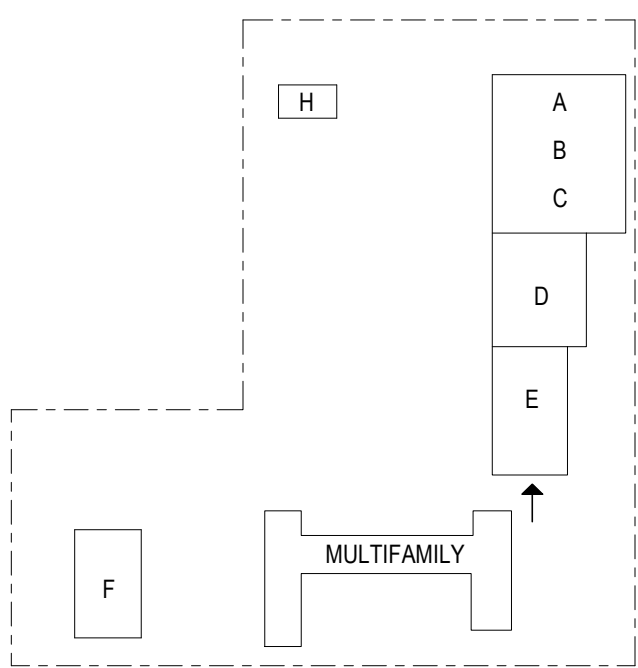
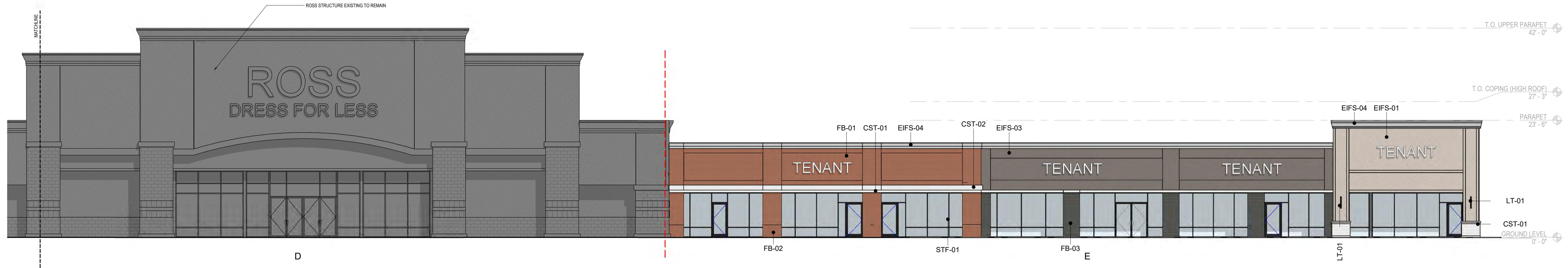
1 WEST ELEVATION - RETAIL A, B, C

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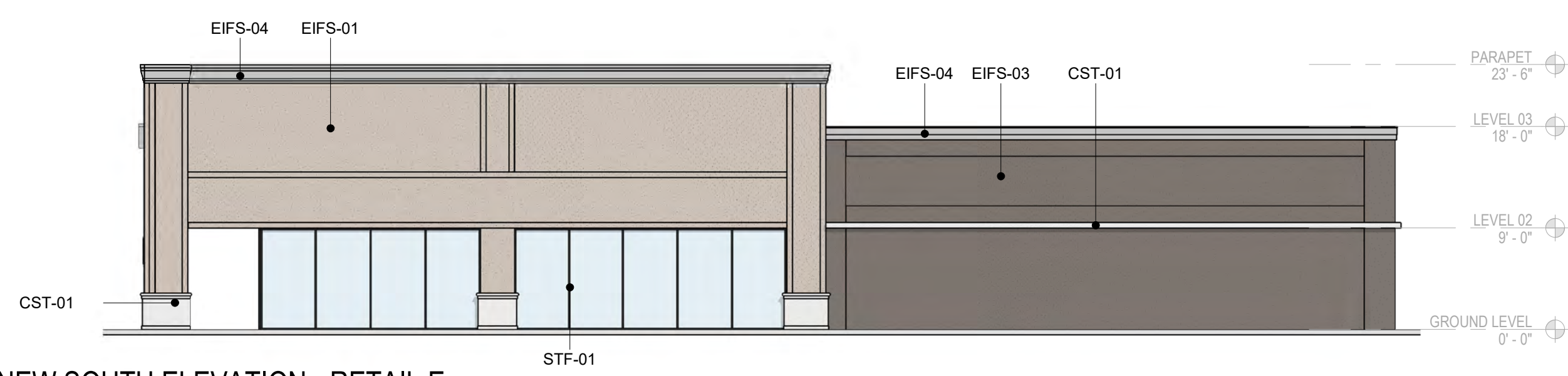
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SCALE: 3/32" = 1'-0"



4 NEW SOUTH ELEVATION - RETAIL E

SCALE: 3/32" = 1'-0"



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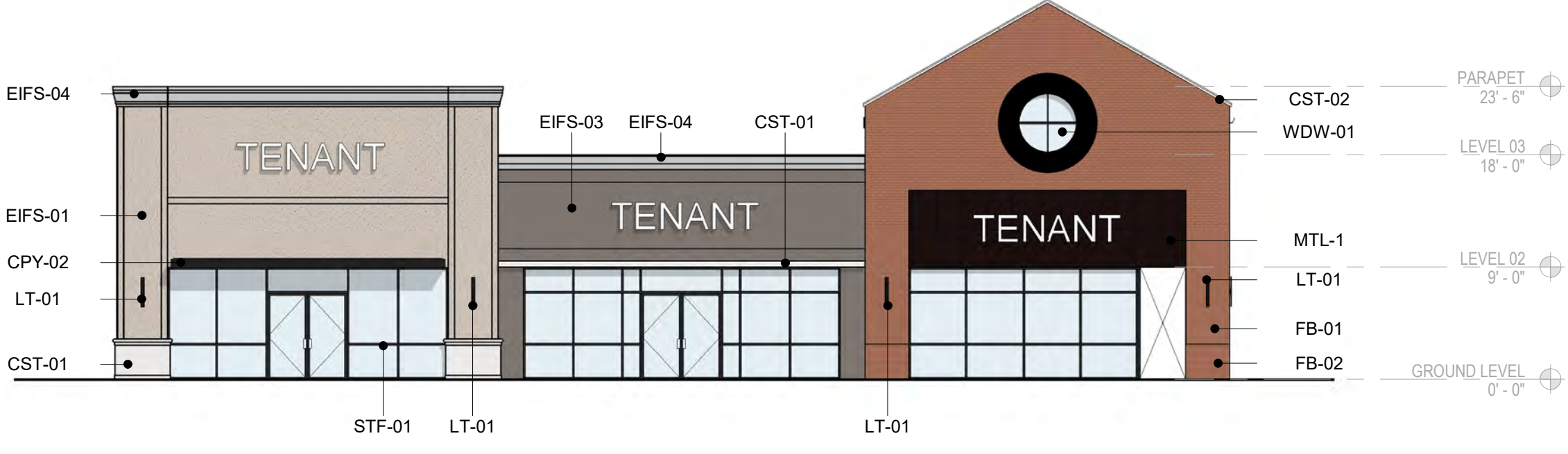
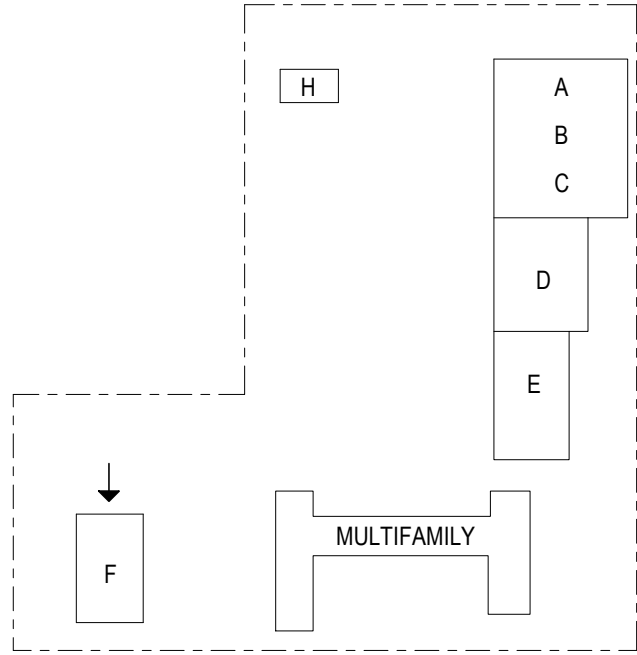
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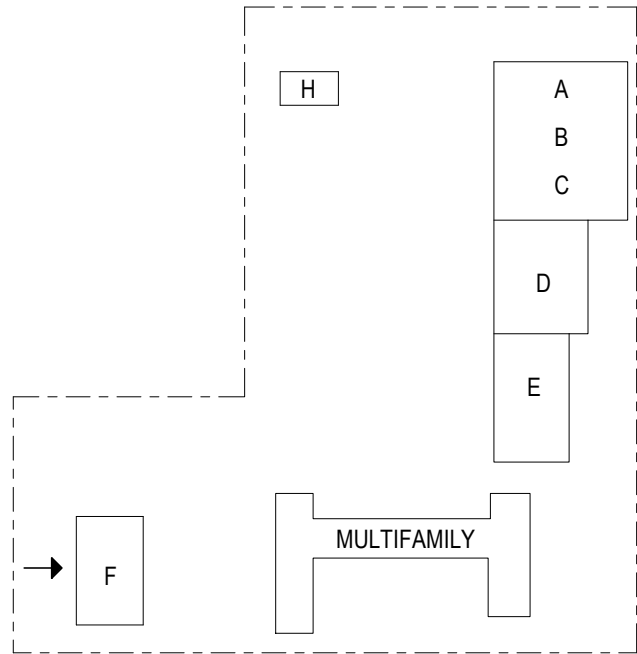
RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
09/30/24 Project #: 23079

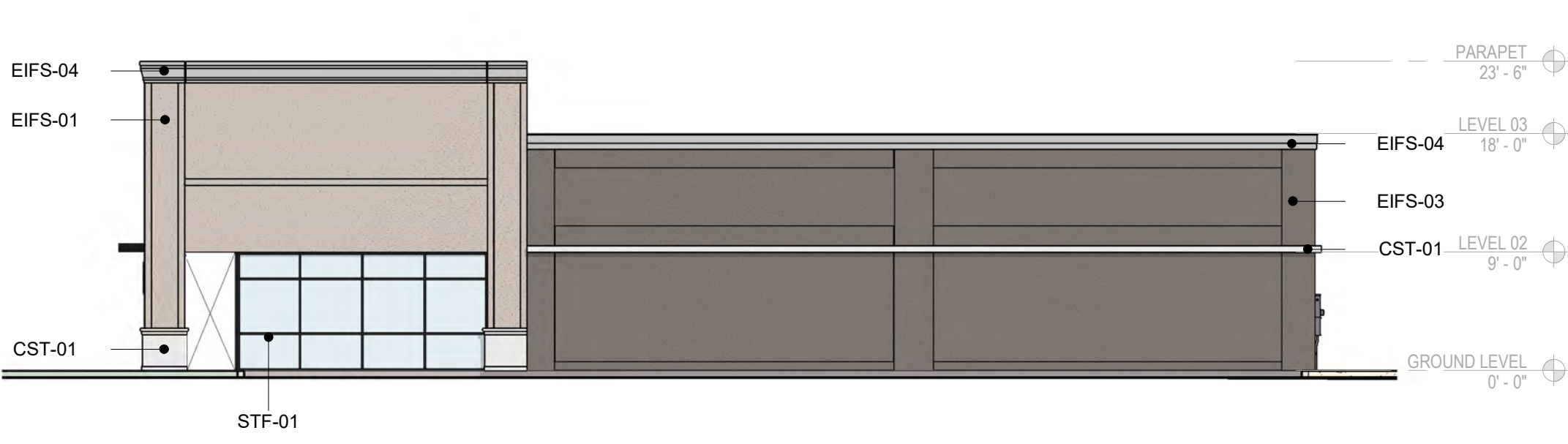
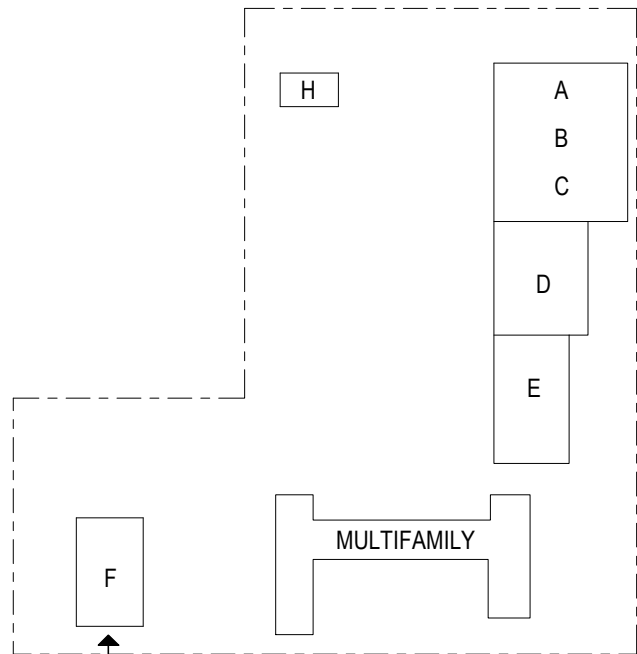
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NEW
ELEVATIONS -
RETAIL A,B,C,
& E



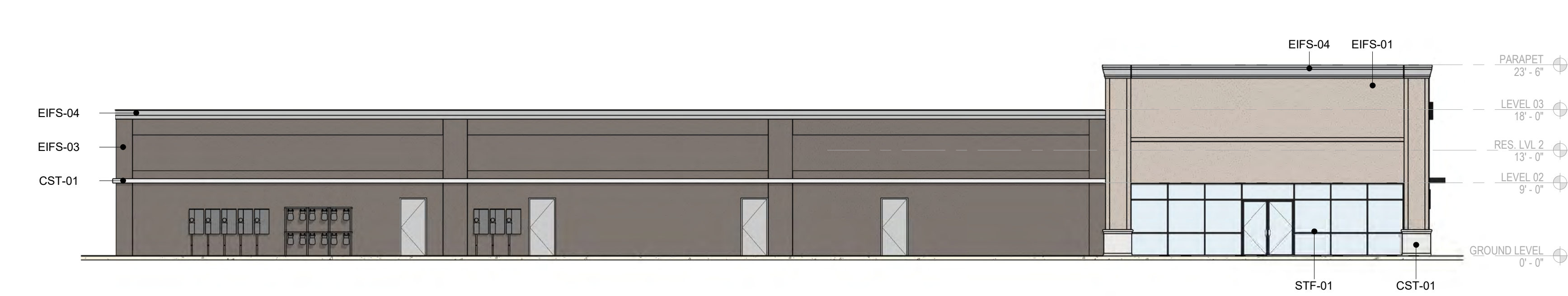
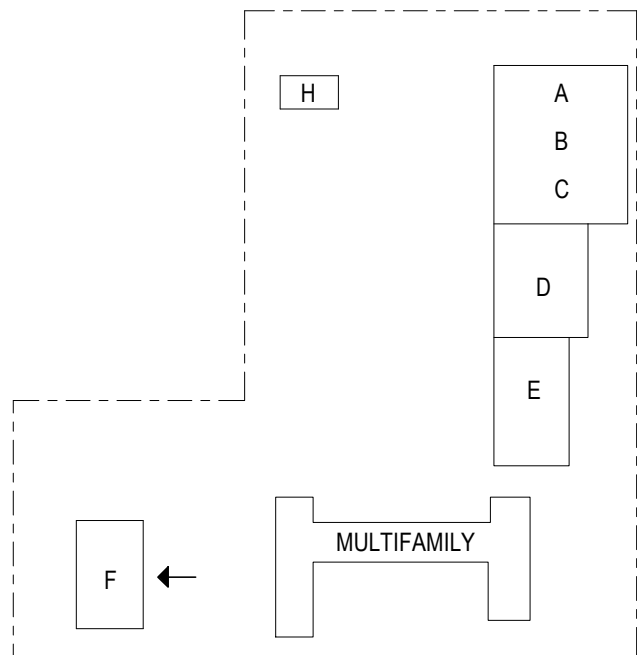
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2 NEW WEST ELEVATION - RETAIL F
SCALE: 3/32" = 1'-0"

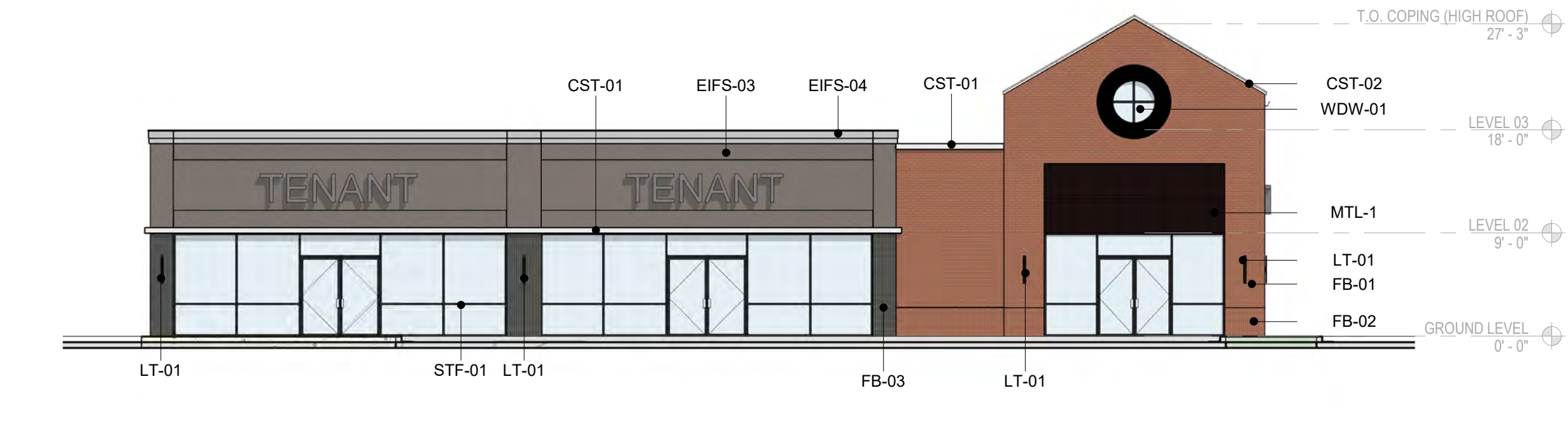


3 NEW SOUTH ELEVATION - RETAIL F
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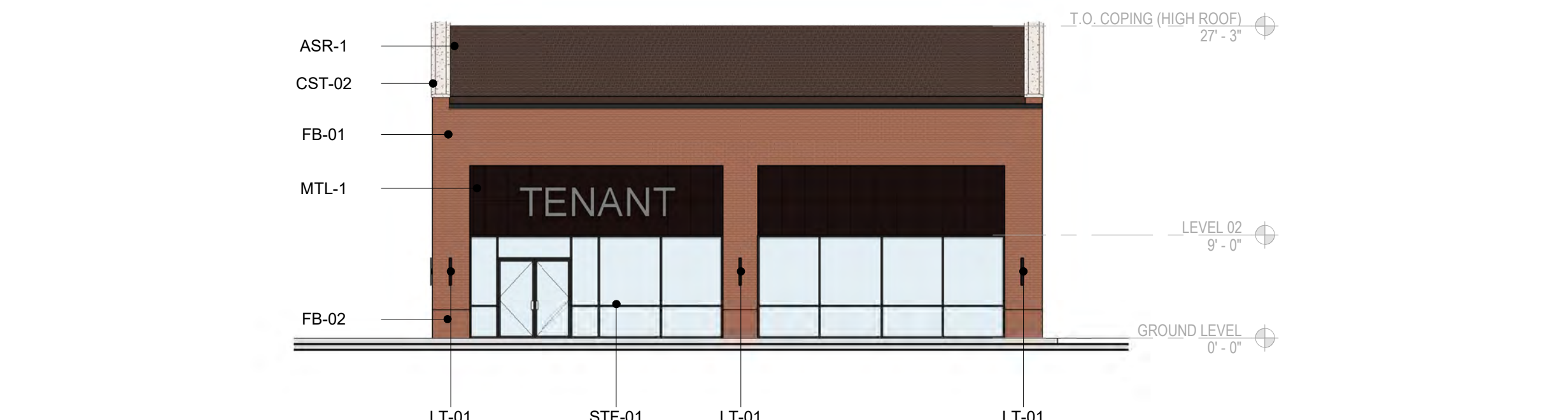


4 NEW EAST ELEVATION - RETAIL F
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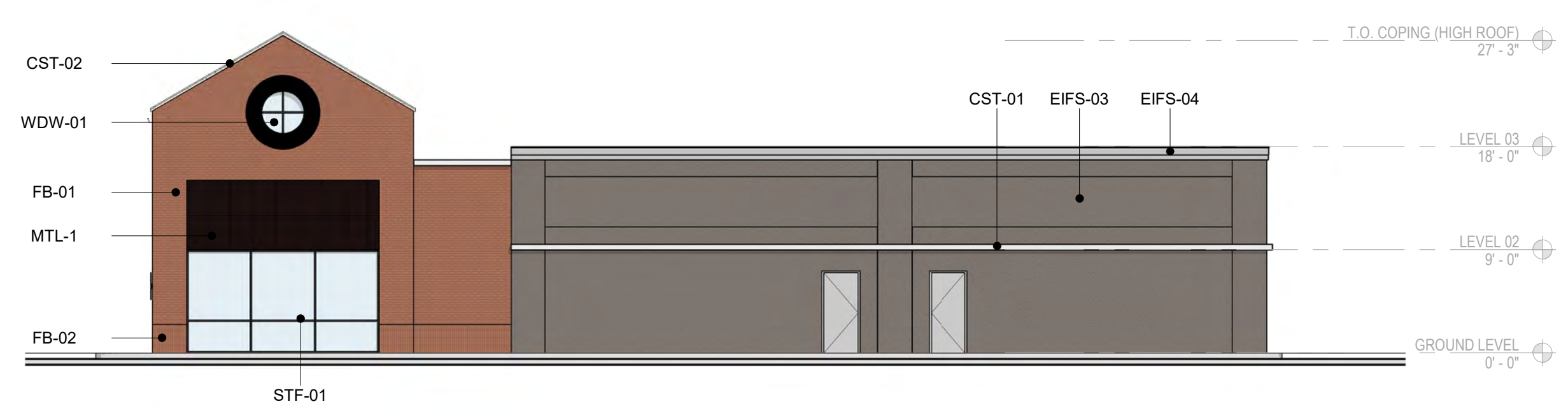
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KEY NOTE	COMMENT
ASR-1	SLOPED ASPHALT SHINGLE ROOF W/ DARK BRONZ MTL GUTTER
CPY-02	BLACK METAL TRELLIS
CST-01	CAST STONE
CST-02	CAST STONE CORNICE
DR-01	OVERHEAD DOOR WITH GLASS INFILL PANELS
EIFS-01	EIFS LIGHT TAN
EIFS-03	EIFS DARK GREY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND
FB-02	FACE BRICK 1 - STACKED SOLDIER BOND
LT-01	DECORATIVE SCONCE
MTL-1	METAL PANEL - BRONZE
STF-01	STOREFRONT SYSTEM
WDW-01	ROUND GABLE WINDOW WITH MASONRY SURROUND



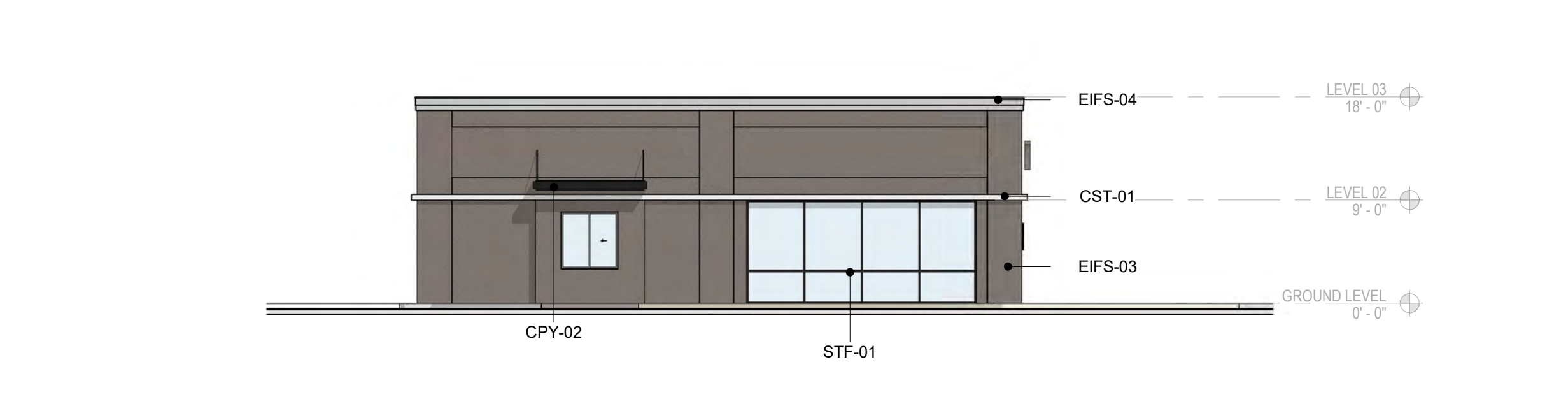
12 SCALE: 3/32" = 1'-0"



12 SCALE: 3/32" = 1'-0"



12 SCALE: 3/32" = 1'-0"



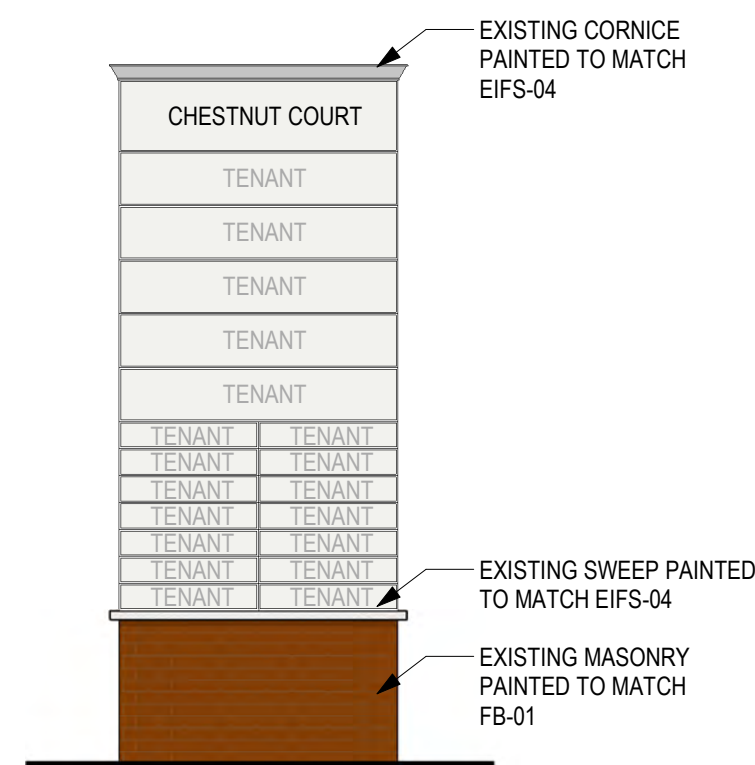
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12

LAST LEE

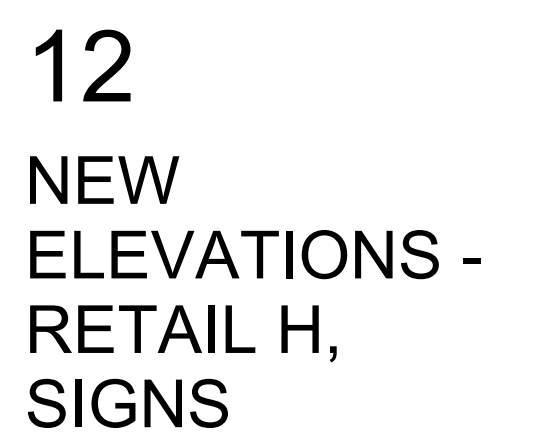
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12 SCALE: 1/8" = 1'-0"



9 TOTAL
12 SCALE: 2/221 = 1.0%



MATERIAL PALETTE



ASR-01



CPY-01



CPY-02



CPY-03



DR-1



CST-01



EIFS-01



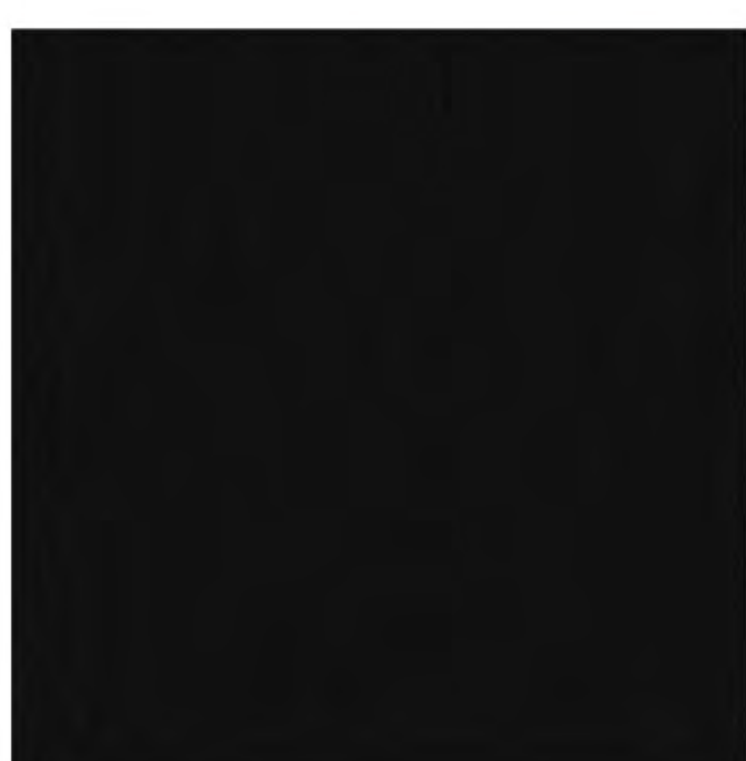
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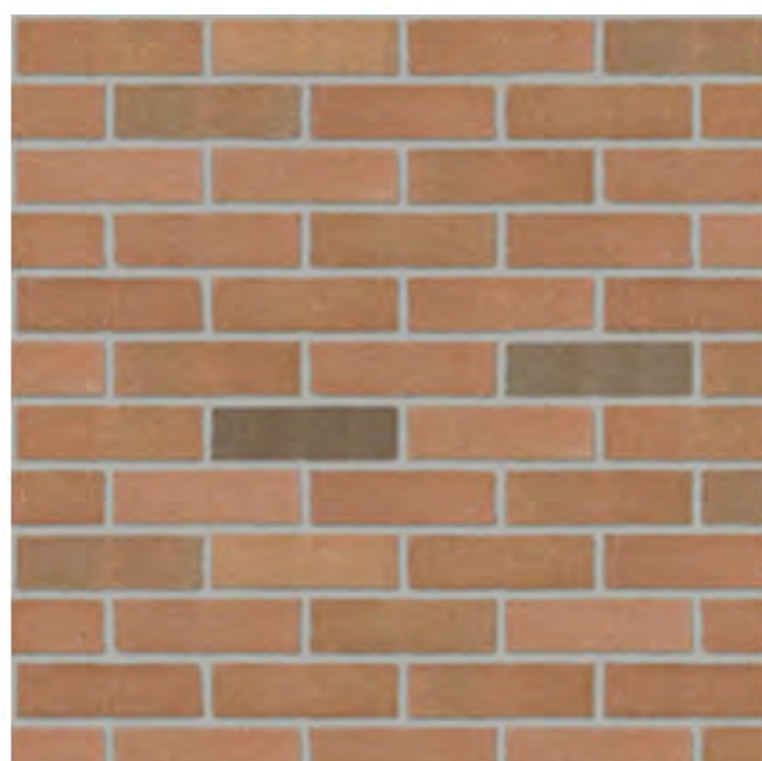
EIFS-03



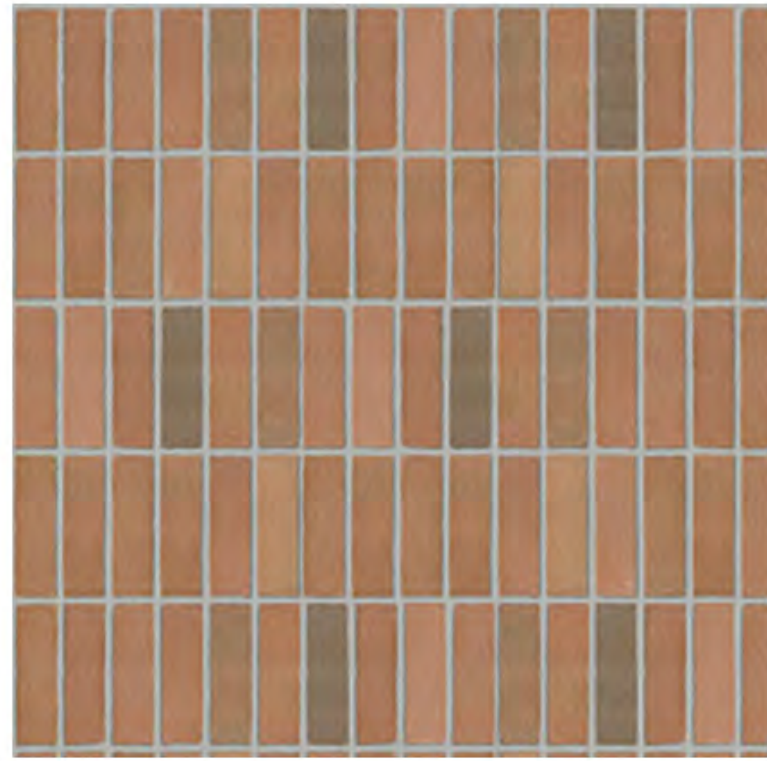
LT-01



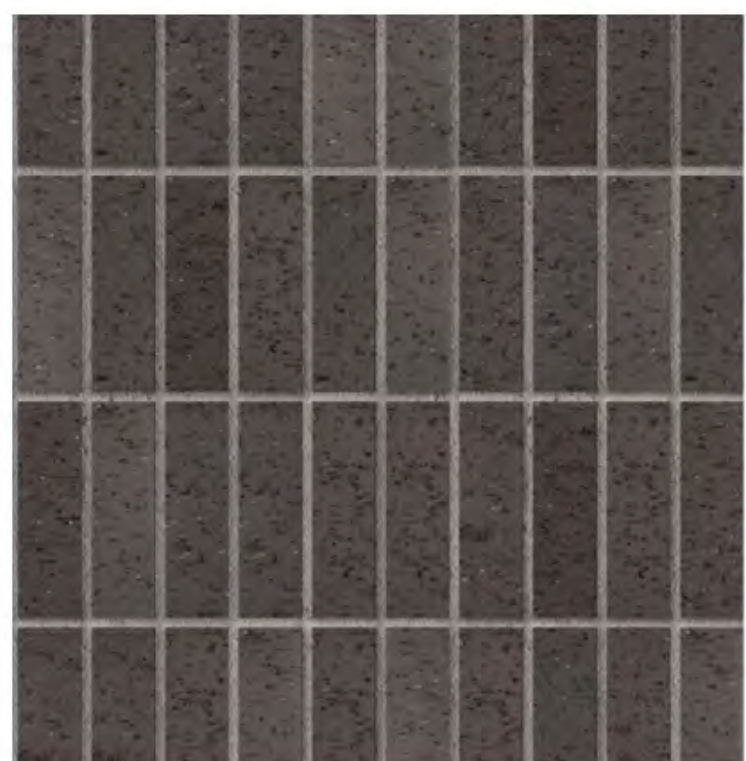
MT-1



FB-01



FB-02



FB-03



STF-01

EXTERIOR MATERIAL SCHEDULE	
ITEM TAG	DESCRIPTION
ASR-01	ASPHALT SHINGLE ROOF
CPY-01	SLOPED SQUARE METAL TRELLIS CANOPY
CPY-02	BLACK METAL TRELLIS
CPY-03	SOLID METAL-CLAD CANOPY
CST-01	CAST STONE
DR-1	OVERHEAD DOOR W/ GLASS INFILL PANELS
EIFS-01	EIFS WALL FINISH - LIGHT TAN
EIFS-02	EIFS WALL FINISH - LIGHT GRAY
EIFS-03	EIFS WALL FINISH - DARK GRAY
FB-01	FACE BRICK 1 - RED BLEND COMMON BOND
FB-02	FACE BRICK 2 - RED BLEND STACKED SOLDIER COURSE
FB-03	FACE BRICK 3 - GRAY STACKED SOLDIER COURSE
LT-1	DECORATIVE SCONCE - DARK BRONZE
MT-1	METAL PANEL - DARK BRONZE
STF-01	STOREFRONT SYSTEM W/ DARK BRONZE MULLIONS



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RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
09/30/24 Project #: 23079

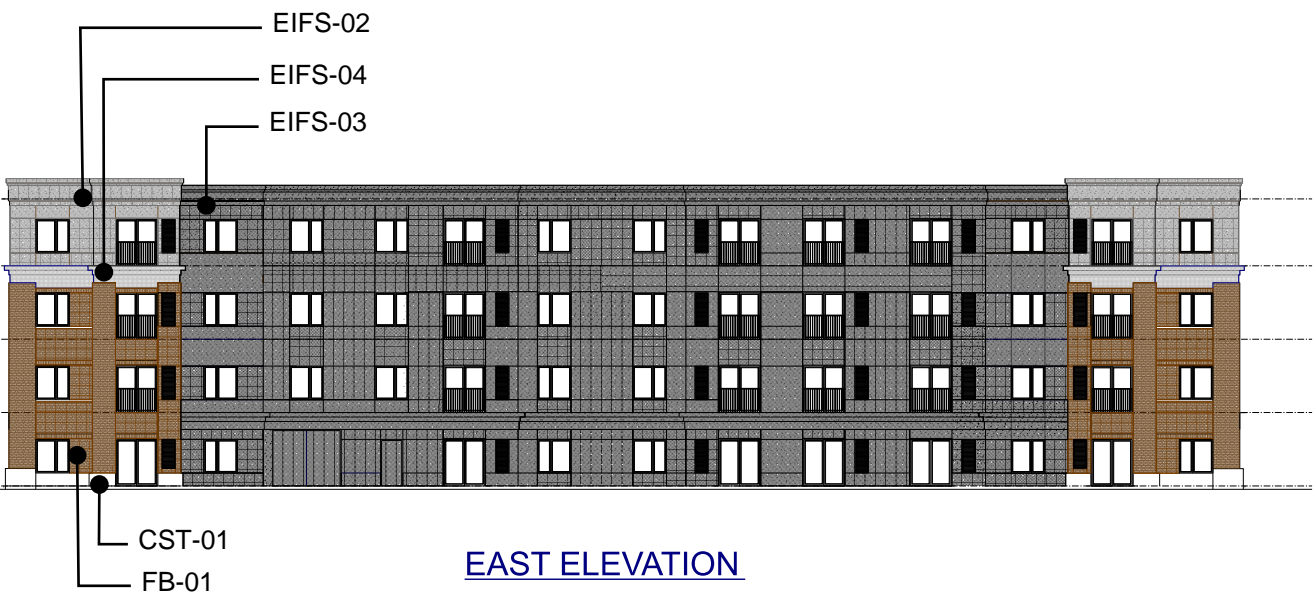


KEYNOTE LEGEND	
KEY NOTE	COMMENT
CST-01	CAST STONE
EIFS-02	EIFS LIGHT GRAY
EIFS-03	EIFS DARK GRAY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND

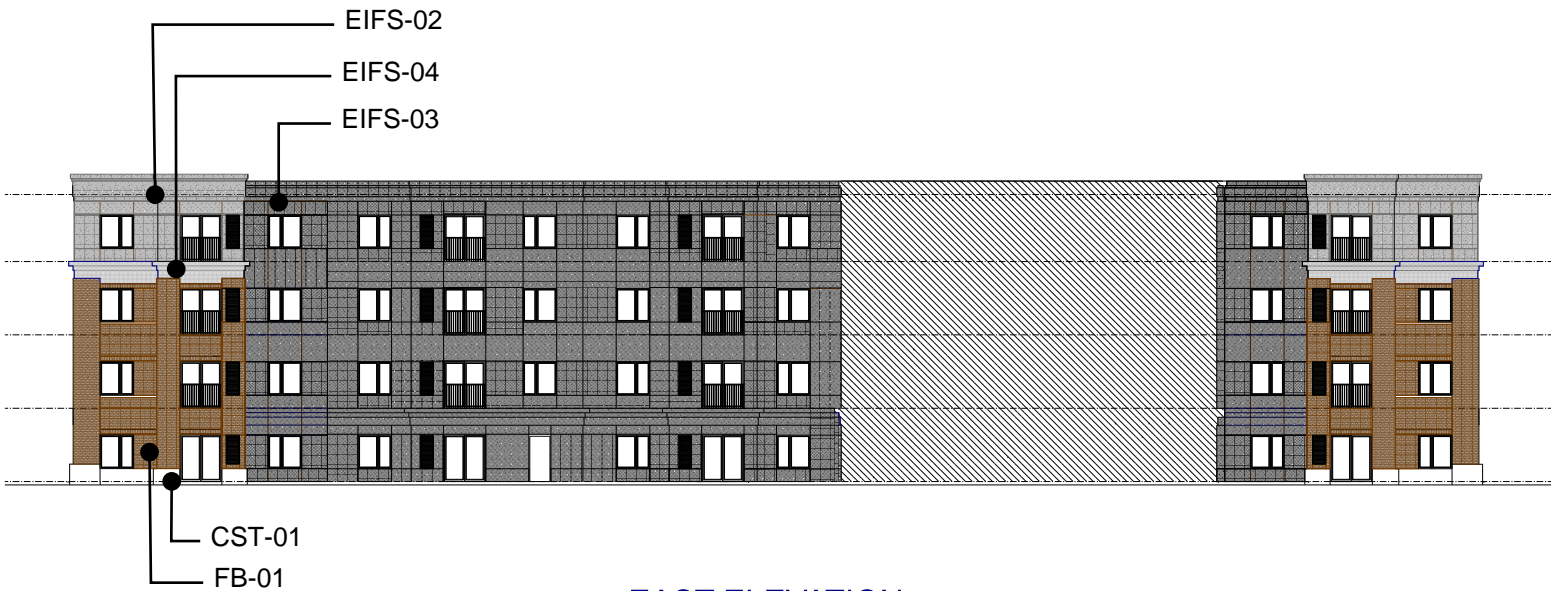
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MODEL: 4 STORY APT		PRODUCTION NO: 2024
DATE: 12/2/2024	BY: MM	SCALE: NTS
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com		
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		EL1



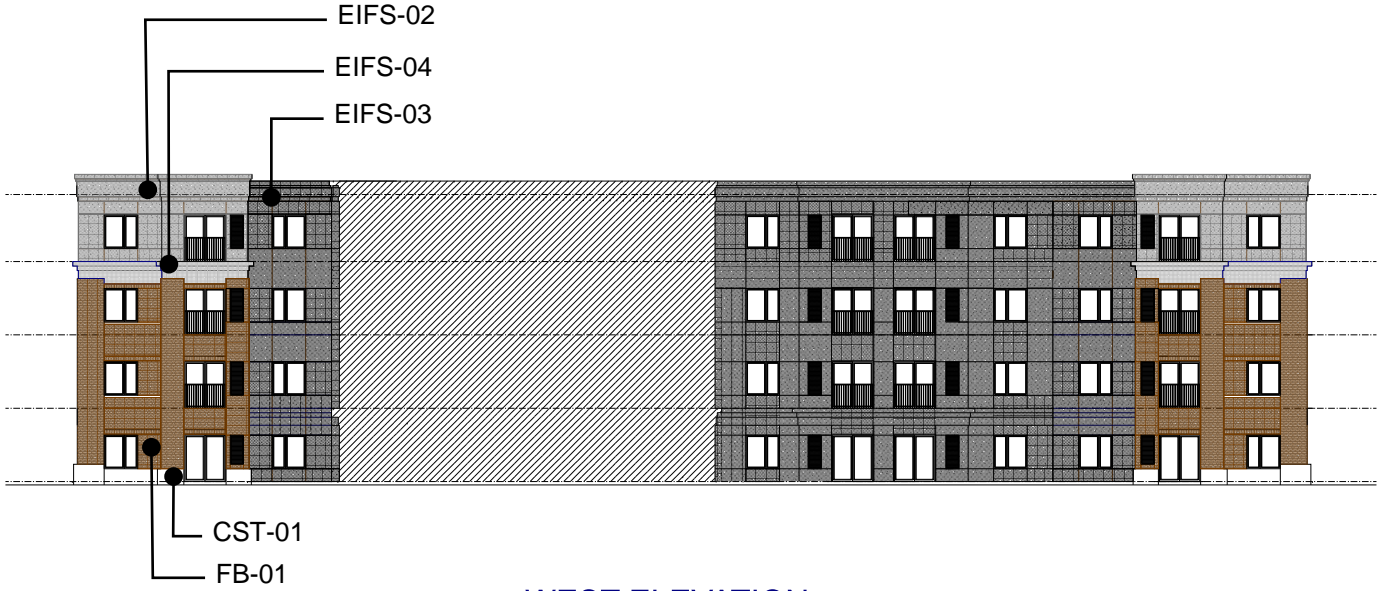
WEST ELEVATION



EAST ELEVATION



EAST ELEVATION




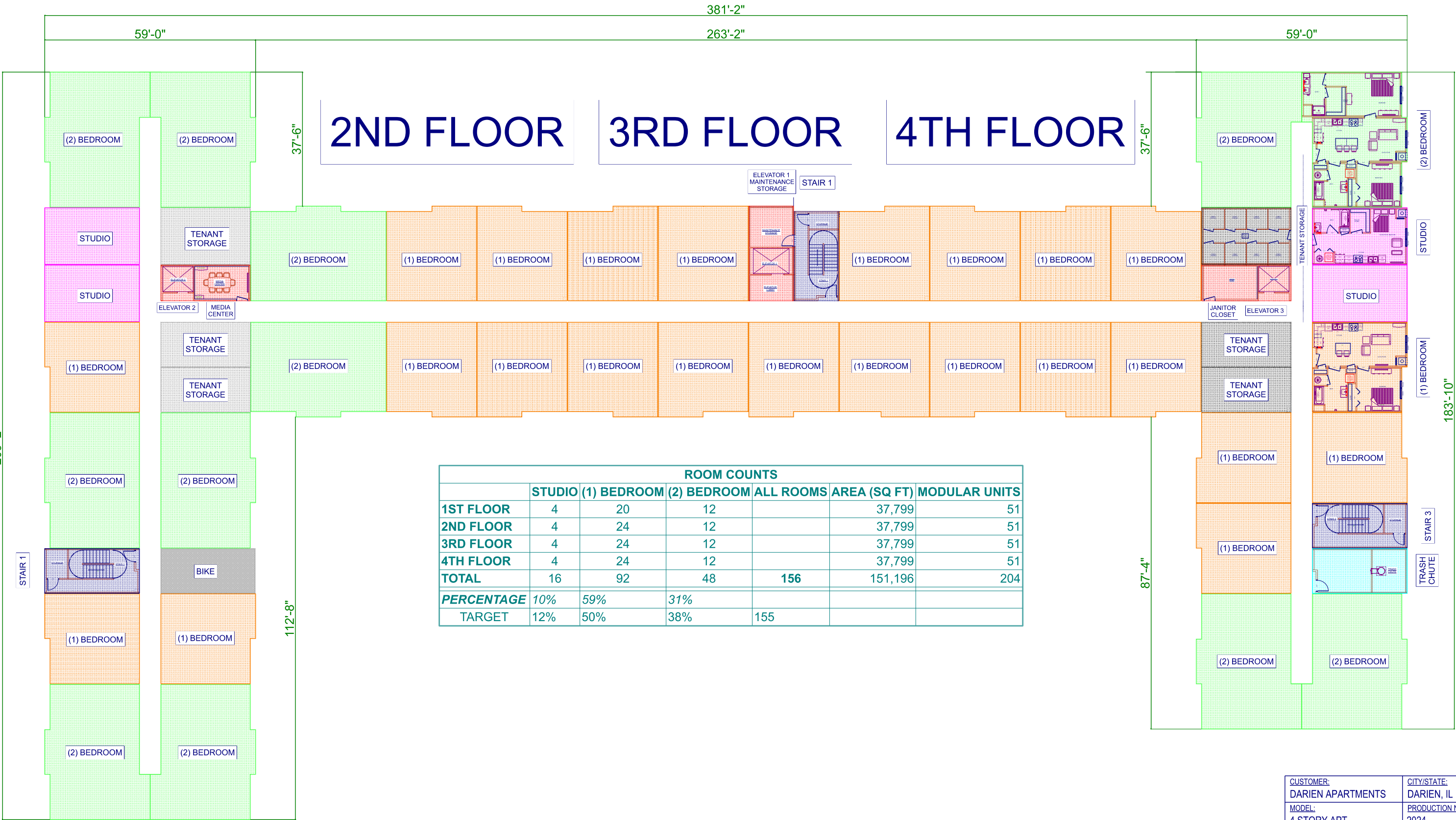
WEST ELEVATION

KEYNOTE LEGEND	
KEY NOTE	COMMENT
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EIFS-02	EIFS LIGHT GRAY
EIFS-03	EIFS DARK GRAY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND

CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 12/2/2024	BY: MM	SCALE: NTS	
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		EL2	

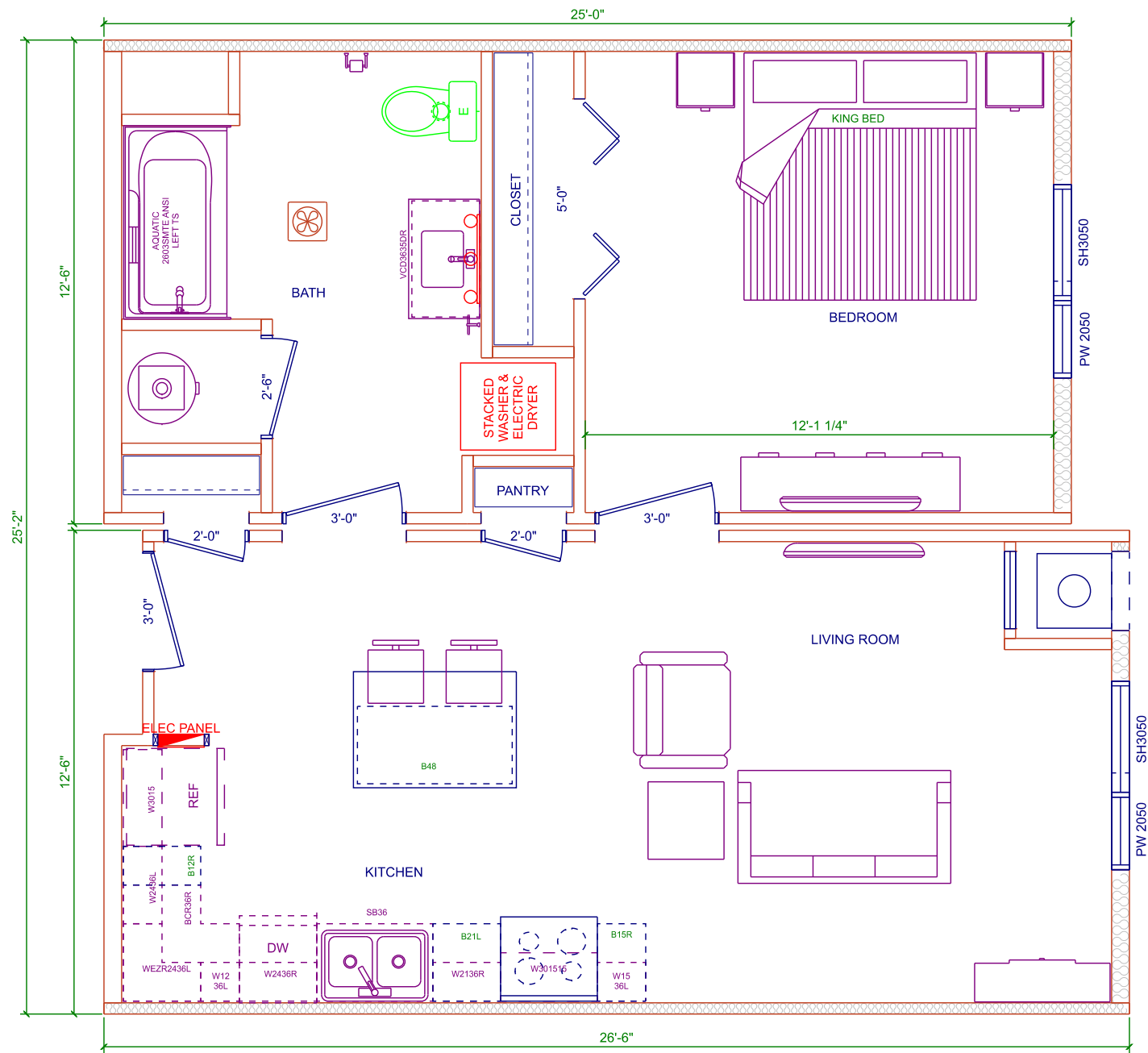
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CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 12/2/2024	BY: MM	SCALE: NTS	
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		L1	




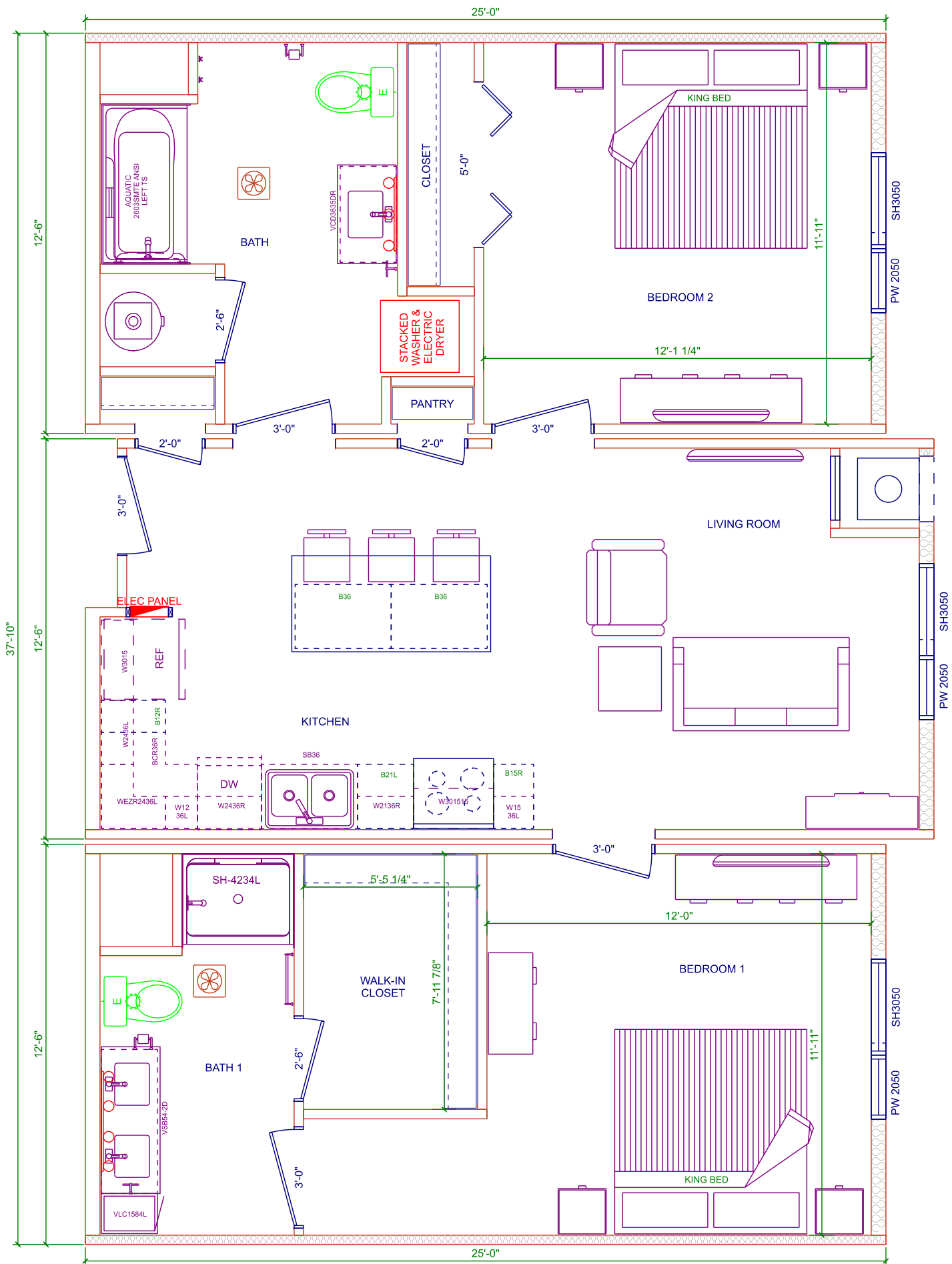
APARTMENT LAYOUT

CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 12/2/2024	BY: MM	SCALE: NTS	
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.			L2



ONE BEDROOM UNIT
9'-0" WALLS, 655 SQ. FT.

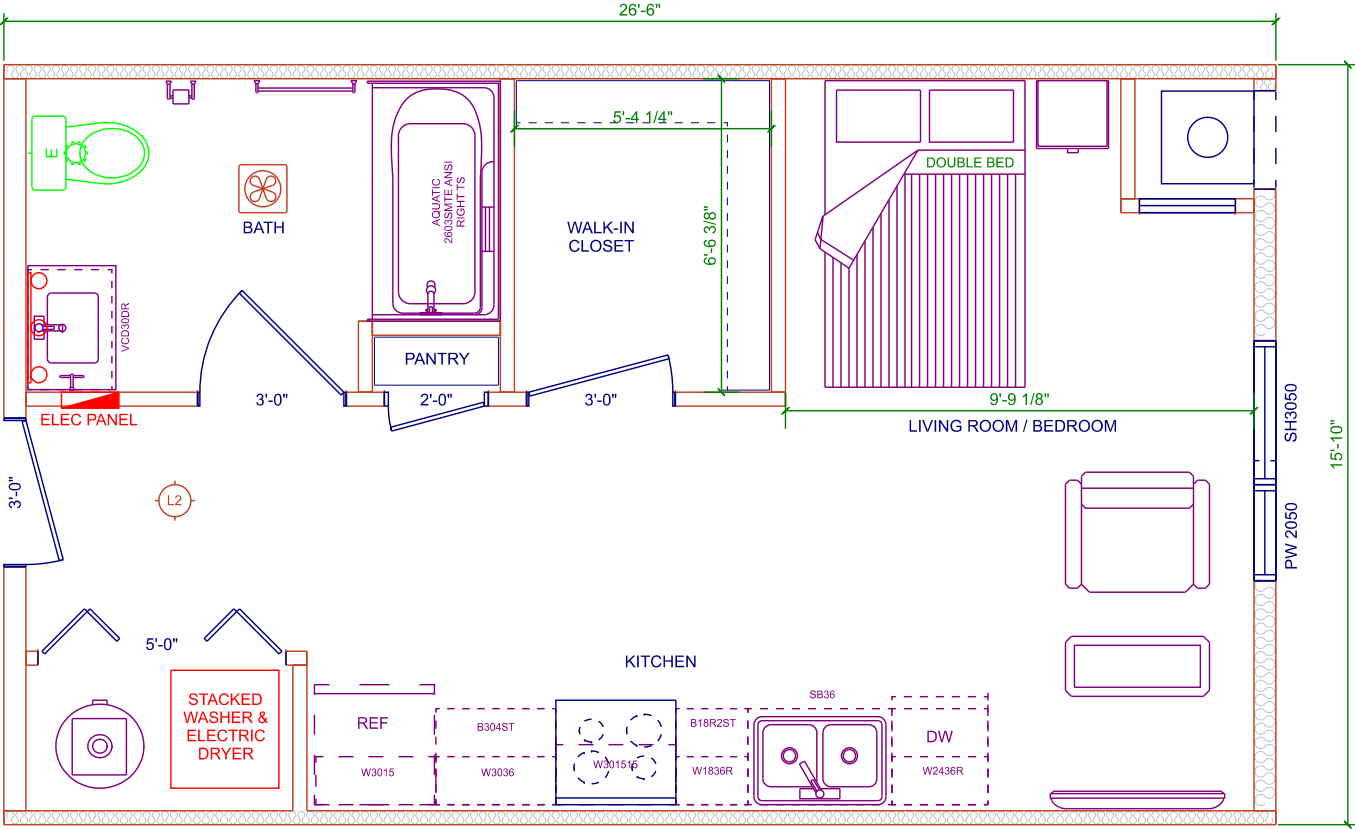
CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 8/26/2024	BY: MM	SCALE: 1/4" = 1'-0"	
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		RT-1	



TWO BEDROOM UNIT
9'-0" WALLS, 974 SQ. FT.

CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 8/26/2024	BY: MM	SCALE: 1/4" = 1'-0"	
<div>100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com</div> <div></div>			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		RT-2	





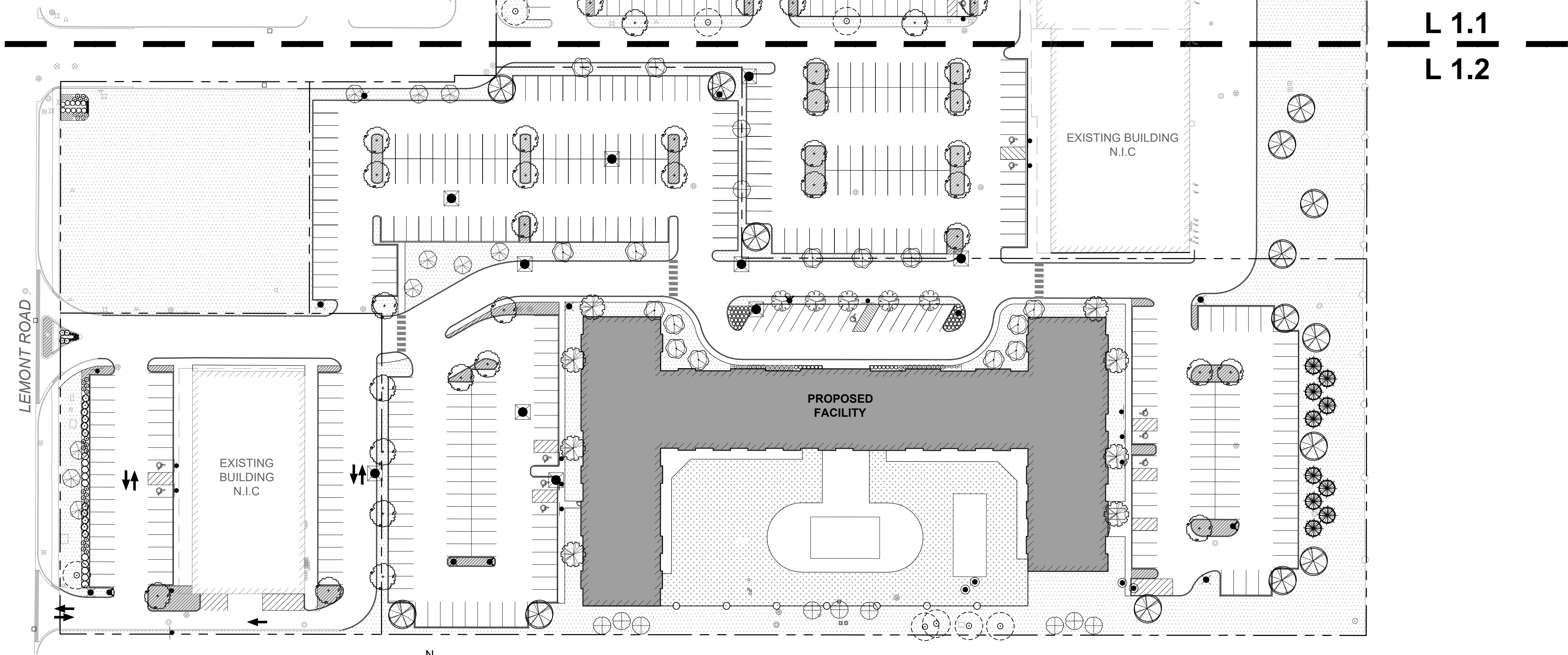
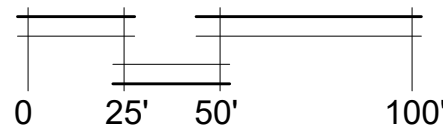
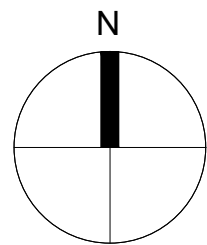
STUDIO UNIT
9'-0" WALLS, 420 SQ. FT.

CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL
MODEL: 4 STORY APT		PRODUCTION NO: 2024
DATE: 8/26/2024	BY: MM	SCALE: 1/4" = 1'-0"
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com		
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		RT-S

Master Plant List						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
Shade Trees						
AFA	2	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	3' BB	NATIVAR	COLUMNAR
AFR	10	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3' BB	NATIVAR	
BEN	5	BETULA NIGRA	RIVER BIRCH	10' BB	NATIVE	
CAF	4	CARPINUS BETULUS 'FASTIGIATA'	COLUMNAR EUROPEAN HORNBEAM	3' BB		COLUMNAR
CAT	3	CATALPA SPECIOSA	NORTHERN CATALPA	3' BB	NATIVE	
CEO	2	CELTUS OCCIDENTALIS	HACKBERRY	3' BB	NATIVE	
GBI	12	GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	3' BB		MALE SPEC. ONLY
GBP	2	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	3' BB		COLUMNAR, MALE SPEC.
GTI	18	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3' BB		
PLA	10	PLATANUS x ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION LONDON PLANETREE	3' BB		
QBI	5	QUERCUS BICOLOR	SWAMP WHITE OAK	3' BB	NATIVE	
QMA	4	QUERCUS MACROCARPA	BUR OAK	3' BB	NATIVE	
TAR	21	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3' BB	NATIVAR	
Evergreen Trees						
POM	10	PICEA OMORIKA	SERBIAN SPRUCE	8' BB		
Ornamental Trees						
AE	1	AESCULUS PAVIA	RED BUCKEYE	6' BB	NATIVE	
AC	12	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6' BB	NATIVE	
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	8' BB	NATIVE	
CA	5	CORNUS ALTERINFOLIA	PAGODA DOGWOOD	8' BB	NATIVE	
CM	7	CORNUS MAS	CORNELIANCHERRY DOGWOOD	6' BB		
MG	8	MAGNOLIA STELLATA	STAR MAGNOLIA	4' BB		
SYR	8	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	8' BB		
Evergreen Shrubs						
JCM	4	JUNIPERUS CHINENSIS 'MINT JULIP'	MINT JULIP SPREADING JUNIPER	24' BB		
TD	17	TAXUS x MEDIA 'DENSII'	DENSE YEW	24' BB		
Deciduous Shrubs						
AM	25	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	IROQUOIS BEAUTY BLACK CHOKEBERRY	5 GAL	NATIVAR	
EA	34	EUONYMOS ALATA 'COMPACTA'	DWARF BURNING BUSH	3' BB		
HP	20	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36' BB		
RA	46	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	5 GAL	NATIVE	
RD	14	ROSA 'DRIFT POPCORN'	GROUNDCOVER ROSE	2 GAL		
RK	23	ROSA 'KNOCKOUT'	KNOCKOUT SHRUB ROSE	2 GAL		
SM	60	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	24' BB		
VD	34	VIBURNUM DENTATUM 'CHICAGO LUSTRE'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	48' BB	NATIVAR	
Groundcover						
ef	8,550	EUONYMOS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS		
Perennials						
hs	41	HEMEROCALLIS 'STELLA D'ORO'	SELLA D'ORO DAYLILY	1 GAL		
Grasses						
ss	14	SCHIZACHYRIUM SCOPARUM 'PRAIRIE BLUES'	LITTLE BLUESTEM	1 GAL	NATIVE	
sp	17	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	NATIVE	

OVERALL LANDSCAPE PLAN KEY

SCALE: 1" = 50'-0"



L 1.1
L 1.2



no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	12-09-24

CHESTNUT COURT
SHOPPING CENTER
DARIEN, ILLINOIS

OVERALL LANDSCAPE PLAN
MASTER PLANT LIST

date:	09-24-24
drawn:	DEA
checked:	KMT

job no.

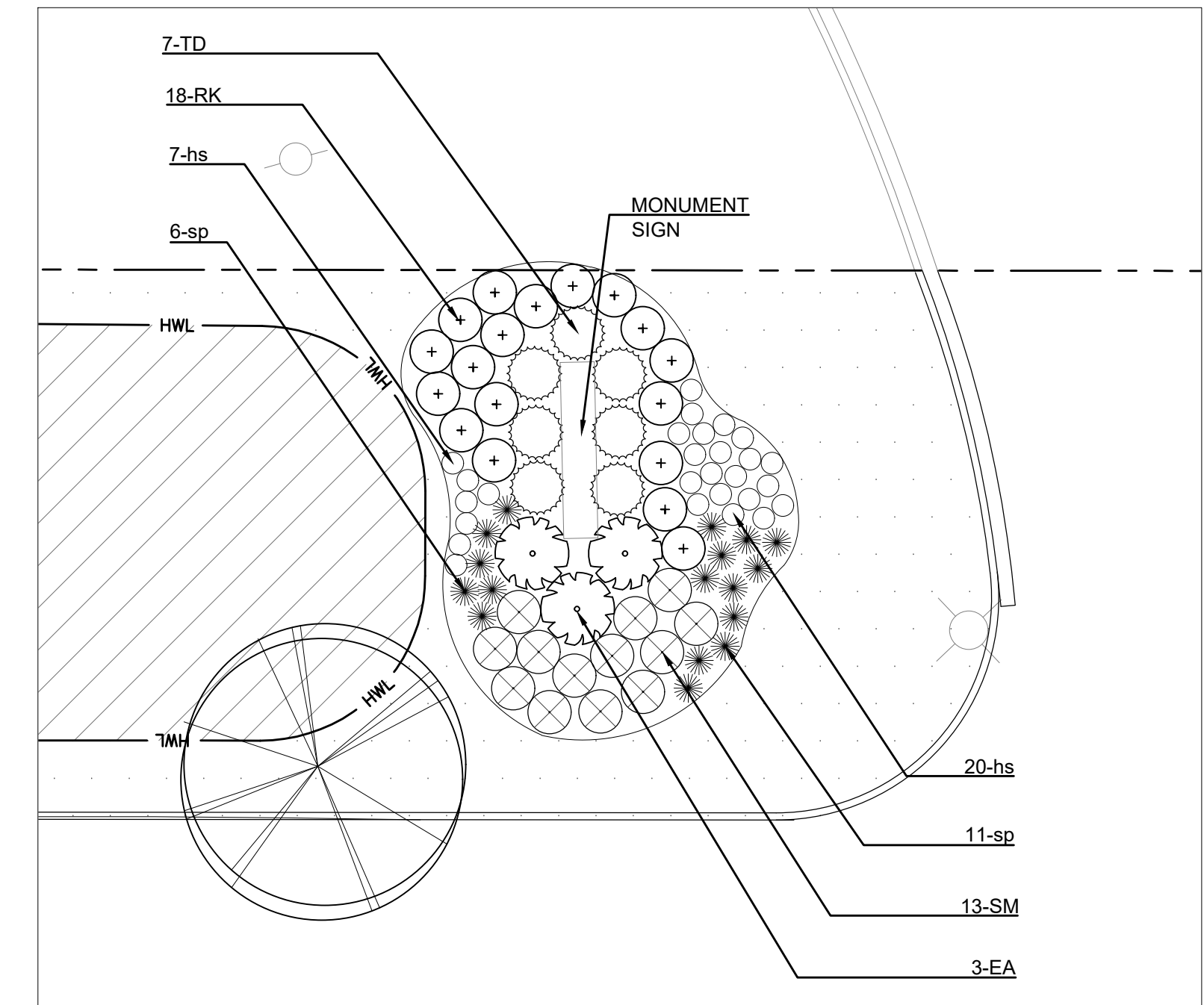
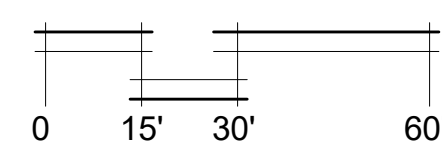
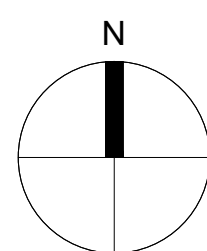
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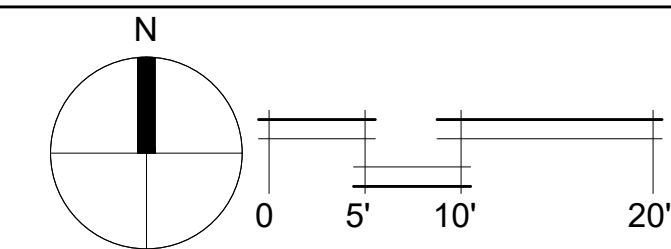
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[illegible]

SCALE: 1" = 30'-0"



SCALE: 1" = 10'-0"



SEE SHEET 1.2

Kathryn Talty
landscape architecture

1926 Waukegan Road | Suite 340
Glenview, Illinois 60025
847.612.5154 | www.ktlandarch.com



no.	revision	description	initial	date
1	✓	ISSUED FOR REVIEW	KMT	12-09-24
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**CHESTNUT COURT
SHOPPING CENTER**
DARIEN, ILLINOIS

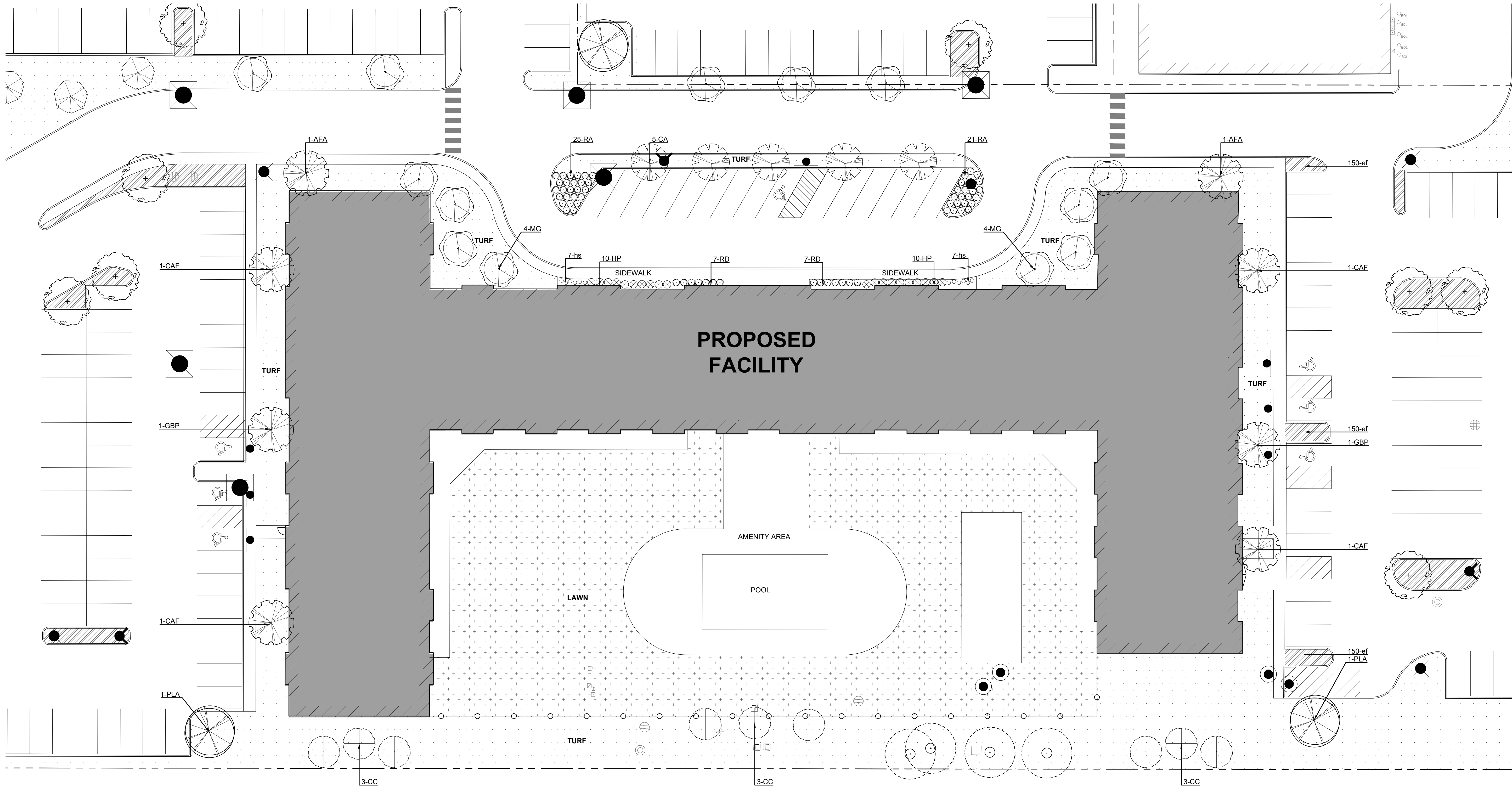
LANDSCAPE PLAN - NORTH
MONUMENT SIGN PLANTING

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09-24-24
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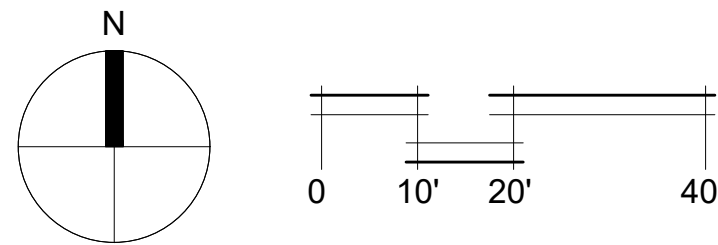
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FOUNDATION LANDSCAPE PLAN

SCALE: 1" = 20'-0"



no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	12-09-24

CHESTNUT COURT
SHOPPING CENTER
DARIEN, ILLINOIS

date:	09-24-24	drawn:	DEA	checked:	KMT
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LANDSCAPE MAINTENANCE SPECIFICATIONS																																	
<p>THE CONTRACTOR SHALL PROVIDE AS A SEPARATE BID, MAINTENANCE FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPING. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER OR PROVIDE THE NAME OF A REPUTABLE LANDSCAPE CONTRACTOR WHO CAN PROVIDE MAINTENANCE.</p> <p>STANDARDS</p> <p>ALL LANDSCAPE MAINTENANCE SERVICES SHALL BE PERFORMED BY TRAINED PERSONNEL USING CURRENT, ACCEPTABLE HORTICULTURAL PRACTICES.</p> <p>ALL WORK SHALL BE PERFORMED IN A MANNER THAT MAINTAINS THE ORIGINAL INTENT OF THE LANDSCAPE DESIGN.</p> <p>ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY, STATE AND FEDERAL LAWS, USING EPA REGISTERED MATERIALS AND METHODS OF APPLICATION. THESE APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR.</p> <p>APPROVALS</p> <p>ANY WORK PERFORMED IN ADDITION TO THAT WHICH IS OUTLINED IN THE CONTRACT SHALL ONLY BE DONE UPON WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE.</p> <p>ALL SEASONAL COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION.</p> <p>SOIL TESTING</p> <p>THE MAINTENANCE CONTRACTOR SHALL PERFORM SOIL TESTS AS NEEDED TO IDENTIFY ANY IMBALANCES OR DEFICIENCIES CAUSING PLANT MATERIAL DECLINE. THE OWNER SHALL BE NOTIFIED OF THE RECOMMENDATION FOR APPROVAL, AND THE NECESSARY CORRECTIONS MADE AT AN ADDITIONAL COST TO THE OWNER.</p> <table><tr><td>ACCEPTABLE SOIL TEST RESULTS:</td><td></td></tr><tr><td></td><td><table><tr><th>LANDSCAPE TREES & SHRUBS</th><th>TURF</th></tr><tr><td>PH RANGE</td><td>5.0-7.0</td></tr><tr><td>ORGANIC MATTER</td><td>>1.5%</td></tr><tr><td>MAGNESIUM (MG)</td><td>100+LBS/ACRE</td></tr><tr><td>PHOSPHORUS (P2O5)</td><td>150+LBS/ACRE</td></tr><tr><td>POTASSIUM (K2O)</td><td>120+LBS/ACRE</td></tr><tr><td>SOLUBLE SALTS</td><td>NOT TO EXCEED 900PPM/1.9 MMHOS/CM</td></tr><tr><td></td><td>IN SOIL, NOT TO EXCEED 1400 PPM/2.5</td></tr><tr><td></td><td>MMHOS/CM IN HIGH ORGANIC MIX</td></tr></table></td></tr><tr><td colspan="2">FOR UNUSUAL SOIL CONDITIONS, THE FOLLOWING OPTIONAL TESTS ARE RECOMMENDED WITH LEVELS NOT TO EXCEED:</td></tr><tr><td>BORON</td><td>3 POUNDS PER ACRE</td></tr><tr><td>MANGANESE</td><td>50 POUNDS PER ACRE</td></tr><tr><td>POTASSIUM (K2O)</td><td>450 POUNDS PER ACRE</td></tr><tr><td>SODIUM</td><td>20 POUNDS PER ACRE</td></tr></table> <p>WORKMANSHIP</p> <p>DURING LANDSCAPE MAINTENANCE OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.</p> <p>UPON COMPLETION OF MAINTENANCE OPERATIONS, ALL DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. ANY DAMAGE TO THE LANDSCAPE, STRUCTURES, OR IRRIGATION SYSTEMS CAUSED BY THE MAINTENANCE CONTRACTOR, SHALL BE REPAIRED BY THE MAINTENANCE CONTRACTOR WITHOUT CHARGE TO THE OWNER.</p>	ACCEPTABLE SOIL TEST RESULTS:			<table><tr><th>LANDSCAPE TREES & SHRUBS</th><th>TURF</th></tr><tr><td>PH RANGE</td><td>5.0-7.0</td></tr><tr><td>ORGANIC MATTER</td><td>>1.5%</td></tr><tr><td>MAGNESIUM (MG)</td><td>100+LBS/ACRE</td></tr><tr><td>PHOSPHORUS (P2O5)</td><td>150+LBS/ACRE</td></tr><tr><td>POTASSIUM (K2O)</td><td>120+LBS/ACRE</td></tr><tr><td>SOLUBLE SALTS</td><td>NOT TO EXCEED 900PPM/1.9 MMHOS/CM</td></tr><tr><td></td><td>IN SOIL, NOT TO EXCEED 1400 PPM/2.5</td></tr><tr><td></td><td>MMHOS/CM IN HIGH ORGANIC MIX</td></tr></table>	LANDSCAPE TREES & SHRUBS	TURF	PH RANGE	5.0-7.0	ORGANIC MATTER	>1.5%	MAGNESIUM (MG)	100+LBS/ACRE	PHOSPHORUS (P2O5)	150+LBS/ACRE	POTASSIUM (K2O)	120+LBS/ACRE	SOLUBLE SALTS	NOT TO EXCEED 900PPM/1.9 MMHOS/CM		IN SOIL, NOT TO EXCEED 1400 PPM/2.5		MMHOS/CM IN HIGH ORGANIC MIX	FOR UNUSUAL SOIL CONDITIONS, THE FOLLOWING OPTIONAL TESTS ARE RECOMMENDED WITH LEVELS NOT TO EXCEED:		BORON	3 POUNDS PER ACRE	MANGANESE	50 POUNDS PER ACRE	POTASSIUM (K2O)	450 POUNDS PER ACRE	SODIUM	20 POUNDS PER ACRE	<p>TREES, SHRUBS, & GROUND COVER (CONT.)</p> <p>MULCHING</p> <p>ANNUALLY, ALL TREE AND SHRUB BEDS WILL BE PREPARED AND MULCHED, TO A MINIMUM DEPTH OF 3" WITH QUALITY MULCH TO MATCH EXISTING. BED PREPARATION SHALL INCLUDE REMOVING ALL WEEDS, CLEANING UP SAID BED, EDGING AND CULTIVATING DECAYED MULCH INTO THE SOIL. DEBRIS FROM EDGING IS TO BE REMOVED FROM BEDS WHERE APPLICABLE. IF DEEMED NECESSARY, A PRE-EMERGENT HERBICIDE MAY BE APPLIED TO THE SOIL TO INHIBIT THE GROWTH OF FUTURE WEEDS.</p> <p>ORGANICALLY MAINTAINED GARDENS SHALL NOT RECEIVE ANY PRE-EMERGENT HERBICIDES. MULCH IN EXCESS OF 4" WILL BE REMOVED FROM THE BED AREAS. SPECIAL CARE SHALL BE TAKEN IN THE MULCHING OPERATION NOT TO OVER-MULCH OR COVER THE BASE OF TREES AND SHRUBS. THIS CAN BE DETRIMENTAL TO THE HEALTH OF THE PLANTS.</p> <p>WEEDING</p> <p>ALL BEDS SHALL BE WEEDDED ON A CONTINUOUS BASIS THROUGHOUT THE GROWING SEASON TO MAINTAIN A NEAT APPEARANCE AT ALL TIMES.</p> <p>PRE-EMERGENT (SOIL-APPLIED) AND POST-EMERGENT (FOLIAR-APPLIED) HERBICIDES SHALL BE USED WHERE AND WHEN APPLICABLE AND IN ACCORDANCE WITH THE PRODUCT'S LABEL.</p> <p>INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUND COVER</p> <p>THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE LANDSCAPE SITE ON A REGULAR BASIS. THE MONITORING FREQUENCY SHALL BE MONTHLY EXCEPT FOR GROWING SEASON, WHICH WILL BE EVERY OTHER WEEK. TRAINED PERSONNEL SHALL MONITOR FOR PLANT DAMAGING INSECT ACTIVITY, PLANT PATHOGENIC DISEASES AND POTENTIAL CULTURAL PROBLEMS IN THE LANDSCAPE. THE PEST OR CULTURAL PROBLEM WILL BE IDENTIFIED UNDER THE SUPERVISION OF THE CONTRACTOR.</p> <p>FOR PLANT DAMAGING INSECTS AND MITES IDENTIFIED IN THE LANDSCAPE, THE CONTRACTOR SHALL CONSULT AND FOLLOW THE RECOMMENDATIONS OF THE MOST CURRENT EDITION OF THE STATE COOPERATIVE SERVICE PUBLICATION ON INSECT CONTROL ON LANDSCAPE PLANT MATERIAL.</p> <p>PLANT PATHOGENIC DISEASE PROBLEMS IDENTIFIED BY THE CONTRACTOR THAT CAN BE RESOLVED BY PRUNING OR PHYSICAL REMOVAL OF DAMAGED PLANT PARTS WILL BE PERFORMED AS PART OF THE CONTRACT. FOR AN ADDITIONAL CHARGE, PLANT PATHOGENIC DISEASES THAT CAN BE RESOLVED THROUGH PROPERLY TIMED APPLICATIONS OF FUNGICIDES SHALL BE MADE WHEN THE OWNER AUTHORIZES IT.</p> <p>IF THE CONTRACTOR NOTES AN ESPECIALLY INSECT-OR DISEASE-PRONE PLANT SPECIES IN THE LANDSCAPE, HE/SHE WILL SUGGEST REPLACEMENT WITH A MORE PEST-RESISTANT CULTIVAR OR SPECIES THAT IS CONSISTENT WITH THE INTENT OF THE LANDSCAPE DESIGN.</p> <p>NOTE: FOR IDENTIFICATION OF PLANT-DAMAGING INSECTS AND MITES, A REFERENCE TEXTBOOK THAT CAN BE USED IS INSECTS THAT FEED ON TREES AND SHRUBS BY JOHNSON AND LYON, COMSTOCK PUBLISHING ASSOCIATES. FOR PLANT PATHOGENIC DISEASES, TWO REFERENCES ARE SUGGESTED: SCOUTING AND CONTROLLING WOODY ORNAMENTAL DISEASES IN LANDSCAPES AND NURSERIES, AUTHORIZED BY GARY MOORMAN, PUBLISHED BY PENN STATE COLLEGE OF AGRICULTURAL SCIENCES, AND DISEASES OF TREES AND SHRUBS BY SINCLAIR AND LYON, PUBLISHED BY COMSTOCK PUBLISHING PRESS.</p> <p>TRASH REMOVAL</p> <p>THE MAINTENANCE CONTRACTOR SHALL REMOVE TRASH FROM ALL SHRUB AND GROUNDCOVER BEDS WITH EACH VISIT.</p> <p>LEAF REMOVAL</p> <p>ALL FALLEN LEAVES SHALL BE REMOVED FROM THE SITE IN NOVEMBER AND ONCE IN DECEMBER, IF REQUESTED BY THE OWNER, THE MAINTENANCE CONTRACTOR, AT AN ADDITIONAL COST TO THE OWNER SHALL PERFORM SUPPLEMENTAL LEAF REMOVALS.</p> <p>WINTER CLEAN-UP</p> <p>THE PROJECT SHALL RECEIVE A GENERAL CLEAN-UP ONCE DURING EACH OF THE WINTER MONTHS, I.E., JANUARY, FEBRUARY, AND MARCH.</p> <p>CLEAN-UP INCLUDES:</p> <ul style="list-style-type: none">• CLEANING CURBS AND PARKING AREAS• REMOVING ALL TRASH AND UNWANTED DEBRIS• TURNING MULCH WHERE NECESSARY• INSPECTION OF GROUNDS
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<p>TURF</p> <p>GENERAL CLEAN UP</p> <p>PRIOR TO MOWING, ALL TRASH, STICKS, AND OTHER UNWANTED DEBRIS SHALL BE REMOVED FROM LAWNS, PLANT BEDS, AND PAVED AREAS.</p> <p>MOWING</p> <p>TURF GRASSES, INCLUDING BLUE GRASS, TALL FESCUE, PERENNIAL RYEGRASS, ETC., SHALL BE MAINTAINED AT A HEIGHT OF 2" TO 3" IN SPRING AND FALL. FROM JUNE THROUGH SEPTEMBER, MOWING HEIGHT SHALL BE MAINTAINED AT NO LESS THAN 3".</p> <p>THE MOWING OPERATION INCLUDES TRIMMING AROUND ALL OBSTACLES, RAKING EXCESSIVE GRASS CLIPPINGS AND REMOVING DEBRIS FROM WALKS, CURBS, AND PARKING AREAS. CAUTION: MECHANICAL WEEDERS SHOULD NOT BE USED AROUND TREES BECAUSE OF POTENTIAL DAMAGE TO THE BARK.</p> <p>EDGING</p> <p>EDGING OF ALL SIDEWALKS, CURBS AND OTHER PAVED AREAS SHALL BE PERFORMED ONCE EVERY OTHER MOWING. DEBRIS FROM THE EDGING OPERATIONS SHALL BE REMOVED AND THE AREAS SWEEP CLEAN. CAUTION SHALL BE USED TO AVOID FLYING DEBRIS.</p> <p>FERTILIZING</p> <p>SEASONALLY STEPPED FERTILIZER SHALL BE APPLIED IN AREAS BASED ON THE EXISTING TURF SPECIES.</p> <p>LAWN WEED CONTROL: HERBICIDES</p> <p>SELECTION AND PROPER USE OF HERBICIDES SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR. READ THE LABEL PRIOR TO APPLYING ANY CHEMICAL.</p> <p>INSECT & DISEASE CONTROL FOR TURF</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE SITE CONDITIONS ON EACH VISIT TO DETERMINE IF ANY INSECT PEST OR DISEASE PROBLEMS EXIST. THE CONTRACTOR SHALL IDENTIFY THE INSECT PEST OR DISEASE, AS WELL AS THE HOST PLANT, AND THEN CONSULT THE MOST CURRENT EDITION OF THE COOPERATIVE EXTENSION SERVICES' 'COMMERCIAL INSECTICIDE RECOMMENDATION FOR TURF' FOR CONTROL. THE LICENSED APPLICATOR SHALL BE FAMILIAR WITH THE LABEL PROVIDED FOR THE SELECTED PRODUCT PRIOR TO APPLICATION.</p> <p>INSPECTION AND TREATMENT TO CONTROL INSECT PESTS SHALL BE INCLUDED IN THE CONTRACT PRICE.</p>	<p>SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS</p> <p>THE INSTALLATION OF PERENNIALS, ANNUALS, AND BULBS, UNLESS SPECIFIED HEREIN, SHALL BE REVIEWED WITH THE OWNER, AND, IF ACCEPTED, INSTALLED AND BILLED TO THE OWNER.</p> <p>SEASONAL COLOR MAINTENANCE</p> <p>PERENNIALIZATION OF BULBS:</p> <ol style="list-style-type: none">1. AFTER FLOWERING, CUT OFF SPENT FLOWER HEADS.2. ALLOW LEAVES OF DAFFODILS AND HYACINTHS TO REMAIN FOR SIX WEEKS AFTER FLOWERS HAVE FADED, CUT OFF AT BASE.3. ALLOW LEAVES OF OTHER BULBS TO YELLOW NATURALLY AND THEN CUT OFF AT BASE.4. APPLY FERTILIZER AFTER FLOWERING IN SPRING, POSSIBLY AGAIN IN FALL. APPLY 10-10-10 AT THE RATE OF 2 POUNDS PER 1000 SQUARE FEET OR TOP-DRESS WITH COMPOST 1" DEEP. FALL FERTILIZATION WITH A BULB FERTILIZER OR MULCHING WITH 1" OF COMPOST IS OPTIONAL. <p>FLOWER ROTATION:</p> <ol style="list-style-type: none">1. BULBS: REMOVE THE ENTIRE PLANT AND BULB AFTER FLOWERS HAVE FADED OR AT THE DIRECTION OF THE OWNER AND INSTALL NEW PLANTS IF INCLUDED IN CONTRACT.2. SUMMER ANNUALS OR FALL PLANTS:<ol style="list-style-type: none">A. DEAD HEADING: PINCH AND REMOVE DEAD FLOWERS ON ANNUALS AS NECESSARY.B. FERTILIZING SUMMER ANNUALS: FERTILIZE USING ONE OR TWO METHODS: APPLY A SLOW-RELEASE FERTILIZER IN MAY FOLLOWING MANUFACTURER'S RECOMMENDATIONS. A BOOSTER SUCH AS 10-10-10 MAY BE NECESSARY IN LATE SUMMER OR, APPLY LIQUID FERTILIZATIONS OF 20-20-20 WATER-SOLUBLE FERTILIZERS, NOT TO EXCEED 2 POUNDS OF 20-20-20 PER 100 GALLONS OF WATER, MONTHLY, OR MULCH WITH COMPOST 1" DEEP.C. REMOVAL: IF FALL PLANTS ARE TO BE INSTALLED, SUMMER ANNUALS SHALL BE LEFT IN THE GROUND UNTIL THE FIRST KILLING FROST AND THEN REMOVED, UNLESS OTHERWISE DIRECTED BY THE OWNER. <p>PERENNIALS:</p> <ol style="list-style-type: none">1. AFTER INITIAL INSTALLATION, IF A TIME-RELEASED FERTILIZER HAS BEEN INCORPORATED DURING PLANT INSTALLATION, NO MORE FERTILIZER NEED BE APPLIED THE FIRST GROWING SEASON.2. THE FOLLOWING YEAR:<ol style="list-style-type: none">A. FERTILIZE PERENNIALS WITH A SLOW-RELEASE FERTILIZER OR ANY 50% ORGANIC FERTILIZER, OR MULCH PERENNIALS WITH COMPOST 1" DEEP.B. CUT ALL DECIDUOUS PERENNIALS FLUSH TO THE GROUND BY MARCH 1, IF THIS WAS NOT DONE THE PREVIOUS FALL, TO ALLOW NEW GROWTH TO DEVELOP FREELY.C. MULCH THE PERENNIAL BED ONCE IN EARLY SPRING AT 1"-2" DEPTH. IF SOIL IS BARED IN LATE FALL, RE-MULCH LIGHTLY AFTER GROUND IS FROZEN TO PROTECT PERENNIALS.D. INSPECT FOR INSECT OR DISEASE PROBLEMS ON PERENNIALS. MONITOR AND CONTROL SLUGS ON HOSTAS AND LIGULARIAS. POWDERY MILDEW ON PHLOX, MONARDAS, AND ASTERS CAN BE PREVENTED WITH PROPERLY TIMED FUNGICIDES OR USE OF DISEASE-RESISTANT VARIETIES.E. WEED PERENNIAL BED AS SPECIFIED IN "WEEDING" ABOVE.F. PRUNE BRANCHING SPECIES TO INCREASE DENSITY. CUT ONLY THE FLOWERING STEMS AFTER BLOOMING. DO NOT REMOVE THE FOLIAGE.3. THE FOLLOWING FALL, CUT BACK DETERIORATING PLANT PARTS UNLESS INSTRUCTED TO RETAIN FOR WINTER INTEREST, E.G. SEDUM AUTUMN JOY AND ORNAMENTAL GRASSES.4. LONG-TERM CARE:<ol style="list-style-type: none">A. DIVIDE PLANTS THAT OVERCROWD THE SPACE PROVIDED, DIVIDE ACCORDING TO THE SPECIES. SOME NEED FREQUENT DIVIDING, E.G. ASTERS AND YARROW EVERY TWO YEARS; OTHER RARELY, IF EVER, E.G. PEONIES, HOSTAS, AND ASTILBE.B. FOR DETAILED INFORMATION REGARDING THE CARE OF SPECIFIC PERENNIALS, REFER TO ALL ABOUT PERENNIALS BY ORTHO; PERENNIALS: HOW TO SELECT, GROW AND ENJOY BY PAMELA HARPER AND FREDERICK MCGOULTY, HP BOOKS PUBLISHER; HERBACEOUS PERENNIAL PLANTS: A TREATISE ON THEIR IDENTIFICATION, CULTURE AND GARDEN ATTRIBUTES BY ALLAN ARMITAGE, STIPES PUB LLC.																																
<p>TREES, SHRUBS, & GROUND COVER</p> <p>PRUNING</p> <p>ALL ORNAMENTAL TREES, SHRUBS AND GROUND COVER SHALL BE PRUNED WHEN APPROPRIATE TO REMOVE DEAD OR DAMAGED BRANCHES. DEVELOP THE NATURAL SHAPES. DO NOT SHEAR TREES OR SHRUBS. IF PREVIOUS MAINTENANCE PRACTICE HAS BEEN TO SHEAR AND BALL, THEN A NATURAL SHAPE WILL BE RESTORED GRADUALLY.</p> <p>PRUNING GUIDELINES:</p> <ol style="list-style-type: none">1. PRUNE PLANTS THAT FLOWER BEFORE THE END OF JUNE (SPRING BLOOMING) IMMEDIATELY AFTER FLOWERING. FLOWER BUDS DEVELOP DURING THE PREVIOUS GROWING SEASON. FALL, WINTER OR SPRING PRUNING WOULD REDUCE THE SPRING FLOWERING DISPLAY.2. PRUNE PLANTS THAT FLOWER IN JULY - SEPTEMBER (SUMMER OR AUTUMN BLOOMING) IN WINTER OR SPRING BEFORE NEW GROWTH BEGINS. SINCE THESE PLANTS DEVELOP FLOWERS ON NEW GROWTH.3. DELAY PRUNING PLANTS GROWN FOR ORNAMENTAL FRUITS, SUCH AS COTONEASTERS AND VIBURNUMS.4. HOLLIES AND OTHER EVERGREENS MAY BE PRUNED DURING WINTER, IN ORDER TO USE THEIR BRANCHES FOR SEASONAL DECORATION. HOWEVER, SEVERE PRUNING OF EVERGREENS SHOULD BE DONE IN EARLY SPRING ONLY.5. BROADLEAF EVERGREEN SHRUBS SHALL BE HAND-PRUNED TO MAINTAIN THEIR NATURAL APPEARANCE AFTER THE NEW GROWTH HARDENS OFF.6. HEDGES OR SHRUBS THAT REQUIRE SHEARING TO MAINTAIN A FORMAL APPEARANCE SHALL BE PRUNED AS REQUIRED. DEAD WOOD SHALL BE REMOVED FROM SHEARED PLANTS BEFORE THE FIRST SHEARING OF THE SEASON.7. CONIFERS SHALL BE PRUNED, IF REQUIRED, ACCORDING TO THEIR GENUS.<ol style="list-style-type: none">A. YEWs, JUNIPERS, HEMLOCKS AND ARBORVITAE MAY BE PRUNED AFTER NEW GROWTH HAS HARDENED OFF IN LATE SUMMER. IF SEVERE PRUNING IS NECESSARY, IT MUST BE DONE IN EARLY SPRING.B. FIRS AND SPRUCES MAY BE LIGHTLY PRUNED IN LATE SUMMER, FALL, OR WINTER AFTER COMPLETING GROWTH. LEAVE SIDE BUDS. NEVER CUT CENTRAL LEADER.C. PINES MAY BE LIGHTLY PRUNED IN EARLY JUNE BY REDUCING CANDLES.8. GROUND COVER SHALL BE EDGED AND PRUNED AS NEEDED TO CONTAIN IT WITHIN ITS BORDERS.9. THINNING: REMOVE BRANCHES AND WATER SPROUTS BY CUTTING THEM BACK TO THEIR POINT OF ORIGIN ON PARENT STEMS. THIS METHOD RESULTS IN A MORE OPEN PLANT, WITHOUT STIMULATING EXCESSIVE GROWTH. THINNING IS USED ON CRAB APPLES, LLACs, VIBURNUMS, ETC.10. RENEWAL PRUNING: REMOVE OLDEST BRANCHES OF SHRUB AT GROUND, LEAVING THE YOUNGER, MORE VIGOROUS BRANCHES. ALSO REMOVE WEAK STEMS. ON OVERGROWN PLANTS, THIS METHOD MAY BE BEST DONE OVER A THREE-YEAR PERIOD. RENEWAL PRUNING MAY BE USED ON FORSYTHIA, HYDRANGEA, SPIRAEA, ETC. <p>PLANTS OVERHANGING PASSAGEWAYS AND PARKING AREAS AND DAMAGED PLANTS SHALL BE PRUNED AS NEEDED.</p> <p>SHADE TREES THAT CANNOT BE ADEQUATELY PRUNED FROM THE GROUND SHALL NOT BE INCLUDED IN THE MAINTENANCE CONTRACT. A CERTIFIED ARBORIST UNDER A SEPARATE CONTRACT SHALL PERFORM THIS TYPE OF WORK.</p> <p>SPRING CLEANUP</p> <p>PLANT BEDS SHALL RECEIVE A GENERAL CLEANUP BEFORE FERTILIZING AND MULCHING. CLEANUP INCLUDES REMOVING DEBRIS AND TRASH FROM BEDS AND CUTTING BACK HERBACEOUS PERENNIALS LEFT STANDING THROUGH WINTER, E.G. ORNAMENTAL GRASSES, SEDUM AUTUMN JOY.</p> <p>FERTILIZING</p> <p>FOR TREES, THE RATE OF FERTILIZATION DEPENDS ON THE TREE SPECIES, TREE VIGOR, AREA AVAILABLE FOR FERTILIZATION, AND GROWTH STAGE OF THE TREE. MATURE SPECIMENS BENEFIT FROM FERTILIZATION EVERY 3 TO 4 YEARS; YOUNGER TREES SHALL BE FERTILIZED MORE OFTEN DURING RAPID GROWTH STAGES.</p> <p>THE CURRENT RECOMMENDATION IS BASED ON THE RATE OF 1000 SQUARE FEET OF AREA UNDER THE TREE TO BE FERTILIZED. FOR DECIDUOUS TREES, 2 TO 6 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR NARROW-LEAF EVERGREENS, 1 TO 4 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR BROADLEAF EVERGREENS, 1 TO 3 POUNDS OF NITROGEN PER 1000 SQUARE FEET.</p> <p>SHRUBS AND GROUNDCOVER SHALL BE TOP-DRESSED WITH COMPOST 1" DEEP OR FERTILIZED ONCE IN MARCH WITH 10-6-4 ANALYSIS FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF BED AREA.</p> <p>ERICACEOUS MATERIAL SHALL BE FERTILIZED WITH AN ERICACEOUS FERTILIZER AT THE MANUFACTURER'S RECOMMENDATION RATE. IF PLANTS ARE GROWING POORLY, A SOIL SAMPLE SHOULD BE TAKEN.</p>	<p>SUMMARY OF MAINTENANCE</p> <p>LAWN MAINTENANCE</p> <ol style="list-style-type: none">1. SOIL ANALYSIS PERFORMED ANNUALLY TO DETERMINE PH. IF PH DOES NOT FALL WITHIN SPECIFIED RANGE, ADJUST ACCORDING TO SOIL TEST RECOMMENDATIONS.2. MAINTAIN PROPER FERTILITY AND PH LEVELS OF THE SOIL TO PROVIDE AN ENVIRONMENT CONDUCTIVE TO TURF VITALITY FOR TURF GRASSES.3. MOW TURF ON A REGULAR BASIS AND AS SEASON AND WEATHER DICTATES. REMOVE NO MORE THAN THE TOP 1/3 OF LEAF BLADE. CLIPPINGS ON PAVED AND BED AREAS WILL BE REMOVED.4. AERATE WARM SEASON TURF AREAS TO MAINTAIN HIGH STANDARDS OF TURF APPEARANCE.5. APPLY PRE-EMERGENT TO TURF IN TWO APPLICATIONS IN EARLY FEBRUARY AND EARLY APRIL TO EXTEND BARRIER.6. APPLY POST EMERGENT AS NEEDED TO CONTROL WEEDS.7. MECHANICALLY EDGE CURBS AND WALKS.8. APPLY NON-SELECTIVE HERBICIDE, TO MULCHED BED AREAS AND PAVEMENT AND REMOVE EXCESS RUNNERS TO MAINTAIN CLEAN DEFINED BEDS. <p>TREE, GROUNDCOVER AND SHRUB BED MAINTENANCE</p> <ol style="list-style-type: none">1. PRUNE SHRUBS, TREES AND GROUNDCOVER TO ENCOURAGE HEALTHY GROWTH AND CREATE A NATURAL APPEARANCE.2. MULCH TO BE APPLIED IN FEBRUARY/MARCH WITH A HALF RATE IN LATE SUMMER TO TOP DRESS.3. APPLY PRE-EMERGENT HERBICIDES IN FEBRUARY AND APRIL.4. MANUAL WEED CONTROL TO MAINTAIN CLEAN BED APPEARANCE.5. APPLY FUNGICIDES AND INSECTICIDES AS NEEDED TO CONTROL INSECTS AND DISEASE.6. ORNAMENTAL SHRUBS, TREES AND GROUNDCOVERS TO BE FERTILIZED THREE (3) TIMES PER YEAR WITH A BALANCED MATERIAL (JANUARY/FEBRUARY, APRIL/MAY, AND OCTOBER/NOVEMBER)7. EDGE ALL MULCHED BEDS.8. REMOVE ALL LITTER AND DEBRIS. <p>GENERAL MAINTENANCE</p> <ol style="list-style-type: none">1. REMOVE ALL MAN-MADE DEBRIS, BLOW EDGES.2. INSPECT GROUNDS ON A MONTHLY BASIS AND SCHEDULE INSPECTION WITH UNIT OPERATOR.																																

SELECTIVE PRUNING DONE AFTER PLANTING

TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS RELATED TO NURSERY GRADE

CONSTRUCT 3" SAUCER AROUND PLANT PIT

SOIL MIX

6" MIN LEVELING COURSE

SCARIFY AND LOOSEN EDGES OF TREE PIT TO ENCOURAGE NEW ROOT PENETRATION

VERTICAL AND TRUE ROTATED FOR BEST APPEARANCE

TREE WRAP

2" UNIFORM DEPTH MULCH DO NOT MOUND MULCH AROUND TREE TRUNK

TAPER TO FINISHED GRADE

3" MULCH BED FOR EVERGREENS

3" MULCH BED FOR SHADE TREES

TREE BALL TO REMAIN INTACT & COMPLETELY COVERED WITH SPECIFIED SOIL MIX AND/OR MULCH

1 L2.0 SCALE: NO SCALE

TRIANGULATED LAYOUT

SEE LANDSCAPE PLAN FOR SPACING

2" UNIFORM DEPTH MULCH DO NOT MOUND MULCH AROUND BASE OF SHRUB

TAPER TO FINISHED GRADE

FINISHED GRADE

3" LEVELING COURSE

SHRUB BALL TO REMAIN INTACT & COMPLETELY COVERED WITH SPECIFIED SOIL MIX AND/OR MULCH

SCARIFY TO 4" DEPTH AND RECOMPACT

SELECTIVE PRUNING DONE AFTER PLANTING

ROOT COLLAR SHALL BE 1" ABOVE FINISHED GRADE

SOIL MIX

2 L2.0 SCALE: NO SCALE

SEE LANDSCAPE PLAN FOR SPACING

TRIANGULATED LAYOUT

RAISE BED 3" ABOVE FINISHED GRADE

TAPER TO FINISHED GRADE

FINISHED GRADE

SOIL MIX

6"

SELECTIVE PRUNING DONE AFTER INSTALLATION

3" DEPTH MULCH

CUT AND REMOVE PLANTING CONTAINER BEFORE INSTALLATION KEEPING BALL INTACT

2" MIN. LEVELING COURSE

3 L2.0 SCALE: NO SCALE

Mixed islands 6" if height above street surface

Mix depth as defined in the Landscape Specifications, match type as defined in the Landscape Plan

With Voids

Pavement Tip

Chalk & Gutter Tip

Compacted Subgrade

Uncompacted subgrade to a minimum depth of 6" from top of curb

Topsoil as defined in the Landscape Specifications, minimum 6" depth

NOTE

1. Clean construction debris from within landscape island areas (i.e. concrete, rocks, rubble, building materials, etc.), prior to installing topsoil and plant material.
2. Fracture between existing subgrade to a minimum 24" depth. Remove and replace any subgrade materials by grading. Once subgrade is even of grade and compacted, well compact to a minimum depth of 6" from above street surface.
3. Island plant material as per the Landscape Plan.
4. Island plant material as per the Landscape Plan, which will be placed over planting details, and as defined in the Landscape Specifications.
5. Island material as specified on the Landscape Plan, and as defined in the Landscape Specifications.

4 L2.0 SCALE: NO SCALE

TURF SIDE

PLANTING BED SIDE

Mix as defined in the Landscape Specifications. Island Width 6" from tree trunk and shrub stems

Shovel Cut Bed Edge at 45 degree angle, 6" deep

Finished grade at bedline

Topsoil as defined in the Landscape Specifications

Native soils subgrade

5 L2.0 SCALE: NO SCALE

SPADED PLANTING BED EDGE DETAIL

5 L2.0 SCALE: NO SCALE

GENERAL CONSTRUCTION NOTES

1. REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE STAKED, WRAPPED, WATERED AND MULCHED PER ORDINANCE.
2. BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE STARTING OPERATIONS. THE CONTRACTOR SHALL BE LIABLE FOR THE COST OF REPAIRING OR REPLACING ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THIS WORK.
3. FOUR FOOT HIGH FENCING OR OTHER RIGID MATERIAL IS TO BE ERECTED AROUND THE DRIP-LINE OF ALL TREES TO BE SAVED.
4. PLANT QUANTITIES ON PLANT LIST INTENDED TO BE A GUIDE. ALL QUANTITIES SHALL BE CHECKED AND VERIFIED ON PLANTING PLAN. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT.
5. ANY DEVIATIONS FROM OR MODIFICATIONS TO THIS PLAN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT UPON DELIVERY OF PLANT MATERIAL TO THE SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOESN'T MEET STANDARDS OR SPECIFICATIONS OF THE PROJECT.
7. ALL PLANT MATERIAL TO BE INSTALLED PER THE PLANTING DETAILS PROVIDED ON THIS PLAN SET.
8. ALL BED EDGES TO BE WELL SHAPED, SPADE CUT, WITH LINES AND CURVES AS SHOWN ON THIS PLAN SET.
9. ALL PLANTING BEDS TO BE PREPARED WITH PLANTING MIX: 50% TOPSOIL, 50% SOIL AMENDMENTS (3 PARTS PEATMOSS, 1 PART COMPOST, 1 PART SAND)
10. ALL PARKING LOT ISLANDS SHALL BE BACKFILLED WITH THE FOLLOWING: 2' OF BLENDED GARDEN SOIL MIX (60% TOPSOIL, 30% COMPOST, 10% SAND) OR 6" OF ONE STEP BY MIDWEST TRADING, TOP DRESSED AND TILLED INTO 18" OF TOPSOIL.
11. ALL SPECIFIED LANDSCAPE MATERIAL INDICATED ON THE CONSTRUCTION DOCUMENTS WILL BE REQUIRED TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT AND MUST BE REPLACED SHOULD IT DIE OR BECOME DAMAGED.
12. ALL PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE FROM SUBSTANTIAL COMPLETION AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND SHALL BE REPLACED SHOULD IT DIE WITHIN THAT PERIOD.
13. PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND UTILITIES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS AND OTHER HAZARDS CAUSED BY SITE IMPROVEMENT OPERATIONS.
14. ALL LAWN AREAS TO BE SEEDED WITH STANDARD TURF GRASS SEED AND COVERED WITH EROSION CONTROL BLANKET. UNLESS OTHERWISE SPECIFIED ON THE PLAN.
15. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, EXCLUDING SHRUB BEDS, TO BE RESTORED WITH TURF GRASS SEED AND COVERED WITH AN EROSION CONTROL BLANKET.
16. CAREFULLY MAINTAIN PRESENT GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PREVENT ANY DISTURBANCE OF EXISTING TREES INCLUDING ROOT ZONES. USE TREE PROTECTION BARRICADES WHERE INDICATED. PROTECT EXISTING TREES TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, BRUISING OF BARK OR SMOOTHING OF TREES. DRIVING, PARKING, DUMPING, STOCKPILING AND/OR STORAGE OF VEHICLES, EQUIPMENT, SUPPLIES, MATERIALS OR DEBRIS ON TOP OF THE ROOT ZONES AND/OR WITHIN THE DRIPLINE OF EXISTING TREES OR OTHER PLANT MATERIAL TO REMAIN IS STRICTLY PROHIBITED.
17. THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES ON WHICH WORK IS BEING DONE, CLEAR OF RUBBISH AND DEBRIS. ALL PAVEMENT AND DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF LEGALLY
18. ALL WORK AND OPERATIONS SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

Kathryn Talty
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initial date
KMT 12-09-24

revision description
A ISSUED FOR REVIEW

no. 1 2 3 4 5 6 7 8 9 10

CHESTNUT COURT SHOPPING CENTER
DARIEN, ILLINOIS

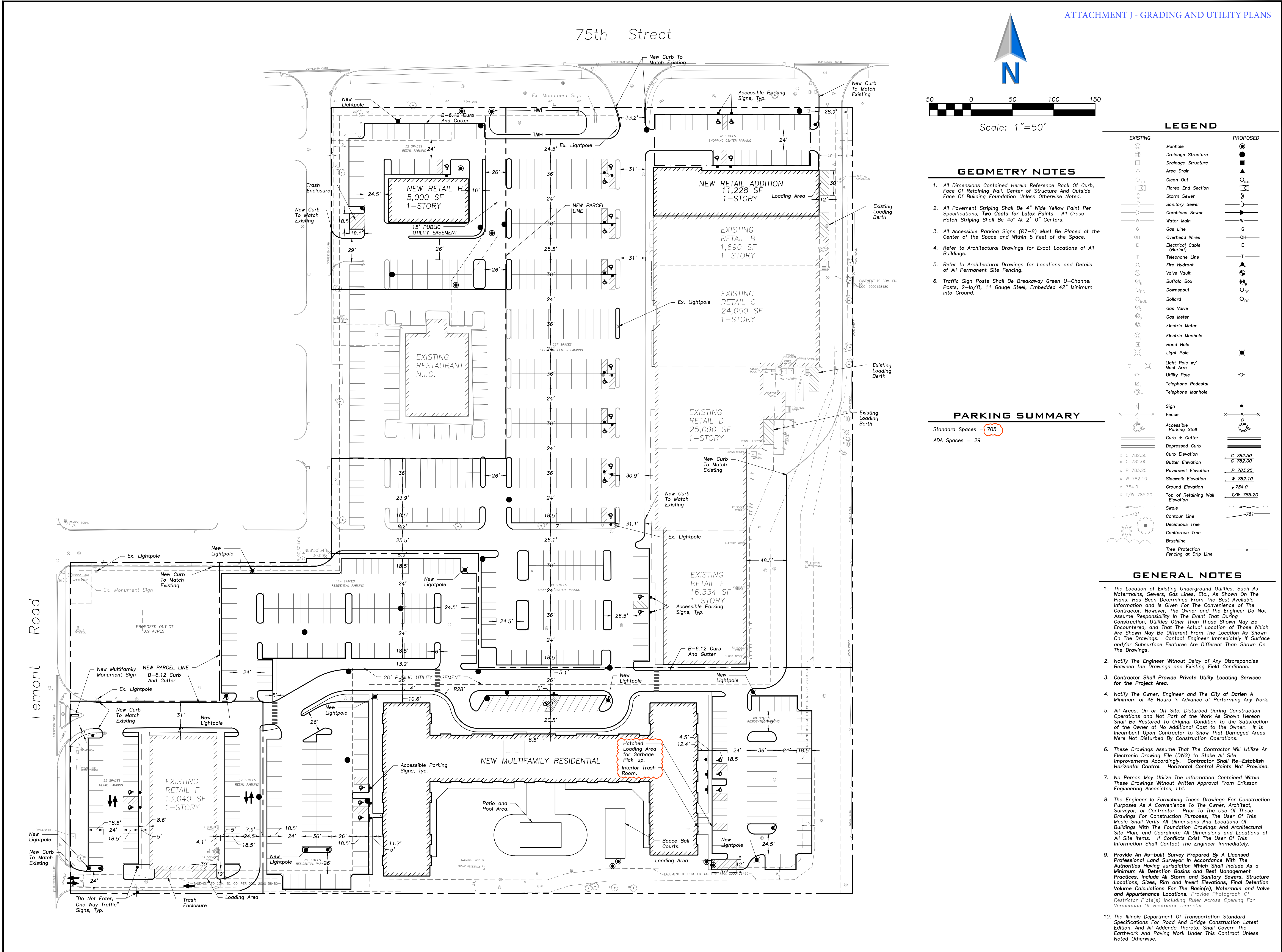
MASTER PLANT LIST
PLANTING DETAILS
LANDSCAPE INSTALLATION AND

date: 09-24-24
drawn: DEB
checked: KMT

job no. 24390

sheet no. L2.0

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CHESTNUT COURT SHOPPING CENTER
DARIEN, ILLINOIS

Reserved for Seal:

No.	Date	Description
	08/08/24	CONCEPT PRICING SET
	10/31/24	VILLAGE COMMENTS
	02/21/25	VILLAGE COMMENTS

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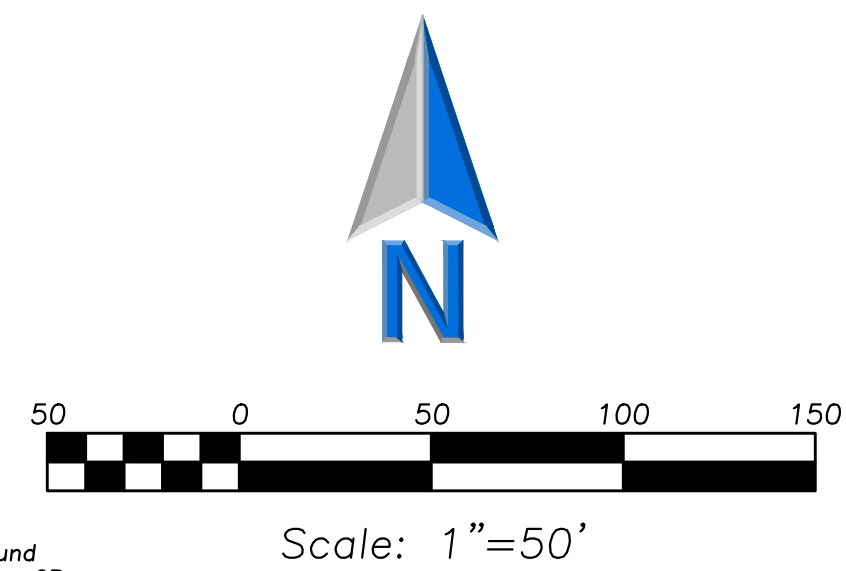
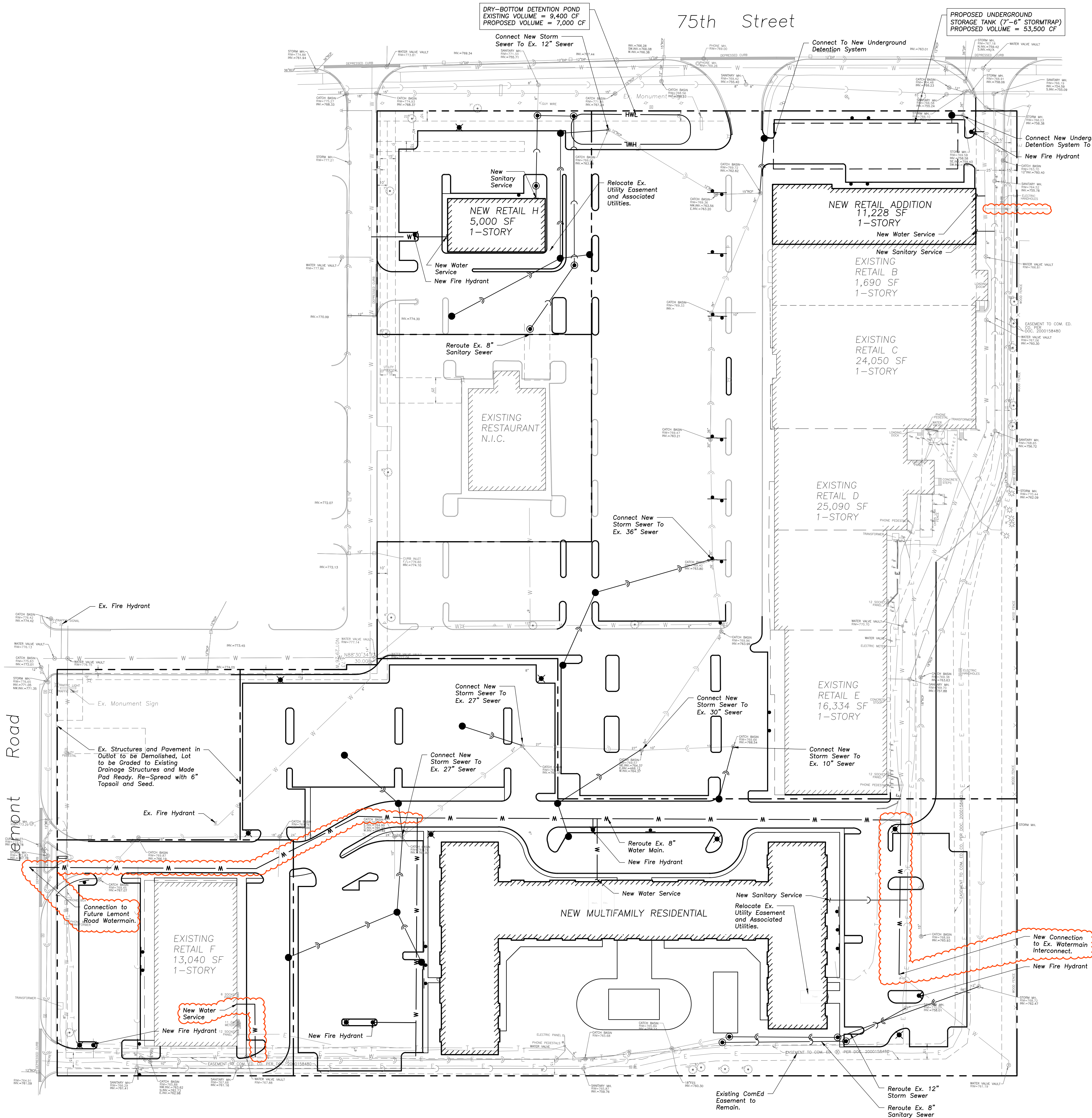
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GFW	CMF	08/08/24

Sheet Title:

SITE GEOMETRY PLAN

Sheet No:

C200



UTILITY NOTES

- This Project Is Located In A Separate Sewer Area.
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of Water Supplies Shall Be As Described In Section 370.350 Of The Illinois Recommended Standards For Sewage Works Or Section 41-2.01 Of The Standard Specifications For Water and Sewer Main Construction in Illinois, Latest Edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Adjust Frame Elevations of All Structures Located Within The Limits Of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.
- Obtain As-Built Information For All Pipes, In Accordance With As-Built Document Requirements, Prior To The Installation of Any Inlet Hoods Or Trash Racks.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Slabs Install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed Along Depressed Curb and Gutter (Dep B-6.12) Shall Have East Jordan Iron Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
- Where Structures are Shown Along the Curbline, Unless Specifically Stated Otherwise, It Is Intended That the Frame of the Structure Is To Fall Within the Flowline of The Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Flared End Sections 12" and Larger Shall Include an IDOT Standard Grate.
- All Flared End Sections Shall Be Concrete.
- All Sanitary Manholes Shall Include a Chimney Seal.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The City of Darien A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations. Provide Photograph of Restrictor Plate(s) Including Ruler Across Opening For Verification Of Restrictor Diameter.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

LEGEND

EXISTING	PROPOSED



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EXPIRES: 04/30/2025

CHESTNUT COURT
SHOPPING CENTER
DARIEN, ILLINOIS

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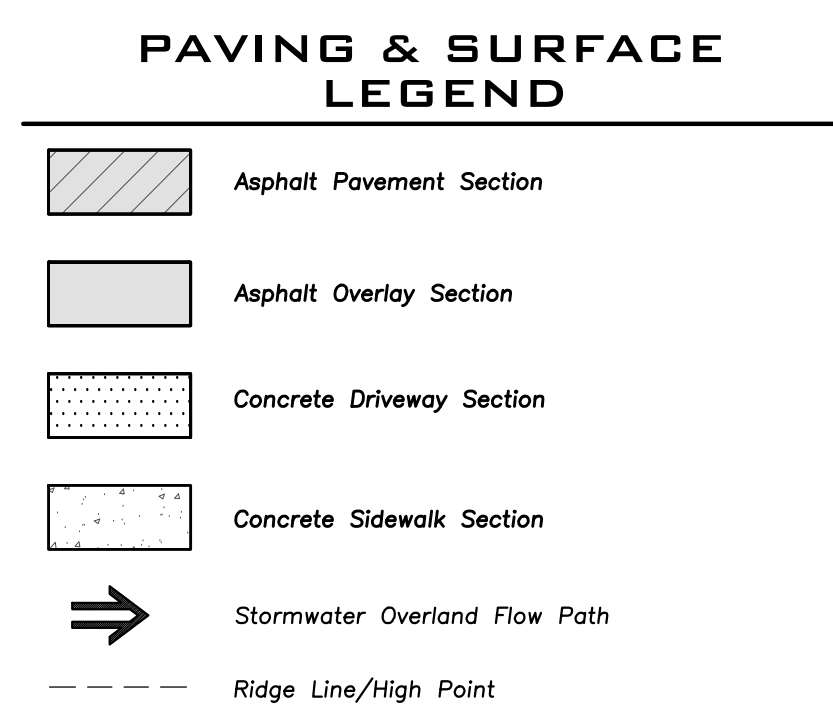
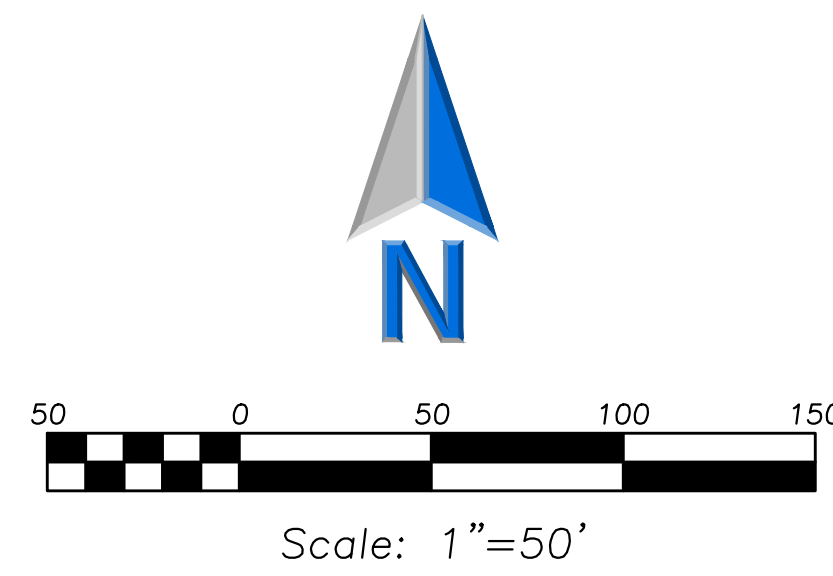
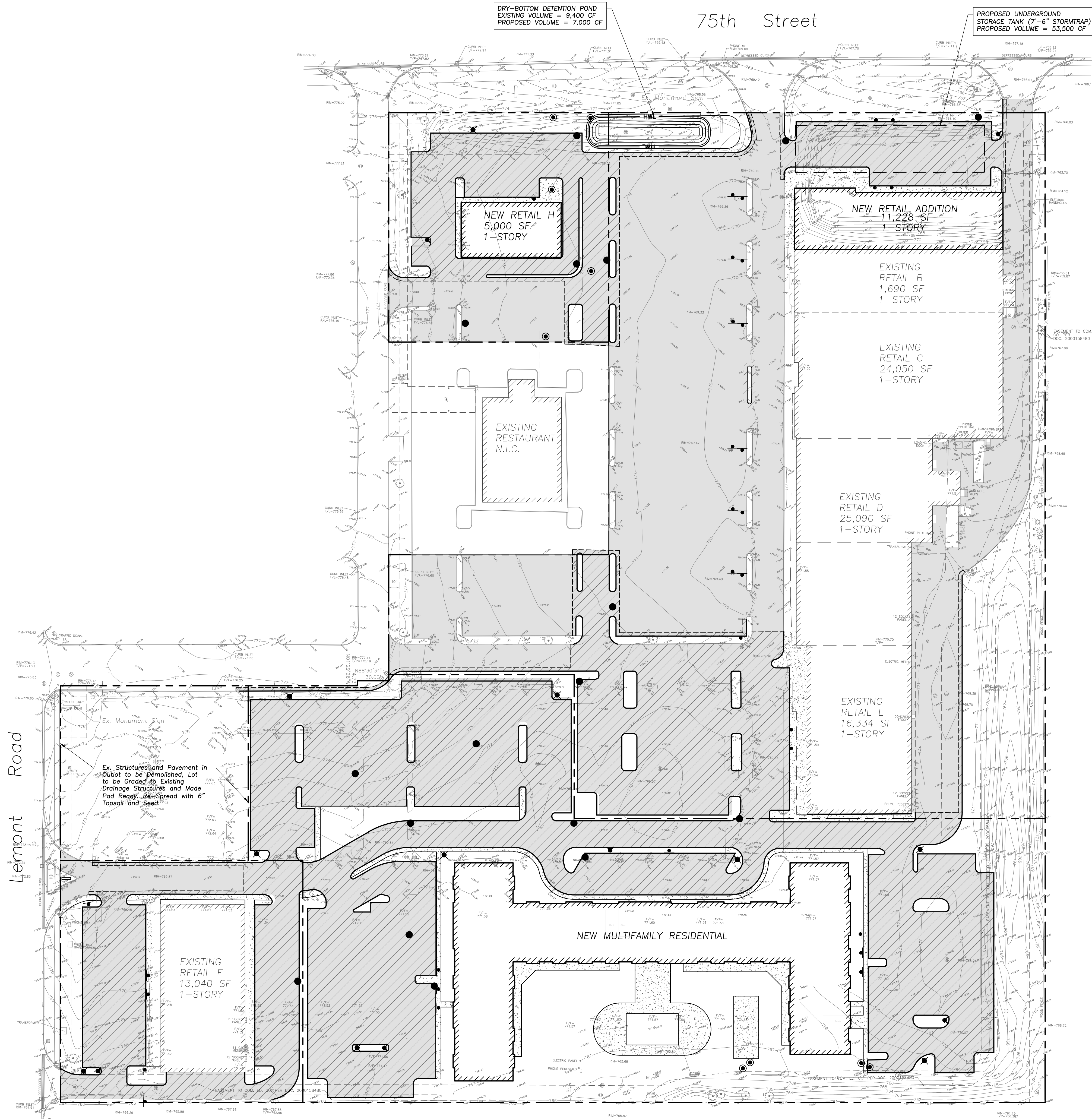
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Approved By: CMF
Date: 08/08/24

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SITE
UTILITY
PLAN

Sheet No:

C300



- GRADING NOTES**
1. Install And Maintain Silt Fence at the Perimeter of the Construction Zone.
 2. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
 3. All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and seeded Unless Noted Otherwise On The Landscape Drawings.
 4. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
 5. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% In Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
 11. Adjust Frame Elevations Of All Structures Located Within The Limits Of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.

LEGEND	
EXISTING	PROPOSED
Manhole	Manhole
Drainage Structure	Drainage Structure
Drainage Structure	Drainage Structure
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Electric Manhole	Electric Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection Fencing at Drip Line	Tree Protection Fencing at Drip Line

- GENERAL NOTES**
1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
 2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
 3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
 4. Notify The Owner, Engineer and The City of Darien A Minimum of 48 Hours In Advance of Performing Any Work.
 5. All Areas On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
 6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
 7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
 8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
 9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations. Provide Photograph of Restrictor Plate(s) Including Ruler Across Opening For Verification Of Restrictor Diameter.
 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

ERIKSSON ENGINEERING ASSOCIATES, LTD.
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4864
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2025

CHESTNUT COURT SHOPPING CENTER
DARIEN, ILLINOIS

Reserved for Seal:

No.	Date	Description
	08/08/24	CONCEPT PRICING SET
	10/31/24	VILLAGE COMMENTS
	02/21/25	VILLAGE COMMENTS

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Design By:	Approved By:	Date:
GFW	CMF	08/08/24

Sheet Title:

GRADING AND PAVING PLAN

Sheet No:

C400

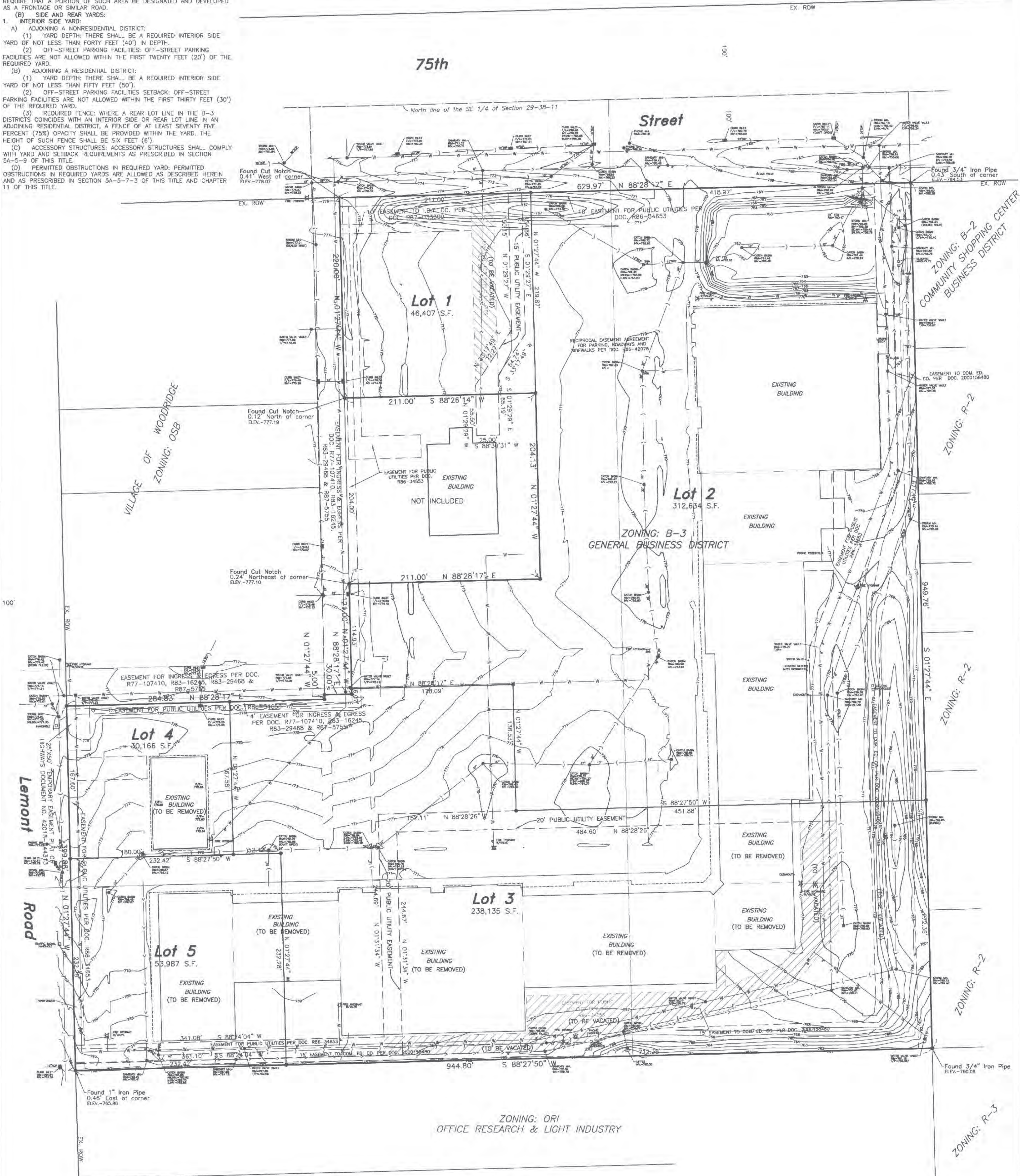
CHESTNUT COURT SHOPPING CENTER RESUBDIVISION

OF

THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 3, 1944 AS DOCUMENT NO. 464509, IN DUPAGE COUNTY, ILLINOIS.

THE PREMISES COMMONLY KNOWN AS:
7511 LEMONT ROAD, DARIEN, IL
PARCEL AREA = 15.641 ACRES, 681,328 S.F.
PINS: 09-29-300-008
09-29-300-022
09-29-300-023
09-29-300-024
09-29-300-025
CURRENT ZONING: B-3
(GENERAL BUSINESS DISTRICT)

YARD REQUIREMENTS:
THE MINIMUM YARDS REQUIRED IN THE B-3 DISTRICT SHALL BE AS FOLLOWS:
(A) FRONT AND CORNER SIDE YARDS:
1. YARD DEPTH: THERE SHALL BE A REQUIRED FRONT YARD OF NOT LESS THAN FIFTY FEET (50') IN DEPTH.
2. OFF-STREET PARKING FACILITIES SETBACK: OFF-STREET PARKING FACILITIES ARE NOT ALLOWED WITHIN THE FIRST FIFTY FEET (50') OF THE REQUIRED YARD. AS A PART OF THE SITE PLAN APPROVAL PROCESS CALLED FOR IN SECTION 5A-8-4-2 OF THE ZONING ORDINANCE, THE CITY MAY REQUIRE THAT A PORTION OF SUCH AREA BE DESIGNATED AND DEVELOPED AS A FRONTAGE OR SIMILAR ROAD.
(B) SIDE AND REAR YARDS:
1. INTERIOR SIDE YARD:
A) ADJOINING A NONRESIDENTIAL DISTRICT:
(1) YARD DEPTH: THERE SHALL BE A REQUIRED INTERIOR SIDE YARD OF NOT LESS THAN FORTY FEET (40') IN DEPTH.
(2) OFF-STREET PARKING FACILITIES: OFF-STREET PARKING FACILITIES ARE NOT ALLOWED WITHIN THE FIRST TWENTY FEET (20') OF THE REQUIRED YARD.
(B) ADJOINING A RESIDENTIAL DISTRICT:
(1) YARD DEPTH: THERE SHALL BE A REQUIRED INTERIOR SIDE YARD OF NOT LESS THAN FIFTY FEET (50').
(2) OFF-STREET PARKING FACILITIES SETBACK: OFF-STREET PARKING FACILITIES ARE NOT ALLOWED WITHIN THE FIRST THIRTY FEET (30') OF THE REQUIRED YARD.
(3) REQUIRED FENCE: WHERE A REAR LOT LINE IN THE B-3 DISTRICTS COINCIDES WITH AN INTERIOR SIDE OR REAR LOT LINE IN AN ADJOINING RESIDENTIAL DISTRICT, A FENCE OF AT LEAST SEVENTY FIVE PERCENT (75%) OPACITY SHALL BE PROVIDED WITHIN THE YARD. THE HEIGHT OF SUCH FENCE SHALL BE SIX FEET (6').
(C) ACCESSORY STRUCTURES: ACCESSORY STRUCTURES SHALL COMPLY WITH YARD AND SETBACK REQUIREMENTS AS PRESCRIBED IN SECTION 5A-5-9 OF THIS TITLE.
(D) PERMITTED OBSTRUCTIONS IN REQUIRED YARD: PERMITTED OBSTRUCTIONS IN REQUIRED YARDS ARE ALLOWED AS DESCRIBED HEREIN AND AS PRESCRIBED IN SECTION 5A-5-7-3 OF THIS TITLE AND CHAPTER 11 OF THIS TITLE.



APPROVAL OF PRELIMINARY PLAT
NOTICE IS HEREBY GIVEN THAT THE PRELIMINARY PLAT OF THE SUBDIVISION SHOWN HEREON HAS RECEIVED APPROVAL BY THE CITY COUNCIL OF THE CITY OF DARIEN, ILLINOIS, AND UPON COMPLIANCE BY THE OWNER WITH THE NECESSARY REQUIREMENTS OR QUALIFICATIONS, THE CITY COUNCIL WILL RECEIVE THE FINAL PLAT FOR CONSIDERATION, IF SUBMITTED BY THE OWNER IN SUCH FORM AND WITHIN SUCH TIME AS REQUIRED BY SUBDIVISION REGULATIONS OF THE CITY OF DARIEN. UNLESS THIS PRELIMINARY APPROVAL AND THE CONDITIONS ARE ACCEPTED WITHIN TEN (10) DAYS, THIS APPROVAL IS NULL AND VOID.
APPLICATION FOR FINAL PLAT APPROVAL SHALL BE MADE WITHIN ONE HUNDRED EIGHTY (180) DAYS, AND IN THE EVENT SUCH APPLICATION IS NOT SO MADE, THE PRELIMINARY PLAT APPROVAL HEREBY GIVEN SHALL BE NULL AND VOID AND OF NO FORCE AND EFFECT.

CITY COUNCIL, CITY OF DARIEN, ILLINOIS

DATED _____, 20____.

BY _____ MAYOR ATTEST: _____ CITY CLERK

ACCEPTANCE: IN CONSIDERATION OF THE PRELIMINARY APPROVAL HEREBY GIVEN, THE TERMS HEREOF ARE HEREBY ACCEPTED:

OWNER _____ ATTEST _____

ZONING: ORI
OFFICE RESEARCH & LIGHT INDUSTRY

LINE LEGEND

- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- ELECTRIC (BURIED)
- GAS (BURIED)
- PHONE (BURIED)

GRAPHIC SCALE



(IN FEET)

1 inch = 100 ft
FILE NO. 102-24
P10224 SUB.DWG

NO.	DATE	DESCRIPTION	BY
2	02-13-25	REVISE COMMENTS	B.J.L.
1	12-12-24	ORIGINAL ISSUE	B.J.L.

FIELDWORK COMPLETED: 07-31-2024
CLIENT NAME: Chestnut Court Darien IL, LLC
ADDRESS: 371 Hoes Lane, Site 201
Piscataway, NJ 08854

NOTES:
PLAT IS VOID IF THE IMPRESSED SURVEYORS SEAL DOES NOT APPEAR.
ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON A RECORDED SUBDIVISION PLAT OR FROM A RECORDED DOCUMENT ARE SHOWN HEREON; CHECK LOCAL ORDINANCES BEFORE BUILDING.

Compare your description and site markings with this plat AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0914 FAX: 847-223-0980

Project Review Criteria

Mixed-Use Zoning Map Amendment Guidelines:

In making its legislative determination to zone or rezone a property to the M-U Mixed-Use District, the Planning and Zoning Commission and City Council may apply the following guidelines to the proposal under consideration:

(A) The capacity of existing and proposed community facilities and utilities including water, sewer, and transportation systems to serve the permitted uses which might lawfully occur on the property so zoned.

(B) The relationship of the subject property to the various aspects of the City's transportation system including pedestrian ways, bicycle paths, major and collector streets, and public transit.

(C) The adequacy of public services including schools, police and fire protection, and solid waste collection serving the property and the impact the permitted uses would have upon these services.

(D) The potential impact existing or permitted uses in the vicinity would have upon the land uses authorized in the M-U Mixed Use District and the impact such uses, if developed, would have upon existing uses in the vicinity.

(E) The extent to which the proposal will promote balanced growth in the community and will be consistent with the City's goals for equal housing opportunity and a variety of housing types.

(F) The impact any natural disasters, including flooding, would have upon the permitted uses.

(G) The impact the proposal would have upon the environment including noise, air and water pollution.

(H) The conformance of the proposal to the overall comprehensive plan and map for the City.

Variation Criteria:

The City may grant variations based on the finding-of-fact that supports the following criteria outlined below by the City to be the most relevant to the subject property situation.

a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

b) The plight of the owner is due to unique circumstances.

c) The variation if granted will not alter the essential character of the locality.

d) Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

e) Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase. f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

i) Net Benefit: The positive impacts to the community outweigh the negative impacts.

j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows: to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

CITY OF DARIEN

ZONING VARIATIONS

JUSTIFICATION NARRATIVE

Purpose

To be consistent and fair, the City is obligated to make decisions on zoning variation requests based on findings-of-fact. The Applicant should write a justification narrative that contains evidence (facts) that support a conclusion (finding) that the variation is necessary and would not cause problems. It should include: a) explanation of why the variation is being requested, b) describe the 'hardship condition' of the property that makes it difficult to conform, c) estimate the impact on neighbors, and d) respond to each of the decision criteria below.

Decision Criteria (See City Code Section 5A-2-2-3)

2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

The property is currently zoned B-3. B-3 zoning restrictions limit the property's use for retail or office space only. The demand for the type of use permitted by the zoning regulation is low, which impacts full use of the property. Also, current zoning prevents other uses that help revitalize the local economy, affecting the property's value and potential return.

Mixed use zoning will provide flexible zoning regulations, which allows redevelopment to yield higher returns.

2b. The plight of the owner is due to unique circumstances.

The local market conditions have shifted significantly since the zoning regulations were established.

There is a high demand for [alternative use, e.g., mixed-use development, commercial space, residential units] in the area, which is not currently permitted under the existing zoning. Allowing the property to be used for these purposes would meet market demand, enhance the neighborhood's vibrancy, and contribute to the local economy.

2c. The variation if granted will not alter the essential character of the locality.

The proposed use of the property is consistent with the existing character of the locality. The proposed variation will blend seamlessly with these existing uses, maintaining the overall aesthetic and functional character of the neighborhood. The design and architecture of the proposed development will be in harmony with the existing structures in the locality. The property will adhere to the same architectural styles, materials, and landscaping standards that are prevalent in the area. This ensures that the visual appeal and historical context of the locality are preserved. The locality's infrastructure is well-equipped to handle the proposed use without any adverse effects. In fact, this redevelopment is in the very spirit of the City's Comprehensive Plan and Key Development Areas.

3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

The inability to use the property effectively under the current zoning regulations not only affects the owner but also has broader implications for the community. The property remains underutilized, contributing less to the local economy and community development. Granting the variation would enable the property to be used in a manner that benefits the community, creating jobs, enhancing local services, and contributing to the area's economic vitality. The owner's hardship, therefore, has a ripple effect on the community, making the variation essential for broader economic and social reasons.

3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.

The unique features of the property, such as its layout and outdated elevation changes, make it

unreasonable for the owner to comply with the Zoning Code for the proposed improvement. This feature was not created by the current owner. Granting the variation is essential to provide equitable relief and allow the owner to make the proposed improvement without facing undue hardship.

3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

The current design of the proposed improvements has been optimized for operational efficiency. Reducing the amount of variation or attempting to redesign the improvements would likely result in decreased performance and increased operational costs, ultimately affecting the overall success of the project. The proposed improvements represent the most viable solution given the existing constraints and requirements. Any attempt to redesign or reduce the variation would incur substantial difficulty and hardship, making it impractical and counterproductive to pursue such changes. Additionally, the applicant would not need to change any existing improvements to the right-of-way with this proposal, as adequate ingress and egress already exists.

3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

The variation has been designed to integrate seamlessly with the existing environment. It maintains the aesthetic and functional harmony of the neighborhood, ensuring that the visual and structural integrity of the surrounding properties remains unaffected. The proposed variation adheres to all relevant zoning regulations and guidelines. This compliance ensures that the variation is in line with the community's planning and development standards, thereby preventing any adverse effects on neighboring properties. A thorough market analysis indicates that the variation will not diminish the value of neighboring properties. In fact, the enhancement may contribute positively to the overall appeal and desirability of the area, potentially benefiting property values. The variation will not place additional strain on local infrastructure or accessibility. Traffic flow, parking availability, and public services have been considered to ensure that the variation does not create any undue burden on the neighborhood.

3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

The variation is expected to bring positive benefits to the community, such as improved property values and enhanced neighborhood appeal. These benefits can serve as a model for future variations, encouraging property owners to invest in improvements that contribute to the overall well-being of the community. The proposed variations may lead to similar requests from other property owners, it has been designed to ensure that it will not cause an unreasonable burden or undesirable result within the community. The variation is intended to enhance the community while maintaining a balance between individual property improvements and the collective well-being of the neighborhood.

3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.

A feasibility study indicates that if the property were rezoned to Mixed-Use, it could support multifamily with retail, which aligns with market demand and would significantly enhance its economic performance. Rezoning the property would not only benefit the property owner but also contribute positively to the community by creating jobs, providing needed services, and increasing tax revenues. The positive impacts, such as economic growth, job creation, enhanced services, and increased tax revenue, far outweigh any potential negative impacts, making this a beneficial change for all stakeholders involved.

3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

This proposal aims to seamlessly integrate the redevelopment with the existing character of the property. To achieve this, we request certain concessions to avoid disrupting the current use and value

of the property. Our goal is to transform an unsightly and underutilized area into a positive, useful, and beneficial space for the property owner, the City of Darien, its residents, and visitors.

Important points to consider:

Lessen Congestion: The development plan includes adequate parking and traffic management strategies to reduce congestion in the area.

Avoid Overcrowding: The proposed use will adhere to density regulations, ensuring that the development does not lead to overcrowding.

Prevent Blight: By redeveloping the property, the project will prevent blight and contribute to the revitalization of the area.

Facilitate Public Services: The development will be designed to facilitate access to public services, including transportation, utilities, and emergency services.

Conserve Land Values: The proposed use will enhance the value of the property and surrounding areas, contributing to the conservation of land values.

Protect from Incompatible Uses: The development will be compatible with surrounding land uses, preventing conflicts and nuisances.

Avoid Nuisances: The project will incorporate measures to minimize noise, pollution, and other potential nuisances.

Enhance Aesthetic Values: The design of the development will enhance the aesthetic values of the area, incorporating landscaping and architectural features that align with community standards.

Ensure Adequate Supply of Light and Air: The development will be designed to ensure an adequate supply of light and air to all buildings and open spaces.

Protect Public Health, Safety, and Welfare: The project will comply with all health and safety regulations, ensuring the well-being of residents and the community.

MINUTES CITY OF DARIEN

PLANNING, ZONING, AND ECONOMIC DEVELOPMENT COMMISSION

Wednesday, March 5, 2025

PRESENT: Lou Mallers – Chairperson, Jonathan Christ, Shari Gillespie, Chris Green, Jonathan Johnson, Chris Jackson, Mark Kazich

ABSENT: None

OTHERS: Ryan Murphy – City Planner

Chairperson Lou Mallers called the meeting to order at 7:00 p.m. at the Darien Police Department Training Room, 1710 Plainfield Road, Darien, Illinois. Chairperson Mallers declared a quorum present.

Regular Meeting – New Business

- a. **PZC2024-14 – 8226 S. Cass Avenue – True North Energy, LLC – A petition for an amendment to the Special Use Permit which previously permitted the construction and operation of an automobile service station, drive-through car wash, and mini-mart, to allow for the demolition of the existing car wash and mini-mart, and the relocation/expansion of the mini-mart. The project includes requested variations from the City’s landscape requirements. On-site improvements include parking facilities, landscape improvements and drainage/stormwater improvements. The subject property is located in the General Business District B-3 at the northwest corner S. Cass Avenue and N. Frontage Road.**

Mr. Ryan Murphy, City Planner reported that the proposed project would be a full tear down and renovation of the property, canopy for 6 fuel pumps, new convenience store and would remove the car wash. He reported that there would also be improvements made to the existing detention pond including the construction of a retaining wall. He further reported that a landscaped refuse and recycling enclosure had been proposed and would meet City Code requirements.

Mr. Murphy reported that the floor plan and elevations would be available on the City website and would include design specifications. He reported that the existing raised curb/island barrier would be demolished and would consist of open paving with 19 dedicated parking stalls along with 12 stalls available at fuel pumps.

Mr. Murphy reported that a traffic study had been prepared by the applicant, which had resulted in peak hour trips to increase by approximately 1% and would not result in substantial transportation impacts.

Mr. Murphy reported that staff had reviewed the submitted plans and found that the project would comply with all development standards, except regarding perimeter landscaping requirements.

Mr. Murphy reported that the plans had been reviewed by Christopher Burke Engineering and the applicant would be required to address their comments. He reported that staff identified several variations being proposed in the project:

1. To allow for parking areas near the northern property line to be located within a 30-foot parking setback,
2. For no landscape islands to be provided in the parking area directly in front of the mini mart, and
3. To allow for less landscaping than would otherwise be required at the eastern, western and southern property lines in lieu of the proposed landscaping plans.

Mr. Murphy reported that the North property line complies with landscaping requirements but the South, East and West do not. He reported that the applicant had provided a justification letter for various findings of fact and criteria that the Planning and Zoning Commission must use for the Special-Use amendment and variations.

Mr. Murphy reported that Staff had recommended several conditions of approval if given a favorable recommendation:

1. Plans submitted for the project should include enhanced landscaping along the northern property line to consist of additional shade or overstory trees where none are provided,
2. Prior to certificate of occupancy, the petitioner shall include pavement rehabilitations or resurfacing of those portions of the shared access drive that are located on the subject property and are generally in disrepair, and
3. Comply with the plan submittal requirements identified by Christopher Burke Engineering.

Mr. Murphy reported that a public notice had been published and mailed to residents within a 250-foot radius of the property and he had not received any public comments. He further reported that the petitioner would, at a later request, like to have the City Council expand the number of liquor licenses for the site, but that would be decided by the Mayor and the City Council and would not be reviewed by the Planning and Zoning Commission.

Chairperson Lou Mallers swore in any audience members wishing to present public testimony.

Mr. Christopher Palmer, RTM Engineers, introduced himself to the Commission as the primary civil engineer for the project.

Commissioner Jonathan Johnson questioned if there had been any pushback from Alpine Banquets. He questioned if the proposed building would block the view of their business.

Mr. Palmer stated that they had not received anything directly from Alpine. He stated that there is currently a 6-foot fence along the property line and that the building would go where the car wash currently is and would have a slightly lower elevation, which would not obstruct their view.

Commissioner Johnson questioned if there would be a car wash.

Mr. Palmer stated that because the current Special Use states a car wash and they no longer want one they must ask for a change.

Commissioner Mark Kazich questioned if they had looked into the turning radiuses. He questioned where the pumps would be and how large trucks would get in and out.

Mr. Palmer stated that big trucks would come in during off-peak time frames. He stated that they had not run a turn analysis but would be happy to do so. He further stated that they would not propose any changes to entrances and exits. Mr. Palmer stated that they would be increasing the amount of parking space and drive-aisle space which would be an improvement.

Commissioner Chris Jackson questioned how the fuel trucks currently enter the site.

Mr. Palmer stated he was unsure. He stated that the best way would likely be to enter from the traffic light at Frontage Road.

There was some conversation regarding trucks entering and exiting the property.

Commissioner Johnson questioned if the proposal would not change the tanks.

Mr. Palmer stated that the tanks would be re-done. He stated that they would get rid of the existing tanks and place new ones in the same locations.

There was some further conversation regarding trucks entering and exiting the property.

Commissioner Kazich suggested the petitioner place signage to indicate proper entrance and exit. He further questioned if there would be EV charging stations.

Mr. Palmer stated that there would not be at this time but there would likely be a space to put them in at a later date.

Commissioner Jackson questioned if 19 parking spaces was the requirement.

Mr. Palmer stated that they would maximize frontage space to allow for more people to come in the store. He stated that the official count would be 21 parking spaces.

Mr. Murphy stated that there would be 19 proposed spaces, but the requirement would be 21. He stated that the Code had been silent on whether pumps count as parking spaces and that he had mentioned stalls at the pumps and unmarked spaces in his plan review. He further stated that if the Commission would be concerned with the amount of spaces they may recommend additional striping.

Commissioner Jackson questioned if they would be over parking or under.

Mr. Murphy stated that there would be more spaces than previously.

There was some conversation regarding parking at pumps and the number of spaces.

Commissioner Jackson questioned if someone could speak to the fence. He questioned if the current fence would be removed or replaced.

Mr. Palmer stated that currently the fence would be removed, but they would still need to meet the requirements. He stated that he would recommend a fence, especially next to the banquet hall due to the retaining wall.

There was some discussion regarding landscaping.

Mr. Todd Stan, landscape architect, stated that a fence on the West would be a nice addition. He stated that the North side has existing trees and that there would be a substantial landscape buffer which would be above-ordinance. He stated that there would be lots of space to do nice landscaping and that the rest of the site would have constraints due to lack of physical space.

Commissioner Jackson questioned if a fence would be doable on the West side.

Mr. Stan stated that it would be and that there would likely be space between the edge of the property line and the plantings.

Commissioner Jackson stated his concern with safety. He stated that there would be a potential risk of kids jumping over the fence. He further questioned if the bushes would be 12-inches high.

Mr. Stan stated that bushes and other landscaping would not be a physical barrier and that one would still be able to cross the property line. He stated that the fence on the Western property line would provide secure boundaries and would be good for both properties to consider.

Commissioner Jackson questioned, regarding the need for a variance, if in the Southwest corner why not include more landscaping.

Mr. Stan stated that they could put more but it would still be short of the ordinance because of the length of the pavement section and that they lack the green area. He stated that to meet the ordinance they would need 1,192.5 points and the proposal had provided about 780 points. He further stated that there would be significant plantings along the property line from the

edge of the pond to the pavement. Mr. Stan stated that if they were to add a few more trees it would only add a couple hundred more points to the ordinance scoring.

Commissioner Jackson questioned if they would plant more trees.

Mr. Stan stated that they absolutely would plant more trees, but it would still be short of the ordinance requirement. He stated that there would be extensive landscaping everywhere else on the site and that they would like to meet the ordinance requirements as best as possible.

Commissioner Jackson stated that the lawn area would need to be mowed. He questioned why they wouldn't just landscape the whole area.

Mr. Stan stated that they would need some areas of grass space. He stated that they would use the area as a potential place to push snow piles and that snow removal had been considered in the landscape design.

Mr. Murphy stated that the existing 1985 ordinance had specific conditions related to fencing. He stated that if recommended for approval, any conditions of approval still pertinent would remain in place. He further stated that condition for approval 2 in the ordinance states that the fence along the Western property line is required and that there are methods of compliance for fencing along the Northern property line. Mr. Murphy stated that there would be a 6-foot and 8-foot high fence on the West property line and on the North property line if landscaping is not sufficient and the Commission would deem it necessary to require a fence. He further stated that based on Staff review, Western property line fencing would remain under the existing ordinance unless the condition of approval was removed.

Commissioner Jackson stated that it looked like a request to amend to adhere to the proposed landscape plan. He questioned if they had been missing the existing fence line.

Mr. Stan stated that it would come down to the condition of the fence and that a fence would remain regardless of the details, likely being the same type of fence in the existing spot.

Mr. Murphy stated that the current fence was very substantial – 8-feet tall on top of a berm.

There was some discussion regarding the history of the property area.

Commissioner Kazich stated that the fence would still be appropriate for the privacy of the townhomes adjacent to the site.

A resident living on the North side of the property questioned if they would remove the North fence.

Mr. Palmer stated that as of now they plan to remove both fences.

The resident stated that he would have a problem with that due to safety and noise.

Chairperson Mallers questioned if they would remove the dumpster from the North side and relocate.

Mr. Palmer stated that they would relocate the dumpster to the South of the convenience store and would enclose it in a brick structure.

Mr. Murphy stated that based on his review of the plans, there would be no amendment proposed to conditions for a fence along the Western property line. He stated that as it stands, the fence on the Western property line would remain and may require a 10-foot extension past the proposed building line.

Mr. Palmer stated that the petitioners would be flexible and willing to do what would make the most sense. He stated that the fence on the Western line would be a good idea.

There was some discussion regarding the need for a fence on the Western property line.

Mr. Stan stated that if a fence on the Northern property line would be deemed necessary, it would be no issue and they would clear the area to make necessary space.

Commissioner Chris Green questioned if the plantings would have to change on the landscaping plan if a fence were to be included.

Mr. Stan stated that the fence would not impact the development, but they would like to replace the existing one with a nice and long-lasting fence. He stated that the landscaping plan would not change except for adding any trees recommended by Staff or the Commission.

There was a clarification of the conditions for approval based on the 1985 ordinance.

Mr. Craig Kutch, 1226 Darien Path Way, stated that he lives in the townhomes to the South of the property and that he had experienced light and noise pollution in the past. He questioned if the lighting would be the same as it currently is.

Mr. Palmer stated that he would clarify, but the lighting would be the same type as it is now.

Mr. Kutch stated that he wouldn't mind the fence being higher and that he had a concern for safety and noise and light pollution, but the proposed site looked great.

There was some discussion regarding the hours of operation.

Commissioner Green questioned if a photometric study had been conducted on the new lighting layout.

Mr. Palmer stated that it would be part of the final engineering process but that it would meet any ordinance requirements.

There was some discussion regarding lighting specifications.

Mr. Stan stated that True North would provide very professional services and the Commission would be pleased with the outcome of the lighting and the project as a whole.

There was further discussion regarding lighting.

Mr. Javier Millan, Principal of KLOA, Inc., pointed out that the signage should be rectified for entering and exiting the property.

Commissioner Green questioned if the overall impact would be about 1%.

Mr. Millan stated that it would be and that he had taken into account a new versus established structure. He stated that because this property had been established the analysis would show about a 1% increase due to the updated structure.

Commissioner Jackson questioned if the study had established a right-in and right-out.

Mr. Millan stated that he had kept it as the previous had but he had considered how many people would exit left on Cass.

Commissioner Johnson questioned what the effect of taking the fence away would be.

Commissioner Jackson stated that it would be less safe, and that animals and people would be crossing through the property. He stated that a fence would provide a separation from Alpine Banquets.

There was some discussion regarding the specifics of the fence.

Commissioner Jackson stated his confusion with the landscape plan regarding the amendment.

There was some discussion regarding the applicant justification.

There was further discussion regarding a motion to amend and the layout of the property.

Mr. Murphy clarified the landscape plan versus a fence permit.

Commissioner Jackson questioned what the tree line consisted of.

Mr. Stan stated that there were lots of naturally populated trees that had been unmaintained. He stated that the client would be easy to work with on the fencing issue. He further stated that he would plant the site generously, but the ordinance had no accommodation for paved areas so there would be large gaps in the planting green space. Mr. Stan stated that certain areas of the property would not be possible to plant in because of extensive pavement.

Chairperson Mallers questioned if the resident present would ideally like to see more blockage of light.

Mr. Kutch stated that he would like that and that trees would not provide enough coverage.

Mr. Stan stated that a fence would solve the lighting issue.

There was some clarification to the fence height.

Commissioner Kazich questioned if the fence would be higher or lower than the existing level.

Mr. Palmer stated that he did not have the design yet, but he would follow up with specifics. He stated that they would be lowering the grade possible a foot and a half. He further stated that as the site is now, it drains toward the car wash, and to resolve that they would lower and flip to drain the other way and have less water going to Cass.

Commissioner Jackson stated the Commission should discuss conditions for approval. He questioned if the petitioners would include more shade trees.

Mr. Stan stated that he had planted very thoroughly and provided much plant diversity. He stated that they likely would not be able to fit another tree due to the sidewalk. He further stated that the gap between the property line, new plantings and the fence as a natural buffer would most likely stay intact.

Commissioner Jonathan Christ stated they would consider whether they would be okay with the East and South of the property being deficient as is.

There was some discussion regarding the conditions for approval.

Commissioner Jackson stated that the Commission would want to keep the fence.

Commissioner Kazich stated that the property should be EV ready.

Mr. Murphy stated that EV ready would be included in the newly adopted 2021 Code.

Commissioner Jackson stated that they should include entrance and exit signage.

There was some discussion regarding lighting.

Commissioner Jackson stated that they would leave lighting up to Staff review.

There was further discussion regarding conditions.

Commissioner Jackson made a motion, and it was seconded by Commissioner Green to approve PZC2024-14 – 8226 S. Cass Avenue – True North Energy, LLC – A petition for an amendment to the Special Use Permit which previously permitted the construction and operation of an automobile service station, drive-through car wash, and mini-mart, to allow for the demolition of the existing car wash and mini-mart, and the relocation/expansion of the mini-mart. The project includes requested variations from the City's landscape requirements. On-site improvements include parking facilities, landscape improvements and drainage/stormwater improvements. The subject property is located in the General Business

District B-3 at the northwest corner S. Cass Avenue and N. Frontage Road. The following conditions were included:

1. Prior to issuance of final certificate of occupancy, the petitioner shall include pavement rehabilitation or resurfacing of those portions of the shared access drive that are located on the subject property that are generally in disrepair to the satisfaction of the Director of Community Development,
2. Comply with the comments and requirements within the letter from Christopher B. Burke Engineering, LTE dated January 22, 2025,
3. Comply with all requirements of the original ordinance, including fencing, but excluding landscaping as being amended here within, and
4. Replaced or provide signage to clarify existing right-in and right-out access along Cass Avenue.

Upon roll call vote, the MOTION CARRIED UNANIMOUSLY 7-0.

Mr. Murphy reported that the petition would move to the Municipal Services Committee on March 24, 2025.

Chairperson Mallers questioned if all passes when the petitioners would start the demolition.

Mr. Palmer stated that they would begin mid-summer.

Mr. Stan stated that the majority of the construction would be done by spring and the plantings would be done during the spring.

- b. **PZC2025-02 – Petition from the City of Darien to amend the Title 5A (Zoning Regulations to add “the offering of a short-term rental” as a prohibited action under the existing short-term rental prohibition contained in Section 5A-5-16 of the City Code.**

Mr. Ryan Murphy, City Planner reported that the City had been successful with enforcing the short-term ban and that they would receive a lot of resident input. He reported that they had run into an issue in enforcement efforts with a claim that there had been only an offering being made rather than a transaction. Mr. Murphy further reported that a judge had recommended that the City consider a change, so prohibition is considered throughout the City.

Chairperson Lou Mallers stated that his subdivision board had prohibited short-term rentals in their bylaws after previous issues.

Mr. Murphy stated that there had been no change proposed to the 30 days and had only added an offering of short-term rental, which is currently not allowed. He stated that the City would want to enforce the ordinance as it was intended.

Commissioner Shari Gillespie stated that even if someone didn't put their listing on Airbnb or VRBO, that wouldn't prohibit them from renting.

Mr. Murphy stated that they had not received a complaint about short-term that did not use a web portal. He stated that the ordinance defines short-term as 30 days and that the City must have proof of a violation taking place to cite. He further reported that they would do everything they can to verify if a short-term rental was occurring and the best tool would be a listing.

There was some discussion of the existing ordinance.

Commissioner Chris Jackson questioned what the warning was for.

Mr. Murphy stated that the City had been successful in receiving favorable judgements for short-term rental violations. He stated that there had been a new case and the judge incited a very high dollar amount for the City but said she wouldn't again unless the ordinance says offering is prohibited. He further stated that the circuit court did not feel prohibition was enough if offering was included and that they would do this to ensure the City can continue to take action.

Mr. Murphy stated that municipalities can conduct local adjudication which would allow them to keep at least a portion of the substantial fine fees.

Commissioner Gillespie questioned who would hold them responsible.

Mr. Murphy stated that some Alderpeople had been in touch with Dan Gombac and that Karen would submit the required paperwork.

Commissioner Jackson questioned if the phrase drafted by the City attorney would determine that the word "offering" catches everything.

Mr. Murphy stated that it would be by omission.

Commissioner Mark Kazich questioned where in the City Code does it refer to short-term rental.

Mr. Murphy stated that the definitions are in a separate section of the code at the very end of zoning ordinances.

Commissioner Jackson made a motion, and it was seconded by Commissioner Johnson to approve PZC2025-02 – Petition from the City of Darien to amend the Title 5A (Zoning Regulations to add "the offering of a short-term rental" as a prohibited action under the existing short-term rental prohibition contained in Section 5A-5-16 of the City Code.

Upon roll call vote, the MOTION CARRIED UNANIMOUSLY 7-0.

Regular Meeting – Old Business

There was no old business to discuss.

Staff Updates & Correspondence

Mr. Murphy reported that at the last meeting, the Commission shared their interest in briefings on tax increment financing and other economic incentives in the City. He reported that he would send a staff report from the City Council who had approved a TIF consultant and that if the site becomes eligible a member from this body would be on a TIF committee.

Mr. Murphy reported that the property at 1225 Plainfield Road had a serious developer considering a request for approval of 16 condos. He reported that they had been meeting with residents and Dan Gombac and would go through a public hearing.

Mr. Murphy reported that staff would be going to Council to potentially revise commercial vehicle parking regulations in residential areas. He reported that there had been issues with commercial vehicles and would want to clean up the ordinance.

Mr. Murphy reported that staff would be proposing revisions to a tree ordinance which had been outdated. He reported that the City received a grant for \$100,000 and would need to update the ordinance to be eligible.

Mr. Murphy reported that the application for Chestnut Court had been resubmitted and would be nearing the final preliminary plans. He reported that the first public hearings may come as soon as April.

Approval of Minutes

Commissioner Green made a motion, and it was seconded by Commissioner Christ to approve the February 19, 2025 Regular Meeting Minutes.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 7-0

Next Meeting

Mr. Murphy announced that the next meeting is scheduled for Wednesday, March 19, 2025.

Public Comments (On Any Topic Related to Planning and Zoning)

There was no one in the audience wishing to present public comment.

Adjournment

With no further business before the Commission, Commissioner Kazich made a motion, and it was seconded by Commissioner Gillespie. Upon voice vote, the MOTION CARRIED UNANIMOUSLY, and the meeting adjourned at 8:34 p.m.

Respectfully Submitted:

Approved:

X

Jessica Plzak
Secretary

X

Lou Mallers
Chairperson

DRAFT