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**PRE-COUNCIL WORK SESSION — 7:00 P.M.**  
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Agenda of the Regular Meeting  
of the City Council of the  
**CITY OF DARIEN**

January 6, 2020

7:30 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Declaration of Quorum
5. Questions, Comments and Announcements — **General (This is an opportunity for the public to make comments or ask questions on any issue – 3 Minute Limit Per Person, Additional Public Comment Period - Agenda Item 18)**
6. Approval of Minutes — [December 16, 2019](#)
7. Receiving of Communications
8. Mayor's Report
  - A. Census 2020 Update
  - B. Mayoral Proclamation “[Census 2020](#)”
  - C. [Electric Aggregation](#)
9. City Clerk's Report
10. City Administrator's Report
11. Department Head Information/Questions
12. Treasurer's Report
  - A. Warrant Number — [19-20-18](#)
13. Standing Committee Reports

14. Questions and Comments — **Agenda Related (This is an opportunity for the public to make comments or ask questions on any item on the Council's Agenda – 3 Minute Limit Per Person)**
15. Old Business
16. Consent Agenda
  - A. Consideration of a Motion Granting a Waiver of the \$50.00 a Day Fee for the Class “J” Temporary Liquor License for Our Lady of Peace
  - B. Consideration of a Motion to Approve a Resolution Accepting a Proposal From Underground Pipe & Valve Co., for the Clow Eddy F2500 Fire Hydrant Repair Parts at the Proposed Unit Prices as Required for a Period of May 1, 2020 through April 30, 2021
  - C. Consideration of a Motion to Approve a Resolution Accepting a Proposal from Underground Pipe & Valve Co., for the Clow Eddy Fire Hydrant Repair Parts at the Proposed Unit Prices as Required for a Period of May 1, 2020 through April 30, 2021
  - D. Consideration of a Motion to Approve a Resolution Accepting a Proposal From Underground Pipe & Valve Co., for the Clow Medallion Fire Hydrant Repair Parts at the Proposed Unit Prices as Required for a Period of May 1, 2020 through April 30, 2021
  - E. Consideration of a Motion to Approve an Ordinance Granting Special Uses and Variations (7532 Cass Avenue/Commercial Development)
17. New Business
  - A. Consideration of a Motion to Approve an Ordinance Authorizing the Execution of a Construction Grant Agreement (Northwest Corner of Plainfield and Cass) not to Exceed \$150,000
18. Questions, Comments and Announcements — **General (This is an opportunity for the public to make comments or ask questions on any issue – 3 Minute Limit Per Person)**
19. Adjournment

A WORK SESSION WAS CALLED TO ORDER AT 7:00 P.M. BY MAYOR MARCHESE FOR THE PURPOSE OF REVIEWING ITEMS ON THE DECEMBER 16, 2019 AGENDA WITH THE CITY COUNCIL. THE WORK SESSION ADJOURNED AT 7:29 P.M.

**Minutes of the Regular Meeting**

**of the City Council of the**

**CITY OF DARIEN**

**December 16, 2019**

**7:30 P.M.**

1. **CALL TO ORDER**

The regular meeting of the City Council of the City of Darien was called to order at 7:30 P.M. by Mayor Marchese.

2. **PLEDGE OF ALLEGIANCE**

Mayor Marchese led the Council and audience in the Pledge of Allegiance.

3. **ROLL CALL** — The Roll Call of Aldermen by Clerk Ragona was as follows:

Present:	Thomas J. Belczak	Ted V. Schauer
	Thomas M. Chlystek	Mary Coyle Sullivan
	Eric K. Gustafson	Lester Vaughan
	Joseph A. Kenny	

Absent: None

Also in Attendance: Joseph Marchese, Mayor  
JoAnne E. Ragona, City Clerk  
Michael J. Coren, City Treasurer  
Bryon D. Vana, City Administrator  
Gregory Thomas, Police Chief  
Daniel Gombac, Director of Municipal Services

4. **DECLARATION OF A QUORUM** — There being seven aldermen present, Mayor Marchese declared a quorum.



8. **MAYOR'S REPORT**

**A. RECOGNITION OF 2019 HOLIDAY HOME DECORATING CONTEST WINNERS**

Gerry Leganski, Elizabeth Hayes and Jim Kiser highlighted the winning homes and presented the following awards.

2019 Holiday Home Decorating Contest Winners:

- Fifth Place Winner received a certificate and \$25.00 check – 508 Easy Street
- Fourth Place Winner received a certificate and \$25.00 check – 8125 Sawyer Road
- Third Place Winner received a certificate and \$50.00 check – 809 Belair Drive
- Second Place Winner received a certificate and \$100.00 check – 7209 Richmond Avenue
- First Place Winner received a certificate, Honorary Lifetime Award, and \$200.00 check – 1905 Center Circle

Honorable Mention Certificates to:

- 7706 Sawyer Road
- 621 Maple Lane
- 3433 Brewer Road
- 7718 Sawyer Road

Best Block Certificate awarded to:

- 7700 Block of Sawyer Road

Jim Kiser showcased photographs of the winning homes, which will be displayed in the lobby of City Hall and will be featured on Direct Connect. Mayor Marchese reminded residents to call City Hall to reserve seats for the Holiday Bus Tours on December 19 at 6:30 P.M. and 8:00 P.M.

**B. HINSDALE SOUTH PRESENTATIONS – POSTPONED TO JANUARY 2020**

**C. CENSUS 2020 UPDATE**

Mayor Marchese provided an update on the Census that will take place in 2020. He explained the importance, contact strategy, establishment of Complete Count Committee, funding and job opportunities. Updates with information will be highlighted in Direct Connect.

Mayor Marchese commented regarding the actions of the audience at the Planning and Zoning Meeting; he stated petitioners have the right to submit plans to increase their business. Resident comments should be made in a respectful manner.

9. **CITY CLERK'S REPORT**

Clerk Ragona announced that City offices will be closed on December 24 & December 25, 2019, and January 1, 2020 in observance of the holidays.

10. **CITY ADMINISTRATOR'S REPORT**

There was no report.

11. **DEPARTMENT HEAD INFORMATION/QUESTIONS**

**A. POLICE DEPARTMENT MONTHLY REPORT – NOVEMBER 2019**

The November 2019 Police Department Monthly Report is available on the City website.

Chief Thomas noted the home invasion that occurred in November is currently under investigation, and he commented regarding residential burglaries. He addressed Council questions.

**B. MUNICIPAL SERVICES – NO REPORT**

12. **TREASURER'S REPORT**

**A. WARRANT NUMBER 19-20-16**

It was moved by Alderman Schauer and seconded by Alderman Belczak to approve payment of Warrant Number 19-20-16 in the amount of \$728,768.57 from the enumerated funds, and \$334,066.95 from payroll funds for the period ending 11/21/19 for a total to be approved of \$1,062,835.52.

Alderman Kenny inquired regarding computer expenses; Administrator Vana and Treasurer Coren responded.

Roll Call: Ayes: Belczak, Chlystek, Gustafson, Kenny, Schauer, Sullivan, Vaughan

Nays: None

Absent: None

Results: Ayes 7, Nays 0, Absent 0

**MOTION DULY CARRIED**

**B. WARRANT NUMBER 19-20-17**

It was moved by Alderman Schauer and seconded by Alderman Kenny to approve payment of Warrant Number 19-20-17 in the amount of \$452,023.69 from the enumerated funds, and \$278,889.77 from payroll funds for the period ending 12/05/19 for a total to be approved of \$730,913.46.

Roll Call: Ayes: Belczak, Chlystek, Gustafson, Kenny, Schauer, Sullivan, Vaughan

Nays: None

Absent: None

Results: Ayes 7, Nays 0, Absent 0

**MOTION DULY CARRIED**

**C. MONTHLY REPORT – NOVEMBER 2019**

Treasurer Coren reviewed year-to-date sources of revenue, expenditures, and fund balances through the month of November 2019. He commented the approved transfer of funds from the General Fund to the Capital Improvement Fund is reflected in the statements.

General Fund: Revenue \$10,547,250; Expenditures \$7,900,258  
Current Balance \$3,461,241

Water Fund: Revenue \$5,114,937; Expenditures \$3,262,722;  
Current Balance \$3,489,460

Motor Fuel Tax Fund: Revenue \$416,156; Expenditures \$234,590; Current  
Balance \$529,908

Water Depreciation Fund: Revenue \$12,104; Expenditures \$366,260; Current  
Balance \$2,207,405

Capital Improvement Fund: Revenue \$273,238; Expenditures \$4,607,993;  
Current Balance \$4,702,499

13. **STANDING COMMITTEE REPORTS**

**Administrative/Finance Committee** – Chairwoman Sullivan announced the next meeting of the Administrative/Finance Committee is scheduled for January 6, 2020 at 6:00 P.M. in the City Hall Conference Room. She commented the next Economic Development Committee Meeting will be held on Wednesday, January 8, 2020.

**Municipal Services Committee** – Chairman Belczak announced the next meeting of the Municipal Services Committee is scheduled for December 23, 2019 at 7:00 P.M. in the Council Chambers.

**Police Committee** – Chairman Kenny announced the next meeting of the Police Committee is scheduled for January 20, 2020 at 6:00 P.M. in the Police Department Training Room.

14. **QUESTIONS AND COMMENTS – AGENDA RELATED**

There were none.

15. **OLD BUSINESS**

There was no Old Business.

16. **CONSENT AGENDA**

It was moved by Alderman Belczak seconded by Alderwoman Sullivan to approve by Omnibus Vote the following items on the Consent Agenda:

**A. CONSIDERATION OF A MOTION GRANTING WAIVER OF THE RAFFLE LICENSE BOND REQUIREMENT FOR THE DARIEN LIONS CLUB**

**B. ORDINANCE NO. O-32-19** AN ORDINANCE AUTHORIZING THE SALE OF PERSONAL PROPERTY OWNED BY THE CITY OF DARIEN (PD) (CHARGING STATIONS, CHARGERS, MICROPHONES, ETC)

**C. RESOLUTION NO. R-111-19** A RESOLUTION AUTHORIZING THE MAYOR AND CITY CLERK TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT FOR THE RECIPROCAL REPORTING OF CRIMINAL OFFENSES COMMITTED BY STUDENTS BETWEEN THE BOARD OF EDUCATION OF HINSDALE



**TOWNSHIP HIGH SCHOOL DISTRICT NO. 86 AND  
THE CITY OF DARIEN**

- D. RESOLUTION NO. R-112-19**      **A RESOLUTION AUTHORIZING THE MAYOR AND CITY CLERK TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE BOARD OF EDUCATION OF HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT NO. 86 AND THE CITY OF DARIEN AUTHORIZING THE CITY POLICE DEPARTMENT'S EMERGENCY ACCESS TO SCHOOL SECURITY VIDEO FEEDS AND RADIO FREQUENCIES**
- E. RESOLUTION NO. R-113-19**      **A RESOLUTION AUTHORIZING THE MAYOR AND CITY CLERK TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE BOARD OF EDUCATION OF HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT NO. 86 AND THE CITY OF DARIEN AUTHORIZING SCHOOL RESOURCE OFFICER SERVICES FROM 2019 – 2021**
- F. RESOLUTION NO. R-114-19**      **A RESOLUTION AUTHORIZING THE PURCHASE OF A THREE YEAR EMPLOYEE ASSISTANCE PROGRAM FROM COMPSYCH GUIDANCE RESOURCES WORLDWIDE IN THE AMOUNT OF \$5,475**
- G. RESOLUTION NO. R-115-19**      **A RESOLUTION ACCEPTING A PROPOSAL FROM RGL II, INC., AT THE PROPOSED SCHEDULE OF PRICES FOR THE PLACEMENT OF TOPSOIL AND FOR THE PURCHASE AND PLACEMENT OF FERTILIZER AND SOD FOR LANDSCAPE RESTORATION SERVICES FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- H. RESOLUTION NO. R-116-19**      **A RESOLUTION APPROVING A CONTRACT EXTENSION WITH EJ USA, INC. FOR EAST JORDAN WATERMASTER 5BR250 AND EAST JORDAN WATERMASTER 5CD250 FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT OF PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- I. RESOLUTION NO. R-117-19**      **A RESOLUTION APPROVING A CONTRACT EXTENSION WITH CORE & MAIN LP FOR THE MUELLER SUPER CENTURION FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- J. RESOLUTION NO. R-118-19**      **A RESOLUTION APPROVING A CONTRACT EXTENSION WITH ZIEBELL WATER SERVICE**

**PRODUCTS FOR TRAVERSE CITY FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**K. RESOLUTION NO. R-119-19**

**A RESOLUTION APPROVING A CONTRACT EXTENSION WITH ZIEBELL WATER SERVICE PRODUCTS, INC. FOR WATEROUS PACER FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**L. RESOLUTION NO. R-120-19**

**A RESOLUTION APPROVING A CONTRACT EXTENSION WITH ZIEBELL WATER SERVICE PRODUCTS FOR THE U.S. PIPE FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**M. RESOLUTION NO. R-121-19**

**A RESOLUTION APPROVING A CONTRACT EXTENSION WITH CORE & MAIN LP FOR GENERAL WATER DEPARTMENT UTILITY FIXTURES FOR THE MAINTENANCE OF THE WATER SYSTEM FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**N. RESOLUTION NO. R-122-19**

**A RESOLUTION APPROVING A CONTRACT EXTENSION WITH ZIEBELL WATER SERVICE PRODUCTS FOR GENERAL WATER DEPARTMENT UTILITY TOOLS AND MARKING SUPPLIES FOR THE MAINTENANCE OF THE WATER SYSTEM FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**O. RESOLUTION NO. R-123-19**

**A RESOLUTION APPROVING A CONTRACT EXTENSION WITH WATER PRODUCTS COMPANY FOR VARIOUS WATER VALVES FOR THE MAINTENANCE OF THE WATER SYSTEM FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**P. RESOLUTION NO. R-124-19**

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE COMPANY FOR CULVERT METAL PIPES, METAL BANDS AND METAL FLARED END SECTIONS AND FITTINGS AT THE PROPOSED UNIT PRICES FOR VARIOUS PUBLIC WORKS PROJECTS FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**Q. RESOLUTION NO. R-125-19**

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE COMPANY FOR HIGH DENSITY POLYETHYLENE PIPES (HDPE),**

**BANDS, FLARED END SECTIONS AND FITTINGS AT THE PROPOSED UNIT PRICES FOR VARIOUS PUBLIC WORKS PROJECTS FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

- R. RESOLUTION NO. R-126-19**      **A RESOLUTION ACCEPTING A PROPOSAL FROM EJ USA, INC. FOR STORM SEWER STRUCTURES, IRON SEWER GRATES, CONCRETE ADJUSTING RINGS AT THE PROPOSED UNIT PRICES FOR VARIOUS PUBLIC WORKS PROJECTS FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- S. RESOLUTION NO. R-127-19**      **A RESOLUTION ACCEPTING A PROPOSAL FROM PAVEMENT SYSTEMS, INC. FOR THE REMOVAL AND REPLACEMENT OF BITUMINOUS APRONS AND ROAD PATCHES AT THE PROPOSED UNIT PRICES AS REQUIRED FOR VARIOUS PUBLIC WORKS PROJECTS FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- T. RESOLUTION NO. R-128-19**      **A RESOLUTION ACCEPTING A PROPOSAL FROM JC LANDSCAPING & TREE SERVICES, INC. AT THE PROPOSED SCHEDULE OF PRICES FOR THE REAR YARD DRAINAGE ASSISTANCE PROGRAM FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- U. RESOLUTION NO. R-129-19**      **A RESOLUTION ACCEPTING A PROPOSAL FOR THE PURCHASE AND DELIVERY OF STONE AT THE PROPOSED UNIT PRICES FROM VULCAN CONSTRUCTION MATERIALS, LLC., DELIVERED TO THE CITY OF DARIEN FOR VARIOUS PUBLIC WORKS PROJECTS FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- V. RESOLUTION NO. R-130-19**      **A RESOLUTION ACCEPTING A PROPOSAL FOR THE PURCHASE AND PICK UP OF STONE AT THE PROPOSED UNIT PRICES FROM VULCAN CONSTRUCTION MATERIALS, LLC., FOR VARIOUS PUBLIC WORKS PROJECTS FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- W. RESOLUTION NO. R-131-19**      **A RESOLUTION ACCEPTING A PROPOSAL FROM XBE, LLC, AT A RATE OF \$95.00 PER HOUR FOR SERVICES RELATING TO HAULING WASTE FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**
- X. RESOLUTION NO. R-132-19**      **A RESOLUTION APPROVING A CONTRACT EXTENSION WITH EJ USA, INC. FOR EAST JORDAN CD250 FIRE HYDRANTS, VALVES AND ACCESSORIES AT THE PROPOSED UNIT OF PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**Y. RESOLUTION NO. R-133-19**

**A RESOLUTION AUTHORIZING THE PURCHASE OF THE DEICING AND ANTI-ICING PRODUCT THERMAPOINT R AT THE UNIT PRICE OF \$1.09 PER GALLON FROM INDUSTRIAL SYSTEMS LTD IN AN AMOUNT NOT TO EXCEED \$30,000, (27,523 GALLONS X \$1.09/GALLON)**

**Z. ORDINANCE NO. O-33-19**

**AN ORDINANCE AUTHORIZING THE SALE OF PERSONAL PROPERTY OWNED BY THE CITY OF DARIEN (PW) (2005 CATERPILLAR TH 220 B LOADBALL MACHINE AND RYAN SODCUTTER)**

Roll Call: Ayes: Belczak, Chlystek, Gustafson, Kenny, Schauer, Sullivan, Vaughan

Nays: None

Absent: None

Results: Ayes 7, Nays 0, Absent 0

**MOTION DULY CARRIED**

**17. NEW BUSINESS**

**A. CONSIDERATION OF A MOTION TO DIRECT STAFF TO NEGOTIATE A FORMAL ECONOMIC DEVELOPMENT AGREEMENT WITH JEMCO & ASSOCIATES, LTD. WITHIN THE GENERAL TERMS IDENTIFIED BY STAFF**

It was moved by Alderwoman Belczak and seconded by Alderman Vaughan to approve the motion as presented.

Alderman Belczak clarified reason for vote. Alderman Gustafson inquired regarding esthetic requirement. Mayor Marchese and Director Gombac responded. Council discussion ensued.

Roll Call: Ayes: Belczak, Chlystek, Gustafson, Kenny, Schauer, Sullivan, Vaughan

Nays: None

Absent: None

Results: Ayes 7, Nays 0, Absent 0

**MOTION DULY CARRIED**

**B. CONSIDERATION OF A MOTION TO APPROVE AN ORDINANCE AMENDING TITLE 5A, “ZONING REGULATIONS”, OF THE DARIEN CITY CODE BY ADDING NEW CHAPTER 9A, “CANNABIS BUSINESS ESTABLISHMENTS”, THERETO**

It was moved by Alderman Belczak and seconded by Alderman Vaughan to approve the motion as presented.

**MOTION TO AMEND**

Alderwoman Sullivan motioned and Alderman Schauer seconded to accept amendments to remove options 5A-9A-5: (A) “4. Brookhaven Plaza – Interior  
PIN: 09-28-402-026”

and

“5. Brookhaven Plaza – Existing Grocery Store  
PINs: 09-28-402-024/025”

from the list of PERMITTED LOCATIONS FOR CANNABIS DISPENSING ORGANIZATIONS as proposed and add those two locations to (C) Cannabis Dispensing Organizations shall not be allowed in the following locations as either a permitted or special use.

Alderwomen Sullivan stated reasons for proposed changes. Council members shared their viewpoints; Council discussion ensued. Ms. Murphy addressed Council questions. Members of the audience provided additional comments.

There was a call for the question on the amendments.

Roll Call: Ayes: Chlystek, Kenny, Schauer, Sullivan, Vaughan  
Nays: Belczak, Gustafson  
Absent: None

Results: Ayes 5, Nays 2, Absent 0  
**AMENDING MOTION CARRIED**

There was a call for the question on the original motion.

**ORDINANCE NO. O-34-19**

**AN ORDINANCE AMENDING TITLE 5A, "ZONING REGULATIONS", OF THE DARIEN CITY CODE BY ADDING NEW CHAPTER 9A, "CANNABIS BUSINESS ESTABLISHMENTS", THERETO**

as amended.

Roll Call: Ayes: Belczak, Chlystek, Gustafson, Vaughan  
Nays: Kenny, Schauer, Sullivan  
Absent: None

Results: Ayes 4, Nays 3, Absent 0  
**MOTION DULY CARRIED**

18. **QUESTIONS, COMMENTS AND ANNOUNCEMENTS – GENERAL**

Alderwoman Sullivan...

...wished everyone a Merry Christmas and Happy New Year.

...thanked audience for their feedback and expressing concern/inquiries in a respectful manner.

Mayor Marchese commented on the 50<sup>th</sup> Birthday Gala; he thanked and congratulated the committee on a fabulous job. More than 300 people attended the event held at Carriage Greens Country Club. He stated the historical slideshow and video will be available on Channel 6 and Direct Connect.

19. **ADJOURNMENT**

There being no further business to come before the City Council, it was moved by Alderman Kenny and seconded by Alderwoman Sullivan to adjourn the City Council meeting.

**VIA VOICE VOTE – MOTION DULY CARRIED**

The City Council meeting adjourned at 10:27 P.M.

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Mayor

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City Clerk

All supporting documentation and report originals of these minutes are on file in the Office of the City Clerk under File Number 12-16-19. Minutes of 12-16-19 CCM.

# *Mayoral Proclamation*

## *Census 2020 Partnership*

*Whereas, an accurate census count is vital to our community and residents' well-being by helping planners determine where to locate schools, day-care centers, roads and public transportation, hospitals and other facilities, and is used to make decisions concerning business growth and housing needs; and*

*Whereas, more than \$675 billion per year in federal and state funding is allocated to states and communities based on census data; and*

*Whereas, census data ensure fair congressional representation by determining how many seats each state will have in the US House of Representatives as well as the redistricting of state legislatures, county and city councils, and voting districts; and*

*Whereas, the 2020 Census creates jobs that stimulate economic growth and increase employment opportunities in our community, and*

*Whereas, the information collected by the census is protected by law and remains confidential for 72 years, and*

*Whereas, the City of Darien, Illinois recognizes the importance and the impact of the 2020 Census on the overall well-being and quality of life for all residents in its community. Every resident in Darien counts, and deserves to be counted; and*

*Whereas, the City of Darien, Illinois agrees to be one of the local governments in partnership with the United States Census Bureau by forming a 2020 Complete Count Committee that will include representatives from local government, businesses, residents, and other community organizations.*



*Now, therefore, I, Joseph A. Marchese, Mayor of the City of Darien, do hereby proclaim full support of the 2020 Census by forming a Complete Count Committee to be led by the Economic Development Committee, to ensure that all residents in our community are counted.*

***In Witness Whereof, I Have Hereunto Set My Hand And Caused To Be Affixed The Seal Of The City Of Darien.***

***DONE, this sixth day of January Two-Thousand Twenty.***

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*Joseph A. Marchese, Mayor*

*Attest:*

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*JoAnne E. Ragona, City Clerk*

December 23, 2019

TO: JoAnne Ragona            Joseph Kenny  
Michael Coren            Thomas Chlystek  
Ted Schauer            Mary Coyle Sullivan  
Lester Vaughn            Eric Gustafson  
Byron Vana            Thomas Belczak

FROM: Joseph A. Marchese  
Mayor – City of Darien

RE: Electric Aggregation/Renewable Energy

A number of years ago, the City of Darien employed the **Northern Illinois Electric Collaborative** (NIMEC), in an effort to provide electric rates to our Darien residents at the lowest possible rates. NIMEC assisted us, as they do with other municipalities to find energy suppliers who provided rates that in many cases were lower than ComEd. In addition to bidding out for electric aggregation, we also use NIMEC for joint bids for our water system pumps and our street lighting. This Municipal Aggregation has led to Darien and other northern Illinois residents saving tens of millions of dollars on their home electric bills.

As the program progressed, it became more difficult for communities to receive bid pricing below the ComEd rate; they suspended their programs, and residents have moved back to ComEd. While we have not suspended our program, we have found it difficult over the last several bidding processes to obtain a rate lower than ComEd. When we last bid out electric supplier costs, ComEd provided the lowest rates so we currently utilize them as our energy supplier.

This spring, we will again be working with NIMEC to seek the best pricing for our residents. Recently, David Hoover, NIMEC's Executive Director met with me and shared a new proposal that fits my objective of providing energy to Darien residents that is 100% Renewable. Under this plan, every Darien resident is charged the ComEd rate, guaranteed, including the monthly Purchased Electricity Adjustment.

In addition to receiving electricity from 100% renewable sources, suppliers are providing Civic Contributions to municipalities using this program. These funds (up to \$25,000) can be used by the municipality for other renewable projects, such as electric charging stations in Darien.

Under this program, Darien receives the benefit of Renewable Energy Certificates (RECs) representing green energy generated by wind farms in the Midwest. The program enables Darien to be designated an **EPA Green Power Partner Community**, with street signage that we can post within Darien and the ability to promote certification on our website. It also achieves an objective of the Metropolitan Mayors Caucus (we are members), **Greenest Region Compact**.

As in the past, any resident and small business may choose to opt out at any time. There are no fees to residents or to the community. The stability of this community-managed program enables residents to avoid solicitors with less favorable pricing and fees. Communities such as Arlington Heights, Aurora, Clarendon Hills and others have chosen to join the Renewable Energy program, and I believe that this program fits our overall vision for Darien, as a sustainable energy community. Such a designation is appealing to families seeking to find a home in our community, as it promotes our vision as an environmentally conscious community.

Mr. David Hoover will be meeting further with me to discuss this program and I have asked him to attend our January 20, 2020 council meeting to provide an overview of the program while also preparing us for making a decision regarding our future electric aggregation choices.

When I ran for Mayor in April, I stated my desire to have Darien project an image as a community moving toward energy sustainability. In my speech several weeks ago at our gala, I noted that in the future, it was my hope to have Darien invest in renewable energy sources, and now, we have an opportunity to move toward fulfilling each of these goals.

**CITY OF DARIEN**

**EXPENDITURE APPROVAL LIST  
FOR CITY COUNCIL MEETING ON  
January 6, 2020**

Approval is hereby given to have the City Treasurer of Darien, Illinois pay to the officers, employees, independent contractors, vendors, and other providers of goods and services in the indicated amounts as set forth.

A summary indicating the source of funds used to pay the above is as follows:

General Fund				<b>\$113,866.49</b>
Water Fund				<b>\$55,597.38</b>
Motor Fuel Tax Fund				<b>\$3,150.00</b>
Water Depreciation Fund				<b>\$750.00</b>
Special Service Area Tax Fund				
E-Citation Fund				
Capital Improvement Fund				<b>185,021.56</b>
State Drug Forfeiture Fund				
Federal Equitable Sharing Fund				
DUI Technology Fund				
			<b>Subtotal:</b>	<b><u>\$358,385.43</u></b>
General Fund Payroll	01/02/20	\$	265,508.45	
Water Fund Payroll	01/02/20	\$	21,147.51	
		<b>Subtotal:</b>	<b>\$</b>	<b><u>286,655.96</u></b>
<b>Total to be Approved by City Council:</b>				<b><u>\$ 645,041.39</u></b>

**Approvals:**

\_\_\_\_\_  
Joseph A. Marchese, Mayor

\_\_\_\_\_  
JoAnne E. Ragona, City Clerk

\_\_\_\_\_  
Michael J. Coren, Treasurer

\_\_\_\_\_  
Bryon D. Vana, City Administrator

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Administration**  
**From 1/6/2020 Through 1/6/2020**

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
AIS	AIS MANAGED SERVICES -JAN 2020	AP010620	4325	Consulting/Professional	5,130.26
AIS	CLOUD CONTROLLER - JAN 2020	AP010620	4325	Consulting/Professional	20.00
AIS	OVER BLOCK HOURS - NOV 2019	AP010620	4325	Consulting/Professional	2,100.00
AIS	MONTHLY BACK UP SERVICE- JAN 2020	AP010620	4325	Consulting/Professional	1,300.00
BONNIE KUCERA	REIMBURSEMENT FOR CAKE, PLACECARDS (DARIEN 50TH CELEBRATION)	AP010620	4239	Public Relations	490.76
CALL ONE, INC.	CITY TELEPHONE BILL	AP010620	4267	Telephone	1,188.14
CAROL MALLERS	REIMBURSEMENT FOR BALLOONS, CANDLES (DARIEN 50TH CELEBRATION)	AP010620	4239	Public Relations	58.41
COMCAST BUSINESS	8771201210021147 CITY HALL CABLE	AP010620	4271	Utilities (Elec,Gas,Wtr,Sewer)	8.40
IMPACT NETWORKING, LLC	KONICA COPIER CONTRACT (12-18 thru 1-17-20)	AP010620	4225	Maintenance - Equipment	130.00
LINDA BOROWIAK	REIMBURSEMENT FOR CENTERPIECES, FLOWERS, etc	AP010620	4239	Public Relations	485.62
NICOR GAS	NICOR 82541110001 1702 PLAINFIELD RD	AP010620	4271	Utilities (Elec,Gas,Wtr,Sewer)	198.79
OFFICE DEPOT	RECEIPT PAPER AND OFFICE SUPPLIES	AP010620	4253	Supplies - Office	71.02
OFFICE DEPOT	HOLIDAY LIGHT CERTIFICATE PAPER	AP010620	4253	Supplies - Office	15.99
OFFICE DEPOT	32GB FLASH DRIVES	AP010620	4253	Supplies - Office	29.99
OFFICE DEPOT	CERTIFICATE PAPER FOR HOLIDAY LIGHTS WINNERS	AP010620	4253	Supplies - Office	2.44

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Administration**  
**From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
ROSENTHAL, MURPHEY, COBLENTZ	CANNABIS ORDINANCE	AP010620	4219	Liability Insurance	1,870.00
ROSENTHAL, MURPHEY, COBLENTZ	MISC - PHONE CALLS, CORRESPONDENCE, REVIEWS	AP010620	4219	Liability Insurance	715.00
RUNCO OFFICE SUPPLY	NAMEPLATE- STEVE HIATT P & Z	AP010620	4253	Supplies - Office	17.50
WESTOWN AUTO SUPPLY COMPANY	BATTERY FOR 102	AP010620	4229	Maintenance - Vehicles	<u>321.86</u>
				Total Administration	14,154.18

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**City Council**  
**From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
DUPAGE MAYORS MANAGERS CONF.	MAYOR & MANAGER CONFERENCE- MARCHESE & VANA	AP010620	4213	Dues and Subscriptions	70.00
EMERALD MARKETING INC.	NEIGHBORS MAGAZINE- JAN/FEB 2020	AP010620	4239	Public Relations	3,145.27
STERLING CODIFIERS, INC.	2020 HOSTING FEE (Darlen City Code-Internet)	AP010620	4325	Consulting/Professional	500.00
				Total City Council	3,715.27

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Community Development**  
**From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
CHRISTOPHER B. BURKE ENG, LTD	7532 CASS RETAIL DEVELOPMENT	AP010620	4328	Const/Prof Reimbursable	440.00
CHRISTOPHER B. BURKE ENG, LTD	1035 S FRONTAGE-EROSION CONTROL INSPECTION	AP010620	4328	Const/Prof Reimbursable	175.90
CHRISTOPHER B. BURKE ENG, LTD	2941 87TH ST - PERMEABLE PAVER DRIVEWAY	AP010620	4328	Const/Prof Reimbursable	110.00
CHRISTOPHER B. BURKE ENG, LTD	1225 PLAINFIELD-REVIEW CONCEPT PLAN APARTMENT DEVELOPMENT	AP010620	4328	Const/Prof Reimbursable	220.00
CHRISTOPHER B. BURKE ENG, LTD	337 ROGER- CLOSE OUT VIOLATION	AP010620	4328	Const/Prof Reimbursable	110.00
CODE ENFORCEMENT REPRESENTATIV	CODE ENFORCEMENT SERVICES- 7714 GAIL AVE VIOLATION	AP010620	4325	Consulting/Professional	144.00
CODE ENFORCEMENT REPRESENTATIV	CODE ENFORCEMENT SERVICES- 9101 CHEESE ROAD	AP010620	4325	Consulting/Professional	48.00
DUPAGE LAWN AND HOME SERVICES	MOWING- 7014 HIGH RD 10-23-19	AP010620	4328	Const/Prof Reimbursable	125.00
ROSENTHAL, MURPHEY, COBLENTZ	VARIOUS ZONING ISSUES	AP010620	4219	Liability Insurance	440.00
				Total Community Development	1,812.90



**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Public Works, Streets**  
**From 1/6/2020 Through 1/6/2020**

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
1ST CHOICE ADVISORS	SALTING CITY COMPLEX- NOV 11, 2019	AP010620	4223	Maintenance - Building	55.00
1ST CHOICE ADVISORS	CREDIT FOR VOIDED CK 054186	APCREDIT010...	4223	Maintenance - Building	(55.00)
A&W TRAILER LLC	TRUCK TO TRAILER CONNECTOR PLUGS	AP010620	4229	Maintenance - Vehicles	63.96
ACTION FLAG COMPANY	CITY OF DARIEN FLAGS (2)	AP010620	4223	Maintenance - Building	178.00
ADVANCE AUTO PARTS	SPARK PLUG FOR SHOP	AP010620	4229	Maintenance - Vehicles	26.34
ADVANCE AUTO PARTS	INTERCHANGE FOR SHOP	AP010620	4229	Maintenance - Vehicles	108.22
ALLIED GARAGE DOOR INC.	PW GARAGE DOOR REPAIR	AP010620	4223	Maintenance - Building	106.75
ALLIED GARAGE DOOR INC.	OVERHEAD DOOR	AP010620	4223	Maintenance - Building	422.00
ALLIED GARAGE DOOR INC.	OVERHEAD DOOR REPAIR AT PW	AP010620	4223	Maintenance - Building	150.00
ALTORFER INDUSTRIES INC	RADIO FOR FORKLIFT	AP010620	4229	Maintenance - Vehicles	351.04
ALTORFER INDUSTRIES INC	SERVICE MANUAL	AP010620	4229	Maintenance - Vehicles	1,098.52
ALTORFER INDUSTRIES INC	REPAIR PARTS FOR WELDER TRAILER	AP010620	4229	Maintenance - Vehicles	117.73
ALTORFER INDUSTRIES INC	EQUIPMENT MAINTENANCE	AP010620	4229	Maintenance - Vehicles	231.73
AMPOL GROUP	BID BOND REFUND	AP010620	4223	Maintenance - Building	1,749.25
AMPOL GROUP	MAYORS DOOR INSTALL W/PRIME AND PAINT	AP010620	4223	Maintenance - Building	1,900.00
AMPOL GROUP	CITY HALL UPDATE- Painting, trim, tile	AP010620	4223	Maintenance - Building	34,885.00
CARLSEN'S ELEVATOR SERVICES	EMERG CALL - ELEVATOR STUCK AT POLICE DEPT	AP010620	4223	Maintenance - Building	585.00
CARROLL CONSTRUCTION SUPPLY CINTAS #769	GROUT	AP010620	4257	Supplies - Other	31.48
CINTAS #769	MATT RENTAL - CITY HALL	AP010620	4223	Maintenance - Building	44.04
CINTAS #769	MATT RENTAL - POLICE DEPT	AP010620	4223	Maintenance - Building	48.81

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Public Works, Streets**  
**From 1/6/2020 Through 1/6/2020**

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
CINTAS #769	MATT RENTAL -PUBLIC WORKS	AP010620	4223	Maintenance - Building	24.99
CINTAS FIRST AID AND SAFETY	REPLENISH PUBLIC WORKS FIRST AID CABINET	AP010620	4219	Liability Insurance	303.38
COM ED	COM ED 0788310001 1041 S FRONTAGE RD	AP010620	4271	Utilities (Elec,Gas,Wtr,Sewer)	56.09
COM ED	COM ED 0269155053 2101 75TH ST	AP010620	4359	Street Light Oper & Maint.	123.74
COM ED	COM ED 0269155053 2101 75TH ST	APVOIC010620-1	4359	Street Light Oper & Maint.	(123.74)
CONSTELLATION NEW ENERGY, INC.	SW CORNER 75TH ADAMS	AP010620	4359	Street Light Oper & Maint.	1,936.39
CONSTELLATION NEW ENERGY, INC.	2510 ABBEY DR Lot 278	AP010620	4359	Street Light Oper & Maint.	1,110.33
DUPAGE LAWN AND HOME SERVICES	SALTING- CITY COMPLEX (12-16-19)	AP010620	4223	Maintenance - Building	55.00
FACTORY CLEANING EQUIPMENT INC	FLOOR SWEEPER	AP010620	4225	Maintenance - Equipment	58.91
FORESTRY SUPPLIERS	CHAINSAW SAFETY GEAR	AP010620	4219	Liability Insurance	313.86
FORESTRY SUPPLIERS	CHAPS	AP010620	4219	Liability Insurance	73.95
GRAINGER	DRIVEWAY MARKERS	AP010620	4257	Supplies - Other	333.36
GRAINGER	DRIVEWAY MARKER	AP010620	4257	Supplies - Other	37.04
HL LANDSCAPE	2019 TREE PLANTING PROGRAM	AP010620	4350	Forestry	23,560.00
HOME DEPOT	VARIOUS SUPPLIES, TOOLS	AP010620	4257	Supplies - Other	1,074.83
HOME DEPOT	VARIOUS SUPPLIES, TOOLS	AP010620	4815	Equipment	255.27
HOMER TREE CARE, INC.	EMERGENCY TREE REMOVAL -1118 TIMBER	AP010620	4375	Tree Trim/Removal	800.00
IL CENTRAL SWEEPING SERVICE	STREET SWEEPING	AP010620	4373	Street Sweeping	12,725.75
IL SECRETARY OF STATE	TITLE REPLACEMENT 2FAFP71W07X102045	AP010620	4229	Maintenance - Vehicles	50.00
IL SECRETARY OF STATE	TITLE REPLACEMENT 2FAFP71W77X102043	AP010620	4229	Maintenance - Vehicles	50.00

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Public Works, Streets**  
**From 1/6/2020 Through 1/6/2020**

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
IL SECRETARY OF STATE	TITLE REPLACEMENT 2FAFP71W07X102045	AP010620-2	4229	Maintenance - Vehicles	50.00
IL SECRETARY OF STATE	TITLE REPLACEMENT 2FAFP71W77X102043	AP010620-2	4229	Maintenance - Vehicles	50.00
IL SECRETARY OF STATE	CREDIT FOR VOIDED CK 054236 -SEPERATE CHECKS NEEDED	APCREDIT010...	4229	Maintenance - Vehicles	(50.00)
IL SECRETARY OF STATE	CREDIT FOR VOIDED CK 054236 -SEPERATE CHECKS NEEDED	APCREDIT010...	4229	Maintenance - Vehicles	(50.00)
ILLINI POWER PRODUCTS	POLICE DEPT GENERATOR	AP010620	4223	Maintenance - Building	435.06
MID-TOWN ACQUISITION -RELADYNE	DEF	AP010620	4229	Maintenance - Vehicles	179.90
MONROE TRUCK EQUIPMENT	JOYSTICK FOR PLOW	AP010620	4229	Maintenance - Vehicles	187.46
OCCUPATIONAL HEALTH CENTERS	RANDOM DRUG SCREEN- MASEK	AP010620	4219	Liability Insurance	38.50
PIONEER WASHERS	GUTTER CLEANING- CITY HALL AND POLICE DEPT	AP010620	4223	Maintenance - Building	499.00
POMP'S TIRE SERVICE, INC.	TIRE REPAIR FOR END LOADER	AP010620	4229	Maintenance - Vehicles	501.50
RED WING SHOES	FELL - CLOTHING	AP010620	4219	Liability Insurance	231.48
SITE ONE LANDSCAPE SUPPLY	SPRINKLER REPAIR- SINKHOLE (Cass & Darien Club Dr)	AP010620	4257	Supplies - Other	56.45
STANDARD INDUSTRIAL & AUTO EQU	ANNUAL LIFT INSPECTION	AP010620	4219	Liability Insurance	373.00
STANDARD INDUSTRIAL & AUTO EQU	EXHAUST SYSTEM HOSES	AP010620	4225	Maintenance - Equipment	1,382.49
UNIQUE PRODUCTS & SERVICE CORP	JANITORIAL SUPPLIES	AP010620	4223	Maintenance - Building	113.40
WILLOWBROOK FORD, INC.	SWITCH ASSY FOR 112	AP010620	4229	Maintenance - Vehicles	41.03
				Total Public Works, Streets	88,956.29

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Police Department**  
**From 1/6/2020 Through 1/6/2020**

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
BLUE TO GOLD LLC	GREENABERG- ADV SEARCH & SEIZURE CLASS	AP010620	4263	Training and Education	279.00
CONNEY SAFETY PRODUCTS	SAFETY ACCESSORIES	AP010620	4217	Investigation and Equipment	250.62
CRITICAL REACH	2020 ANNUAL FEE- APBNet	AP010620	4225	Maintenance - Equipment	400.00
DUPAGE CNTY CHIEFS POLICE ASSN	2020 MEMBERSHIP- CHIEF GREG THOMAS	AP010620	4213	Dues and Subscriptions	275.00
IL ASSOC PROPERTY/EVIDENCE MGR	YEO- IL ASSOC OF PROPERTY/EVIDENCE MANAGERS	AP010620	4213	Dues and Subscriptions	35.00
IL ASSOC PROPERTY/EVIDENCE MGR	NYKIEL- IL ASSOC OF PROPERTY/EVIDENCE MANAGERS	AP010620	4213	Dues and Subscriptions	35.00
IL ASSOC PROPERTY/EVIDENCE MGR	HELLMAN- IL ASSOC OF PROPERTY/EVIDENCE MANAGERS	AP010620	4213	Dues and Subscriptions	35.00
MCKESSON MEDICAL-SURGICAL GOVT METRO REPORTING SERVICE, LTD.	CPR MICROSHIELD	AP010620	4219	Liability Insurance	189.87
	APPEAL FOR OFFICER SUSPENSION	AP010620	4219	Liability Insurance	476.50
NICOR GAS	NICOR 82800010009 1710 PLAINFIELD RD	AP010620	4271	Utilities (Elec,Gas,Wtr,Sewer)	699.50
RAY O'HERRON CO. INC.	CSO ESTRADA- DUTY BELT	AP010620	4269	Uniforms	76.98
ROSENTHAL, MURPHEY, COBLENTZ	BOZEK DISCIPLINARY MATTER	AP010620	4219	Liability Insurance	567.35
ROSENTHAL, MURPHEY, COBLENTZ	WILBUT v DARIEN 19MR-1041	AP010620	4219	Liability Insurance	227.38
ROSENTHAL, MURPHEY, COBLENTZ	BOZEK REVIEW -INTERNAL-PREPARE DRAFT NOTICE OF INTERROGATION	AP010620	4219	Liability Insurance	275.00
THOMSON REUTERS -	CLEAR LE PLUS FOR LAW ENFORCEMENT	AP010620	4217	Investigation and Equipment	316.19

**CITY OF DARIEN  
Expenditure Journal  
General Fund  
Police Department  
From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
TRI TECH FORENSICS	PERSONAL PROPERTY BAGS	AP010620	4217	Investigation and Equipment	90.88
TRI TECH FORENSICS	RIFLE & KNIFE BOX FOR EVIDENCE ROOM	AP010620	4217	Investigation and Equipment	122.50
TRI TECH FORENSICS	LATENT PRINT KIT	AP010620	4217	Investigation and Equipment	407.02
TRI TECH FORENSICS	BLOOD /URINE COLLECTION KIT	AP010620	4217	Investigation and Equipment	78.60
TRI TECH FORENSICS	FINGERPRINT INVESTIGATION KIT	AP010620	4217	Investigation and Equipment	292.00
VILLAGE OF DOWNERS GROVE	PEER JURY FEES- (Aug - Dec 2019)	AP010620	4217	Investigation and Equipment	98.46
				Total Police Department	5,227.85
				Total General Fund	113,866.49

**CITY OF DARIEN**  
**Expenditure Journal**  
**Water Fund**  
**Public Works, Water**  
**From 1/6/2020 Through 1/6/2020**

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount
ALLIED GARAGE DOOR INC.	PW GARAGE DOOR REPAIR	AP010620	4223	Maintenance - Building	106.75
ALLIED GARAGE DOOR INC.	OVERHEAD DOOR REPAIR AT PW	AP010620	4223	Maintenance - Building	150.00
ASSOCIATED TECHNICAL SERVICES	2019 LEAK SURVEY	AP010620	4326	Leak Detection	12,102.32
CINTAS #769	MATT RENTAL -PUBLIC WORKS	AP010620	4223	Maintenance - Building	24.99
COM ED	COM ED 3118112014 2103 75TH ST PUMP	AP010620	4271	Utilities (Elec,Gas,Wtr,Sewer)	906.61
COM ED	COM ED 3118112014 2103 75TH ST PUMP	APVOID010620-3	4271	Utilities (Elec,Gas,Wtr,Sewer)	(906.61)
DUPAGE COUNTY PUBLIC WORKS	METER READINGS 9-1-19 thru 10-31-19	AP010620	4336	Data Processing	26,716.98
DUPAGE LAWN AND HOME SERVICES	SALTING CITY COMPLEX 11/11/19	AP010620-2	4223	Maintenance - Building	55.00
DYNEGY ENERGY SERVICES	PLANT UTILITIES	AP010620	4271	Utilities (Elec,Gas,Wtr,Sewer)	3,034.11
EJ USA, INC.	FIRE HYDRANT	AP010620	4231	Maintenance - Water System	2,418.06
FIRST ADVANTAGE OCCUPATIONAL	RANDOM DRUG SCREEN -CABLE	AP010620	4219	Liability Insurance	45.98
HOME DEPOT	VARIOUS SUPPLIES, TOOLS	AP010620	4223	Maintenance - Building	53.65
HOME DEPOT	VARIOUS SUPPLIES, TOOLS	AP010620	4223	Maintenance - Building	1,422.97
HOME DEPOT	VARIOUS SUPPLIES, TOOLS	AP010620	4255	Supplies - Operation	211.30
ILLINI POWER PRODUCTS	SERVICE TO PD ALARM	AP010620	4223	Maintenance - Building	440.48
JSN CONTRACTORS SUPPLY	MARKING PAINT	AP010620	4231	Maintenance - Water System	390.00
MONROE TRUCK EQUIPMENT	PLOW BLADES	AP010620	4225	Maintenance - Equipment	3,803.60
OREILLY AUTOMOTIVE, INC.	WIPERS	AP010620	4225	Maintenance - Equipment	20.14
TAMELING INDUSTRIES	WEED MATT FOR RESTORATIONS	AP010620	4231	Maintenance - Water System	76.00
UNDERGROUND PIPE & VALVE CO.	HYDRANT PARTS	AP010620	4231	Maintenance - Water System	295.50
UNDERGROUND PIPE & VALVE CO.	CLOW MEDALLION, HYDRANT PARTS	AP010620	4231	Maintenance - Water System	1,091.00
WESTOWN AUTO SUPPLY COMPANY	LIGHTED PUSH/PULL	AP010620	4225	Maintenance - Equipment	51.73

**CITY OF DARIEN**  
**Expenditure Journal**  
**Water Fund**  
**Public Works, Water**  
**From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
WESTOWN AUTO SUPPLY COMPANY	ELECTRONIC FLASHER FOR 408	AP010620	4225	Maintenance - Equipment	9.51
WESTOWN AUTO SUPPLY COMPANY	BATTERY FOR 403	AP010620	4225	Maintenance - Equipment	160.93
WILLOWBROOK FORD, INC.	SENSOR FOR 401	AP010620	4225	Maintenance - Equipment	125.44
WILLOWBROOK FORD, INC.	STEP ASY FOR 500	AP010620	4225	Maintenance - Equipment	1,470.75
WILLOWBROOK FORD, INC.	COOLANT FOR 500	AP010620	4225	Maintenance - Equipment	94.04
WILLOWBROOK FORD, INC.	SENSOR FOR D3	AP010620	4225	Maintenance - Equipment	188.16
WILLOWBROOK FORD, INC.	REPAIR PARTS	AP010620	4225	Maintenance - Equipment	42.79
WILLOWBROOK FORD, INC.	CREDIT FOR RETURNED.. INV 5142466	AP010620	4225	Maintenance - Equipment	(42.79)
WL CONSTRUCTION SUPPLY INC	18 INCH SAW BLADE	AP010620	4225	Maintenance - Equipment	519.99
ZIEBELL WATER SERVICE PRODUCTS	REPAIR CLAMPS	AP010620	4231	Maintenance - Water System	518.00
				Total Public Works, Water	55,597.38
				Total Water Fund	55,597.38

**CITY OF DARIEN**  
**Expenditure Journal**  
**Motor Fuel Tax**  
**MFT Expenses**  
**From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
SUPERIOR ASPHALT MATERIALS	ROAD MATERIAL	AP010620	4245	Road Material	1,232.00
SUPERIOR ASPHALT MATERIALS	ROAD MATERIAL	AP010620-2	4245	Road Material	910.00
SUPERIOR ASPHALT MATERIALS	ROAD MATERIAL	AP010620-2	4245	Road Material	<u>1,008.00</u>
				Total MFT Expenses	<u>3,150.00</u>
				Total Motor Fuel Tax	3,150.00



**CITY OF DARIEN**  
**Expenditure Journal**  
**Water Depreciation Fund**  
**Depreciation Expenses**  
**From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
JAKE THE STRIPER	STRIPING TRUCK #400	AP010620	4815	Equipment	750.00
				Total Depreciation Expenses	750.00
				Total Water Depreciation Fund	750.00

**CITY OF DARIEN**  
**Expenditure Journal**  
**Capital Improvement Fund**  
**Capital Fund Expenditures**  
**From 1/6/2020 Through 1/6/2020**

Vendor Name	Invoice Description	Session ID	Acct Code	Acct Title	Dept Amount	
CHRISTOPHER B. BURKE ENG, LTD	67TH ST IMPROVEMENTS- CLARENDON HILLS to ALABAMA	AP010620	4325	Consulting/Professional	17,375.75	
CHRISTOPHER B. BURKE ENG, LTD	2020 ROAD PROGRAM DESIGN	AP010620	4325	Consulting/Professional	6,994.00	
DUPAGE TOPSOIL, INC.	TOPSOIL FOR 67TH ST	AP010620	4376	Ditch Projects	1,600.00	
HEELS AND HARDHATS CONSTR	DITCH PROJECT: 67TH ST FLAGGERS	AP010620	4376	Ditch Projects	13,285.00	
HEELS AND HARDHATS CONSTR	DITCH PROJECT: 67TH ST FLAGGERS	AP010620	4376	Ditch Projects	1,880.00	
JC LANDSCAPING/TREE SERVICE	DITCH PROJECT: 67TH STREET RESTORATION MATERIAL	AP010620	4376	Ditch Projects	29,280.00	
JC LANDSCAPING/TREE SERVICE	DITCH PROJECT: 67TH STREET RESTORATION	AP010620	4376	Ditch Projects	31,280.00	
NORWALK TANK	DITCH PROJECT: 67TH STREET FILTER BASKET	AP010620	4376	Ditch Projects	2,940.00	
NORWALK TANK	2 X 1 FOOT BARREL	AP010620	4376	Ditch Projects	61.00	
NORWALK TANK	INLET FILTERS	AP010620	4376	Ditch Projects	980.00	
SHREVE SERVICES INC	DITCH PROJECT: 67TH STREET TOPSOIL	AP010620	4376	Ditch Projects	2,720.00	
THE BANK OF NEW YORK MELLON	GO REFUNDING - DARIEN 15 REDEMPTION FEE	AP010620	4945	Debt Retire - Property	300.00	
VILLAGE OF DOWNERS GROVE	WILLIAMS ST RESURFACING	AP010620	4855	Street Reconstruction/Rehab	76,325.81	
					Total Capital Fund Expenditures	185,021.56
					Total Capital Improvement Fund	185,021.56

**CITY OF DARIEN**  
**Expenditure Journal**  
**Capital Improvement Fund**  
**Capital Fund Expenditures**  
**From 1/6/2020 Through 1/6/2020**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
Report Total					358,385.43



**AGENDA MEMO**  
**CITY COUNCIL**  
**January 6, 2020**

**Issue Statement**

Consideration of a Motion Granting a Waiver of the \$50.00 a Day Fee for the class “J” Temporary Liquor License for Our Lady of Peace.

**BACKUP**

**Background/History**

Our Lady of Peace Catholic School will be conducting a Fundraiser on Saturday, February 29, 2020, and has requested a waiver of the fee for the Temporary Liquor License as our Liquor License Code requires a \$50.00 per day fee.

**Staff/Committee Recommendation**

Staff recommends waiving the fee for the Temporary Liquor License for Our Lady of Peace.

**Alternate Consideration**

Not approving the motion at this time would be an alternate consideration.

**Decision Mode**

This item will be on the January 6, 2020 City Council Agenda for formal consideration.

Anton S Lessmeister  
7533 Comstock Lane + Darien Illinois 60561 + 630-730-7264  
Alessmeister64@gmail.com

Hello Ms. Gonzalez,

Our Lady of Peace School is hosting a fundraiser on February 29<sup>th</sup> 2020 from 7-10:30pm in the school gym. The fundraiser is a Comedy Club night which designed to bring parishioners together for a fun evening while raising money to support school initiatives. Since this a charitable event, we kindly request that the City Council waive the liquor license fee. Thank you for your consideration and your help with this matter. If you have any questions, please reach out to me anytime.

Warm regards,  
Tony

Anton S Lessmeister  
Our Lady of Peace School  
630-730-7264

CITY OF DARIEN

APPLICATION FOR
TEMPORARY LIQUOR LICENSE

THIS APPLICATION IS FOR: CLASS "J" TEMPORARY LIQUOR LICENSE —

"THE SALE AT RETAIL OF ALCOHOLIC LIQUOR FOR CONSUMPTION ONLY AT THE LOCATION AND ON THE SPECIFIED DATES DESIGNATED FOR THE SPECIAL EVENT IN THE LICENSE." FEE IS \$50.00 PER DAY NOT TO EXCEED THREE (3) CONSECUTIVE DAYS.

\*\*\*\*\*

NAME OF ORGANIZATION OR GROUP OUR LADY OF PEACE SCHOOL

ADDRESS 709 PLAINFIELD RD DARIEN ILPHONE 630-325-9220

TYPE OF EVENT FUND RAISER

LOCATION OF EVENT SCHOOL GYM

DATE AND TIME OF EVENT 2/29/20 7pm - 10:30 pm

NAME OF APPLICANT OR REPRESENTATIVE TONY LESSMEISTER

ADDRESS 7533 CONSTACK LN PHONE 630-810-0477

NAME OF CHAIRMAN OF EVENT TONY LESSMEISTER

ADDRESS 7533 CONSTACK LN PHONE 630-810-0477

Handwritten signature of Tony Lessmeister

Signature of Applicant

\*\*\*\*\*

FEE: \_\_\_\_\_

DATE PAID: \_\_\_\_\_

Date Approved: \_\_\_\_\_

Application Approved: \_\_\_\_\_

License No. Issued \_\_\_\_\_

Kathleen Moesle Weaver, Liquor Commissioner

MANDATORY: PROOF OF DRAM SHOP INSURANCE MUST BE ATTACHED TO THIS APPLICATION COVERING DATE(S) OF EVENT AND DESIGNATING THE CITY OF DARIEN AS ADDITIONAL INSURED ALONG WITH A CHECK TO COVER FEE.

**AGENDA MEMO**  
**City Council**  
**January 6, 2020**

**ISSUE STATEMENT**

A resolution accepting a proposal from Underground Pipe & Valve Co., for the Clow Eddy F2500 fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.

**RESOLUTION**

**BACKGROUND**

During the year, the department requires the use of manufacturer-specified fire hydrant repair parts for fire hydrant repairs.

Competitive quotes were requested for the various repair items. The sole bid was provided by Underground Pipe & Valve Co. See [Attachment A](#). Staff will seek competitive quoting for the items that are not available if required. The request for quotes stipulated that pricing be held in place through April 30, 2021.

The expenditure would come from the Water System Maintenance Account. The total estimated costs for the specified Clow Eddy F2500 fire hydrant repair parts would not exceed \$6,000.

**COMMITTEE RECOMMENDATION**

Municipal Services Committee recommends approval of this resolution with Underground Pipe & Valve Co., for Clow Eddy F2500 fire hydrant repair parts.

**ALTERNATE CONSIDERATION**

As directed by the City Council.

**DECISION MODE**

This item will be placed on the January 6, 2020 City Council agenda for formal approval.

MEMO

# City of Darien - Clow F2500 Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 Underground Pipe & Valve, Co.
1	Operating Nut	\$ 136.25
2	Cover	\$ 290.75
3	Nozzle Section (2 Nozzle)	\$ 863.00
3	Nozzle Section (3 Nozzle)	\$ 957.00
4	Thrust Nut	\$ 112.00
5	Thrust Bearing Race	\$ -
6	Standpipe	\$ 750.00
7	Lower Flange	\$ 118.00
8	Bottom	\$ -
8	Bottom (Drain Ring Option)	\$ -
9	Hex Hd. Capscrew 5/8-11 NC x 1-3/4	\$ 4.00
10	Cover Gasket	\$ 15.00
11	O-Ring - 152	\$ 5.50
12	Hex Stop Nut 1" - 8 NC	\$ 15.00
13	O-Ring - 218	\$ 4.25
14	Hex Hd. Bolt 3/4-10 NC X 3-1/4	\$ 3.00
15	Hex Hd. Nut 3/4-10 NC	\$ 3.00
16	Upper Valve Plate	\$ 158.75
17	Hex Hd. Bolt 7/16-14 NC x 2-1/2 w/nut	\$ 4.75
18	O-Ring - 214	\$ 4.25
19	Standpipe Gasket	\$ 13.00
20	O-Ring - 259	\$ 13.00
21	Hex Hd. Bolt 3/4-10 NC x 4-1/2	\$ 4.00
22	S-Hook 13 Ga. X 1"	\$ 1.00
23	O-Ring - 258	\$ 13.00
24	Valve Seat	\$ 40.00
25	Lower Valve Plate	\$ 157.75
26	Retaining Ring	\$ 32.00
27	Valve Seat Ring	\$ 241.50
28	Driv-Lok Stud #6 x 3/8	\$ 3.00
29	Drain Tube	\$ 37.50
30	Driv-Lok Pin 1/4 x 1-1/4 Type C	\$ 4.00
31	Hex Hd. Bolt 7/16-14 NC x 3	\$ 6.25
32	Hex Nut 7/16-14 NC	\$ 4.00
33	Lock Washer 7/16	\$ 3.00
34	Pin 7/16 x 2-1/4 Type E	\$ 1.00
35	Stem Coupling	\$ 37.50
36	Upper Stem OL	\$ 135.00
36	Upper Stem OR	\$ 135.00
37	Lower Stem	\$ 209.00
38	Steamer Nozzle	\$ 209.00
38	Hoze Nozzle	\$ 93.50
39	Steamer Nozzle Cap	\$ 142.50
39	Hoze Nozzle Cap	\$ 59.00
40	Steamer Nozzle Gasket	\$ 4.25
40	Hose Nozzle Gasket	\$ 2.00
42	Bearing	\$ 2.00
43	O-Ring - 177	\$ 3.00
45	O-Ring - 226	\$ 4.25
46	Hex Hd. Capscrew 3/8-16 NC x 1/2 LG	\$ 4.00
47	Drain Ring	\$ 260.75
48	Trench Depth Tag	\$ 6.25
49	Upper Stem Sleeve	\$ 24.50
50	Safety Flange (One Piece or Split)	\$ 126.75
51	Standpipe Gasket - Upper	\$ 13.00
	<b>TOTAL</b>	<b>\$ 5,489.75</b>





RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE CO., FOR THE CLOW EDDY F2500 FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien does hereby accept a proposal from Underground Pipe & Valve Co., for the Clow Eddy F2500 Fire Hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021, attached hereto as "[Exhibit A](#)".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

\_\_\_\_\_  
JOSEPH A. MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY

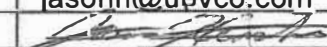
## City of Darien - Clow F2500 Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
1	Operating Nut	\$136.25		
2	Cover	290.75		
3	Nozzle Section (2 Nozzle)	863.00		
3	Nozzle Section (3 Nozzle)	957.00		
4	Thrust Nut	112.00		
5	Thrust Bearing Race	N/Q		
6	Standpipe	750.00		
7	Lower Flange	118.00		
8	Bottom	N/Q		
8	Bottom (Drain Ring Option)	N/Q		
9	Hex Hd. Capscrew 5/8-11 NC x 1-3/4	4.00		
10	Cover Gasket	15.00		
11	O-Ring - 152	5.50		
12	Hex Stop Nut 1" - 8 NC	15.00		
13	O-Ring - 218	4.25		
14	Hex Hd. Bolt 3/4-10 NC X 3-1/4	3.00		
15	Hex Hd. Nut 3/4-10 NC	3.00		
16	Upper Valve Plate	158.75		
17	Hex Hd. Bolt 7/16-14 NC x 2-1/2 w/nut	4.75		
18	O-Ring - 214	4.25		
19	Standpipe Gasket	13.00		
20	O-Ring - 259	13.00		
21	Hex Hd. Bolt 3/4-10 NC x 4-1/2	4.00		
22	S-Hook 13 Ga. X 1"	1.00		
23	O-Ring - 258	13.00		
24	Valve Seat	40.00		
25	Lower Valve Plate	157.75		
26	Retaining Ring	32.00		
27	Valve Seat Ring	241.50		
28	Driv-Lok Stud #6 x 3/8	3.00		
29	Drain Tube	37.50		
30	Driv-Lok Pin 1/4 x 1-1/4 Type C	4.00		
31	Hex Hd. Bolt 7/16-14 NC x 3	6.25		
32	Hex Nut 7/16-14 NC	4.00		
33	Lock Washer 7/16	3.00		
34	Pin 7/16 x 2-1/4 Type E	1.00		
35	Stem Coupling	37.50		
36	Upper Stem OL	135.00		
36	Upper Stem OR	135.00		
37	Lower Stem	209.00		
38	Steamer Nozzle	209.00		
38	Hoze Nozzle	93.50		

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

## City of Darien - Clow F2500 Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
39	Steamer Nozzle Cap	\$142.50		
39	Hoze Nozzle Cap	59.00		
40	Steamer Nozzle Gasket	4.25		
40	HoseNozzle Gasket	2.00		
42	Bearing	2.00		
43	O-Ring - 177	3.00		
45	O-Ring - 226	4.25		
46	Hex Hd. Capscrew 3/8-16 NC x 1/2 LG	4.00		
47	Drain Ring	260.75		
48	Trench Depth Tag	6.25		
49	Upper Stem Sleeve	24.50		
50	Safety Flange (One Piece or Split)	126.75		
51	Standpipe Gasket - Upper	13.00		
<b>Company Name:</b>		Underground Pipe & Valve Co.		
<b>Address:</b>		PO Box 279, Plainfield, IL 60544		
<b>Submitted By-Print name</b>		Jason Henschen		
<b>Date:</b>		November 13, 2019		
<b>Office Telephone Number:</b>		815-730-1180		
<b>Mobile Telephone Number:</b>		815-509-9402		
<b>Fax Number:</b>		815-730-1270		
<b>E-mail address:</b>		jasonh@upvco.com		
<b>Authorized Signature</b>				

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

**AGENDA MEMO**  
**City Council**  
**January 6, 2020**

**ISSUE STATEMENT**

A resolution accepting a proposal from Underground Pipe & Valve Co., for the Clow Eddy fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021. [RESOLUTION](#)

**BACKGROUND**

During the year, the department requires the use of manufacturer-specified fire hydrant repair parts for fire hydrant repairs.

Competitive quotes were requested for the various repair items, and staff received one (1) quote. See [Attachment A](#). The sole bidder was provided by Underground Pipe & Valve Co. The request for quotes stipulated that pricing be held in place through April 30, 2021.

The expenditure would come from the Water System Maintenance Account. The total estimated costs for the specified Clow Eddy fire hydrant repair parts would not exceed \$6,000.

**COMMITTEE RECOMMENDATION**

Municipal Services Committee recommends approval of this resolution with Underground Pipe & Valve Co., for Clow Eddy fire hydrant repair parts.

**ALTERNATE CONSIDERATION**

As directed by the City Council.

**DECISION MODE**

This item will be placed on the January 6, 2020 City Council agenda for formal approval.

MEMO

# City of Darien - Clow Eddy Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 Underground Pipe & Valve, Co.
1	Hold Down Bolt	\$ 5.00
2	Operating Nut	\$ 19.75
3	Packing Nut	\$ 39.50
4	Packing	\$ 13.75
5	Cover	\$ 256.00
6	Cover Bolts and Nuts	\$ 22.50
7	Swivel Ring	\$ 67.25
8	Nozzle Section	\$ 720.00
9	Pumper Nozzle	\$ 209.00
11	Pumper Nozzle Cap	\$ 142.50
12	Pumper Cap Washer	\$ 3.00
13	Flange Bolts and Nuts	\$ 32.00
14	Flange Gaskets	\$ 12.75
15	Nozzle O-Ring	\$ 3.50
16	2-1/2" Hose Nozzle	\$ 93.50
17	2-1/2" Hose Nozzle Cap	\$ 59.00
18	2-1/2" Hose Cap Washer	\$ 2.00
19	Upper Stem	\$ 220.25
20	Standpipe	\$ 1,090.00
21A	Valve Plate	\$ 186.50
22A	O-Rings	\$ 5.75
24	Valve Rubber	\$ 49.00
25	Seat Ring	\$ 61.00
26	Throttling Ring	\$ 186.50
27A	Thrust Washer	\$ 17.00
28A	Snap Ring	\$ 8.25
29A	Lower Stem	\$ 188.50
32	Lock Nut	\$ 5.00
33	Drain Spool	\$ 31.25
34	Drain Lever	\$ 5.00
35	Lever Pin	\$ 1.00
36	Clevis & Nut	\$ 31.25
37	Drain Support	\$ 76.75
38	Drain Rod	\$ 109.25
39	Drain Valve Backer	\$ 5.00
40	Drain Valve Rubber	\$ 5.00
41	Drain Cup	\$ 30.50
42	Retaining Nut	\$ 5.00
43	Bottom Bolts & Nuts	\$ 30.50
44	Bottom Gasket	\$ 3.00
45	Bottom Gasket	\$ 817.00
46	Stem Coupling	\$ 73.25
47	Stem Coupling Pin	\$ 4.00
48	Middle Stem	\$ 56.25
	Safety Flange Repair Kit	\$ 175.00
	Extension Kit	\$ 386.00
	Main Valve Seat Repair Kit	\$ 199.00
A	Main Stem	\$ 689.00
B	Hydrant Valve	\$ 199.00
C	Drain Support	\$ 160.00
D	Drain Valve	\$ 142.00
E	Complete Valve & Stem	\$ 884.00
	<b>TOTAL</b>	<b>\$ 7,836.75</b>



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE CO., FOR THE CLOW EDDY FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, as follows:

**SECTION 1:** The City Council of the City of Darien does hereby accept a proposal from Underground Pipe & Valve Co., for the Clow Eddy Fire Hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021, attached hereto as "**Exhibit A**".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 6<sup>th</sup> day of January, 2020.

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 6<sup>th</sup> day of January, 2020.

\_\_\_\_\_  
JOSEPH A. MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY

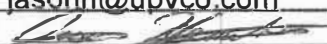
# City of Darien - Clow Eddy Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 -2021 Quoted Price (Each)	2021 -2022 Quoted Price (Each)	2022 -2023 Quoted Price (Each)
1	Hold Down Bolt	\$5.00		
2	Operating Nut	19.75		
3	Packing Nut	39.50		
4	Packing	13.75		
5	Cover	256.00		
6	Cover Bolts and Nuts	22.50		
7	Swivel Ring	67.25		
8	Nozzle Section	720.00		
9	Pumper Nozzle	209.00		
11	Pumper Nozzle Cap	142.50		
12	Pumper Cap Washer	3.00		
13	Flange Bolts and Nuts	32.00		
14	Flange Gaskets	12.75		
15	Nozzle O-Ring	3.50		
16	2-1/2" Hose Nozzle	93.50		
17	2-1/2" Hose Nozzle Cap	59.00		
18	2-1/2" Hose Cap Washer	2.00		
19	Upper Stem	220.25		
20	Standpipe	1090.00		
21A	Valve Plate	186.50		
22A	O-Rings	5.75		
24	Valve Rubber	49.00		
25	Seat Ring	61.00		
26	Throttling Ring	186.50		
27A	Thrust Washer	17.00		
28A	Snap Ring	8.25		
29A	Lower Stem	188.50		
32	Lock Nut	5.00		
33	Drain Spool	31.25		
34	Drain Lever	5.00		
35	Lever Pin	1.00		
36	Clevis & Nut	31.25		
37	Drain Support	76.75		
38	Drain Rod	109.25		
39	Drain Valve Backer	5.00		
40	Drain Valve Rubber	5.00		
41	Drain Cup	30.50		
42	Retaining Nut	5.00		
43	Bottom Bolts & Nuts	30.50		
44	Bottom Gasket	3.00		
45	Bottom Gasket	817.00		

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

# City of Darien - Clow Eddy Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 -2021 Quoted Price (Each)	2021 -2022 Quoted Price (Each)	2022 -2023 Quoted Price (Each)
46	Stem Coupling	\$73.25		
47	Stem Coupling Pin	4.00		
48	Middle Stem	56.25		
	Safety Flange Repair Kit	175.00		
	Extension Kit	386.00		
	Main Valve Seat Repair Kit	199.00		
A	Main Stem	689.00		
B	Hydrant Valve	199.00		
C	Drain Support	160.00		
D	Drain Valve	142.00		
E	Complete Valve & Stem	884.00		
<b>Company Name:</b>		Underground Pipe & Valve Co.		
<b>Address:</b>		PO Box 279, Plainfield, IL 60544		
<b>Submitted By-Print name</b>		Jason Henschen		
<b>Date:</b>		November 13, 2019		
<b>Office Telephone Number:</b>		815-730-1180		
<b>Mobile Telephone Number:</b>		815-509-9402		
<b>Fax Number:</b>		815-730-1270		
<b>E-mail address:</b>		jasonh@upvco.com		
<b>Authorized Signature</b>				

**\* 5-1/4" Main Valve Opening**

**\*\* Upper and Lower Rods should be for Typical 6' Bury Depth**



**AGENDA MEMO**  
**City Council**  
**January 6, 2020**

**ISSUE STATEMENT**

A resolution accepting a proposal from Underground Pipe & Valve Co., for the Clow Medallion fire hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021.

**RESOLUTION**

**BACKGROUND**

During the year, the department requires the use of manufacturer-specified fire hydrant repair parts for fire hydrant repairs.

Competitive quotes were requested for the various repair items, and staff received one (1) competitive quotes. The sole bidder was Underground Pipe & Valve Co. See [Attachment A](#). The request for quotes stipulated that pricing be held in place through April 30, 2021.

The expenditure would come from the Water System Maintenance Account. The total estimated costs for the specified Clow Medallion fire hydrant repair parts would not exceed \$6,000.

**COMMITTEE RECOMMENDATION**

Municipal Services Committee recommends approval of this resolution with Underground Pipe & Valve Co., for the Clow Medallion fire hydrant repair parts.

**ALTERNATE CONSIDERATION**

As directed by the City Council.

**DECISION MODE**

This item will be placed on the January 6, 2020 City Council agenda for formal approval.

MEMO

## City of Darien - Clow Medallion Fire Hydrant Parts Quote

Hydrant Part Number	Hydrant Part Name	2020 Underground Pipe & Valve, Co.
Reference # 42917 for all parts)		
1	Operating Nut O-Ring	\$ 6.25
2	Operating Nut Thrust Bearing	\$ 2.00
3	Operating Nut O.R.	\$ 116.00
3	Operating Nut O.L.	\$ 116.00
4	Upper Stem Jam Nut	\$ 15.00
5	Upper Stem Sleeve	\$ -
6	Upper Stem Sleeve O-Ring	\$ 1.00
7	Upper Stem O.R.	\$ 133.00
7	Upper Stem O.L.	\$ 133.00
8	Upper Stem Pin	\$ 7.50
9	Safety Coupling Cotter Pins	\$ 1.00
10	Safety Stem Coupling	\$ 41.50
11	Safety Coupling Pins	\$ 4.00
12	Lower Stem	\$ 147.75
13	Lower Stem Pin	\$ 7.50
14	Upper Valve Plate O-Ring	\$ -
15	Drain Valve Facing Screw	\$ 1.00
16	Drain Valve Facing	\$ 6.25
17	Upper Valve Plate	\$ 175.00
18	Seat Ring Upper O-Ring	\$ 8.25
19	Seat Ring	\$ 310.00
20	Seat Ring Lower O-Ring	\$ 5.50
21	Main Valve Rubber	\$ 53.75
22	Lower Valve Plate Lockwasher	\$ 3.00
24	Lower Valve Plate	\$ 139.75
25	Weather Cap Hold Down Screw	\$ 1.00
26	Weather Cap	\$ 34.00
27	Thrust Nut	\$ 93.00
28	Thrust Nut O-Ring	\$ 1.00
29	Bonnet Bolts & Nuts	\$ 2.00
30	Bonnet	\$ 256.00
31	Stem O-Rings	\$ 1.00
32	Bonnet O-Ring	\$ 3.00
33	Nozzle Section	\$ 719.00
34	Pumper Nozzle Lock	\$ 4.25
35	Pumper Nozzle O-Ring	\$ 4.00
36	Pumper Nozzle	\$ 209.00
37	Pumper Nozzle Gasket	\$ 4.25
38	Pumper Nozzle Cap	\$ 142.50
39	Hose Nozzle Lock	\$ 4.25
40	Hose Nozzle O-Ring	\$ 1.00
41	Hose Nozzle	\$ 93.50
42	Hose Nozzle Gasket	\$ 2.00
43	Hose Nozzle Cap	\$ 59.00
45	Trench Depth Tag & S-Hook	\$ 4.00
46	Safety Flange Bolts & Nuts	\$ 4.25
47	Safety Flange O-Ring	\$ 4.00
48	Barrel Upper Flange	\$ 95.75
49	Safety Flange	\$ 97.75
50	Barrel Upper Flange	\$ 532.00
51	Shoe Bolts & Nuts	\$ 4.25
52	Barrel Lower Flange	\$ 95.75
53	Drain Ring O-Rings	\$ 4.00
54	Drain Ring	\$ 343.00
56	Locking Spacer	\$ -
57	Shoe	\$ 595.00
58	Thrust Nut Screw Set	\$ 3.00
42911	5-1/4" Medallion Main Valve Repair Kit	\$ 88.75
42912	5-1/4" Medallion Safety Repair Kit	\$ 175.00
42913	5-1/4" x 6" Medallion Hyd. Extension	\$ 386.00
42914	5-1/4" x 12" Medallion Hyd. Extension	\$ 450.00
42915	5-1/4" x 18" Medallion Hyd. Extension	\$ 511.00
42916	5-1/4" x 24" Medallion Hyd. Extension	\$ 555.00
		<b>\$ 7,016.25</b>



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION ACCEPTING A PROPOSAL FROM UNDERGROUND PIPE & VALVE CO., FOR THE CLOW MEDALLION FIRE HYDRANT REPAIR PARTS AT THE PROPOSED UNIT PRICES AS REQUIRED FOR A PERIOD OF MAY 1, 2020 THROUGH APRIL 30, 2021**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien does hereby accept a proposal from Underground Pipe & Valve Co., for the Clow Medallion Fire Hydrant repair parts as required for a period of May 1, 2020 through April 30, 2021, attached hereto as "**Exhibit A**".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

\_\_\_\_\_  
JOSEPH A. MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY


## City of Darien - Clow Medallion Fire Hydrant Parts Quote

0	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
<b>Reference # 42917 for all parts)</b>				
1	Operating Nut O-Ring	\$6.25		
2	Operating Nut Thrust Bearing	2.00		
3	Operating Nut O.R.	116.00		
3	Operating Nut O.L.	116.00		
4	Upper Stem Jam Nut	15.00		
5	Upper Stem Sleeve	N/Q		
6	Upper Stem Sleeve O-Ring	1.00		
7	Upper Stem O.R.	133.00		
7	Upper Stem O.L.	133.00		
8	Upper Stem Pin	7.50		
9	Safety Coupling Cotter Pins	1.00		
10	Safety Stem Coupling	41.50		
11	Safety Coupling Pins	4.00		
12	Lower Stem	147.75		
13	Lower Stem Pin	7.50		
14	Upper Valve Plate O-Ring	N/Q		
15	Drain Valve Facing Screw	1.00		
16	Drain Valve Facing	6.25		
17	Upper Valve Plate	175.00		
18	Seat Ring Upper O-Ring	8.25		
19	Seat Ring	310.00		
20	Seat Ring Lower O-Ring	5.50		
21	Main Valve Rubber	53.75		
22	Lower Valve Plate Lockwasher	3.00		
24	Lower Valve Plate	139.75		
25	Weather Cap Hold Down Screw	1.00		
26	Weather Cap	34.00		
27	Thrust Nut	93.00		
28	Thrust Nut O-Ring	1.00		
29	Bonnet Bolts & Nuts	2.00		
30	Bonnet	256.00		
31	Stem O-Rings	1.00		
32	Bonnet O-Ring	3.00		
33	Nozzle Section	719.00		
34	Pumper Nozzle Lock	4.25		
35	Pumper Nozzle O-Ring	4.00		
36	Pumper Nozzle	209.00		
37	Pumper Nozzle Gasket	4.25		
38	Pumper Nozzle Cap	142.50		
39	Hose Nozzle Lock	4.25		
40	Hose Nozzle O-Ring	1.00		
41	Hose Nozzle	93.50		
42	Hose Nozzle Gasket	2.00		
43	Hose Nozzle Cap	59.00		
45	Trench Depth Tag & S-Hook	4.00		
46	Safety Flange Bolts & Nuts	4.25		

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

## City of Darien - Clow Medallion Fire Hydrant Parts Quote

0	Hydrant Part Name	2020 - 2021 Quoted Price (Each)	2021 - 2022 Quoted Price (Each)	2022 - 2023 Quoted Price (Each)
<b>Reference # 42917 for all parts)</b>				
47	Safety Flange O-Ring	\$4.00		
48	Barrel Upper Flange	95.75		
49	Safety Flange	97.75		
50	Barrel Upper Flange	532.00		
51	Shoe Bolts & Nuts	4.25		
52	Barrel Lower Flange	95.75		
53	Drain Ring O-Rings	4.00		
54	Drain Ring	343.00		
56	Locking Spacer	N/Q		
57	Shoe	595.00		
58	Thrust Nut Screw Set	3.00		
42911	5-1/4" Medallion Main Valve Repair Kit	88.75		
42912	5-1/4" Medallion Safety Repair Kit	175.00		
42913	5-1/4" x 6" Medallion Hyd. Extension	386.00		
42914	5-1/4" x 12" Medallion Hyd. Extension	450.00		
42915	5-1/4" x 18" Medallion Hyd. Extension	511.00		
42916	5-1/4" x 24" Medallion Hyd. Extension	555.00		
<b>Company Name:</b>		Underground Pipe & Valve Co.		
<b>Address:</b>		PO Box 279, Plainfield, IL 60544		
<b>Submitted By-Print name</b>		Jason Henschel		
<b>Date:</b>		November 13, 2019		
<b>Office Telephone Number:</b>		815-730-1180		
<b>Mobile Telephone Number:</b>		815-509-9402		
<b>Fax Number:</b>		815-730-1270		
<b>E-mail address:</b>		jasonh@upvco.com		
<b>Authorized Signature</b>				

\* 5-1/4" Main Valve Opening

\*\* Upper and Lower Rods should be for Typical 6' Bury Depth

**AGENDA MEMO**  
**CITY COUNCIL**  
**January 6, 2020**

**Issue Statement**

Approval of an ordinance granting special uses and variations for a commercial redevelopment located at 7532 South Cass Avenue.

**ORDINANCE**

**Case**

PZC 2019-04      7532 South Cass Avenue      (Redevelopment)

**7532 South Cass Avenue, 7532 CASS AVE LLC (John Manos):** Requests approval to permit the redevelopment of a vacant lot (former Phillips 66 service station) into a retail center with one multi-tenant building and one drive through facility, located within the B-2 Community Shopping Center Business District.

**General Information**

Petitioners / Owners:                      7532 CASS AVE LLC / John Manos / Jemco & Assoc., LTD

Property Location / PIN#:                7532 S. Cass Avenue / 09-28-402-055

Zoning / Land Use:                        Site:    B-2 / vacant - former service station  
    North: B-2 / Commercial - Burrito Paradise  
    South: B-1 / Office - Cass Professional Center  
    East:    B-2 / Commercial - Darien Pointe  
    West: B-2 / Commercial - Brookhaven Marketplace

Comprehensive Plan:                      Future Land Use: Commercial

Size of Subject Lot:                        24,980 square feet, 0.57 acres

Natural Features:                         none

Transportation:                            Frontage to Cass Avenue (145') and Plainfield Road (155')

**Zoning Provisions**

1. Section 5A-8-3-4: Special use approval for a drive-through establishment.
2. Section 5A-8-3-4: Special use approval to permit eating establishments as a right.
3. Section 5A-8-3-6: Variation to reduce the minimum lot area from 2 acres to .57 acres.
4. Section 5A-8-3-8(A)1(a): Variations to reduce required setbacks:
  - a. Front yard from 50 feet to 29.2 feet.
  - b. Corner Side yard from 50 feet to 30 feet.
5. Section 5A-8-3-8: Variations to reduce required parking setbacks:
  - a. Front yard from 30 feet to 20 feet.
  - b. Interior side yard from 20 feet to zero feet.
  - c. Rear yard from 30 feet to 17 feet.
6. Section 5A-8-3-9: Variation to exceed the maximum permitted lot coverage of 75 percent to 76.7 percent for buildings and all impervious surfaces.

7. Section 5A-10-5 and 5A-10-6: Variation to eliminate the required perimeter yard and parking lot landscaping.
8. Section 5A-10-6(C): Variation to eliminate the required landscape islands for parking and drive aisles.
9. Section 5A-10-7(A): Variation to eliminate the required 10-foot wide building foundation landscape strip.
10. Section 5A-10-7(B)1: Variation to eliminate the required perimeter landscape for a refuse disposal facility from 3 sides to 1 side.
11. Section 5A-11-3(B): Variations to reduce required driveway requirements:
  - a. Minimum driveway width from 24 feet to 23.5 feet.
  - b. Minimum driveway distance from a front property line from 30' to 5.2 feet.
  - c. Minimum driveway distance from a corner side property line from 30' to 12.2 feet.
  - d. Minimum driveway distance from a rear property line from 20' to 5.8 feet.

### **Development History and Proposal**

The subject property is located on the west side of Cass Avenue, north of Plainfield Road. Currently, the property is vacant, but in the past has operated as a Phillips 66 service station. Adjacent to and with access to Brookhaven Plaza, the property has a total of four access points between Cass Avenue and Plainfield Road.

The Petitioner proposes a plan to construct a single building of 3,506 square feet for a two-tenant space, with Dunkin' Donuts occupying the majority of the building, and a drive-through service lane that wraps the building. The parcel itself measures 24,974 square feet in area.

Given the size of the parcel, which does not meet current minimum size requirements for a B-2 property, several variations are required as noted above. The small size of the property has limited redevelopment without needing such variations, and has economically hindered previous interest and investment. Considered a gateway property to the core of the City, the Petitioner has worked with staff to optimize site design despite the size constraints. This includes a revision of existing curb-cuts to be reduced, with no access on Plainfield Road other than the shared Brookhaven Plaza entrance, and one remaining entrance on Cass Avenue.

The petition includes special use requests for both restaurant spaces, and the accompanying drive-through for Dunkin' Donuts. With construction, Dunkin' would relocate from the Plaza to the out lot.

The Petitioner controls ownership of both the subject property and the Plaza, and has drafted a Cross-Access Agreement that has been included with the application materials. This will secure proper easement rights to both properties for any traffic or pedestrians in perpetuity. Two elevation options have been presented, one consisting of primary EIFS (Dryvit) that would match the construction of the existing Plaza, and one constructed in higher quality materials of

brick and stone, with additional lighting and awnings. Code does not require the higher quality materials, but the Petitioner has presented both as there may be the opportunity to partner with the City economically to improve the presence of the building and monument signage to the corner, and is currently being discussed with the Council.

**Petitioner Documents** (attached to this memo)

1. [Petition](#)
2. [Narratives addressing requests, Special Use Standards and Variation Justification](#)
3. [Draft Access Agreement](#)
4. [Plat of Survey](#)
5. [Architectural Plans](#)
  - a. Site Plan
  - b. 1<sup>st</sup> Floor Plan
  - c. Tenant Plan
  - d. Roof Plan
  - e. Elevations (EIFS)
  - f. Elevations (Brick)
6. [Engineering Plans](#)
  - a. Title and Notes
  - b. Existing Topography and Demolition
  - c. Site Plan
  - d. Utility Plan
  - e. Grading and Erosion Plan
  - f. Detail Sheet
  - g. Landscape Plan
  - h. Lighting Plan

**Staff Documents** (attached to this memo)

7. Location Map – [aerial of neighborhood](#)
8. [Variation Justification Standards](#)
9. [Special Use Standards](#)

**Staff Plan Review**

*Zoning Review Summary*

As previously discussed, several variations are requested or required for the proposed site improvements and building construction. A summary is noted below:



Bulk Standard	Required	Proposed Variations	Notes
Lot Area	2 acres	.57 acres	Existing lot of record, previously developed
Front Yard Setback (building)	50 ft	29.2 ft	
Corner Side Yard Setback (building)	50 ft	30 ft	
Front Yard Setback (parking)	30 ft	20 ft	
Side Yard Setback (parking)	20 ft	0 ft	Parking at north property line abuts adjacent property
Rear Yard Setback (parking)	30 ft	17 ft	
Front Yard Setback (drive)	30 ft	5.2 ft	
Corner Side Yard Setback (drive)	30 ft	12.2 ft	
Rear Yard Setback (drive)	20 ft	5.8 ft	
Lot Coverage (building and other impervious surfaces)	75%	76.70%	
Landscape (perimeter yards parking lots)	As determined by setback	As determined by setback variation	Parking at north property line abuts adjacent property, no opportunity for plantings
Landscape (required islands)	9' width, at ends of parking	3 islands reduced to 2' to 3'-3", no landscape provided	Limited site area does not support interior islands
Landscape (foundation)	10 ft	0 ft	
Landscape (refuse screening)	3 sides	2 sides	
Driveway (width)	24 ft	23.5 ft	

Despite the requested variations, the site design has accommodated the required amount of parking spaces and drive-through vehicle stacking as required by code. Landscape, although reduced in setback areas, meets minimum requirements for the overall site.

Staff does not object to the proposed variations given the size and shape of the property, and notes the variation requests are similar to those granted to Darien Pointe across the street.

**PZC 12.18.19**

The Planning and Zoning Commission reviewed this petition at their public hearing on December 18. John Manos presented plans for the redevelopment and explained the efforts taken to both find preferred tenants and maximize optimize site design.

Recognizing the general desire for the redevelopment on an existing yet undersized site, the Commission raised questions on curb cuts and traffic, and requested that the petitioner and staff work with the county to limit access on Cass Avenue to a right-in/right-out configuration to address potential traffic issues on the busy intersection. The location of the dumpster enclosure was also discussed and requested to be further analyzed for maximum screening without affecting traffic or sight-lines. Staff indicated that a masonry enclosure would be required as a condition of permit approval, which was acknowledged by the petitioner. Staff informed the Commission of potential façade improvements under discussion with the Council, and the opportunity for marquee signage benefitting the City at the corner of the intersection.

One resident spoke and expressed concerns on increased traffic at the busy intersection, and potential impacts on turning movements for local side-streets. Staff indicated the light at Cass and Plainfield was under county jurisdiction and would relay the concerns.

The Commission made findings that the petition satisfied both the special use standards and variation justifications and voted 8-0 to recommend approval of the requests as presented.

**MSC 12.23.19**

On December 23, the Municipal Services Committee reviewed the petition and the findings of the PZC. The parking, on-site circulation, cross-access agreement and setback requests were discussed. Alderman Kenny questioned the number of variations requested, and it was noted that the approvals were similar to those granted at Darien Pointe, and as a direct result of redevelopment on an existing small lot. Additionally, the visibility and location of the dumpster enclosure, overall operation of the drive-through, building materials and marquee signage were further clarified. The MSC voted 3-0 to recommend approval as presented.



# ZONING APPLICATION

**CITY OF DARIEN**  
1702 Plainfield Road, Darien, IL 60561  
[www.darienil.us](http://www.darienil.us) 630-852-5000

### CONTACT INFORMATION

CHRIS GEORGE / JOHN MANOS  
Applicant's Name  
124 HILL ST MOUNT PROSPECT, IL  
Address, City, State, Zip Code 60056-2732  
(847)-699-8150 (847)-530-0560  
Telephone  
chrisgeorge\_ARCH@YAHOO.COM  
Email

BROOK HAVEN PLAZA, LLC  
Owner's Name (JOHN MANOS)  
242 BUNTING LANE  
BLOOMING DALE, IL 60108-1420  
Address, City, State, Zip Code  
630-212-1644  
Telephone  
JMANOS@BANKFINANCIAL.COM  
Email

### PROPERTY INFORMATION

7532 CASS AVENUE  
Property address  
PIN Number(s)  
Zoning District  
Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

### REQUEST

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

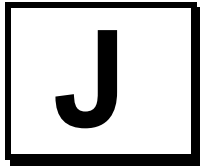
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that JOHN G. MANOS is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.  
Given under my hand and seal, this 2<sup>ND</sup> day of December 2019.

For office use only	
Date Received:	
Case Number:	
Fee Paid:	
Hearing Date:	

→ Marilyn Manney  
Notary Public





**Jemco & Associates, LTD.**  
**242 Bunting Lane**  
**Bloomington, IL 60108**  
**630-686-0600 Fax 630-307-0185**  
**e-mail: jmanos@att.net**

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November 22, 2019

Mayor Joe Marchese  
City of Darien  
1702 Plainfield Rd.  
Darien, IL 60561

**Re: 7532 S. Cass Ave., Darien Illinois**

Dear Honorable Mayor Marchese,

I hope you are well. This letter is meant to describe the small development of the corner lot located at 7532 S. Cass Avenue.

Our intent is to develop this corner building as close to, and as aesthetically pleasing, as the corner that the City developed across the street on Cass Avenue. We believe that it has made an impact to this busy intersection and compliments not only this intersection, but also the community as a whole.

At this point we have signed a lease agreement with Dunkin Donuts where they will relocate from the inline space to this corner lot location. We have also signed a lease agreement with an Italian restaurateur where they will prepare Italian calzones, pizza and sandwiches.

We believe that this is the best opportunity we have had in the past several years to develop this vacant lot. We foresee this to be a destination oriented facility that will be resident friendly and appealing for this intersection. A place where people can congregate and treat it more as a center of the town.

The building is approximately 3,508 square feet, where the Dunkin space is 2,184 square feet and the Italian space is 1,324 square feet. We have some limited outside seating and a drive through. The existing lot area is 24,974 square feet and is a B-2 Zoning.

We are doing our best to develop the lot due to its size constraints and setbacks. We are therefore respectfully asking for a few variances; such as the lot is not the required 2 acres in order to develop. A variance is requested to the front yard setbacks are shown on the architects plan and letter. Parking and stacking are per code and we have a cross easement agreement with Brookhaven Plaza, next door, which we have provided to staff.

We believe this to be a good opportunity to develop this site and to create another gateway sign, comparable to the clock tower built at the center to the east of us. Creating a sort of a portal, to the City of Darien.

While we are eager to develop this site, we have been advised by our Lender and Realtors that it is very risky to develop a center this small and with only two tenants, especially where there is no franchisor guarantee. We have given considerable amount of money to both tenants in order to entice them to take this space. Lender is concerned that the property will not appraise to that value, if you add another \$850,000. This is the initial estimate to construct the building in reference.

We are asking for \$150,000 in support to build this building from the City of Darien. This would make the site as aesthetically pleasing as the property that you constructed across the street. The amount would help fund the gateway sign, additional ornate building facade, landscaping and parking lot area.

Please review and forward this request to the City Council and let us know if there is any additional information that you may need from us at this time.

We appreciate your time and efforts on this and look forward to working with you to develop this very important corner for our community.

Sincerely,

John G. Manos  
President

/jsa

MEMO



**Jemco & Associates, LTD.**  
**242 Bunting Lane**  
**Bloomington, IL 60108**  
**630-686-0600 Fax 630-307-0185**  
**e-mail: jmanos@att.net**

December 2, 2019

Mayor Joe Marchese  
 Dan Gombac  
 Joe Hennerfeind  
 City of Darien  
 1702 Plainfield Rd.  
 Darien, IL 60561

**Re: 7532 S. Cass Ave., Darien Illinois**

Dear Honorable Mayor Marchese,

I hope you are well. This letter is meant to address the zoning variations and special use explanations for the small development of the corner lot located at 7532 S. Cass Avenue.

**CITY OF DARIEN**  
**ZONING VARIATIONS**  
JUSTIFICATION NARRATIVE

**Purpose**

To be consistent and fair, the City is obligated to make decisions on zoning variation requests based on findings-of-fact. The Applicant should write a justification narrative that contains evidence (facts) that support a conclusion (finding) that the variation is necessary and would not cause problems. It should include a) explanation of why the variation is being requested, b) describe the 'hardship condition' of the property that makes it difficult to conform, c) estimate the impact on neighbors, and d) respond to each of the decision criteria below.

**Decision Criteria** (See City Code Section 5A-2-2-3)

- 2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.
- This is a small site and is difficult to allow tenants to go in with their minimum square foot requirements and still allow for parking and drive thru for this location.
- 2b. The plight of the owner is due to unique circumstances.
- This is a unique circumstance as it is a small site however there is a cross easement agreement with the neighboring property that allows for solutions to parking and access.
- 2c. The variation if granted will not alter the essential character of the locality.

- It will still be a separate parcel and should allow for patrons to easily access and use the facility.
- 3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.
- We have had several tenants look at this site and they could not meet the price point to make this site development break even and/or we could not meet their square foot requirements.
- 3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.
- The site is very small and it is awkward to meet all of the setbacks. We adjusted as much as we could to conform to most of them.
- 3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.
- We adjusted and cut back building size and adjusted to conform to setbacks as much as possible.
- 3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.
- Being a corner lot and the only adjacent property having a Cross Easement Agreement we have done all we can to not create a problem with neighbors.
- 3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.
- We hope to be able to create an atmosphere that will be inviting and suitable for the residents and the business users.
- 3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.
- The positive impacts to the community will outweigh the small setback variance that is being requested.
- 3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.
- We have addressed with staff and with our engineers special attention to landscaping, lighting, and assurance to not create any nuisance.

**SPECIAL USE STANDARDS**  
Zoning Code Section 5A-2-2-6(G)

No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. That the special use is deemed necessary for the public convenience at the location specified.  
-This special use is being requested to allow the restaurants and for the drive thru. The restaurants will be a draw for the community. The Dunkin Donuts is already a gathering place for not only coffee but for the residents to congregate and socialize. The Italian restaurant will be a draw with their specialty items.
2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.  
-Our architects and engineers have taken all precautions to make sure that the drive-thru has the stacking, and then the restaurants have all of the safety design features that are needed.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.  
-There is an agreed upon Cross Easement Agreement with the surrounding property and both look to work together with the resident traffic flow.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.  
-The uses will be a welcomed business to the community as the property owners have been asked by several residents and business owners to bring in and to further develop the vacant with restaurants.
5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.  
-Landlord is planning for the architectural design, landscaping and functional plan to be above average of the neighborhood.
6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.  
-Due to the site being smaller than normal the landlord has reviewed several designs so as to assure that all access and facilities are designed to the best possible solution.
7. That adequate measures have been or will be taken to provide ingress and egress so designed to minimize traffic congestion in the public streets.  
-This small site currently has four driveways. Our plan and traffic pattern was studied by our architect and engineers so as to insure smooth ingress, egress and no congestions.



8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and the Planning and Development Committee.

-We have done the best we can with staffs reconditions to adjust as best as possible to fit this site.

We appreciate your time and efforts on this and look forward to working with you to develop this very important corner for our community.

Sincerely,

John G. Manos  
President

/jso

REVISED PLANS  
DATE 12/12/19

## CROSS ACCESS EASEMENT AND MAINTENANCE AGREEMENT

THIS CROSS ACCESS EASEMENT AND MAINTENANCE AGREEMENT (the "Agreement") is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ (the "Effective Date), by and between grantor 7532 Cass Avenue, an Illinois limited liability company with a mailing address of \_\_\_\_\_ (hereinafter "CASS AVENUE") and grantee Brookhaven Plaza, LLC, with a mailing address of 242 Bunting Lane, Bloomingdale, IL 60108 (hereinafter "BROOKHAVEN PLAZA"). Both at times may herein be referred to as a "Party" or "the Parties."

### WITNESSETH:

WHEREAS, CASS AVENUE is the owner of that certain parcel of land more commonly known and numbered 7532 Cass Ave. Darien, IL 60561 Pin # 09-28-402-025 and as further set forth on Exhibit "A", attached herein and made a part hereof (the "CASS AVENUE Parcel"); and

WHEREAS, BROOKHAVEN PLAZA is the owner of that certain parcel more commonly known and numbered as 7516 Cass Ave. Darien IL 60561 Pin # 09-28-402-021, 09-28-402-024, 09-28-402-026 and as further set forth on Exhibit "B" attached herein and made a part hereof (the "BROOKHAVEN PLAZA Parcel"); and

WHEREAS, the parties intend to grant to a mutual cross-access easement across their respective parcels, subject to the terms and conditions set forth herein below,

NOW, THEREFORE, for and in consideration of the easement herein granted, the receipt and adequacy of which is hereby acknowledged, it is hereby agreed as follows:

1. INGRESS AND EGRESS EASEMENT. CASS AVENUE hereby grants to BROOKHAVEN PLAZA, and its respective successors and assigns, a nonexclusive easement of vehicular and pedestrian ingress and egress over, upon, through and across the CASS AVENUE Parcel as more particularly described and shown on Exhibit "C-1" and "C-2", attached herein and made a part hereof (the "Brookhaven Easement").

Reciprocally, BROOKHAVEN PLAZA hereby grants to CASS AVENUE, and its respective successors and assigns, a nonexclusive easement of vehicular and pedestrian ingress and egress over, upon, through and across the BROOKHAVEN PLAZA Parcel as more particularly described and shown on Exhibit "D-1" and "D-2", attached herein and made a part hereof (the "CASS AVENUE Easement").

2. LIMITED PARKING EASEMENT. BROOKHAVEN PLAZA hereby grants to CASS AVENUE, and its respective successors and assigns, a non-exclusive limited easement appurtenant only for the parking of passenger vehicles for employees and over-flow business invitees of CASS AVENUE upon the BROOKHAVEN PLAZA Parcel as depicted by the cross-hatched area in the Site Plan shown on Exhibit "E" attached herein and made a part hereof (Limited Parking Easement) subject to the following:

(a) Parking for commercial trucks or vehicles are prohibited;

(b) No vehicles shall be stored, abandoned, or otherwise allowed to remain overnight or during non-business periods within the boundaries of the Limited Parking Easement;

(c) BROOKHAVEN PLAZA reserves the right to establish reasonable rules and regulations with respect to the Limited Parking Easement and reserves the right to eject or cause to be ejected from the Limited Parking Easement area and its common area any persons or vehicles not authorized, empowered, or privileged to use same;

(d) BROOKHAVEN PLAZA reserves the right to close off the Limited Parking Easement area for such reasonable periods of time as may be reasonably necessary for legal, construction, or commercial purposes;

(e) Public sewer lines, water lines, electric, gas, or other public or private utilities may be constructed on the Limited Parking Easement, and the construction of the aforementioned items by BROOKHAVEN PLAZA shall not be precluded by the grant of this easement; and

(f) The grant of the Limited Parking Easement by BROOKHAVEN PLAZA shall not be deemed to constitute a dedication of any portion of its parcel or be construed to create any right in or for the benefit of any occupant of any part of the parcel, it being understood that this Limited Parking Easement shall be strictly limited to and for the purposes herein expressed and shall not limit BROOKHAVEN PLAZA from extending the benefit of the use of the Limited Parking Easement to its tenants, invitees, permittees, or agents.

3. MAINTENANCE. The parties agree to maintain each respective Easement Area in good order and repair including, but not limited to, surface quality, striping and timely removal of snow and ice. Such maintenance obligation shall be subject to the following:

(a) Performance. Each party shall be responsible for the actual performance of the maintenance and repair of the Easement Area located on their respective parcel, and that they will at all times maintain said Easement Areas in a good and useable condition.

(b) Cost. Each party shall be responsible for One Hundred Percent (100%) of the maintenance costs associated with the Easement Area located on their respective parcel.

4. RESERVATION OF RIGHTS. The Parties expressly reserve the right to use the Easement Areas over their respective Parcels for all purposes which are not inconsistent with this Agreement.

5. RESTRICTIONS ON USE. The rights granted herein shall be subject to the following:

(a) The Easements shall be used only for vehicular and pedestrian traffic for the purpose of ingress and egress.

(b) No vehicles shall be parked, stored, abandoned or otherwise allowed to remain within the boundaries of the Easement Areas.

(c) All parties shall use the rights granted by this Agreement with due regard to the rights of others and their use of the Easement Areas, and no person shall use the Easement Areas in any way that will impair the rights of others to use the Easement Areas or to obstruct passage thereon.

6. RELOCATION. CASS AVENUE reserves the right, at its sole expense, to relocate the BROOKHAVEN PLAZA Easement provided the relocated BROOKHAVEN PLAZA Easement Area can reasonably be used for its intended purpose by BROOKHAVEN PLAZA. CASS AVENUE may exercise this right by giving BROOKHAVEN PLAZA no less than sixty (60) days prior written notice of the same. Reciprocally, BROOKHAVEN PLAZA reserves the right, at its sole expense, to relocate the CASS AVENUE Easement Area provided the relocated CASS AVENUE Easement Area can reasonably be used for its intended purpose by CASS AVENUE. BROOKHAVEN PLAZA may exercise this right by giving CASS AVENUE no less than sixty (60) days prior written notice of the same. **COSTS???**

7. CONDITIONS PRECEDENT. The Easements herein granted are subject to all easements, covenants, conditions, encumbrances and restrictions of record applicable to the respective Easement Areas.

8. INDEMNITY. BROOKHAVEN PLAZA, for itself and its successors and assigns, covenants with CASS AVENUE, its successors and assigns, that it will defend, assume all liability for, and pay and indemnify and save harmless CASS AVENUE, its successors and assigns from and against any and all damages, injuries, losses, claims, demands, suits and liabilities of every nature which CASS AVENUE, its successors and assigns, may sustain by reason of the use of the CASS AVENUE Easement by BROOKHAVEN PLAZA, its tenants, successors, assigns, licensees, guests, invitees, customers, suppliers, agents or employees; and CASS AVENUE, for itself and its successors and assigns, covenants with BROOKHAVEN PLAZA, its successors and assigns, that it will defend, assume all liability for, and pay and indemnify and save harmless BROOKHAVEN PLAZA, its successors and assigns from and against any and all damages, injuries, losses, claims, demands, suits and liabilities of every nature which BROOKHAVEN PLAZA, its successors and assigns, may sustain by reason of the use of the BROOKHAVEN PLAZA Easement by CASS AVENUE, its tenants, successors, assigns, licensees, guests, invitees, customers, suppliers, agents or employees

9. **WARRANTY OF TITLE.** Each Party warrants that it has the full right and power to grant the Easement referred to in this Agreement and that it has the fee simple title to the respective Easement Area.

10. **EASEMENT APPURTENANT.** Subject to the provisions of paragraph 6 herein above, the Easements hereby granted shall run with the land, and enjoyment thereof shall continue in perpetuity. The obligations hereby imposed and all other terms of this Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective successors and assigns.

11. **GOVERNING LAW.** This Agreement shall be construed and interpreted in accordance with the laws of the State of Illinois.

12. **ENFORCEMENT.** This Agreement may be enforced by the Parties and their respective successors and assigns against any person or entity having obligations hereunder by injunction and/or all such other legal and equitable remedies for the consequences of such breach. If any Party, or person benefited hereby, institutes any litigation to enforce any of the terms, covenants, conditions, easements and restrictions set out in the Agreement, the prevailing Party in such litigation shall be entitled to collect court costs and reasonable attorneys' fees from the non-prevailing Party. Any monetary judgment, which shall include reasonable attorney's fees, shall constitute a lien against the respective real property of the defaulting Party. Upon proper recordation in the Clerk's Office, unpaid assessments, including special assessments, shall constitute a lien and charge against a parcel until paid in full or otherwise discharged and released, and in addition to any other right or remedy, at law or in equity, and shall be collectable and enforceable against said real property.

13. **SEVERABILITY.** If any term or provision of this Agreement or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Agreement shall not be affected thereby, and each term and provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

14. **COUNTERPARTS.** This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, and all of which shall together constitute one and the same instrument.

**IN WITNESS WHEREOF,** the parties have executed this Agreement as of the year and date last set forth below, to be inserted as the Effective Date herein above.

7532 CASS AVENUE, LLC,  
an Illinois limited liability company

BROOKHAVEN PLAZA, LLC  
an Illinois limited liability company

By: \_\_\_\_\_  
Its Authorized Manager

By: \_\_\_\_\_  
Its Authorized Manager

Date: \_\_\_\_\_

Date: \_\_\_\_\_





ATTACHED EXHIBITS –

- Exhibit A - CASS AVENUE Parcel (legal description)
- Exhibit B - BROOKHAVEN PLAZA Parcel (legal description or address)
- Exhibit C-1 - Legal description of CASS AVENUE Easement Area
- Exhibit C-2 - Drawing depicting CASS AVENUE Easement Area
- Exhibit D-1 - Legal description of BROOKHAVEN PLAZA Easement Area
- Exhibit D-2 - Drawing depicting BROOKHAVEN PLAZA Easement Area
- Exhibit E - Limited Parking Easement



Exhibit A - CASS AVENUE Parcel (legal description)

THAT PART OF LOT 302 DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF PLAINFIELD ROAD, AND THE WESTERLY LINE OF CASS AVENUE; THENCE WESTERLY ALONG THE NORTHERLY LINE OF PLAINFIELD ROAD, 155 FEET; THENCE NORTHERLY AND PARALLEL WITH CASS AVENUE, 210 FEET; THENCE EASTERLY ON A LINE PERPENDICULAR TO CASS AVENUE, 145 FEET TO A POINT ON THE WESTERLY LINE OF CASS AVENUE; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF CASS AVENUE, 145 FEET TO THE PLACE OF BEGINNING, IN BROOKHAVEN MANOR, A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS.

PIN #09-28-402-025

Common Address: 7532 Cass Avenue, Darien, Illinois 60561

Exhibit B - BROOKHAVEN PLAZA Parcel (legal description or address)

PARCEL 1: THAT PART OF LOT 302 (EXCEPT THE NORTH 200.0 FEET OF THE EAST 200.0 FEET THEREOF AND EXCEPT THE NORTH 164.5 FEET OF THE BALANCE OF LOT 302 AND EXCEPT THE WEST 20 FEET OF THE SOUTH 13.5 FEET OF THE NORTH 213.5 FEET OF THE EAST 206 FEET OF LOT 302) LYING NORTH OF A LINE DESCRIBED BY BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 302, 382.48 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT AND RUNNING THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE 150.0 FEET; THENCE SOUTHWESTERLY TO A POINT 386.16 FEET NORTHWESTERLY FROM, AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID LOT 302, FROM A POINT ON THE SOUTH LINE OF SAID LOT 100.0 FEET NORTHEASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT 302; THENCE NORTHWESTERLY 66.46 FEET TO A POINT ON THE WEST LINE OF LOT 302, 511.92 FEET SOUTH OF THE NORTHWEST CORNER OF LOT 302 IN BROOKHAVEN MANOR, BEING A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 19, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF LOT 302 IN BROOKHAVEN MANOR, BEING A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS, DESCRIBED BY COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 302 AND RUNNING THENCE SOUTHWESTERLY ALONG THE SOUTH LINE OF SAID LOT 155.0 FEET FOR A POINT OF BEGINNING; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 210.0 FEET; THENCE EASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 145 FEET, MORE OR LESS, TO THE EAST LINE OF SAID LOT; THENCE NORTH ON THE EAST LINE OF SAID LOT 182.48 FEET, MORE OR LESS, TO A POINT 382.48 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT; THENCE WEST AT RIGHT ANGLES TO SAID EAST LINE 150.0 FEET; THENCE SOUTHWESTERLY TO A POINT 366.16 FEET NORTHWESTERLY FROM (AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF SAID LOT) A POINT IN THE SOUTH LINE OF SAID LOT, SAID SECOND POINT BEING 100.0 FEET NORTHEASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT; THENCE SOUTHEASTERLY ON SAID RIGHT ANGLES LINE 366.16 FEET TO SAID POINT IN THE SOUTH LINE 100.0 FEET NORTHEASTERLY FROM THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTHEASTERLY ON SAID SOUTH LINE 315.0 FEET TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 3: THE NORTH 164.5 FEET (EXCEPT THE EAST 200 FEET THEREOF) OF LOT 302 IN BROOKHAVEN MANOR, BEING A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DU PAGE COUNTY, ILLINOIS.

PIN #09-28-402-021, 09-28-402-024, 09-28-402-026

Address of Property: 7516 Cass Avenue, Darien, Illinois 60561

Exhibit C-1

Legal description of CASS AVENUE Easement Area

Exhibit C-2

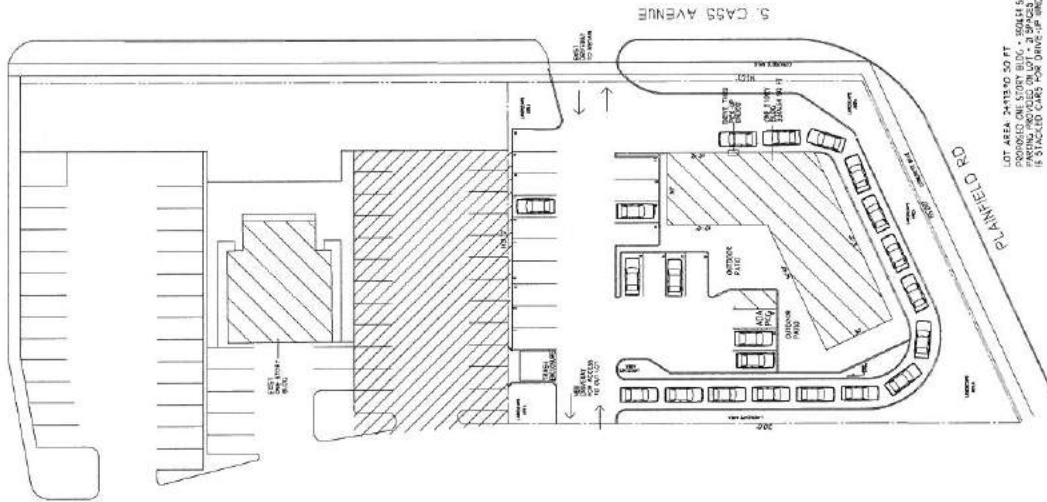
Drawing depicting CASS AVENUE Easement Area

Exhibit D-1

Legal description of BROOKHAVEN PLAZA Easement Area

Exhibit D-2

Drawing depicting BROOKHAVEN PLAZA Easement Area



LOT AREA: 14,450 SQ. FT.  
 PROVIDED: 10,000 SQ. FT. - 70%  
 PARKING: 10,000 SQ. FT. - 70%  
 IS STALLED CAR PARKING: 10,000 SQ. FT.

**SITE PLAN**  
 SCALE: 1" = 20'-0"  
 DATE: 11/11/10

MEMO

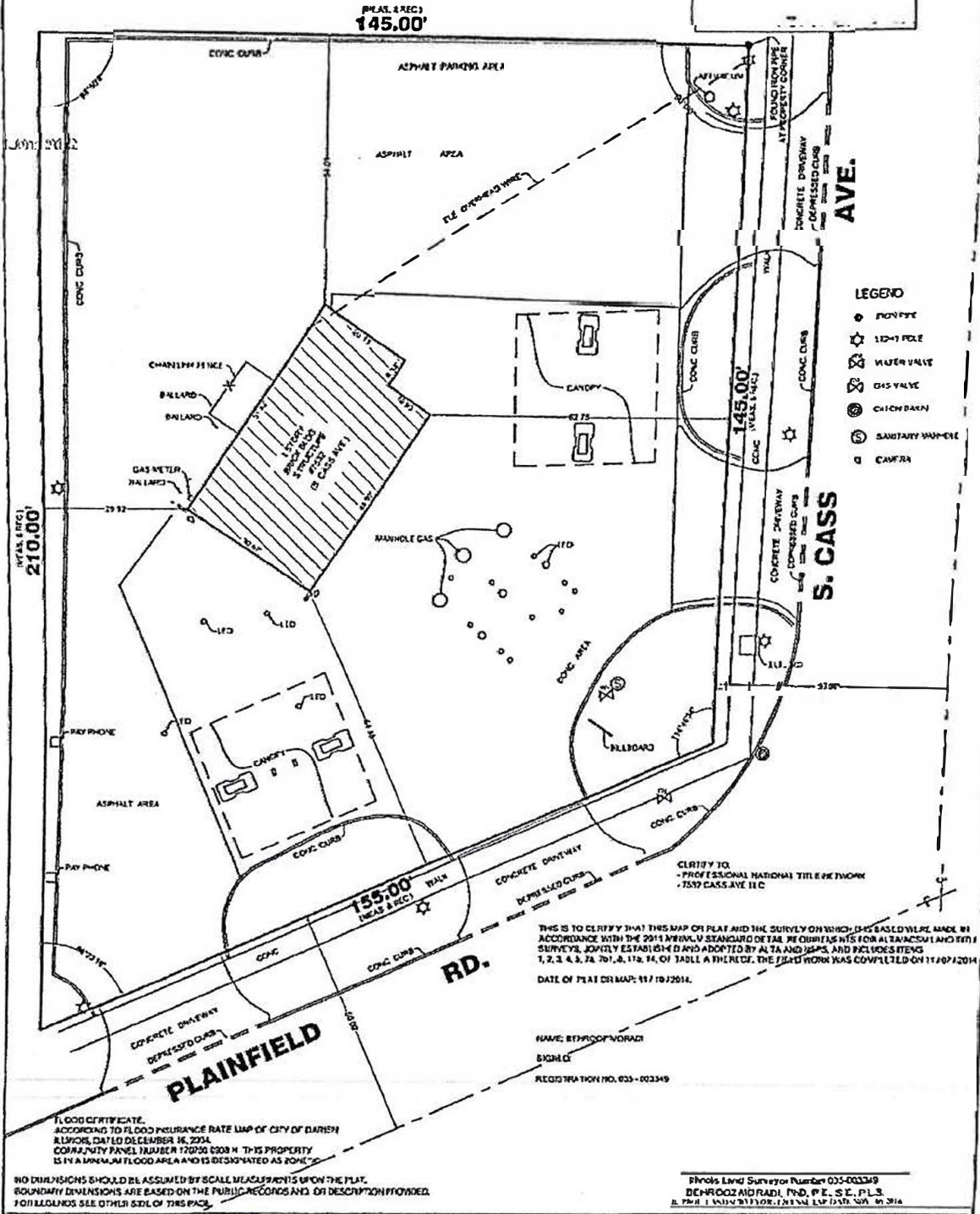
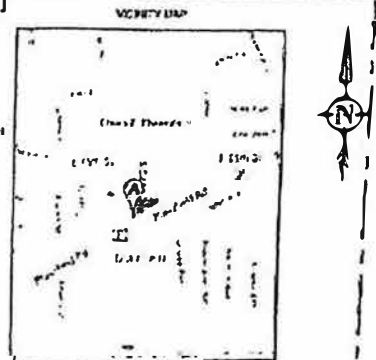
PROFESSIONAL DESIGN FIRM I.S./P.E. REGISTRATION NO. 184-002111

# ALTA/ACSM Land Title Survey

THAT PART OF LOT 303 DESCRIBED AS FOLLOWS, BEGINNING AT THE INTERSECTION OF THE NORTH-SOUTH LINE OF PLAINFIELD ROAD, AND THE WESTERLY LINE OF CASS AVENUE, THENCE WESTERLY ALONG THE NORTH-SOUTH LINE OF PLAINFIELD ROAD, 155.00 FEET TO THE NORTHERLY CORNER AND PARALLEL TO CASS AVENUE, 210.00 FEET, THENCE EASTERLY ON A LINE PERPENDICULAR TO CASS AVENUE, 145.00 FEET TO A POINT ON THE WESTERLY LINE OF CASS AVENUE, THENCE SOUTHERLY ALONG THE WESTERLY LINE OF CASS AVENUE, 145.00 FEET TO THE PLACE OF BEGINNING, IN PROOF OF AN EASEMENT, A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAN AS THE RECORD OF CONVEYANCE NO. 1936 AS DOCUMENT 117767, DECATUR COUNTY, GEORGIA.

LAND TOTAL AREA: 15423.80 FT.  
 (APPROXIMATE) TOTAL AREA OF LOT 303: 1574.80 FT.  
 COMMONLY KNOWN AS: 7537 SOUTH CASS AVENUE, DARIEN, GEORGIA  
 1/21/07/184-002111

0 10 20 30  
 SCALE: 1 INCH = 20 FEET



- LEGEND**
- IRON PIPE
  - ☆ 12" PIPE
  - ⊗ WATER VALVE
  - ⊗ GAS VALVE
  - ⊗ CATCH BASIN
  - ⊗ SANITARY MANHOLE
  - ⊗ CAMERA

THIS IS TO CERTIFY THAT THIS MAP OF PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 NATIONAL STANDARD OF CARE. THE CURB LINES FOR ALTA AND ACSM SURVEYS, EXCEPT WHERE SHOWN OTHERWISE, ARE ESTABLISHED AND ADOPTED BY ALTA AND ACSM, AND INCLUDES STEPS 1, 2, 3, 4, 5, 7A, 7B, 8, 11A, 14, OF TABLE THREE. THE FIELD WORK WAS COMPLETED ON 11/10/2014. DATE OF PLAT OR MAP: 11/10/2014.

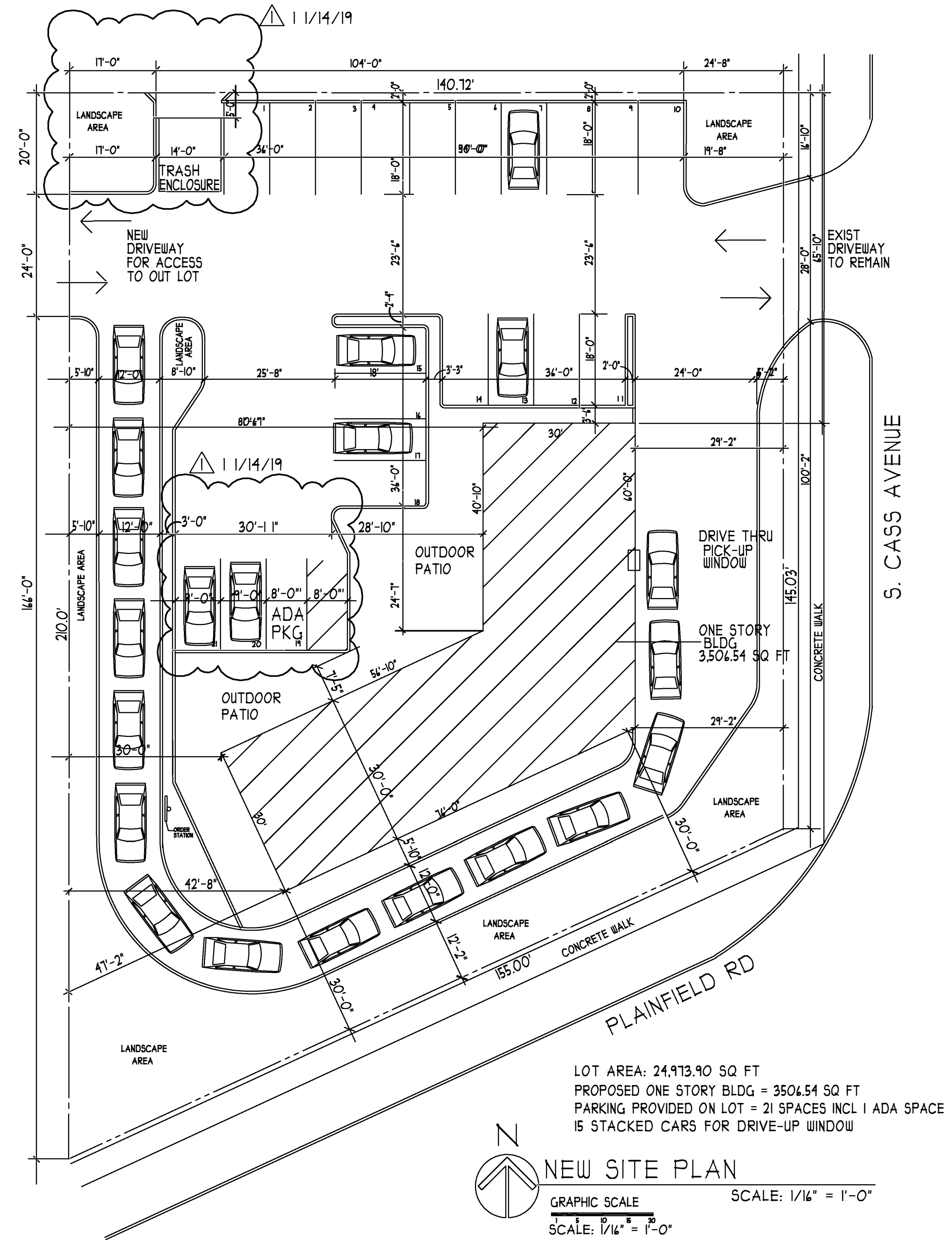
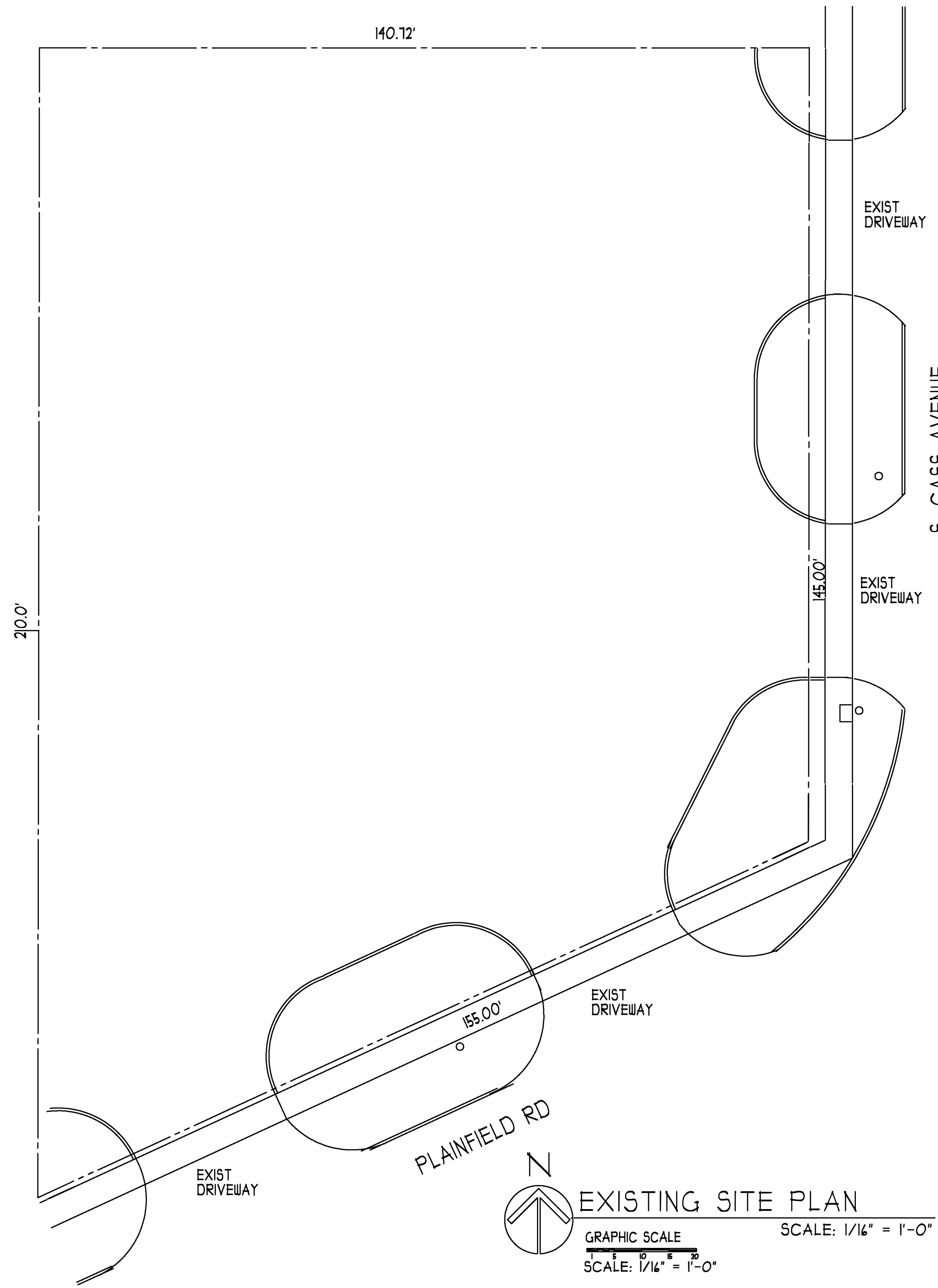
NAME: STEPHEN MORADI  
 SIGNATURE: [Signature]  
 REGISTRATION NO. 035-003349

FLOOD CERTIFICATE:  
 ACCORDING TO FLOOD INSURANCE RATE MAP OF CITY OF DARIEN, ILLINOIS, DATED DECEMBER 16, 2004, COMMUNITY PANEL NUMBER 170230 0308 N THIS PROPERTY IS IN A MINOR FLOOD AREA AND IS DESIGNATED AS ZONE "X".  
 NO DIMENSIONS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THIS PLAT. ROUNDNESS DIMENSIONS ARE BASED ON THE PUBLIC RECORDS AND OR DESCRIPTION PROVIDED. FOR DETAILS SEE OTHER SIDE OF THIS PAGE.

Illinois Land Surveyor Number 035-003349  
 DENROOZ AND MORADI, PND, P.E., S.C., P.L.S.  
 615 WEST WASHINGTON STREET, SUITE 100, CHICAGO, IL 60601

 MORADI MULTI DIMENSIONS CONSULTING ENGINEERS 2343 W. IRVING PARK RD. CHICAGO, IL 60618 TEL: (773) 410-1661 FAX: (773) 410-1667	JOB NO: 383-11 DRAWN BY: [Name] DATE: 11/02/14	CHECKED BY: [Name] DATE OF FIELD WORK: 11/07/14	THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPAILED WITH CLEAD AND OR THE POLICY, BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OR OTHERWISE FOR BUILDING RESTRICTIONS AND OR EASEMENTS REFER TO YOUR DEED CONTRACT, TITLE POLICY AND OR ZONING REGULATIONS. THIS PLAT IS VALID ONLY IF IT CONTAINS THE DESIGN SIGNATURE AND SEAL OF THE SURVEYOR. IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE SURVEYOR'S OFFICE.
	SHEET: 1 SCALE: 1"=20'	SURVEYOR: GREGORY G. CASTALDI LICENSE NO. 117767	DATE OF FIELD WORK: 11/07/14





NO NET SCALE DRAWING USE ONLY DIMENSIONS.  
COPYRIGHT © 2019 CHRIS GEORGE P.C.

**NEW BUILDING ON OUT LOT**  
**BROOKHAVEN SHOPPING CENTER**  
1532 CASS AVENUE  
DARIEN, IL 60561

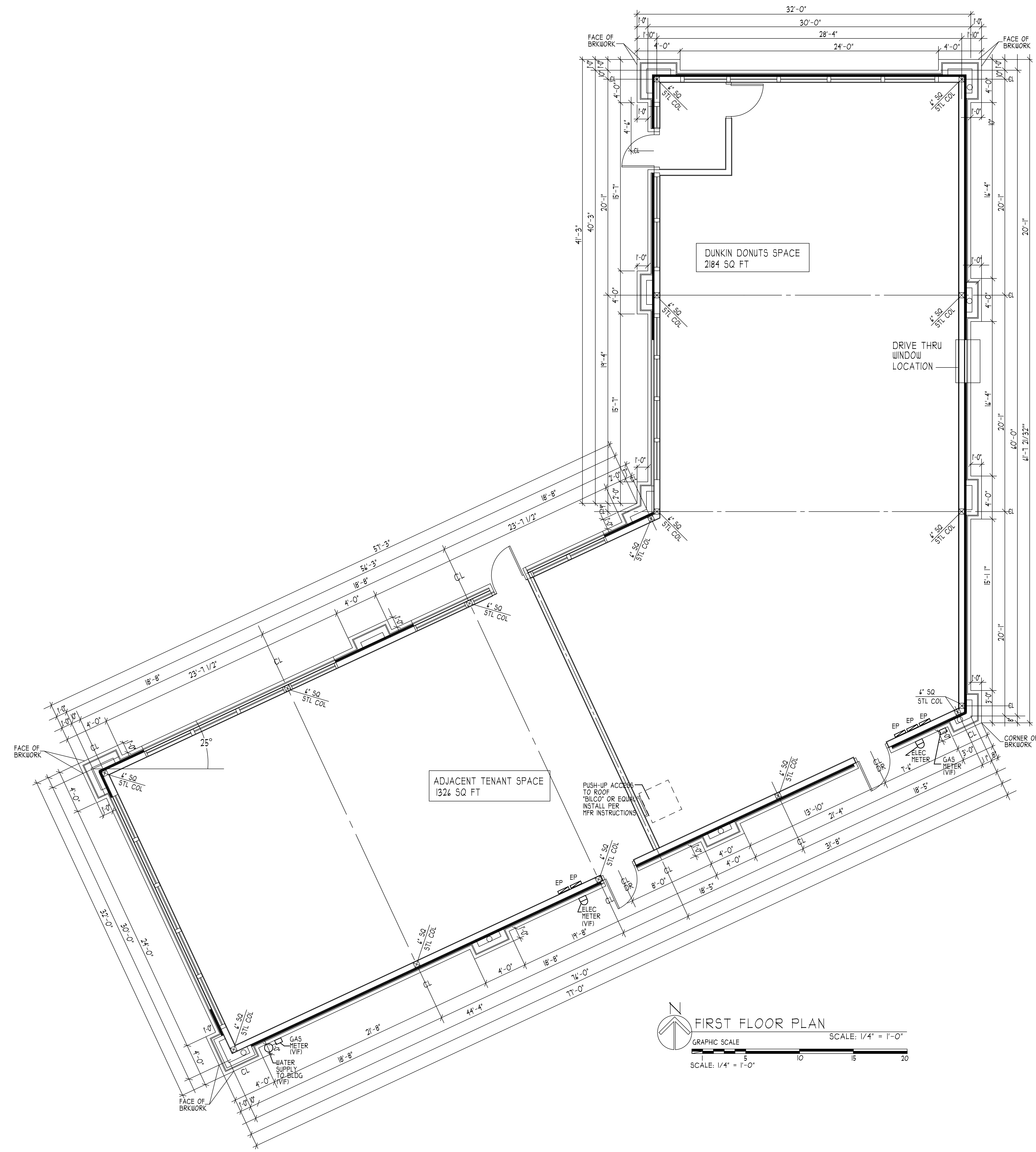
**CHRIS GEORGE, P.C.**  
ARCHITECTS  
104 HILL STREET  
MT. PROSPECT, IL 60056-2732  
email: chris@chrisgeorge.com  
(847) 699-8150 FAX(847) 699-8151

REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
CHECKED :  
DATE : 1/21/19  
SCALE : NOTED  
JOB NO. : T100

SHEET  
A



DO NOT SCALE DRAWING. USE DIMENSIONS.  
COPYRIGHT © 2019 CHRIS H. GEORGE, P.C.

**NEW BUILDING ON OUT LOT**  
**BROOKHAVEN SHOPPING CENTER**  
1522 CASS AVENUE  
DARIEN, IL 60561

CHRIS GEORGE, P.C.  
ARCHITECTS  
104 HILL STREET  
MT. PROSPECT, IL 60056-2732  
email: chrisgeorge\_arch@yahoo.com  
(847) 699-8150 FAX(847) 699-8151

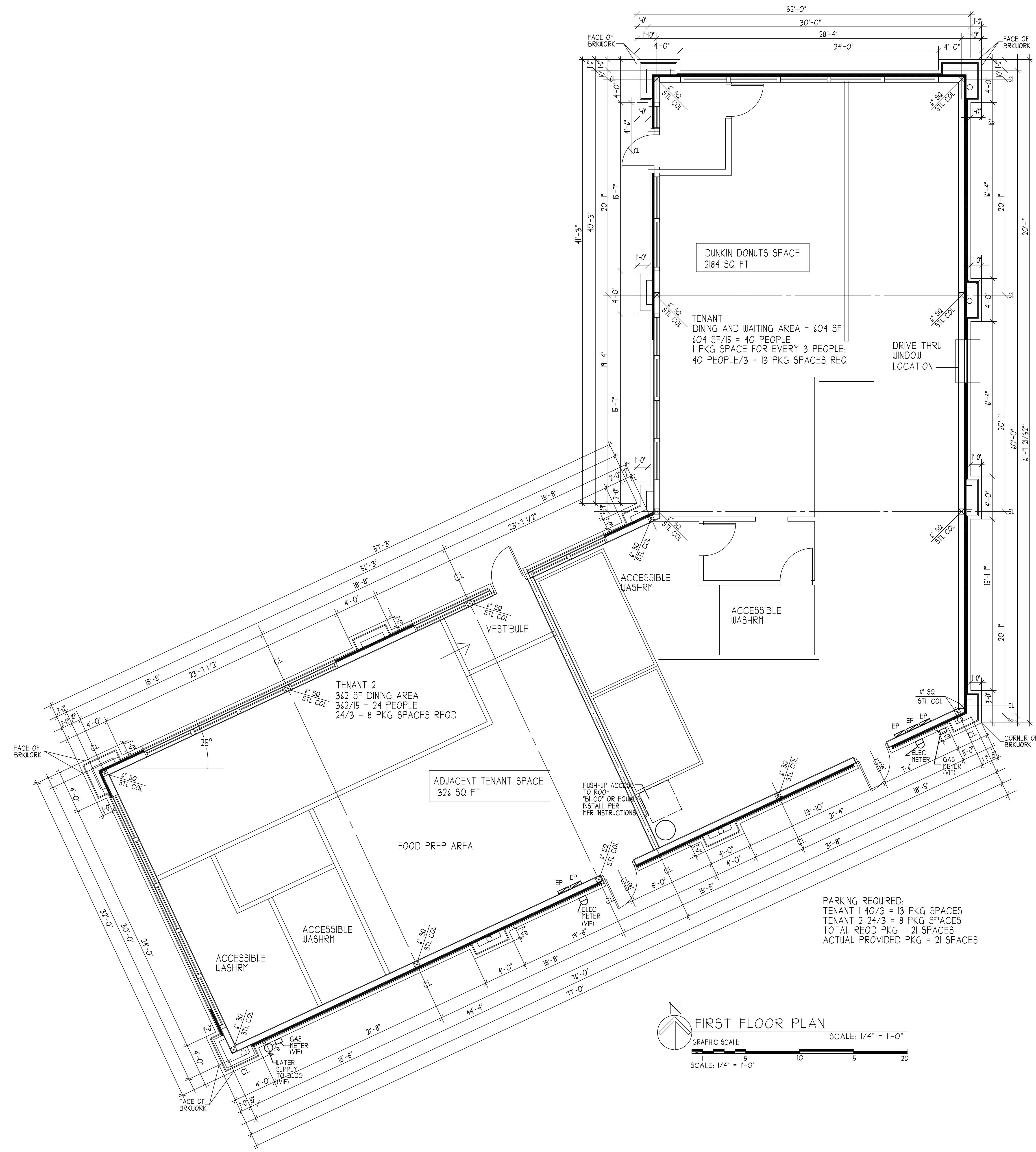
REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
CHECKED :  
DATE : 11/21/19  
SCALE : NOTED  
JOB NO. : T100

SHEET

A



PARKING REQUIRED:  
TENANT 1 40/3 = 13 PKG SPACES  
TENANT 2 24/3 = 8 PKG SPACES  
TOTAL REQD PKG = 21 SPACES  
ACTUAL PROVIDED PKG = 21 SPACES

REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
CHECKED :  
DATE : 11/21/19  
SCALE : NOTED  
JOB NO. : T100

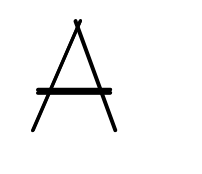
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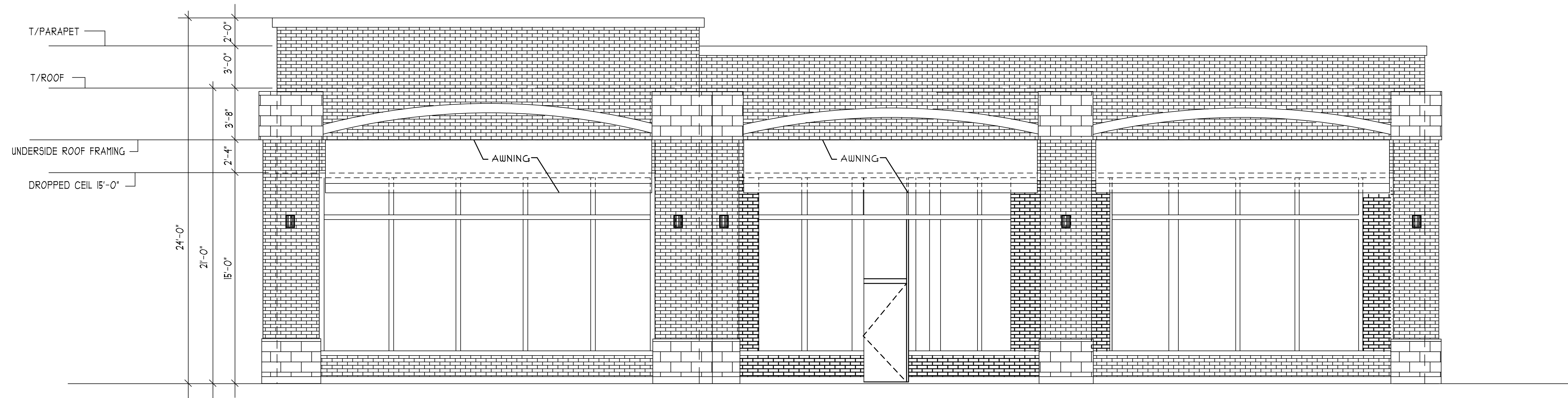


REVISION	DATE

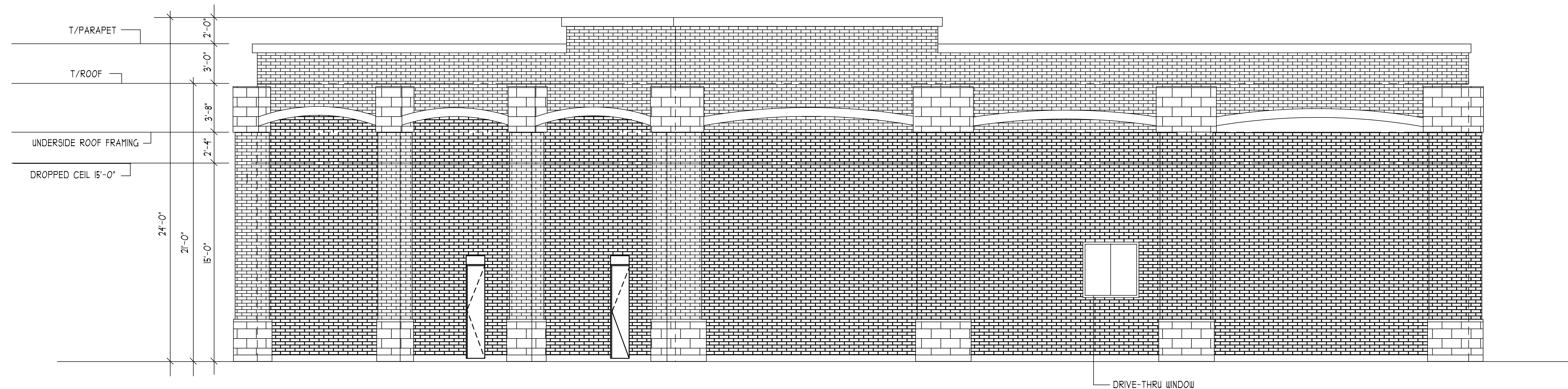
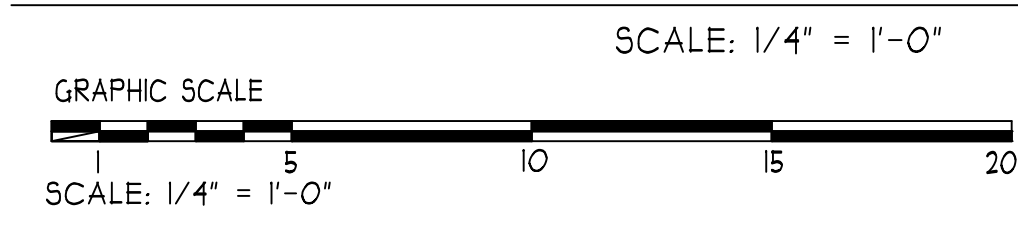
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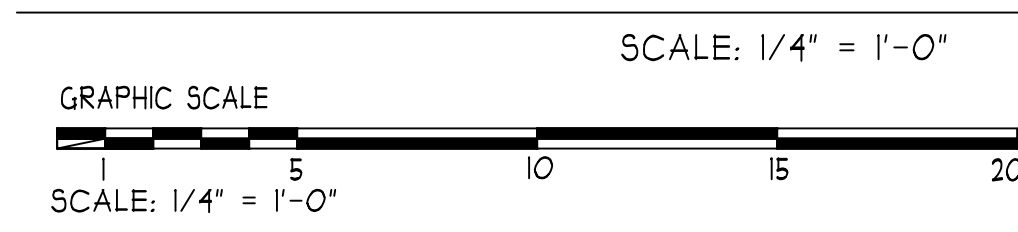
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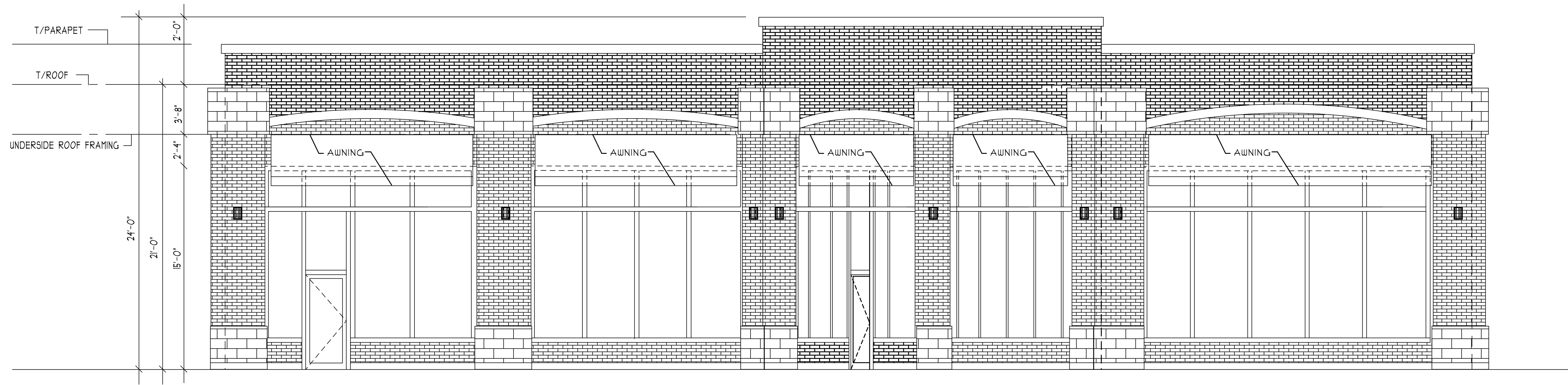


NORTH ELEVATION

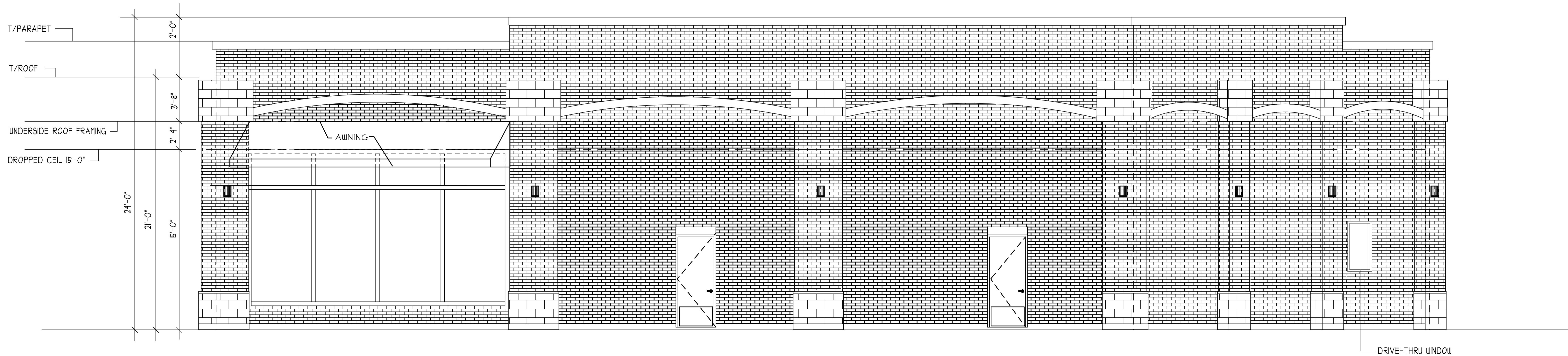
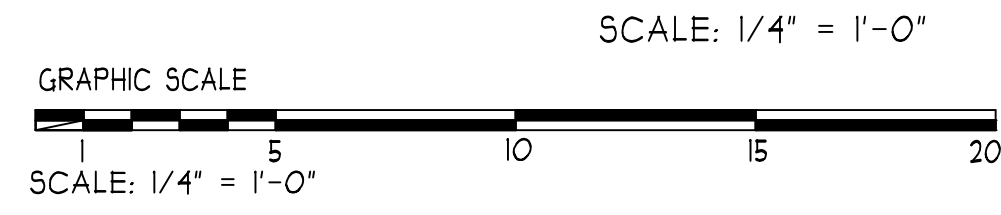


EAST ELEVATION

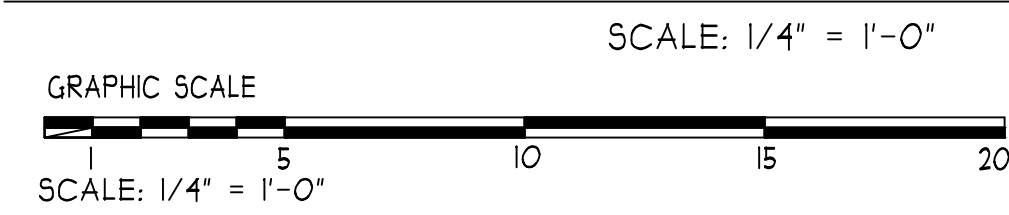




WEST ELEVATION



SOUTH ELEVATION



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NEW BUILDING ON OUT LOT  
BROOKHAVEN SHOPPING CENTER  
1532 CASS AVENUE  
DARIEN, IL 60561

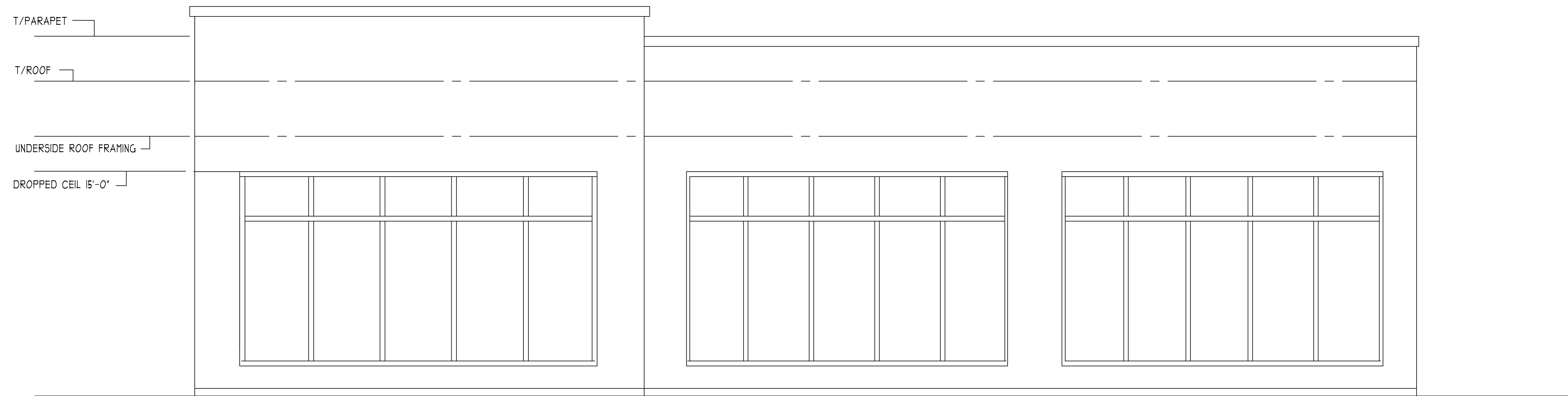
CHRIS GEORGE, P.C.  
ARCHITECTS  
104 HILL STREET  
MT. PROSPECT, IL 60056-2732  
email: chrisgeorge\_arch@yahoo.com  
(847) 699-8150 FAX(847) 699-8151

REVISION	DATE

PROFESSIONAL SEAL

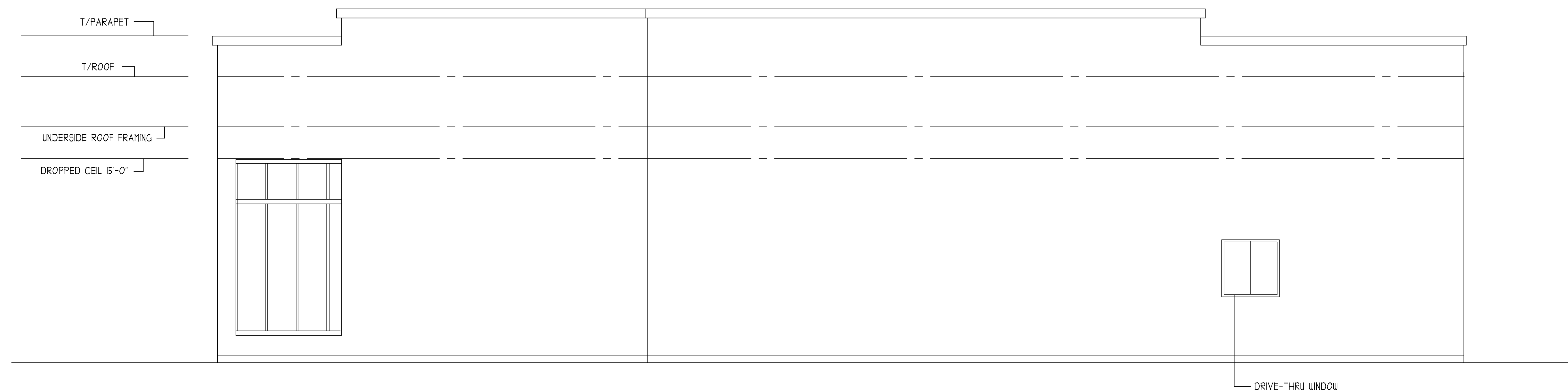
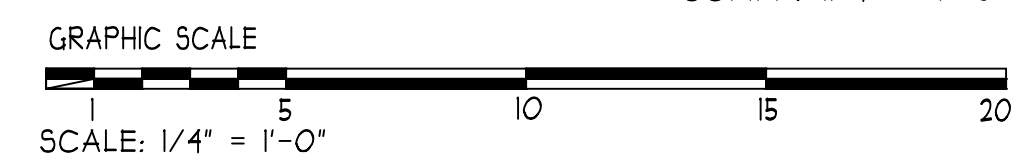
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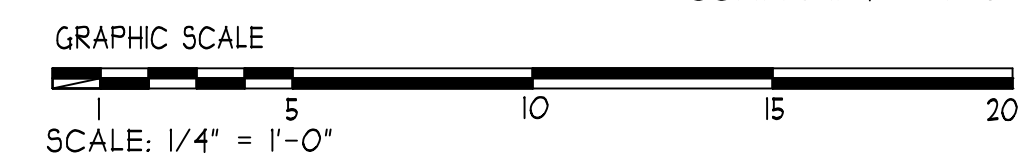
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

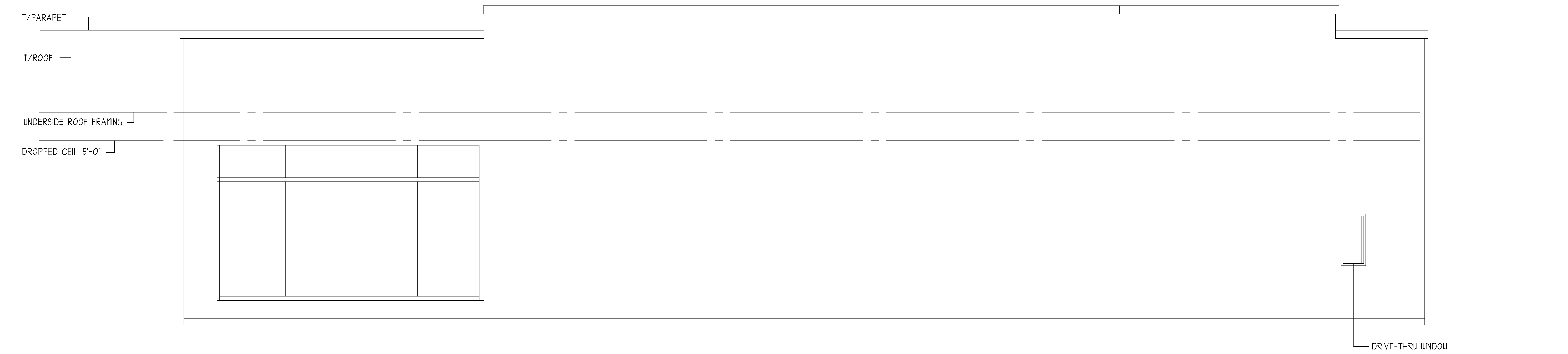


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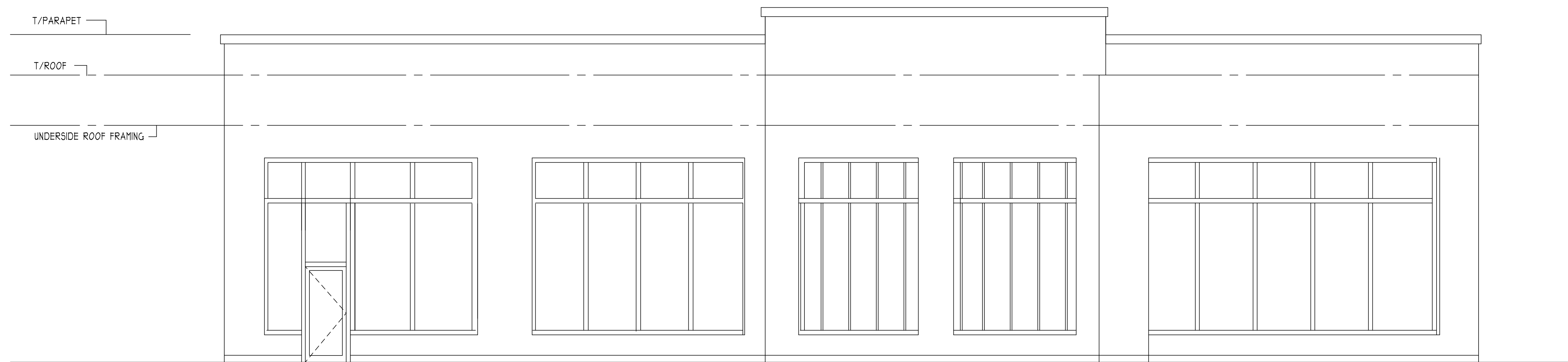
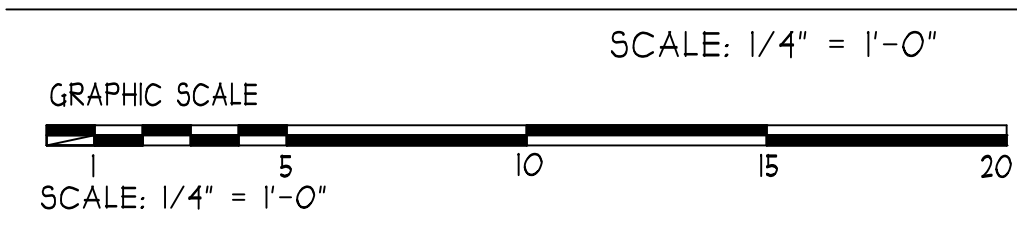
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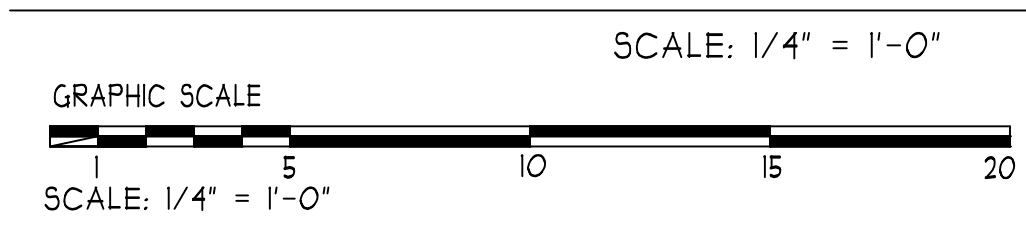
BROOKHAVEN SHOPPING CENTER  
 NEW BUILDING FOR OUT-LOT  
 1532 CASS AVENUE DARIEN, IL 60541  
 ARCHITECT: CHRIS GEORGE, P.C.  
 124 HILL ST. MT. PROSPECT, IL 60056-2132  
 (847) 499-8150 FAX (847) 499-8151  
 JOB #1100 1/8/19 1/11/19 1/31/19 8/14/19 9/26/19  
 10/14/19 10/17/19 11/01/19 11/30/19



SOUTH ELEVATION



WEST ELEVATION



BROOKHAVEN SHOPPING CENTER  
 NEW BUILDING FOR OUT-LOT  
 7532 CASS AVENUE DARIEN, IL 60541  
 ARCHITECT: CHRIS GEORGE, P.C.  
 124 HILL ST. MT. PROSPECT, IL 60056-2132  
 (847) 499-8150 FAX (847) 499-8151  
 JOB #1100 1/8/19 1/11/19 1/31/19 8/14/19 9/26/19  
 10/14/19 10/17/19 11/01/19 11/30/19











DUNKIN'  
DONUTS

PIZZERIA  
& TAP



DUNKIN'  
DONUTS

PIZZARIA  
& TAP



PIZZERIA & TAP

DUNKIN'  
DONUTS



MEMO

GENERAL NOTES FOR UNDERGROUND IMPROVEMENTS

- 1. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND IMPROVEMENTS PER THE STANDARD SPECS. FOR WATER & SEWER MAIN CONSTRUCTION IN ILL.(LATEST ED.), VILLAGE-ENG. DEPT. STANDARDS & SEWER PERMIT ORDINANCE & PRACTICES. THE VILLAGE STANDARDS SHALL TAKE PRECEDENCE IN CASE OF CONFLICT.
2. THE CONTRACTOR SHALL NOTIFY: DuPAGE COUNTY PUBLIC WORKS DEPARTMENT-630/407-6801, PROJECT ARCHITECT, OWNER AND ENGINEER-847/#439-8225 AT LEAST TWO (2) WORKING DAYS BEFORE STARTING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING & LAYOUT.
4. THE CONTRACTOR SHALL USE COMPACTED CRUSHED AGGREGATE (CA-6) FOR TRENCH BACKFILL UNDER OR WITHIN THREE FT. OF ANY EXIST. OR PROP. CURB, WALK, PAVEMENT OR BUILDING.
5. THE ELEVATIONS SHOWN ON THE PLAN ARE BASED ON USGS DATUM.
6. THE FOLLOWING PIPE SPECIFICATION SHALL APPLY:
A. DUCTILE IRON (CL-52/WM) PER ANSI/A21.51-PIPE, A21.11-JOINT & A21.04-CEMENT LINING.
7. THE CONTRACTOR SHALL REQUEST NEW FIRE HYDRANT & MAIN INSPECTIONS FROM VILLAGE. THE MAIN SHALL BE PRESSURE TESTED, CHLORINATED & SAMPLED BEFORE THE HYDRANT IS PLACED IN SERVICE. IT SHALL NOT BE USED UNLESS THEY ARE "APPROVED" BY THE VILLAGE ENGINEER.
8. THE CONTRACTOR SHALL KEEP "AS-BUILT" PLANS THAT SHALL BE GIVEN TO THE ENGINEER FOR HIS PREPARATION OF "RECORD DRAWINGS" (MYLAR) REQ'D. BY THE VILLAGE. CHANGES IN PIPE: LENGTH, MATERIAL, LOCATION, SLOPE OR ALIGNMENT SHALL BE MARKED. THE MANHOLE, WATER-VAULT/BOX LOCATIONS SHALL BE TIED IN & MEASURED FROM THE BUILDING CORNER OR DOWNSTREAM MANHOLE.
9. THE OWNER SHALL OBTAIN A PERMIT FROM THE VILLAGE FOR THE SITE WORK.
10. THE CONTRACTOR SHALL FULL-DEPTH SAWCUT THE REMOVAL LIMITS FOR PAVING & CURB.
11. THE CONTRACTOR SHALL REQUEST UTILITY LOCATES & VERIFY THE LOCATION BEFORE STARTING. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE. (JULIE-800/#892-0123 & PW.-630/#719-4753)
12. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
13. THE CONTRACTOR SHALL INDEMNIFY: OWNER, ARCHITECT, ENGINEER, ARCHITECT AND VILLAGE EMPLOYEES, INCLUDING THEIR AGENTS FROM ALL SITE CONSTRUCTION & TESTING LIABILITY.
14. THE PROPOSED WATER MAINS & SERVICES SHALL BE PRESSURE TESTED, CHLORINATED, FLUSHED, SAMPLED & TESTED PER STATE & VILLAGE STANDARDS BEFORE IT IS "APPROVED" FOR USE.
15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH 4" TOPSOIL & SOD.
16. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR 1 YEAR FROM DATE OF FINAL ACCEPTANCE.
17. THE CONTRACTOR SHALL WRAP BURIED DUCTILE IRON PIPE & FITTING WITH 8 MIL. POLY BAG. THE NEW WATERMAIN AND SERVICE LINES SHALL HAVE A 6"-0" MIN. DEPTH OF COVER.
18. THE CONTRACTOR SHALL CONTACT THE VILLAGE: PUBLIC WORKS (WATER DEPT.) AT LEAST TWO WORKING DAYS IN ADVANCE TO REQUEST THE OPERATION OF ANY VALVES OR HYDRANTS.
19. THE CONTRACTOR SHALL REMOVE & DISPOSE OF EXCESS OR UNSUITABLE EXCAVATED MATERIAL.
20. AN AS-BUILT SURVEY OF THE SEWER MAIN WILL NEED TO BE SUBMITTED, APPROVED AND ACCEPTED BY THE DuPAGE COUNTY PUBLIC WORKS DEPARTMENT BEFORE THE SERVICE LINE CAN BE CONNECTED.

GENERAL NOTES FOR SURFACE IMPROVEMENTS

- 1. THE CONTRACTOR SHALL PERFORM ALL WORK PER IDOT-"STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION"-IL.(LATEST ED.), VILLAGE & DuPAGE COUNTY CODE REQUIREMENTS
2. THE CONTRACTOR SHALL NOTIFY: VILLAGE (COMM. DEV. DEPT.)-630/#719-4750, SURVEYOR, OWNER, ARCHITECT & CIVIL ENGINEER-847/#439-8225 AT LEAST TWO (2) WORKING DAYS IN ADVANCE.
3. THE CONTRACTOR SHALL USE CL-SI/X CONC. (6 BAG CEMENT MIX) FOR ALL EXTERIOR WORK. IT SHALL HAVE A MIN. 3,500 P.S.I. COMPRESSIVE STRENGTH AFTER 14 DAY CURING PERIOD & HAVE AIR ENTRAINMENT BETWEEN 4% AND 6% .
4. THE CONTRACTOR SHALL COMPACT FILL(AFTER TOP SOIL REMOVAL) TO THE FOLLOWING DENSITIES:
A. UNDER AND WITHIN 5' OF THE PROPOSED BUILDING - 95% MODIFIED PROCTOR
B. UNDER AND WITHIN 3' OF THE PAVEMENT/CURB/WALK - 95% MODIFIED PROCTOR
C. REMAINING NON-PAVED AREAS - 90% MODIFIED PROCTOR
5. THE CONTRACTOR SHALL SAWCUT(FULL-DEPTH) THE LIMITS OF ANY PAVEMENT OR CURB REMOVAL.
6. THE CONTRACTOR SHALL REMOVE & DISPOSE OF ALL EXCESS & UNSUITABLE EXCAVATED MATERIAL.
7. THE CONTRACTOR SHALL OBTAIN A VILLAGE PERMIT BEFORE STARTING DEMOLITION WORK.
8. THE CONTRACTOR SHALL RESTORE ALL NON-PAVED AREAS WITH 4" MIN. TOP SOIL & SOD.
9. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS & NOTIFY THE ENG. OF ANY DISCREPANCIES.
10. THE CONTRACTOR SHALL INDEMNIFY: OWNER, ENGINEER, PROJECT ARCHITECT, SURVEYOR & VILLAGE EMPLOYEES, INCLUDING THEIR AGENTS FROM ALL CONSTRUCTION LIABILITY.
11. THE CONTRACTOR SHALL "PROOF ROLL" WITH A LOADED 10 WHEELER TRUCK, IN THE PRESENCE OF THE ENGINEER, THE SUBBASE BEFORE PROCEEDING WITH THE PLACEMENT OF THE GRANULAR SUB-BASE. ANY SOFT OR YIELDING AREAS SHALL BE CORRECTED. (UNDERCUT,GEOTEXTILE...ETC.)
12. THE CONTRACTOR SHALL "STRING-LINE" THE DOCK'S SUBGRADE IN ENGINEER'S PRESENCE BEFORE PLACEMENT OF AGGREGATE & POURING CONCRETE TO INSURE THAT IT IS PROPERLY GRADED.
13. THE CONTRACTOR SHALL USE A MAX. 3/8"φ AGGREGATE IN THE BITUMINOUS SURFACE COURSE.
14. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONSTRUCTION SIGNS & BARRICADES, PER MUTCD.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING & LAYOUT.
16. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR ONE (1) YEAR FROM FINAL ACCEPTANCE.
17. THE CONTRACTOR SHALL CO-ORDINATE HIS WORK WITH THE TENNANTS TO MINIMIZE CONFLICTS.
18. THE CONTRACTOR SHALL NOT PAVE OR POUR WITHOUT THE ENGINEER'S GRADE APPROVAL.

SOIL EROSION & SEDIMENT CONTROL NOTES

- 1. CONTRACTOR SHALL PERFORM ALL WORK PER THE "PROCEDURES & STANDARDS FOR SOIL EROSION & SEDIMENTATION CONTROL"- ILLINOIS(LATEST EDITION) & TO VILLAGE STANDARDS.
2. CONTRACTOR SHALL PREVENT STORM SEWER SILTATION BY INSTALLING MEASURES SUCH AS FILTER FABRIC (PAVED AREAS), PERIMETER SILT FENCE (LAWN AREAS) & USE EXIST. GRAVEL DRIVE FOR ACCESS. (SEE: GRADING & EROSION PLAN), BEFORE STARTING ANY SITE WORK.
3. CONTRACTOR SHALL INSPECT & MAINTAIN ADEQUATE SITE DRAINAGE: DITCH & STORM SEWER. HE SHALL INSURE ALL EROSION & SEDIMENT CONTROL MEASURES FUNCTION CORRECTLY.
4. THE CONTRACTOR SHALL REMOVE ANY TIRE CONSTRUCTION MUD DEPOSITED IN THE ROAD.
5. CONTRACTOR TO TEMPOARY SEED IF TEMPORARY TOPSOIL STOCKPILES IF > 30 DAYS.

I.E.P.A. WATER NOTES

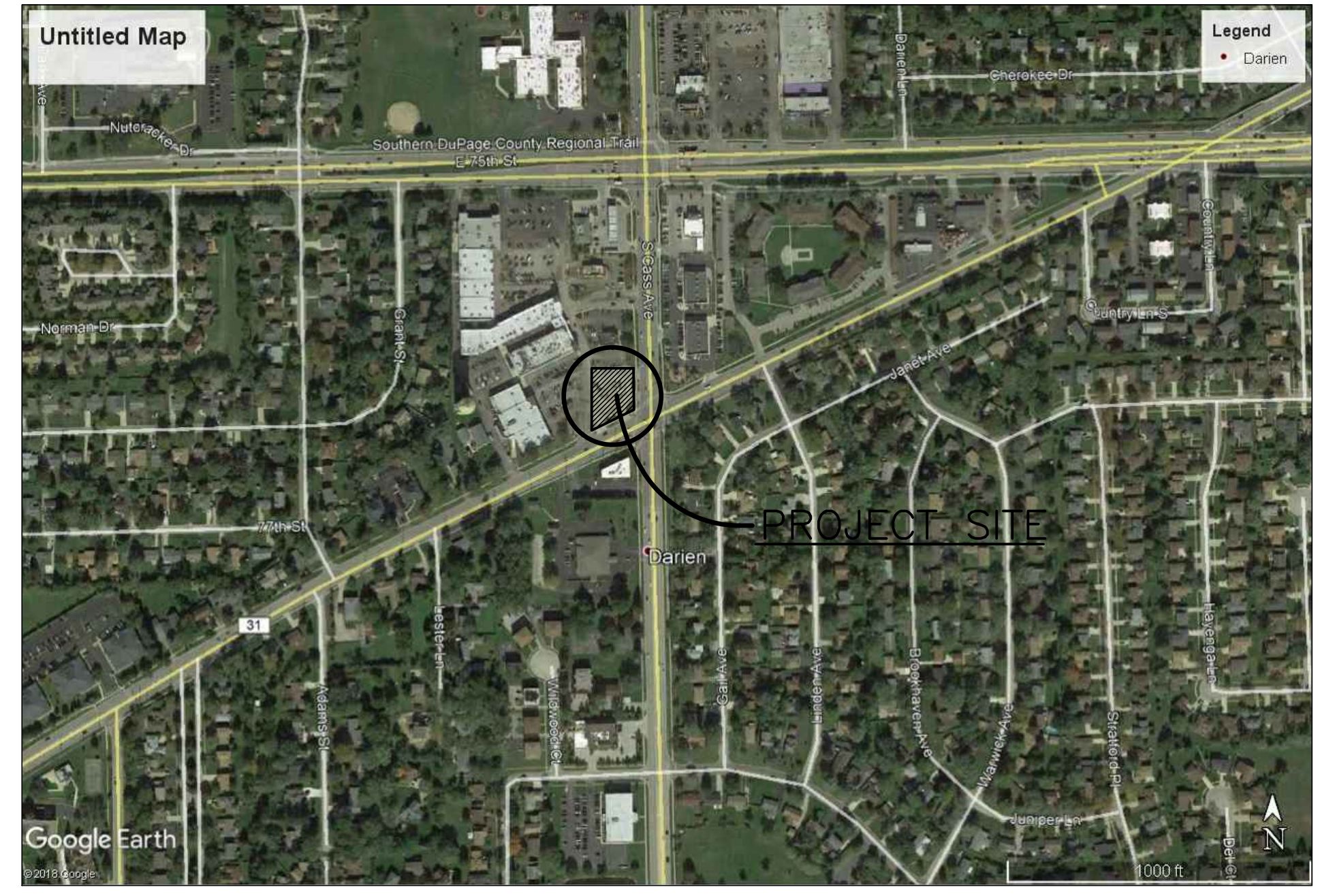
DIVISION - IV
WATER DISTRIBUTION
SECTION 41: PIPE INSTALLATION FOR WATER MAINS

- 41-1 GENERAL
PIPE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS FOR THE TYPE OF PIPE USED & APPLICABLE AWWA STANDARDS, SUCH AS C-600 & C-603, UNLESS MODIFIED OR CHANGED IN THE SPECIAL PROVISIONS.
41-2 CONSTRUCTION
41-2.01 PROTECTION OF WATER MAIN & WATER SERVICE LINES
41-2.01A GENERAL
WATER MAINS & WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS, COMBINED SEWERS, HOUSE SEWER SERVICE CONNECTIONS AND DRAINS AS FOLLOWS:
41-2.01B HORIZONTAL SEPARATION - WATER MAINS & SEWERS
(1) WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FT./(3.1M) HORIZONTALLY FROM ANY EXIST. OR PROP. DRAIN, STORM/SANITARY/COMBINED SEWER OR SEWER SERVICE CONNECTION.
(2) WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FT./(3.1M) TO A SEWER LINE WHEN:
(A) LOCAL CONDITIONS PREVENT LATERAL SEPARATION OF 10 FT. OR 3.1 METERS; AND
(B) WATER MAIN INVERT IS AT LEAST 18 IN./(460MM) ABOVE THE SEWER'S CROWN; AND
(C) WATER MAIN INVERT IS EITHER IN A SEPERATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
(3) WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH WATER MAIN, DRAIN & SEWER SHALL BE CONSTRUCTED OF OF SLIP-ON OR MECHANICAL JOINT CAST/DUCTILE IRON PIPE, PRE-STRESSED CONC. PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN CONSTRUCTION STANDARDS. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAX. EXPECTED SURCHARGE HEAD BEFORE BACKFILLING. (SEE: IEPA. STD. DRAWING-#18)
41-2.01C VERTICAL SEPARATION - WATER MAINS & SEWERS
(1) A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS 18" MIN./460 MM. ABOVE THE DRAIN OR SEWER CROWN WHENEVER WATER MAINS CROSS STORM, SANITARY SEWER OR SEWER SERVICE CONNECTION. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FT./(3.1M) HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
(2) BOTH WATER MAIN & SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST/DUCTILE PIPE, PRESTRESSED CONCRETE PIPE OR PVC. PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
(A) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (1) ABOVE; OR
(B) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN
(3) A VERTICAL SEPARATION OF 18" (460MM) BETWEEN THE SEWER OR DRAIN INVERT & THE WATER MAIN CROWN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING & BREAKING THE WATER MAIN, AS SHOWN ON THE PLANS OR AS "APPROVED" BY THE ENGINEER.
(4) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET/(3.1M) (SEE: STANDARD DRAWINGS #20 - #23)
41-2.01D WATER SERVICE LINES
(1) THE HORIZONTAL & VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL STORM, SANITARY, COMBINED SEWERS OR ANY DRAIN OR SEWER SERVICE CONNECTION SHALL BE THE SAME AS WATER MAIN SEPARATION REQUIREMENTS DESCRIBED IN 41-2.01B & 41-2.01C ABOVE.
(2) WATER PIPE DESCRIBED IN 41-2.01B ABOVE SHALL BE USED FOR SEWER SERVICE LINES WHEN MINIMUM HORIZONTAL & VERTICAL SEPARATION CANT BE MAINTAINED.
41-2.01E SPECIAL CONDITIONS
CONDITIONS IN 41-2.01B, 41-2.01C & 41-2.01D OR AS SHOWN ON STANDARD DRAWINGS #19-#23 SHALL BE MET UNLESS SPECIAL CONSIDERATIONS ARE COVERED IN THE PLANS & SPECIAL PROVISIONS.
41-2.01F SEWER MANHOLES
NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
41-2.02 EXCAVATION & BACKFILL
EXCAVATION & BACKFILL FOR WATER MAINS SHALL CONFORM TO THE PROVISIONS OF SECTIONS 20, 21, 22 & THE REQUIREMENTS BELOW.
41-2.02A DEPTH OF COVER
A PIPE SHALL BE LAID TO A MINIMUM DEPTH AS SHOWN ON THE PLANS & MEASURED FROM THE EXISTING GROUND SURFACE OR ESTABLISHED GRADE TO THE TOP OF THE BARREL OF THE PIPE. MIN. DEPTH WILL RANGE FROM THREE (3) TO FIVE (5) FEET (1M-1.5M) FROM SOUTHERN TO NORTHERN ILLINOIS RESPECTIVELY. IN AREAS SUBJECT TO TO SUBSEQUENT EXCAVATION OR FILL, THE MAINS SHALL BE LAID TO GRADES SHOWN ON THE PLANS.
41-2.02B PIPE FOUNDATIONS & UNSTABLE TRENCH CONDITIONS
FOR PIPE BEDDING, AND FOR UNSUITABLE TRENCH CONDITIONS, SEE: SECTIONS-20-2.20. FOR UNSTABLE OR UNSUITABLE TRENCH CONDITIONS, SEE: SECTION 20-2.20A (2), (3) & (4).

EXCAVATION DEWATERING:

- 1. All outlets for dewatering discharges shall be stable and protected from erosion.
2. Cofferdams, swales, and temporary diversions shall be built and maintained as outlined in the plans set, and per Illinois Urban Manual guidelines.
3. Installation of cofferdams and sumps shall follow the requirements as outlined in practice standard COFFERDAM 803 and SUMP PIT 950.
4. Excess surface runoff shall be diverted from the construction area as outlined in practice standards TEMPORARY DIVERSION 955, TEMPORARY SWALE 980, DIVERSION 815, and DIVERSION DIKE 820, as applicable.
5. Drains, sumps, pumps, and all other items required to dewater the site shall be furnished, installed, and maintained.
6. In poorly drained soil areas, or where well dewatering is not practical, pumping directly from the construction trenches shall be allowed.
7. All dewatering activities shall be done in a manner that does not negatively impact the water quality of the water table or cause erosion or transport sediment or other pollutants.
8. Sediment removal shall be provided using the following practices depending on the sediment, dewatering method, location, and amount of dewatering:
Where sumps are used, they shall meet the requirements of SUMP PIT 950. In addition, where space is available, TEMPORARY SEDIMENT TRAPS 960 shall be used to detain water and remove sediment from pumping and diversion operations. where there is limited space a PORTABLE SEDIMENT TANK 895 shall be used to retain seiment from dewatering operations. POLYACRYLAMIDE (PAM) FOR TURBIDITY REDUCTION AND SEDIMENT CONTROL 894 may also be used, as appropriate.
9. Where there is low, intermittent amounts of dewatering, pumps with filtration bags shall be used. Filtration bags shall be attached to pump discharges and surrounded with a secondary containment or on a stabilized area. Filter bags shall not be placed, whole or partially, within aquatic areas (wetlands, streams, etc.) The material for the filtration bag shall meet the requirements of material specification 592 GEOTEXTILE, Table 2, Class I with a minimum tensile strength of 200 lbs. The filtration bag shall be sized per manufacturer recommendations and based on the size of the pump. The largest size pump to be used with a filtration bag shall be 4-inch diameter.
10. The temporary dewatering facilities shall be removed after they have served their purpose. The dewatering areas shall be graded and stabilized with the appropriate erosion control practices. The dewatering sites after removal shall not create any erosion control practices. The dewatering sites after removal shall not create any obstruction of the flow of water or any other interference with the operation of or access to the permanent works.
11. The location and capacity of temporary diversion and protective works should be based on the characteristics of the site, accessibility, and the potential damage during development.
12. Inspections shall be conducted to ensure proper operation and compliance with any permits or water quality standards.
13. Accumulated sediment shall be removed from the flow area and temporary diversions shall be repaired, as required.
14. Outlet areas shall be checked and repairs made in a timely manner, as needed.
15. Pump outlets shall be inspected for erosion, and sumps shall be inspected for accumulated sediment.
16. Dewatering bags shall be removed and replaced when half full of sediment or when the pump discharge has reduced to an impractical rate.
17. If the receiving area is showing any signs of cloudy water, erosion, or sediment accumulation, discharges shall be stopped immediately once safety and property damage concerns have been addressed.
18. Sediment shall be disposed in accordance with all applicable laws and regulations.

PROPOSED RETAIL DEVELOPMENT
7532 S. CASS AVENUE
DARIEN, ILLINOIS 60561



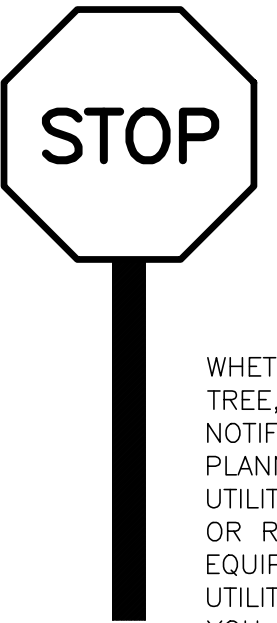
PROFESSIONAL ENGINEER'S DRAINAGE CERTIFICATION

THE PROPOSED LOT GRADE CHANGES WILL NOT CAUSE SURFACE WATER TO BE DIVERTED ONTO OR DETAINED ON ABUTTING OR NEARBY PROPERTY, WILL NOT SIGNIFICANTLY ALTER EXISTING DRAINAGE PATTERNS AND WILL NOT INCREASE OR CONCENTRATE SITE STORMWATER RUNOFF ONTO ABUTTING STORMWATER RUNOFF ONTO ABUTTING OR NEARBY PROPERTY.

NAME: CLIFFORD J. TOBERMAN SIGNATURE: Clifford J. Toberman
DATE: 11/21/19 ILL. P.E.# 050567 EXPIRES- 11-30-21

OWNER/BUILDER CERTIFICATION

OWNER: SIGNATURE: DATE:



CALL JULIE 48 HOURS BEFORE YOU DIG. 811 OR 1-800-892-0123



WHETHER YOU'RE DIGGING A FOUNDATION OR JUST PLANTING A TREE, MAKE SURE YOU CALL JULIE FIRST. JULIE IS A FREE NOTIFICATION SERVICE THAT ALERTS UTILITY COMPANIES OF PLANNED DIGGING ACTIVITIES IN AREAS WITH UNDERGROUND UTILITY FACILITIES. UNDERGROUND FACILITIES CAN BE DAMAGED OR RUPTURED BY A SHOVEL BLADE OR OTHER DIGGING EQUIPMENT. AVOID THE PAIN AND COST OF DAMAGING BURIED UTILITIES... CALL BEFORE YOU DIG. STATE LAW NOW REQUIRES YOU TO CALL JULIE TWO WORKING DAYS BEFORE YOU DIG.

INDEX OF SHEETS

- C-1 TITLE & NOTES SHEET
C-2 EXISTING TOPOGRAPHY & DEMOLITION PLAN
C-3 SITE PLAN
C-4 UTILITY PLAN
C-5 GRADING & EROSION PLAN
C-6 DETAIL SHEET
L-1 LANDSCAPE PLAN
LT-1 LIGHTING PLAN

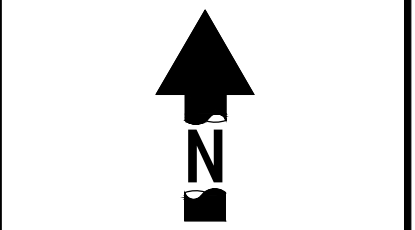
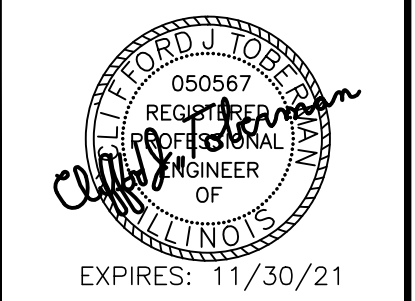


Table with columns: NO., DATE, REVISION. Row 1: 1, 11/22/19, 1

Norman J. Toberman & Associates, LLC
Civil Engineers & Surveyors
118 S. Wilton Road, Suite 203, F. Mt. Pleasant, IL 60088
P: (815) 398-2030 F: (815) 398-0404
nmt@normanllc.com
Ill. Design Firm: 184,008 Bldg 0
Engineer: 6-20-2002

TITLE & NOTES SHEET
PROPOSED RETAIL DEVELOPMENT
JOHN G. MANOS
7532 S. CASS AVENUE, DARIEN, IL
PHONE: (630) 212-1644
JMANOS@ATT.NET

THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS



Sheet No. C-1
NJ Project No. 19-7041















Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
▶	5	3M-4L	SINGLE	1.000	4270	33	XSPW-B-WM-3ME-4L-30K-UL-BZ
◀	3	4-2(90)	GO 4/6	1.000	10738	86	OSQ-A-NM-4ME-B-30K-UL-BZ w/OSQ-DABZ

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.78	7.8	0.0	N.A.	N.A.
Pavement	Fc	2.54	6.5	1.0	2.54	6.50

**CREE LIGHTING**

A COMPANY OF **IDEAL INDUSTRIES, INC.**  
 9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

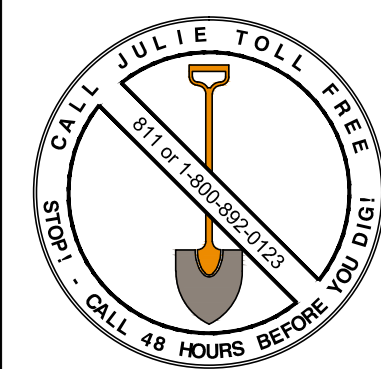
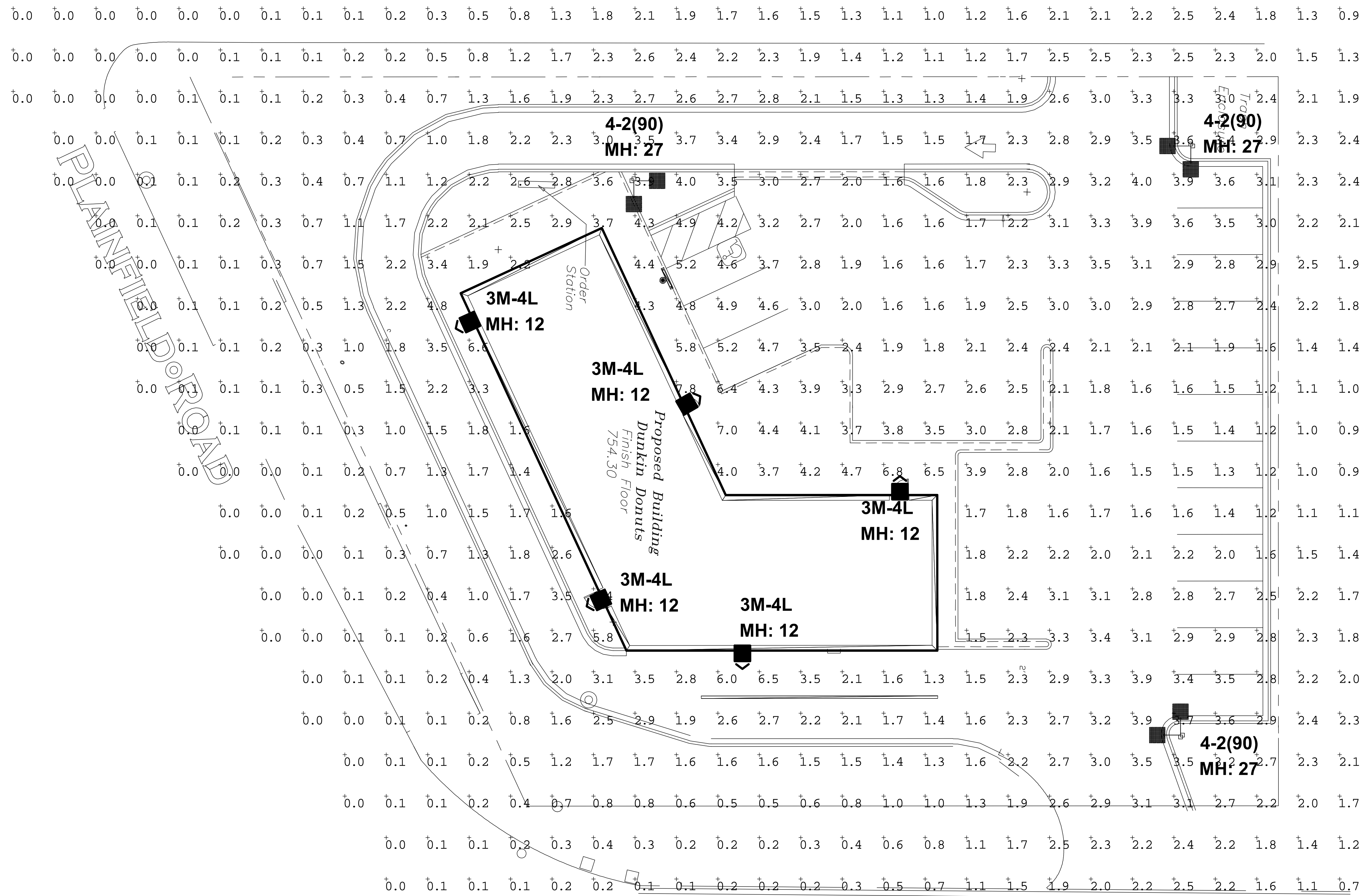
Illustration results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Fixture Mounting Height: 27' AFG (25' Pole + 2.0' Base)

Pole Schedule  
 (3) - CL-SSP-4011-25-D6-BZ-ABL (25' x 4" x 11ga; Steel Square Pole)  
 Proposed poles meet 120 MPH sustained winds.

Additional Equipment:  
 (6) - OSQ-DABZ - (Direct Arm Mount)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

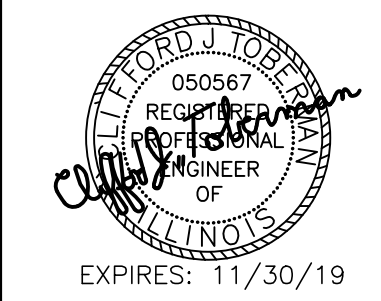


NO.	DATE	REVISION

**NORMAN J. TOBERMAN & ASSOCIATES, LLC**  
 CIVIL ENGINEERS & SURVEYORS  
 115 S. VINTAGE BLVD., SUITE 100, DARIEN, ILL. 60015  
 TEL: (630) 212-1644 FAX: (630) 212-1644  
 nman@norman-j.com  
 ILL. Design Firm: 184,0088910  
 Engineer: 4-20-2021

**LIGHTING PLAN**  
 PROPOSED RETAIL DEVELOPMENT  
 JOHN G. MANOS  
 7532 S. CASS AVENUE, DARIEN, ILL  
 JMANOS@ATT.NET PHONE: (630) 212-1644

THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS



Sheet No.  
**LT-1**  
 NJT Project No.  
**19-7041**





**CITY OF DARIEN**  
**ZONING VARIATIONS**  
JUSTIFICATION NARRATIVE

**Purpose**

To be consistent and fair, the City is obligated to make decisions on zoning variation requests based on findings-of-fact. The Applicant should write a justification narrative that contains evidence (facts) that support a conclusion (finding) that the variation is necessary and would not cause problems. It should include: a) explanation of why the variation is being requested, b) describe the 'hardship condition' of the property that makes it difficult to conform, c) estimate the impact on neighbors, and d) respond to each of the decision criteria below.

**Decision Criteria** (See City Code Section 5A-2-2-3)

2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

---

2b. The plight of the owner is due to unique circumstances.

---

2c. The variation if granted will not alter the essential character of the locality.

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3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

---

3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.

---

3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

---

3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

---

3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

---

3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.

---

3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

---

MEMO



# CITY OF DARIEN

In the County of DuPage and the State of Illinois  
Incorporated 1969

## SPECIAL USE STANDARDS

Zoning Code Section 5A-2-2-6(G)

No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. That the special use is deemed necessary for the public convenience at the location specified.
2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.
7. That adequate measures have been or will be taken to provide ingress and egress so designed to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and the Planning and Development Committee.



**CITY OF DARIEN**

**DU PAGE COUNTY, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE GRANTING SPECIAL USES AND VARIATIONS  
(7532 CASS AVENUE/COMMERCIAL DEVELOPMENT)**

---

**ADOPTED BY THE  
MAYOR AND CITY COUNCIL  
OF THE  
CITY OF DARIEN**

**THIS 6<sup>th</sup> DAY OF JANUARY, 2020**

---

**Published in pamphlet form by authority  
of the Mayor and City Council of the City  
of Darien, DuPage County, Illinois, this  
\_\_\_\_\_ day of January, 2020.**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE GRANTING SPECIAL USES AND VARIATIONS  
(7532 CASS AVENUE/COMMERCIAL DEVELOPMENT)**

**WHEREAS**, the Owner of property described on [Exhibit 1](#) attached hereto and made a part hereof with a common address of 7532 Cass Avenue (the “Subject Property”) proposes to develop the Subject Property as a multi-tenant building with a drive-through facility; and

**WHEREAS**, the Subject Property is located in the City’s B-2 Community Shopping Center Business District; and

**WHEREAS**, the Owner’s proposed use of the Subject Property is consistent with the City’s comprehensive plan; and

**WHEREAS**, the Subject Property is an existing lot of record formerly improved with a gas station; and

**WHEREAS**, in order to implement the redevelopment of the Subject Property, the Owner has petitioned the City for special use relief and a series of variations; and

**WHEREAS**, pursuant to notice as required by law, the City’s Planning and Zoning Commission conducted a public hearing on December 18, 2019, to consider the requested relief and favorably recommended said relief; and

**WHEREAS**, the City Council has reviewed the Petition and recommendation and has concluded that granting the requested relief is reasonable and will support the sound growth and development of the City;

ORDINANCE NO. \_\_\_\_\_

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, ILLINOIS, as follows:**

**SECTION 1: Special Uses Approved.** In accordance with Section 5A-8-3-4 of the Darien Zoning Ordinance, the following special uses are approved for the Subject Property:

- A. A special use is approved for a drive-through establishment.
- B. A special use is approved to permit eating establishments as a matter of right.

**SECTION 2: Variations Granted.** The following variations from the Darien Zoning Ordinance are hereby granted for the Subject Property:

- A. A variation is granted to reduce the minimum lot area for the Subject Property from 2 acres to .57 acre.
- B. A variation is granted to reduce the front yard from 50 feet to 29.2 feet.
- C. A variation is granted to reduce the corner side yard from 50 feet to 30 feet.
- D. A variation is granted to reduce the front yard parking setback from 30 feet to 20 feet; to reduce the interior side yard parking setback from 20 feet to 0 feet; and to reduce the rear yard parking setback from 30 feet to 17 feet.
- E. A variation is granted to allow the maximum permitted lot coverage to increase the maximum permitted lot coverage from 75 percent to 76.7 percent for buildings and other impervious surfaces.

**ORDINANCE NO. \_\_\_\_\_**

F. Variations are granted to eliminate the required perimeter yard and parking lot landscaping; to eliminate the required landscape islands for parking and drive aisles; to eliminate the required 10 foot wide building foundation landscape strip; and to eliminate the required perimeter landscape requirement for a refuse disposal facility from 3 sides to 1 side.

G. Variations are granted from the required driveway requirements to reduce the minimum driveway width from 24 feet to 23.5 feet; to reduce the minimum driveway distance from a front property line from 30 feet to 5.2 feet; to reduce the minimum driveway distance from a corner side property line from 30 feet to 12.2 feet; and to reduce the minimum driveway distance from a rear property line from 20 feet to 5.8 feet.

**SECTION 3: Effective Date.** This Ordinance shall be in full force and effect upon its passage, approval, and publication as required by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

ABSENT: \_\_\_\_\_

AYES \_\_\_\_\_

NAYS: \_\_\_\_\_

**ORDINANCE NO. \_\_\_\_\_**

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY,  
ILLINOIS, this 6<sup>th</sup> day of January, 2020.**

\_\_\_\_\_  
JOSEPH A. MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY



**ORDINANCE NO.** \_\_\_\_\_

**EXHIBIT 1**

**Legal Description and P.I.N. of Subject Property**

Said property is legally described as follows:

THAT PART OF LOT 302 DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF PLAINFIELD ROAD, AND THE WESTERLY LINE OF CASS AVENUE; THENCE WESTERLY ALONG THE NORTHERLY LINE OF PLAINFIELD ROAD, 155 FEET; THENCE NORTHERLY AND PARALLEL WITH CASS AVENUE, 210 FEET; THENCE EASTELY ON A LINE PERPENDICULAR TO CASS AVENUE, 145 FEET TO A POINT ON THE WESTERLY LINE OF CASS AVENUE; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF CASS AVENUE, 145 FEET TO THE PLACE OF BEGINNING, IN BROOKHAVEN MANOR, A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-28-402-025

The property is located at 7532 South Cass Avenue, Darien, Illinois 60561.



## **AGENDA MEMO**

**City Council  
January 6, 2020**

### **ISSUE STATEMENT**

**AN ORDINANCE AUTHORIZING THE EXECUTION OF A CONSTRUCTION GRANT AGREEMENT (NORTHWEST CORNER OF PLAINFIELD AND CASS) NOT TO EXCEED \$150,000**

### **ORDINANCE**

### **BACKGROUND/HISTORY**

At the January 16, 2019, Council meeting the Council approved of a motion for staff to negotiate a formal economic development agreement with Jemco & Associates, LTD. John Manos, President of Jemco & Associates, LTD. is moving forward with plans to construct a new building at the vacant lot on the NW Corner of Plainfield and Cass Avenue. Upon review of building plan options, the City Council expressed interest in having the developer include certain discretionary building upgrades to compliment the clock tower/retail center developed across the street. These upgrades are over and above what is required by city codes. Current cost estimates to include upgrades to the building total \$300,000 of which the developer would split with the City. If the final upgrade costs are below \$300,000 then the City would split those equally with the developer making our maximum contribution \$150,000. The developer will still develop the property if the City Council does not approve the grant agreement, however, it will not include the discretionary upgrades.

The attached proposed agreement includes those items identified by the staff at the January 16, 2019, Council meeting.

### **STAFF/COMMITTEE RECOMMENDATION**

The Administrative/Finance Committee is reviewing this issue at their January 6, 2020, meeting.

### **ALTERNATE CONSIDERATION**

As directed.

### **DECISION MODE**

This will be placed on the January 6, 2020 City Council Agenda for formal approval.



**CITY OF DARIEN**

**DU PAGE COUNTY, ILLINOIS**

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**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING THE EXECUTION OF  
A CONSTRUCTION GRANT AGREEMENT  
(NORTHWEST CORNER OF PLAINFIELD AND CASS)**

---

**ADOPTED BY THE  
MAYOR AND CITY COUNCIL  
OF THE  
CITY OF DARIEN**

**THIS 6<sup>th</sup> DAY OF JANUARY, 2020**

---

**Published in pamphlet form by authority  
of the Mayor and City Council of the City  
of Darien, DuPage County, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2020.**

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AUTHORIZING THE EXECUTION OF  
A CONSTRUCTION GRANT AGREEMENT  
(NORTHWEST CORNER OF PLAINFIELD AND CASS)**

**WHEREAS**, the Mayor and City Council have been presented with a proposed Construction Grant Agreement (“Agreement”); and

**WHEREAS**, the Agreement is intended to and will provide financial support to the construction of enhanced improvements for a new commercial development at the northwest corner of Plainfield Road and Cass Avenue; and

**WHEREAS**, the Mayor and City Council have determined that supporting the construction of the enhanced improvements as described in the Agreement attached to this Ordinance will help to revitalize a long dormant commercial property in the City; improve property values throughout the Plainfield-Cass commercial area; and enhance the overall appearance and viability of the Plainfield-Cass commercial area; and

**WHEREAS**, the City Council hereby finds that expending public funds in support of said Agreement constitutes a legitimate public purpose.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, ILLINOIS**, as follows:

**SECTION 1: Agreement Approved.** The City hereby approves of the “Construction Grant Agreement,” a copy of which is attached to this Ordinance as [Exhibit 1](#) and made a part hereof.

**ORDINANCE NO.** \_\_\_\_\_

**SECTION 2: Authorization.** The Mayor and Clerk are hereby authorized and directed to execute and attest respectively said Agreement.

**SECTION 3: Implementation.** City staff is hereby authorized and directed to implement the terms of said Agreement.

**SECTION 4: Full Force.** This Ordinance shall be in full force and effect upon its passage, approval, and publication as required by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 6<sup>th</sup> day of January, 2020.

ABSENT: \_\_\_\_\_

AYES \_\_\_\_\_

NAYS: \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this this 6<sup>th</sup> day of January, 2020.

\_\_\_\_\_  
JOSEPH A. MARCHESE, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY

## CONSTRUCTION GRANT AGREEMENT

THIS CONSTRUCTION GRANT AGREEMENT (“Agreement”) is dated this \_\_\_\_ day of \_\_\_\_\_, 2020, by and between the City of Darien, DuPage County, Illinois (“City”) and 7532 Cass Avenue, LLC (“Owner”).

### RECITALS

A. Owner is the Owner of a property identified on [Exhibit 1](#) attached hereto (the “Subject Property”). The Subject Property is located at the northwest corner of Plainfield Road and Cass Avenue in the City.

B. The Subject Property is unimproved. Owner is in the process of obtaining all governmental and private approvals necessary to improve the Subject Property with a multi-tenant retail facility (the “Improvements”).

C. The intersection of Plainfield Road and Cass Avenue is heavily traveled and represents one of the City’s gateway areas for commerce and redevelopment.

D. Over the past several years, the City has supported substantial redevelopment efforts in connection with the commercial properties located east of the Subject Property on the east side of Cass Avenue. Among other things, the City has supported and encouraged a unified, aesthetically pleasing appearance for the redeveloped Cass Avenue properties.

E. The impending construction of the Improvements offers the parties a unique opportunity to enhance the Improvements (“Enhanced Improvements”) by way of design, architecture, construction materials and signage, which will be consistent with the City’s development goals and overall vision for the Plainfield-Cass corridor.

F. The Enhanced Improvements are over and above what is required by City Codes. Owner is willing to construct the Enhanced Improvements, but is requesting City financial support for the construction of the Enhanced Improvements.

G. The City Council has determined that participating in providing the Enhanced Improvements will serve a number of public purposes, including the continued revitalization of the Plainfield-Cass corridor, support the businesses on both sides of Cass Avenue, and further enhance the City's image as a progressive partner to local businesses.

H. The parties have met and conferred. Pursuant to those meetings and conferences, the City has agreed to provide up to ONE HUNDRED FIFTY THOUSAND & 00/100 DOLLARS (\$150,000.00) in support of Owner's construction of the Enhanced Improvements.

I. It is the purpose of this Agreement to provide the mechanism for the City's reimbursement for some of the Enhanced Improvement costs, as well as a provision for a permanent easement granted from Owner to the City for purposes of constructing and maintaining a gateway signage.

Accordingly, it is hereby agreed by and between the City and Owner as follows:

**Section 1. Incorporation of Recitals.** The Recitals set forth hereinabove are incorporated as if fully set forth herein.

**Section 2. "Enhanced Improvements" Defined.** For purposes of this Agreement, "Enhanced Improvements" mean those Improvements of the Subject Property over and above what is required by City Codes, designed to upgrade the appearance of the Improvements to be constructed on the Subject Property in a manner consistent with the parties' mutual goals for the Plainfield-Cass corridor. The Enhanced Improvements are depicted and described on [Exhibit 2](#) attached hereto and made a part hereof.

**Section 3. Agreement To Construct Enhanced Improvements.**

A. Owner agrees to include the Enhanced Improvements as part of the construction of the Improvements to the Subject Property.

B. Owner's good faith estimate of the additional project costs in connection with constructing the Enhanced Improvements will be \$300,000.00

C. From time to time as the project progresses, Owner will provide the City with evidence reasonably acceptable to the City evidencing the actual Enhanced Improvement costs.

**Section 4. City Agreement To Reimburse.**

A. The City hereby agrees to reimburse Owner for FIFTY (50%) PERCENT of the Enhanced Improvement costs subject to a maximum City reimbursement of ONE HUNDRED FIFTY THOUSAND & 00/100 DOLLARS (\$150,000.00).

B. The City reimbursement payment shall be made within fourteen (14) days after the City issues a final occupancy permit for the Subject Property.

**Section 5. Grant Of Easement For Signage; City Agreement To Reserve.**

A. On or before the issuance of the final occupancy permit and in further consideration of the City's agreements contained herein, Owner agrees to grant the City and the City's contractors and assigns a permanent easement to construct and maintain a monument-style advertising signage on that portion of the Subject Property designated on [Exhibit 3](#) hereto.

B. There shall be no further payment to the Owner from the City for this easement.

C. The City will be solely responsible for the construction, maintenance and upkeep of said signage.

D. The signage has not yet been designed. The City currently anticipates the construction of signage similar to the multi-panel signage on the east side of Cass Avenue facing Plainfield Road.

**Section 6.** **City's Reservation on Signage.** At Owner's request, the City will reserve two panels or similar proportionate advertising space to Owner's tenants at no additional cost to Owner.

**Section 7.** **Notices.** Any notices contemplated by this Agreement shall be in writing and sent via commercial carrier such as UPS or Fed Ex to the following addresses:

IF TO OWNER:

7532 CASS AVENUE LLC  
242 Bunting Lane  
Bloomington, Illinois 60108  
Attention: John Manos

WITH A COPY TO:

Gregory G. Castaldi  
Law Office of Gregory G. Castaldi  
5521 N. Cumberland Avenue, Suite 1109  
Chicago, Illinois 60656

IF TO CITY:

City of Darien  
1702 Plainfield Road  
Darien, Illinois 60561  
Attention: City Administrator

WITH A COPY TO:

John B. Murphey  
Rosenthal, Murphey, Coblenz & Donahue  
30 N. LaSalle Street, Suite 1624  
Chicago, Illinois 60602



OWNER:

7532 Cass Avenue LLC

By: \_\_\_\_\_

CITY:

CITY OF DARIEN

By: \_\_\_\_\_

Attest: \_\_\_\_\_

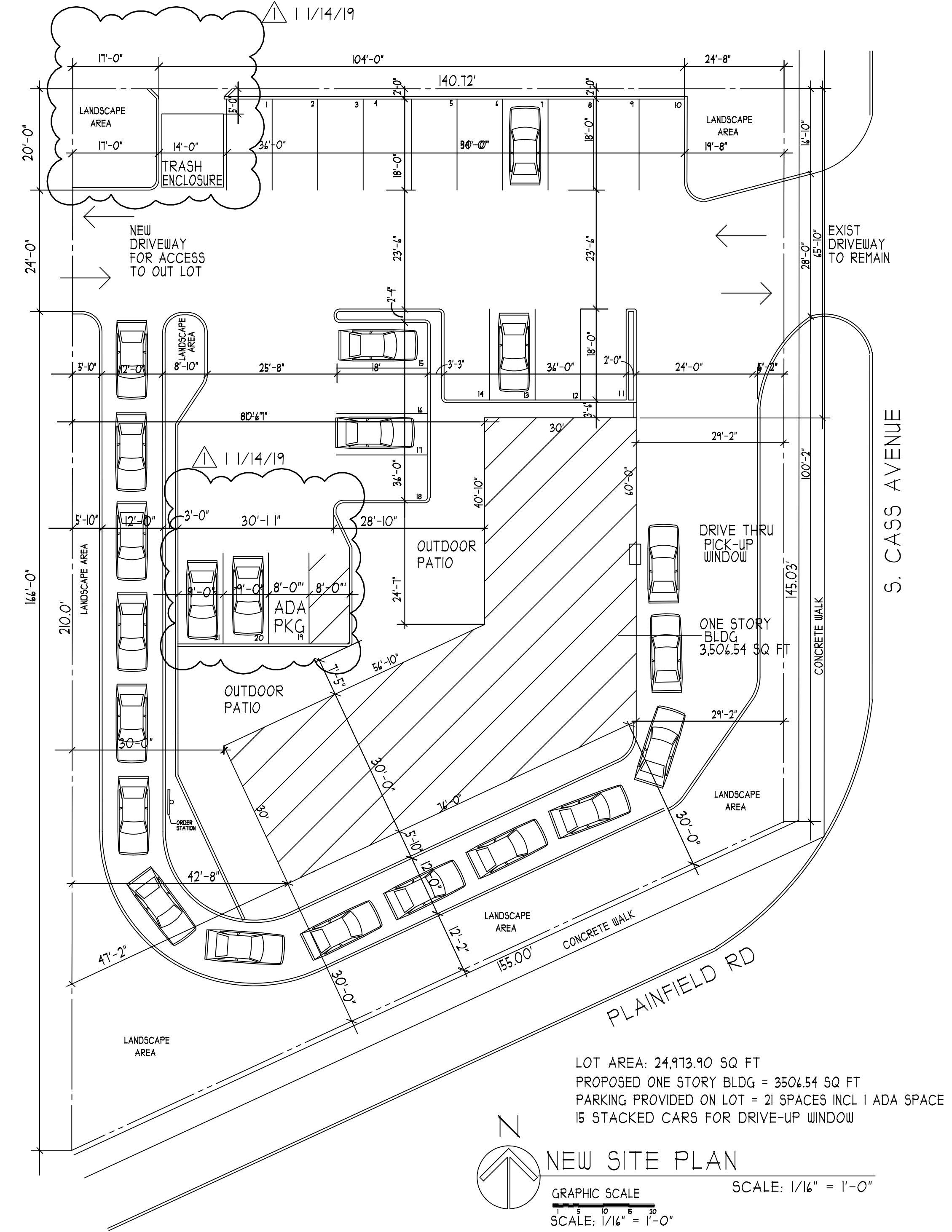
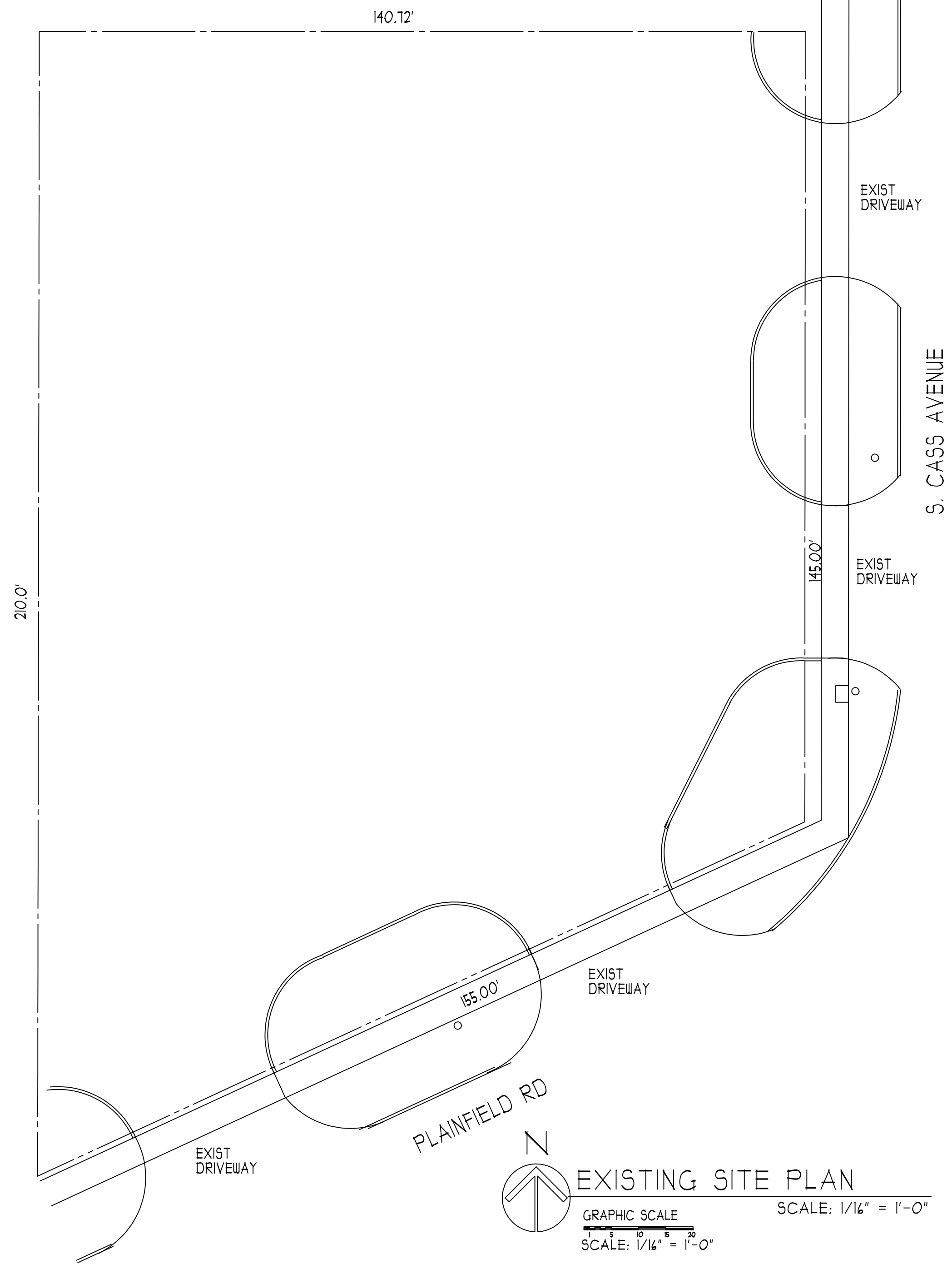
**EXHIBIT 1****Legal Description and P.I.N. of Subject Property**

Said property is legally described as follows:

THAT PART OF LOT 302 DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF PLAINFIELD ROAD, AND THE WESTERLY LINE OF CASS AVENUE; THENCE WESTERLY ALONG THE NORTHERLY LINE OF PLAINFIELD ROAD, 155 FEET; THENCE NORTHERLY AND PARALLEL WITH CASS AVENUE, 210 FEET; THENCE EASTELY ON A LINE PERPENDICULAR TO CASS AVENUE, 145 FEET TO A POINT ON THE WESTERLY LINE OF CASS AVENUE; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF CASS AVENUE, 145 FEET TO THE PLACE OF BEGINNING, IN BROOKHAVEN MANOR, A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1956 AS DOCUMENT 827287, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-28-402-025

The property is located at 7532 South Cass Avenue, Darien, Illinois 60561.



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**NEW BUILDING ON OUT LOT**  
**BROOKHAVEN SHOPPING CENTER**  
 1522 CASS AVENUE  
 DARIEN, IL 60561

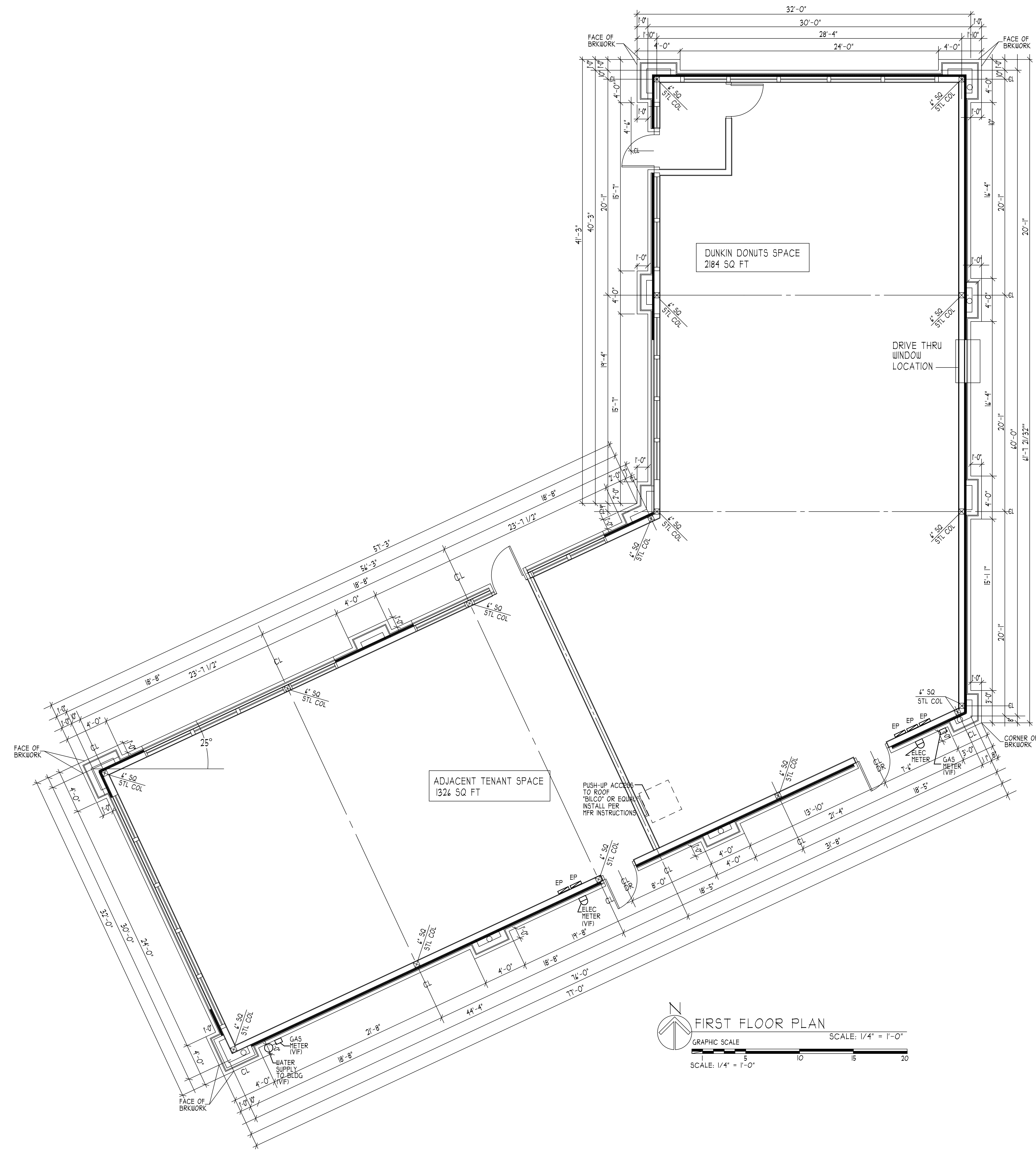
**CHRIS GEORGE, P.C.**  
 ARCHITECTS  
 104 HILL STREET  
 MT. PROSPECT, IL 60056-2732  
 email: chrisgeorge\_arch@yahoo.com  
 (817) 699-8150 FAX(817) 699-8151

REVISION	DATE

PROFESSIONAL SEAL

DRAWN : CG  
 CHECKED :  
 DATE : 1/21/19  
 SCALE : NOTED  
 JOB NO. : T100

SHEET  
 A



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**BROOKHAVEN SHOPPING CENTER**  
1522 CASS AVENUE  
DARIEN, IL 60561

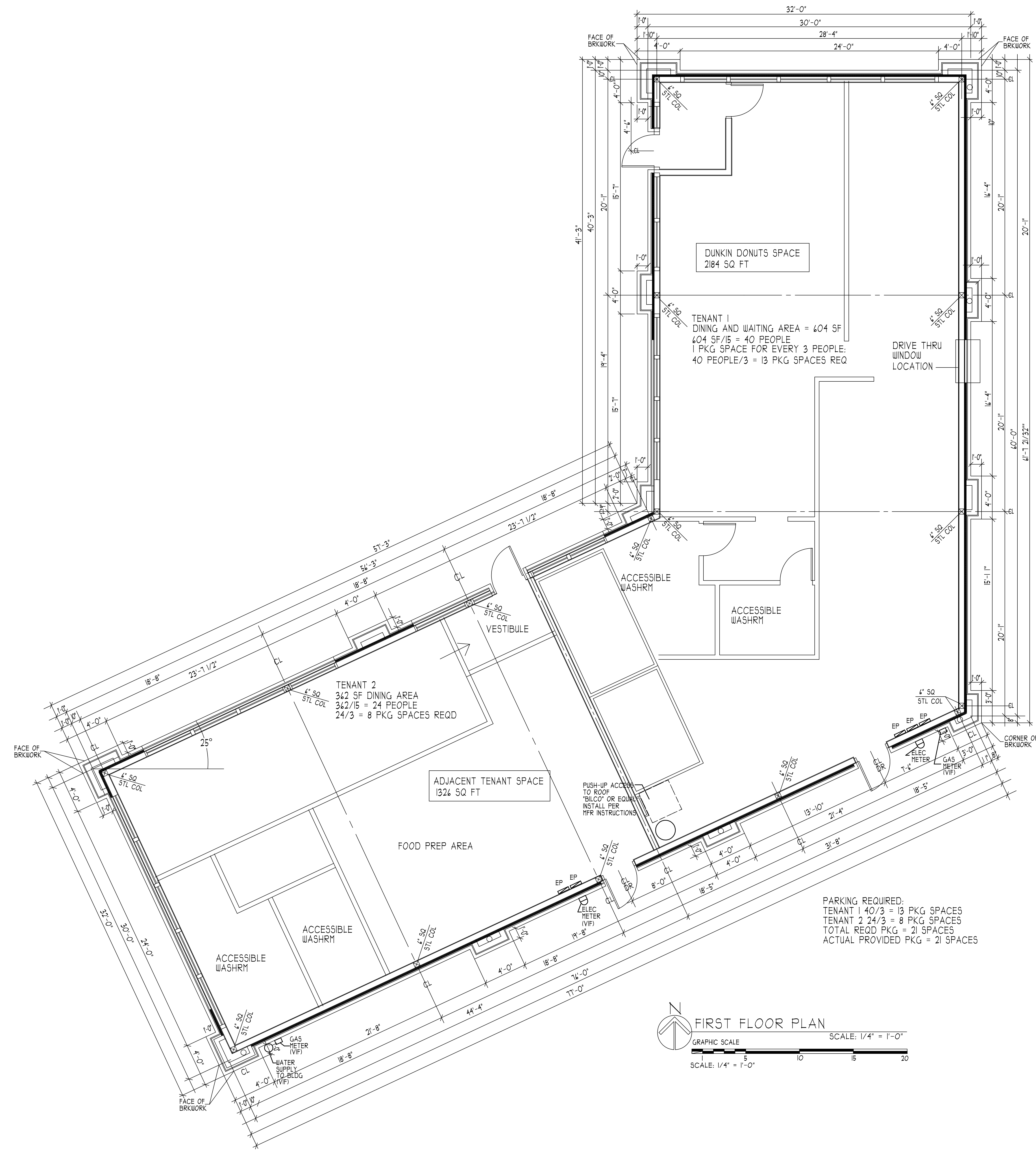
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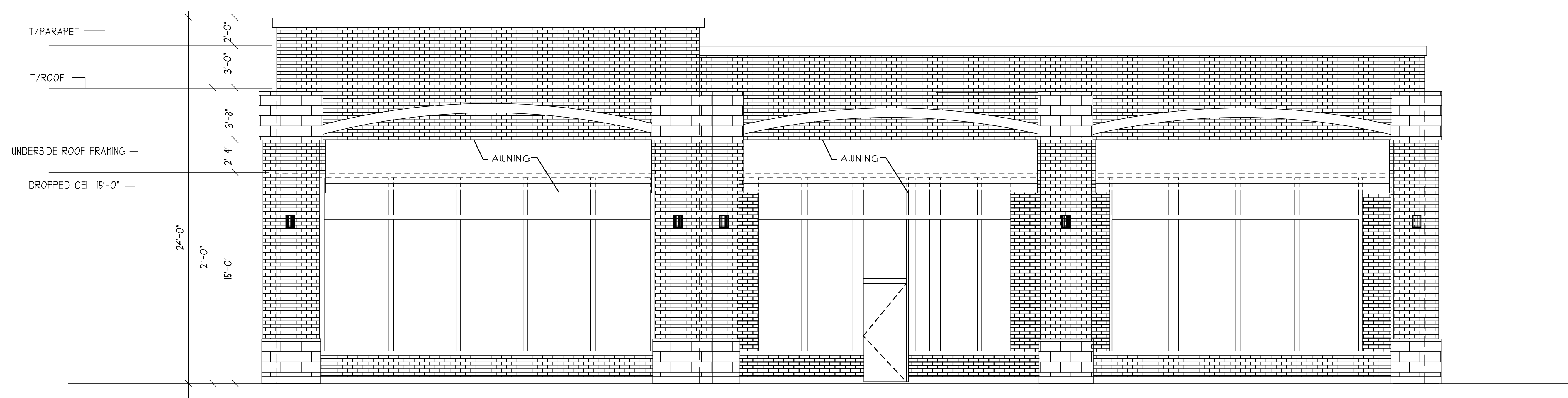
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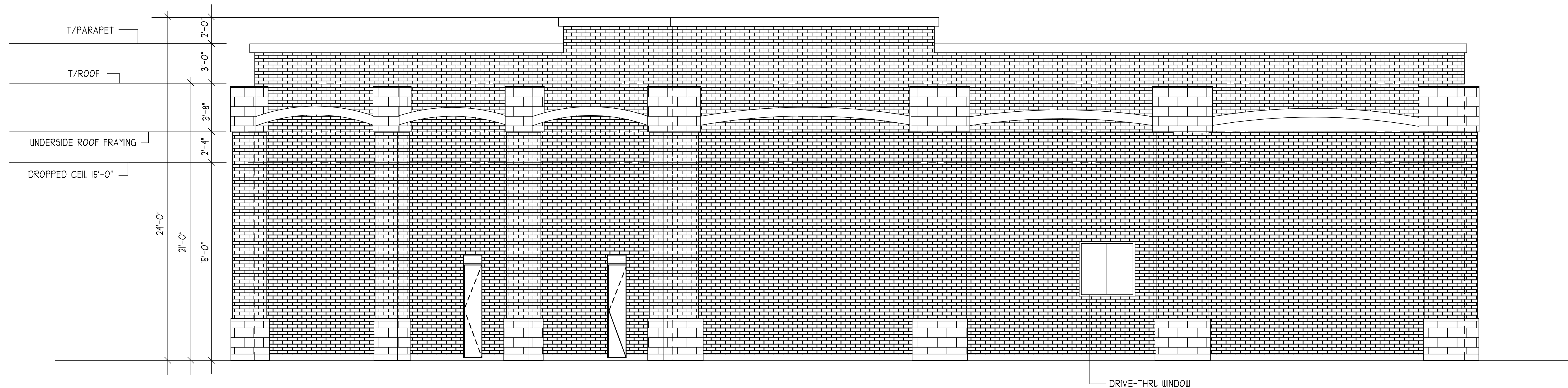
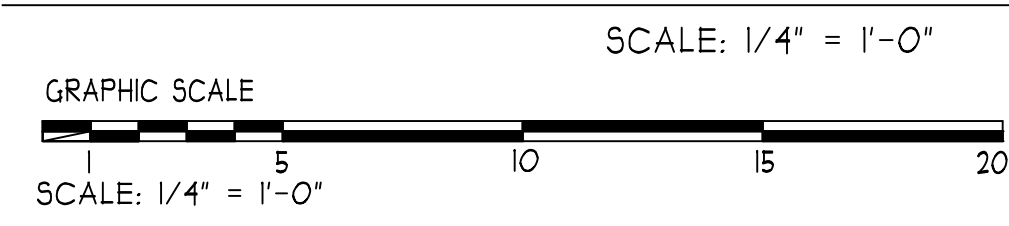
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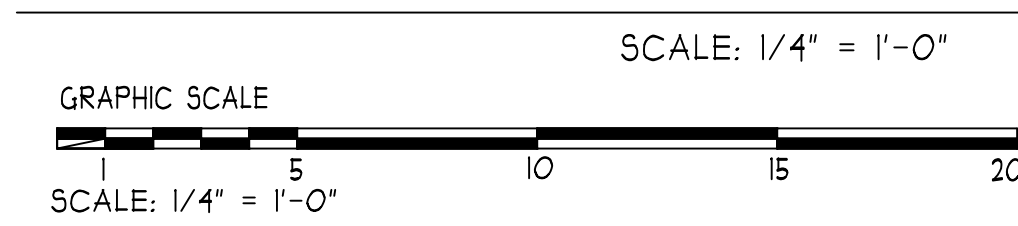




NORTH ELEVATION



EAST ELEVATION



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NEW BUILDING ON OUT LOT  
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1532 CASS AVENUE  
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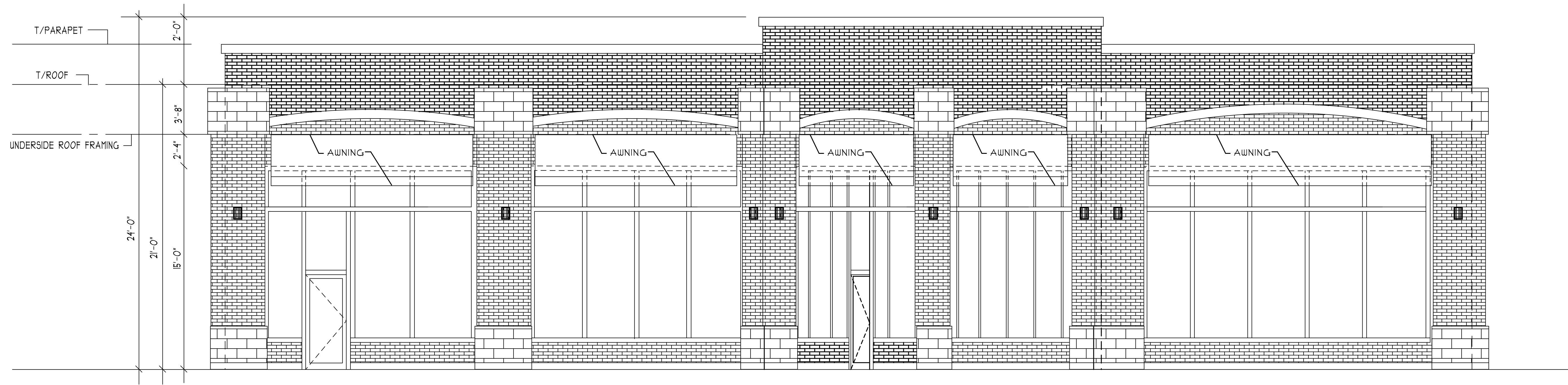
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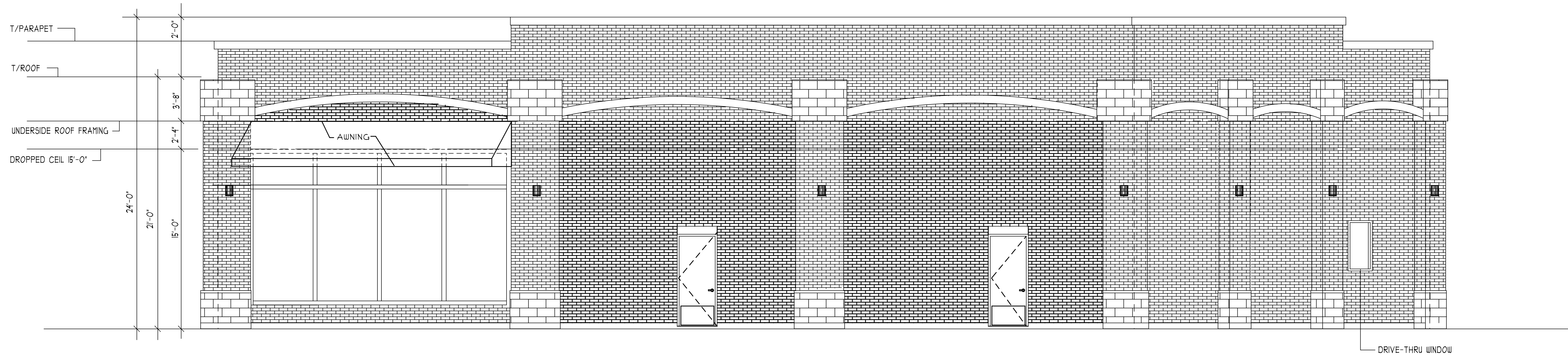
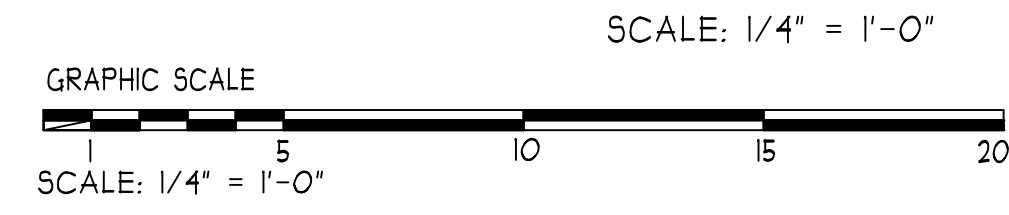
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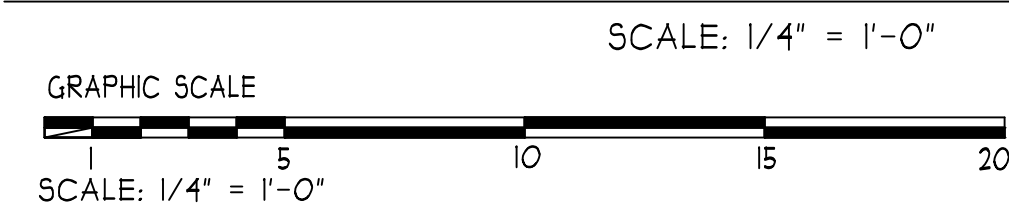
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WEST ELEVATION



SOUTH ELEVATION



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NEW BUILDING ON OUT LOT  
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DARIEN, IL 60561

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DUNKIN'  
DONUTS

PIZZERIA  
& TAP



DUNKIN'  
DONUTS

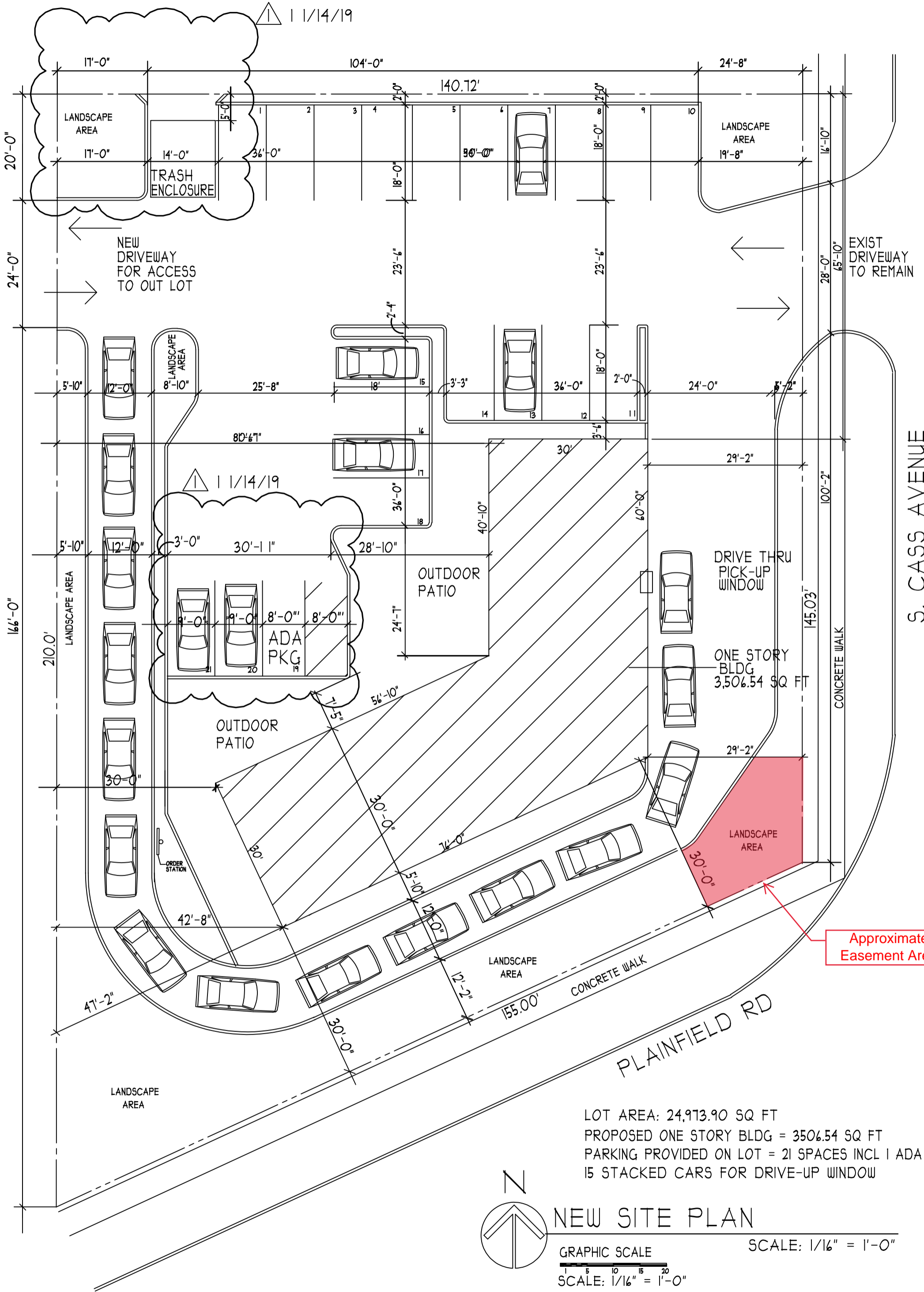
PIZZARIA  
& TAP



PIZZERIA & TAP

DUNKIN'  
DONUTS





LOT AREA: 24,913.90 SQ FT  
 PROPOSED ONE STORY BLDG = 3506.54 SQ FT  
 PARKING PROVIDED ON LOT = 21 SPACES INCL 1 ADA SPACE  
 15 STACKED CARS FOR DRIVE-UP WINDOW

**NEW SITE PLAN**  
 GRAPHIC SCALE  
 SCALE: 1/16" = 1'-0"  
 SCALE: 1/16" = 1'-0"

## **CITY OF DARIEN**

### **RULES FOR COMPLIANCE WITH PUBLIC COMMENT REQUIREMENTS OF THE ILLINOIS OPEN MEETINGS ACT**

#### **I. PURPOSE OF RULES.**

The purpose of these Rules is to comply with the requirement of Section 2.06 of the Illinois Open Meetings Act that a public comment section be provided at each meeting subject to the Open Meetings Act.

#### **II. DEFINITION OF “PUBLIC BODY” or “BODY.”**

For purposes of these Rules, the term “Public Body” or “Body” shall mean the City Council, any Committee of the City Council, and any Board and Commission established by the City Council.

#### **III. RULES GOVERNING PUBLIC COMMENT.**

A. Unless otherwise allowed by a majority vote of the Body, the public comment periods shall be as follows:

1. For the City Council, as set forth on the attached **Agenda template**.
2. For Council committees and advisory committees, at the conclusion of the meeting immediately before adjournment. At the direction of the Body, the floor may be opened for public comment in conjunction with specific agenda items.

B. Individuals seeking to make public comment to the Body shall be formally recognized by the Chair.

C. Individuals addressing the Body shall identify themselves by name, but need not provide their home address.

D. Individuals addressing the Body shall do so by addressing their comments to the Body

itself and shall not turn to address the audience.

E. Public comment time shall be limited to three (3) minutes per person.

F. An individual will be allowed a second opportunity to address the Body only after all other interested persons have addressed the Body and only upon the majority vote of the Body.

G. In the case of a special meeting, public comment will be limited to subject matters germane to the agenda of the special meeting.

#### **IV. PUBLIC HEARING REQUIREMENTS.**

Additional public comments periods will be allowed as required by law in the case of public hearing, subject to the same time constraints.

**Approved by a Motion on November 17, 2014**