

CITY OF DARIEN
PLANNING AND ZONING COMMISSION

Wednesday, June 6, 2018
7:00 PM
City Hall Council Chambers
1702 Plainfield Road

AGENDA

1. Call to Order
2. Roll Call
3. Regular Meeting:
 - A. Public Hearing
Case: PZC 2018-04 6926 Crest Road (Salverredy)
Petitioners Julio and Rachel Salverredy, owner/occupants of the house at 6926 Crest Road, seek approval of a variation to Section 5A-7-2-6(A) of the Darien Zoning Code for side yard setback for their proposed attached garage.
 - B. Workshop
Procedures
4. Correspondence
5. Old Business
6. New Business
7. Approval of Minutes: **May 2, 2018**
8. Next Meeting: June 20, 2018
9. Public Comments [On any topic related to planning and zoning]
10. Adjournment

AGENDA MEMO
PLANNING AND ZONING COMMISSION
June 6, 2018

Case

PZC 2018-04 6926 Crest Road (Salverredy)

Issue Statement

Petitioners seek approval of a variation to the Darien Zoning Code for side yard setback for a proposed attached garage to their home at 6926 Crest Road.

General Information

Petitioners / Property Owners:	Julio and Rachel Salverredy
Property Location / PIN#:	6926 Crest Road / 09-23-309-020
Zoning / Land Use:	Site: R-2 / single-family residence West, North, South: R-2 / single-family residence East: B-3 Willowbrook / restaurant
Comprehensive Plan:	Future Land Use: Low Density Residential
Size of Subject Lot:	75 feet wide at front by 200 feet deep average 17,084 square feet
Natural Features:	Relatively flat with trees in front and back of lot
Transportation:	Driveway between former garage and street

Zoning Provisions

Section 5A-7-2-6(A): Interior side yard 10 feet minimum

Development History and Proposal

After the Salverredys purchased house, they obtained permits for; pool deck and fence in 2012, conversion of attached garage to 2 story home addition and a new detached garage (which was not built) in 2014, and a deck in 2017. The house is now 17.5 feet from south side property line. Proposed garage attached to house would be 12.5 feet wide by 23 feet deep, which would be 5 feet from the south side property line, where 10 feet setback is otherwise required.

Petitioner Documents (attached to this memo)

1. Petition
2. Plat of Survey
3. 2018 Plan for garage
4. Findings of fact

Staff Documents (attached to this memo)

5. Photo – aerial of neighborhood
6. Photos – driveway and southwest corner of house
7. 2014 Plan for garage and home addition
8. Modified Plat
9. Variation Authority and Standards
10. Variation Conditions

Staff Plan Review

The attached aerial photo shows other houses nearby that have similar narrow lots and narrow side setbacks that have detached garages behind the house. The attached Modified Plat shows the former attached garage (2013) that was converted to house use in 2014, the detached garage permitted in 2014 but not built, the deck built in 2017, and the proposed attached garage (2018) subject to this variation request.

Findings of Fact

The Petitioners were asked to provide evidence or finding-of-fact that would support their requested variation, especially in terms of the pertinent variation criteria.

- Reasonable return – can they design garage that conforms to code without difficulty
- Self-created difficulty – did they limit their options when they demolished the existing garage and not build the approved garage
- Unique circumstance – can they use the same solution their neighbors have used

Pending Meeting Schedule

Planning and Zoning Commission:	June 6, 2018
Municipal Services Committee:	June 25, 2018
City Council:	July 2, 2018

CITY OF DARIEN, ILLINOIS, Community Development Department

Staff Use Only	
Case No.:	PZC 2018-04
Date Received:	4/20/18
Fee Paid:	\$360.
Check No.:	-
Hearing Date:	6/6/18

Variation/Special Use/Rezoning petition to the Mayor and City Council of the City of Darien:

PETITIONER INFORMATION

JULIO SALVERREDOY
Petitioner's Name

JULIO S RACHEL SALVERREDOY
Owner's Name

JULIO SALVERREDOY
Contact Name

6926 CREST RD DARIEN IL 60561
Address, City, State, Zip Code

6926 CREST RD DARIEN IL 60561
Address, City, State, Zip Code

(630)465-1561 & (630) 908-9887
Phone #

(630) 465-1561
Phone #

RSALVERREDOY@CENTRALDECAL.COM
Email

Fax #

JULIOSALVERREDOY@YAHOO.COM
Email

PROPERTY INFORMATION

6926 CREST RD DARIEN IL 60561
Property address

17,084 Square Feet
Acreage

09-23-309-020
PIN(s)

R-2
Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

Brief description of the request(s):

- Variation
- Simple Variation
- Special Use
- Rezoning

NEW WOOD FRAMED SINGLE STORY GARAGE, ASKING FOR A 5 FEET VARIATION

I, JULIO SALVERREDOY, do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

[Signature]
Signature

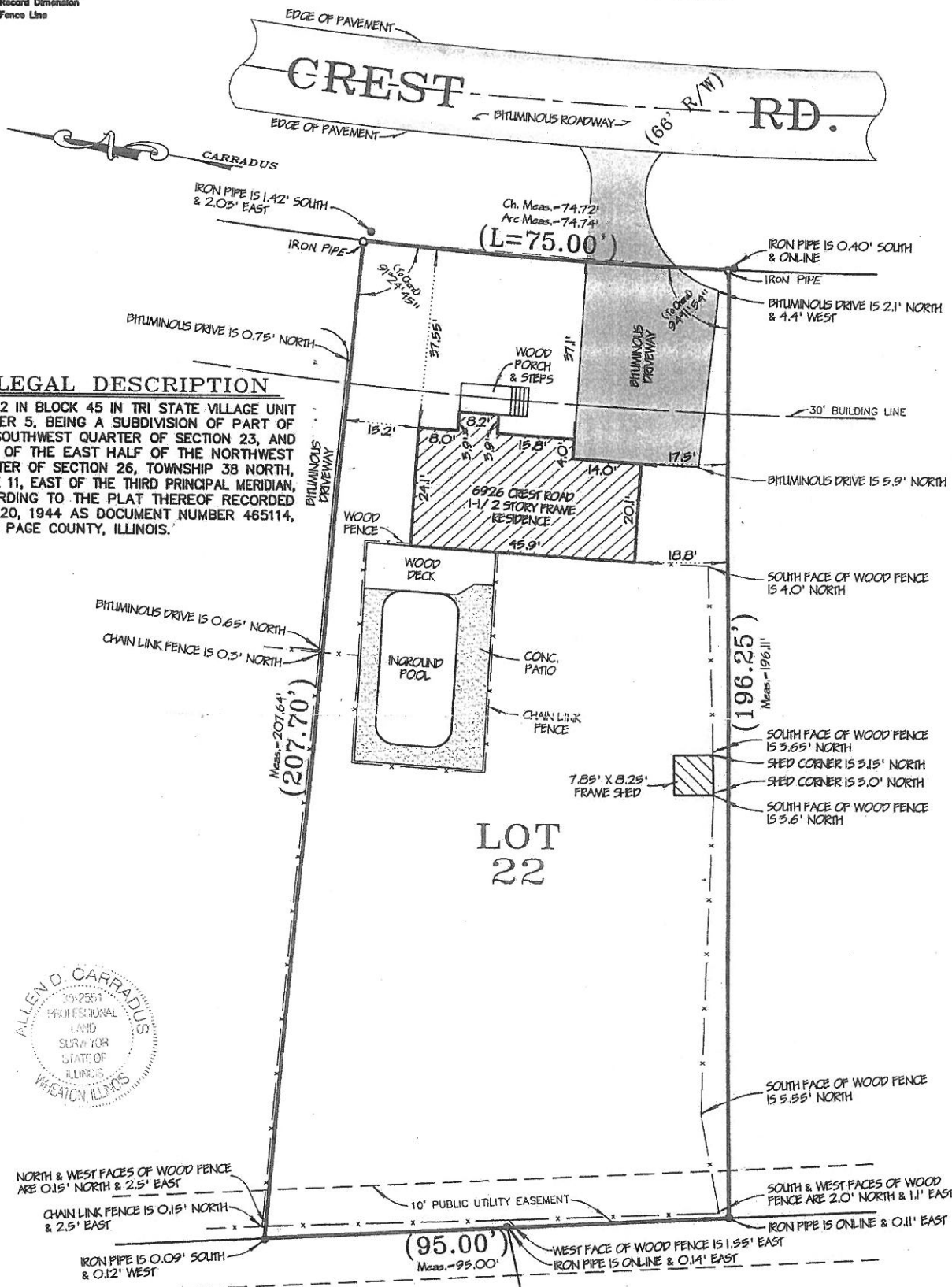
Subscribed and sworn to before this 18th day of April, 2018.

[Signature]
Notary Public



PLAT OF SURVEY

- LEGEND**
- Monumentation Found
 - Monumentation Set (ILCS 35-2551)
 - (307) Record Dimension
 - X- Fence Line



LEGAL DESCRIPTION

LOT 22 IN BLOCK 45 IN TRI STATE VILLAGE UNIT NUMBER 5, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 23, AND PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 20, 1944 AS DOCUMENT NUMBER 465114, IN DU PAGE COUNTY, ILLINOIS.



LOT 22

NOTES

1. All distances shown hereon are in feet and decimal parts thereof corrected to 68° f. Distances shown along curved lines are Arc Measurements unless otherwise noted.
2. Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed, Title Insurance Policy or Title Commitment.
3. Consult local authorities for additional setbacks and restrictions not shown hereon.
4. Compare all survey points and report any discrepancies immediately.
5. Consult utility companies and municipalities prior to the start of any construction.
6. Dimensions to and along buildings are exterior foundation measurements.
7. Do Not Assume distances from scaled measurements made hereon.

STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF ILLINOIS, HAVE SURVEYED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEXED PLAT IS A CORRECT AND TRUE REPRESENTATION THEREOF, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SIGNED AND SEALED AT WHEATON, ILLINOIS THIS 30th DAY OF April, A.D. 2007.
BY Allen D. Carradus ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2551.
MY LICENSE EXPIRES NOVEMBER 30, 2008.

ALLEN D. CARRADUS AND ASSOCIATES			
Residential & Commercial Land Surveying Services			
108 W. Liberty Drive, Wheaton, Illinois 60187			
(630) 588-0416 (Fax) 653-7682			
PREPARED FOR:	FREEDMAN, ANSELMO, LINDBERG & RAPPE		
DRAWN BY:	DATE OF FIELD WORK:	SCALE:	PLD.BK. - PAGE:
ADC/CMG	04/30/07	1" = 20'	245-13
PROJECT NO.		19158	

SALVERREDY RESIDENCE

6926 Crest Road
 Darien, Illinois 60561

GENERAL NOTES

CONTRACTOR SHALL OBTAIN ALL PERMITS, BONDS, LICENSES, ETC. AS REQUIRED AND FOLLOW ALL LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES.

ALL STRUCTURAL REVISIONS SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO ANY WORK PROCEEDING.

ALL NEW MEMBERS SHALL BE (Q224) 1/2" PLYWOOD PLATE, UNLESS OTHERWISE NOTED. MEMORIZE EXISTING HOLEBORES AS REQUIRED.

CONCRETE SHALL ACHIEVE 3000 PSI IN 28 DAYS.

FOOTINGS SHALL NOT BEAR ON ANY ORGANIC LOADS OR FILL MATERIAL. FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL SOILS OR GRADE. GENERAL CONTRACTOR AND/OR EXCAVATING CONTRACTOR TO VERIFY THAT SOILS CAPACITY IS ADEQUATE TO SUPPORT ALL STRUCTURAL LOADS. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.

ALL TRADES SHALL VISIT THE SITE PRIOR TO WORK PROCEEDING. CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY WORK PROCEEDING.

ALL COLORS, FINISHES AND MATERIALS USED SHALL BE APPROVED BY THE OWNER PRIOR TO ORDERS BEING PLACED.

ELECTRICAL CONTRACTOR SHALL VERIFY THE EXISTING ELECTRICAL SYSTEM AND PANEL TO ACCOMMODATE ALL NEW LOADS AND EQUIPMENT. CONTRACTOR TO PROVIDE ALL MATERIAL AND LABOR AS REQUIRED TO COMPLETE ALL WORK.

HVAC CONTRACTOR SHALL VERIFY THE EXISTING HEATING AND COOLING SYSTEM TO ACCOMMODATE THE NEW LOADS AND EQUIPMENT. CONTRACTOR TO PROVIDE ALL MATERIAL AND EQUIPMENT AS REQUIRED. HVAC CONTRACTOR SHALL VERIFY ALL SYSTEMS AND EQUIPMENT ARE INSTALLED IN ACCORDANCE WITH ALL CODES AND COMMENTS. THE EXISTING SYSTEM TO REMAIN AS IS, NO NEW WORK.

PLUMBING CONTRACTOR SHALL VERIFY THE EXISTING PLUMBING SYSTEM TO ACCOMMODATE THE NEW LOADS AND EQUIPMENT. CONTRACTOR TO PROVIDE ALL MATERIAL AND EQUIPMENT AS REQUIRED. PLUMBING CONTRACTOR SHALL VERIFY ALL SYSTEMS AND EQUIPMENT ARE INSTALLED IN ACCORDANCE WITH ALL CODES AND COMMENTS. THE EXISTING SYSTEM TO REMAIN AS IS, NO NEW WORK.

DO NOT SCALE DRAWINGS.

ALL SKETCHING TO BE 3/16" NOTED.

CONTRACTOR TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS.

INDEX OF DRAWINGS

ARCHITECTURAL

- T-1 GENERAL NOTES, SITE PLAN
- A-1 GARAGE PLAN
- A-2 EXTERIOR ELEVATIONS

CODES:

- 2012 INTERNATIONAL RESIDENTIAL CODES W/ AMENDMENTS
- 2004 NATIONAL ELECTRIC CODE W/ AMENDMENTS
- 2004 ILLINOIS STATE PLUMBING CODE W/ AMENDMENTS
- 2012 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE

PROJECT DATA

ZONED - R-2	
EXISTING LOT AREA	17,084 SQ. FT.
EXISTING FIRST FLOOR	1,112 SQ. FT.
EXISTING SECOND FLOOR	924 SQ. FT.
GARAGE ADDITION	295 SQ. FT.

SALVERREDY RESIDENCE
 2 STORY ADDITION W/ GARAGE

6926 Crest Road
 Darien, Illinois 60561

CAPITAL ARCHITECTS, LLC
 PLANNING & DESIGN

223 Frederick Place
 Wood Dale, IL 60191
 Tel: (647) 209-1125

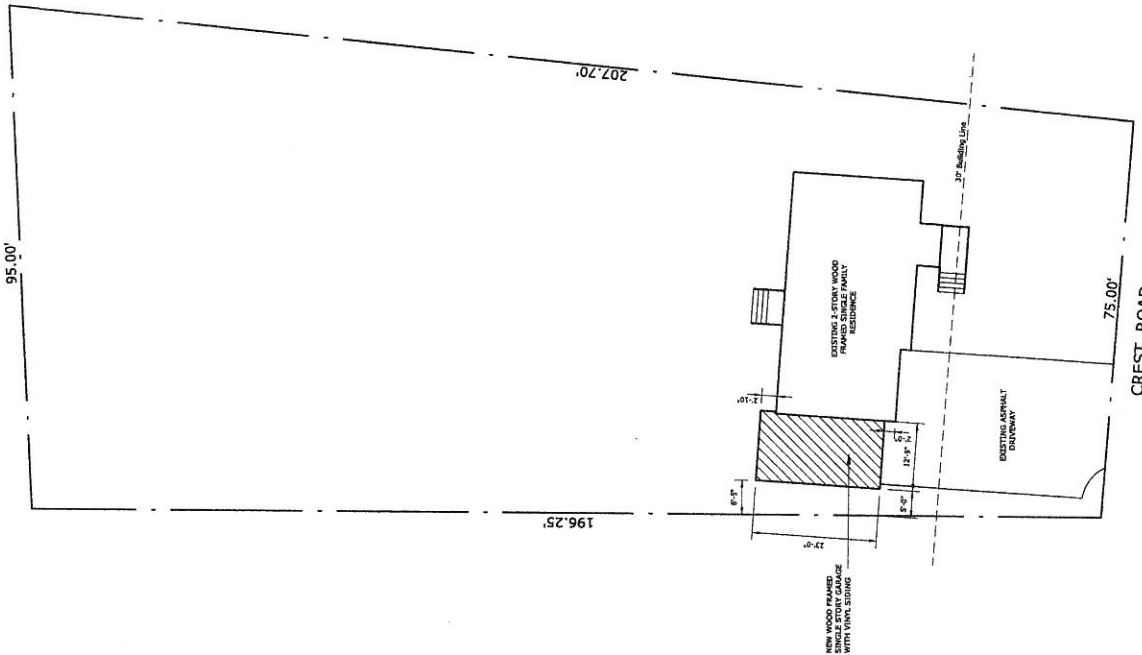
JOHN E. BETA
 PROJECT ARCHITECT
 LICENSE NO. 001-017638
 EXPIRES 11/18

Project No. **1408-1**

No.	Description	Date
1	ISSUED FOR REVIEW	3/22/18

Sheet Title:
**GENERAL NOTES,
 SITE PLAN**

Sheet No.
T-1



1 SITE PLAN
 1/16" = 1'-0"

CALL J.O.L.I.E. @ 1-800-892-0123
 48 HOURS BEFORE YOU DIG.

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CODES AND ORDINANCES OF DARIEN, ILLINOIS.

**SALVERREDY
RESIDENCE**

2 STORY ADDITION W/ GARAGE

6926 Crest Road
Daner, Illinois 60561

**CAPITAL
ARCHITECTS, LLC**
PLANNING & DESIGN

223 Frederick Place
Wood Dale, IL 60911
Tel : (847) 209-1125

Project No. **1408-1**

No.	Description	Date
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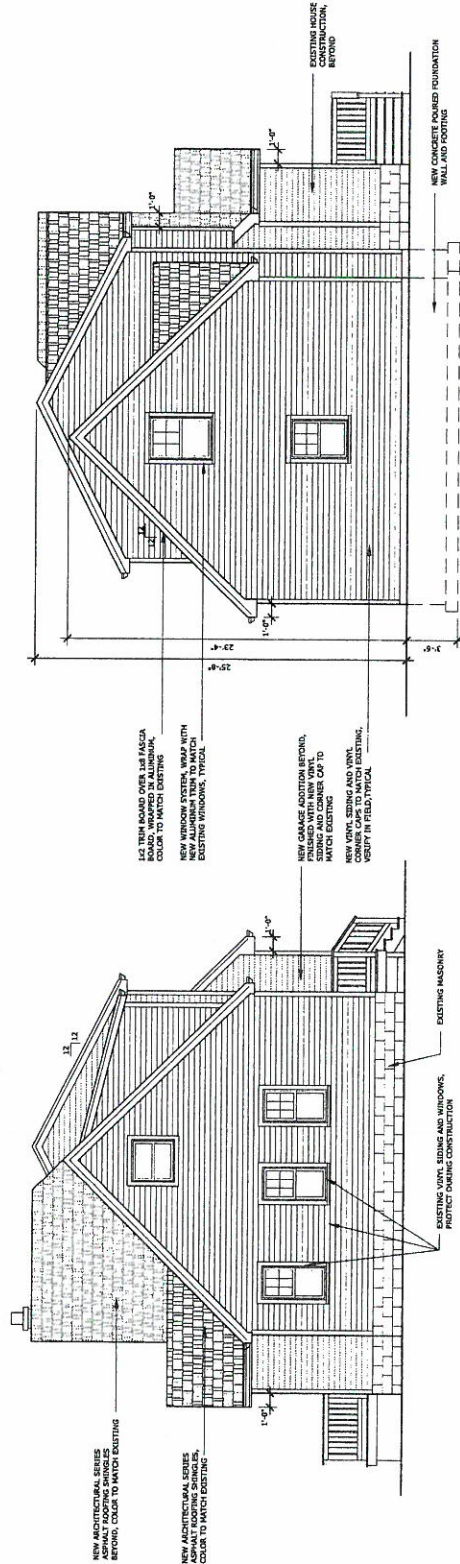
Sheet Title:
EXTERIOR ELEVATIONS

Sheet No.:

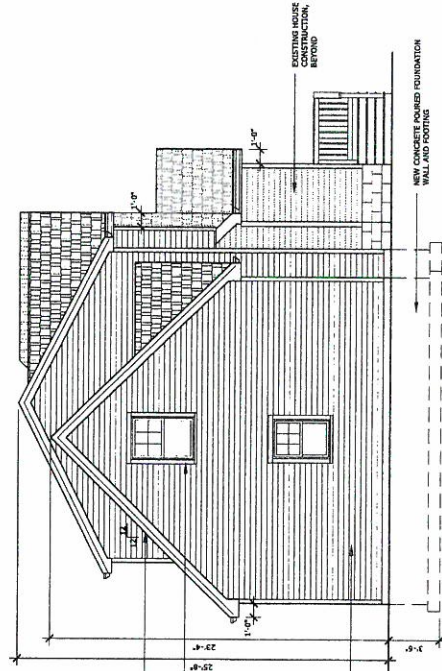
A-2



1 REAR ELEVATION
3/4" = 1'-0"



2 NORTH ELEVATION
3/4" = 1'-0"



3 SOUTH ELEVATION
3/4" = 1'-0"

**SALVERREY
RESIDENCE**

2 STORY ADDITION W/ GARAGE

6926 Crest Road
Darien, Illinois 60511

**CAPITAL
ARCHITECTS, LLC**
PLANNING & DESIGN

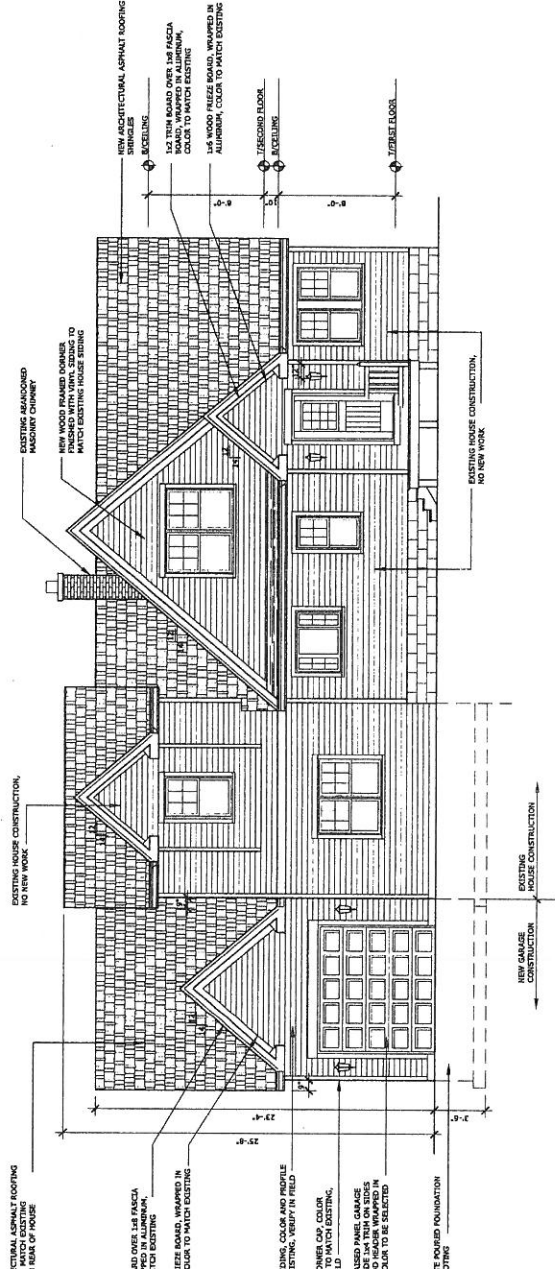
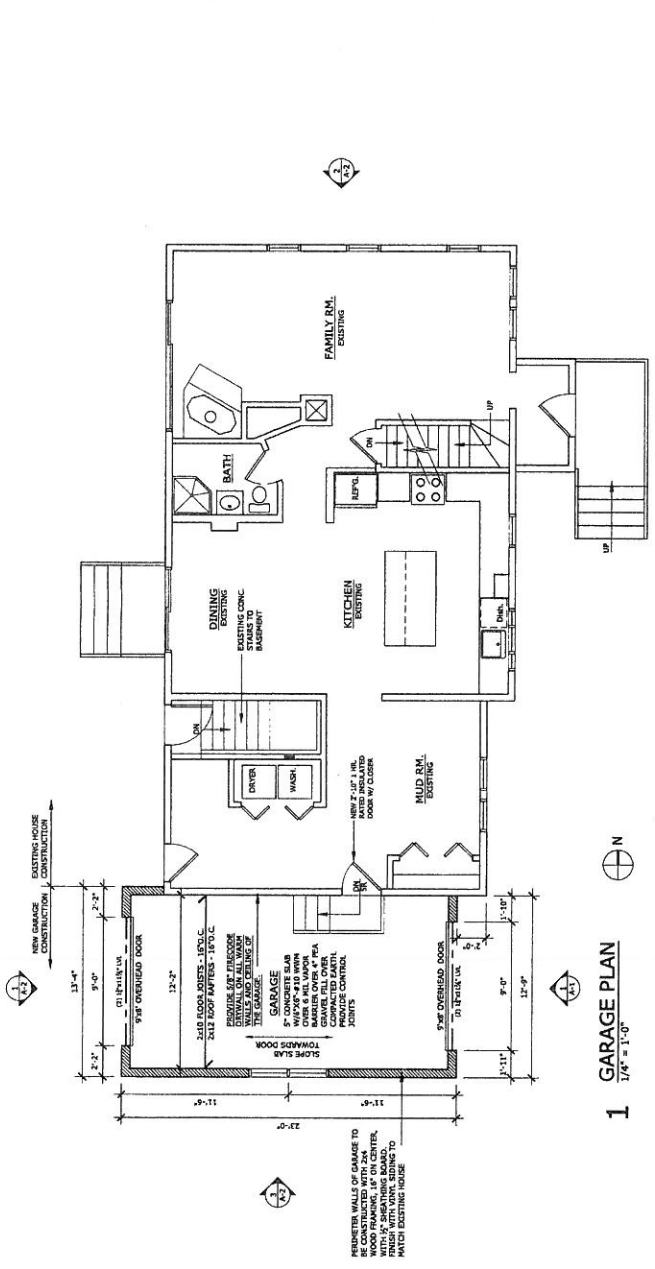
233 Frederick Place
Wood Dale, IL 60191
Tel: (847) 209-1125

Project No: **1408-1**

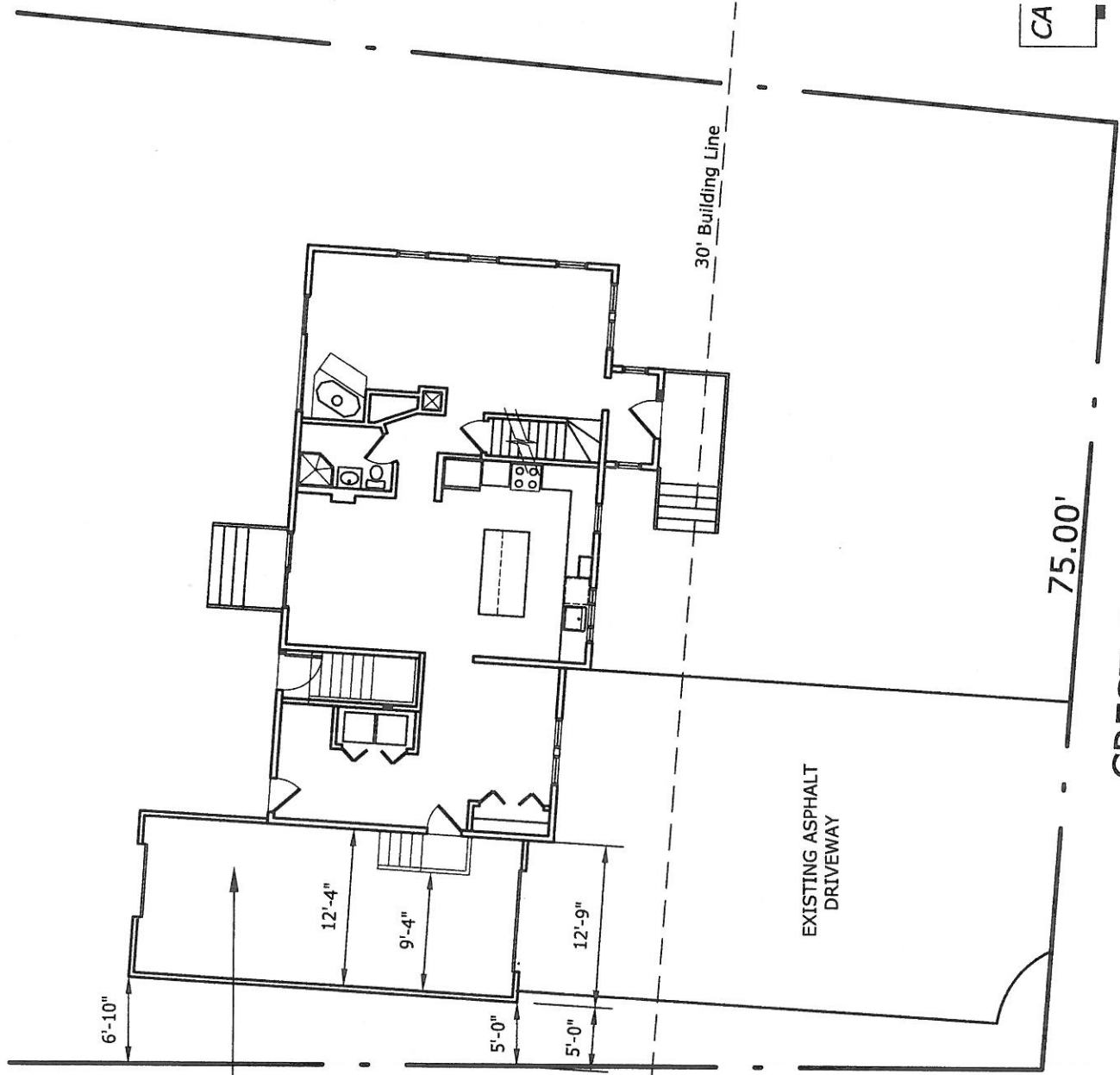
No.	Description:	Date:
1	ISSUED FOR REVIEW	2-22-18

Sheet Title:
**GARAGE PLAN
FRONT ELEVATION**

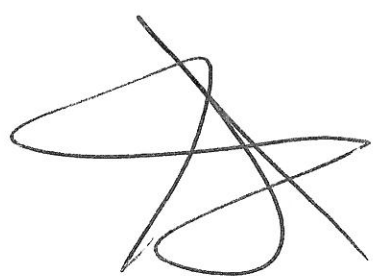
Sheet No:
A-1



CA



NEW WOOD FRAMED SINGLE STORY GARAGE WITH VINYL SIDING



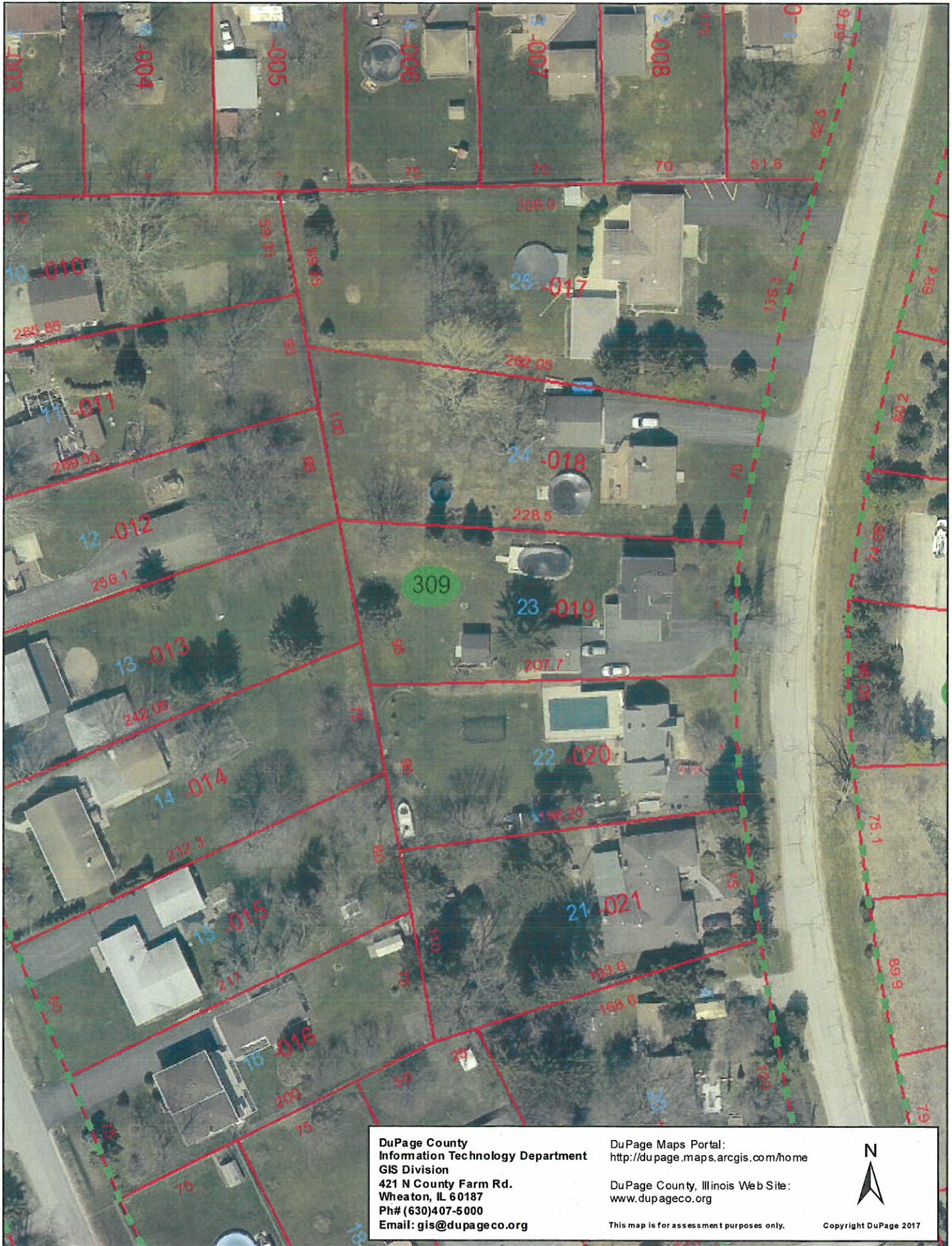
Petitioner's Finding of Fact

Zoning Code Section 5A-2-2-3 (G) : Standards

1. The purpose of this variation is not based on desire to increase financial gain, but to create more living space. The addition will be closely matched to current dwelling and will not change the character to the property.
2. There would not be any effects on the neighboring properties for the building area is set back on lot and the overall value of property will be improved.
3. The alleged need for variation is solely requested by the owners of property which recently turned the existing garage into living space and built a deck out by pool. All in which add value to the home.
4. The proposed variation will not impair any supply of light or air in adjacent property and is far set back from public street.
5. The proposed variation will not change or alter the general character of the neighborhood and will match the current dwelling.

Sections 11-13-4 and 11-13-5 : Variations

1. We are unable to build our garage up to current code because there is not enough space from end of house to property line to fit the width of a one car attached garage.
2. We are aware that other homeowners in our area have chosen to set a detached garage in the rear of their yard. This would not work for our property because we have an existing deck that would interfere with the drive way and the existing shed would have to be removed.
3. If variation is granted the garage will be the same siding and color and blend right into current dwelling, not changing the character.



DuPage County
Information Technology Department
GIS Division
421 N County Farm Rd.
Wheaton, IL 60187
Ph# (630)407-5000
Email: gis@dupageco.org

DuPage Maps Portal:
<http://dupage.maps.arcgis.com/home>

DuPage County, Illinois Web Site:
www.dupageco.org

This map is for assessment purposes only.



Copyright DuPage 2017



05/22/2018 22:57

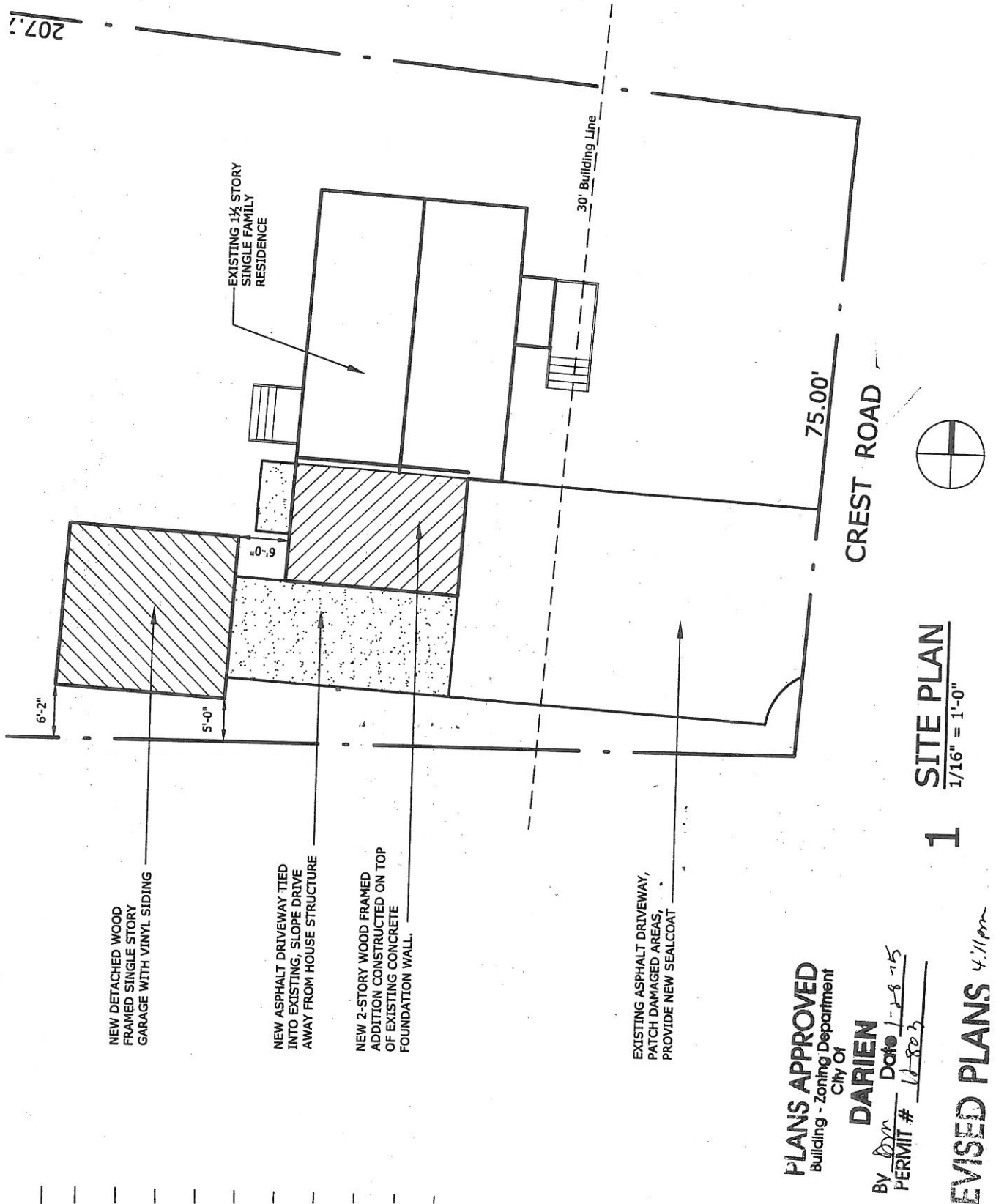


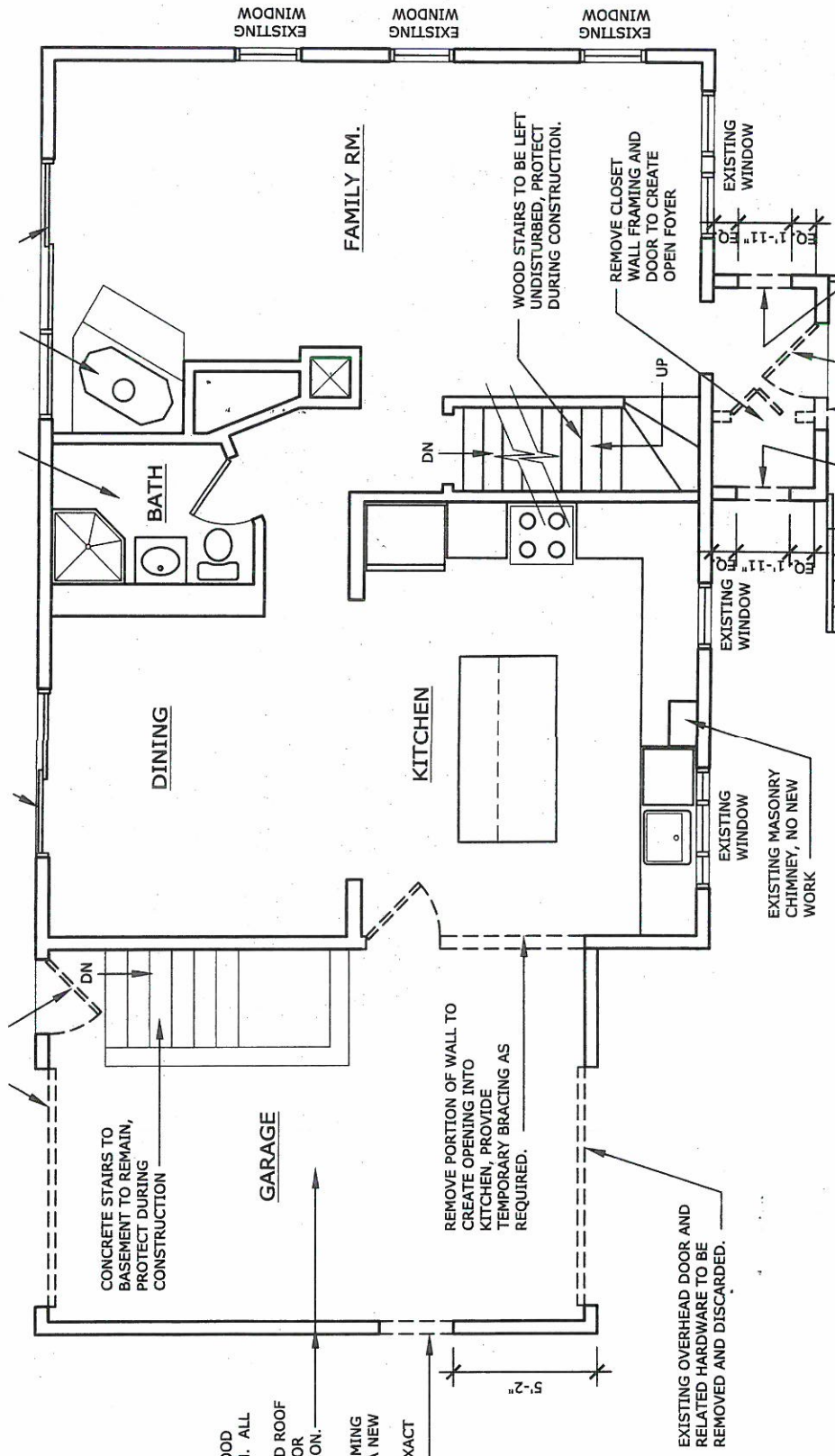
05/22/2018 22:58

BEWARE
of DOG

SLOW!

2014 Plan for Garage and House Addition





EXISTING SINGLE STORY WOOD FRAMED GARAGE TO REMAIN. ALL WALL FRAMING TO REMAIN. REMOVE CEILING JOISTS AND ROOF RAFTERS TO ALLOW ROOM FOR NEW SECOND STORY ADDITION.

REMOVE PORTION OF WALL TO CREATE OPENING INTO KITCHEN, PROVIDE TEMPORARY BRACING AS REQUIRED.

2'-0"

EXISTING OVERHEAD DOOR AND RELATED HARDWARE TO BE REMOVED AND DISCARDED.

EXISTING WOOD FRAMED PORCH AND STAIRS, PROTECT DURING CONSTRUCTION

MODIFY PORTION OF WALL FRAMING FOR NEW WINDOW SYSTEM. PROVIDE NEW (2)x12 HEADERS, REFER TO CONSTRUCTION PLAN FOR ADDITIONAL INFORMATION

REMOVE ENTRY DOOR AND PORTION OF ADJACENT WALL AS REQUIRED TO CENTER NEW ENTRY DOOR ON WIDTH OF OUTSIDE WALL

FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



MODIFY PORTION OF WALL FRAMING FOR NEW WINDOW SYSTEM. PROVIDE NEW (2)x12 HEADERS, REFER TO CONSTRUCTION PLAN FOR ADDITIONAL INFORMATION

EXISTING WINDOW

EXISTING WINDOW

EXISTING WINDOW

EXISTING WINDOW

EXISTING WINDOW

EXISTING WINDOW

DINING

KITCHEN

BATH

FAMILY RM.

DN

UP

UP

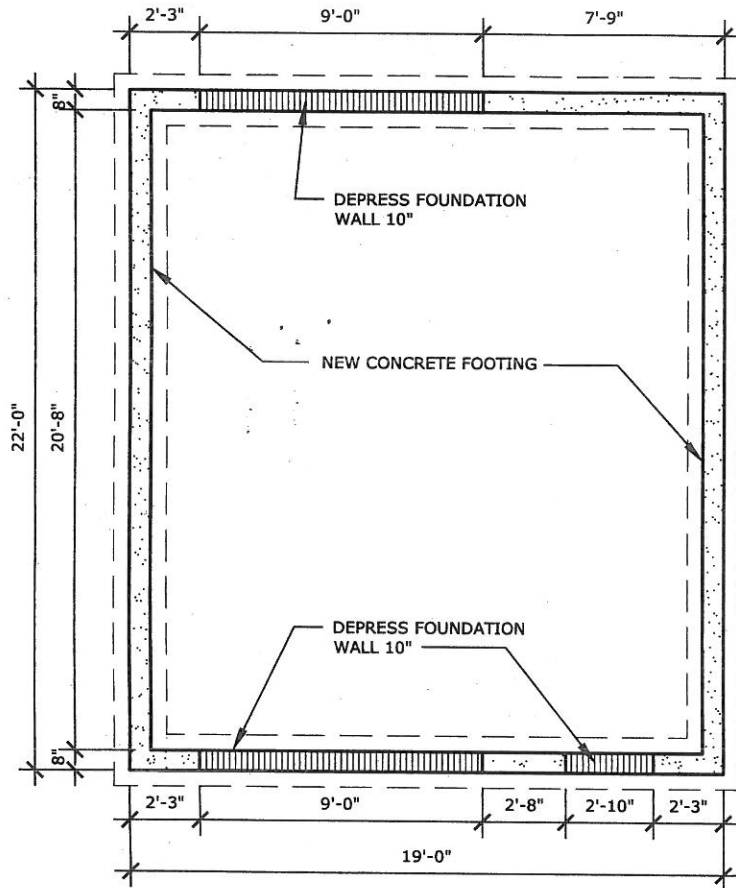
CONCRETE STAIRS TO BASEMENT TO REMAIN, PROTECT DURING CONSTRUCTION

GARAGE

WOOD STAIRS TO BE LEFT UNDISTURBED. PROTECT DURING CONSTRUCTION.

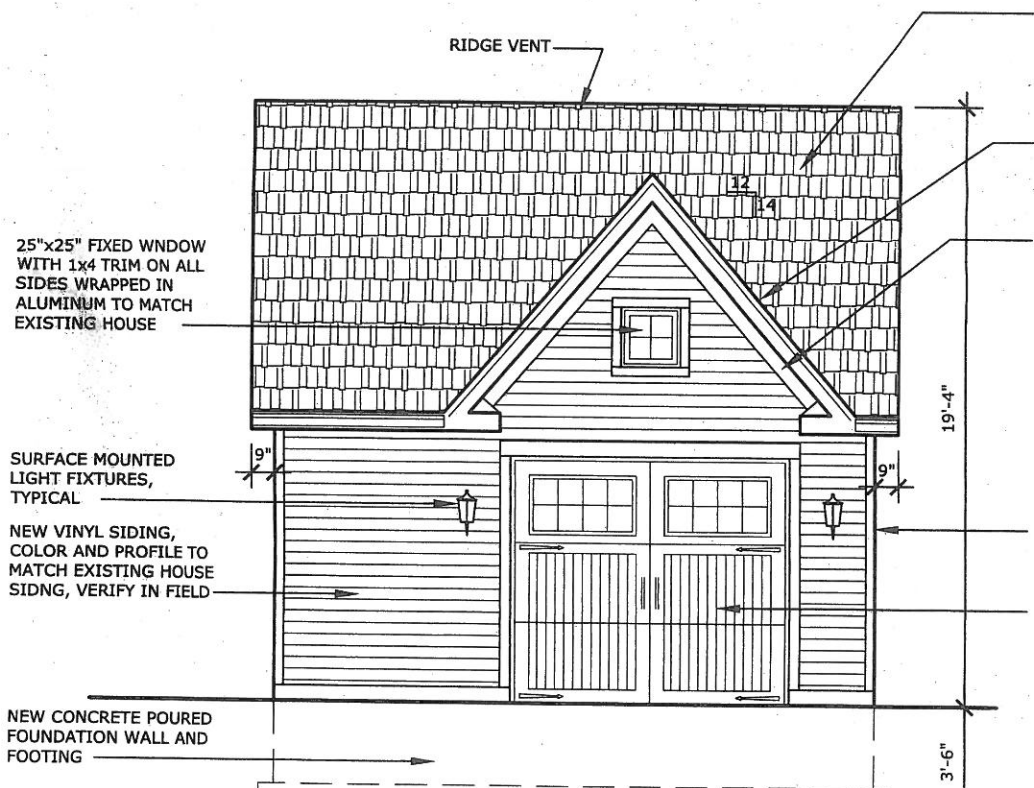
REMOVE CLOSET WALL FRAMING AND DOOR TO CREATE OPEN FOYER

EXISTING MASONRY CHIMNEY, NO NEW WORK



1 GARAGE FOUNDATION PLAN

1/4" = 1'-0"

CREST RD.

EDGE OF PAVEMENT
BITUMINOUS ROADWAY
(66' R/W)

CARRADUS

IRON PIPE IS 1.42' SOUTH & 2.03' EAST

Ch. Meas. = 74.72'
Arc Meas. = 74.74'
(L=75.00')

IRON PIPE IS 0.40' SOUTH & ONLINE

IRON PIPE

BITUMINOUS DRIVE IS 2.1' NORTH & 4.4' WEST

BITUMINOUS DRIVE IS 0.75' NORTH

IRON PIPE

37.55'

BITUMINOUS DRIVEWAY

WOOD PORCH & STEPS

BITUMINOUS DRIVEWAY

30' BUILDING LINE

BITUMINOUS DRIVE IS 5.9' NORTH

WOOD FENCE

6926 CREST ROAD
1-1/2 STORY FRAME RESIDENCE

P. GARAGE 2013

P. GARAGE 2018

SOUTH FACE OF WOOD FENCE IS 4.0' NORTH

BITUMINOUS DRIVE IS 0.65' NORTH

CHAIN LINK FENCE IS 0.3' NORTH

Meas. = 207.64'
(207.70')

WOOD DECK
INGROUND POOL

DECK 2017

CONC. 25' PATIO

P. GARAGE 2014

(196.25')
Meas. = 196.11'

SOUTH FACE OF WOOD FENCE IS 3.65' NORTH

SHED CORNER IS 3.15' NORTH

SHED CORNER IS 3.0' NORTH

SOUTH FACE OF WOOD FENCE IS 3.6' NORTH

7.85' X 8.25' FRAME SHED

MODIFIED PLAT

Sketch estimates by Steve Manning

LOT 22

NORTH & WEST FACES OF WOOD FENCE ARE 0.15' NORTH & 2.5' EAST

CHAIN LINK FENCE IS 0.15' NORTH & 2.5' EAST

IRON PIPE IS 0.09' SOUTH & 2.01' WEST

(95.00')
Meas. = 95.00'

WEST FACE OF WOOD FENCE IS 1.55' EAST
IRON PIPE IS ONLINE & 0.14' EAST

SOUTH & WEST FACES OF WOOD FENCE ARE 2.0' NORTH & 1.1' EAST

IRON PIPE IS ONLINE & 0.11' EAST

10' PUBLIC UTILITY EASEMENT

SOUTH FACE OF WOOD FENCE IS 5.55' NORTH



CITY OF DARIEN

In the County of DuPage and the State of Illinois
Incorporated 1969

VARIATION AUTHORITY & STANDARDS

Zoning Code Section 5A-2-2-3 (A): Authority

In cases where there are practical difficulties or particular hardships in the way of carrying out the strict letter of any of the regulations adopted by this Title, the City Council may, by ordinance, determine and vary the application of such regulations.

Zoning Code Section 5A-2-2-3 (G): Standards

The City shall not vary the provisions of this Title unless findings of fact have been made on the following:

1. Whether the purpose of the variation is not based primarily upon a desire to increase financial gain and the general character of the property will be adversely altered.
2. Whether the overall value of the property will be improved and there will not be any potential adverse effects on the neighboring properties.
3. Whether the alleged need for the variation has been created by any person presently having a proprietary interest in the premises.
4. Whether the proposed variation will impair an adequate supply of light and air in adjacent property, substantially increase congestion in the public streets, increase the danger of fire or endanger the public safety.
5. Whether the proposed variation will adversely alter the essential character of the neighborhood.



ILLINOIS MUNICIPAL CODE 65 ILCS

Sections 11-13-4 and 11-13-5: VARIATIONS

A variation shall be permitted only if the evidence sustains each of the following three conditions:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.

2. The plight of the owner is due to unique circumstances.

3. The variation if granted will not alter the essential character of the locality.

The corporate authorities may provide general or specific rules implementing, but not inconsistent with, the rules herein provided.

CITY OF DARIEN
PLANNING AND ZONING COMMISSION

PUBLIC HEARING GUIDELINES

Revised 5.2.18

NOTICES

Everyone can attend

Regular meetings are first and third Wednesdays except holidays.

Notice of each hearing is published in local newspaper, mailed to neighbors, and sign placed on property. Agendas, these guidelines, petitioner's plans, and staff reports are posted on City website and in City Hall.

PARTICIPATION

Everyone will get a chance to participate in the process.

Comments and questions before the hearing can be sent to the City Planner, who will share with all at the hearing.

During each hearing, the Chairperson will ask for your input. Everyone has the right to cross-examination.

At the end of each meeting, the Chairperson will ask if you want to speak on topics other than the hearing.

Inspire us!

SEQUENCE

During the hearing, feel free to ask questions. In general, the following sequence will be used:

1. Staff - Introduce the hearing, summarize the proposal, document the notices
2. Petitioner - Present the plan, studies, rational, and other information as needed
3. Audience - Ask questions and offer testimony. We ask for your oath and name but not your address.
4. Commission members - Make findings of fact and vote

DISCUSSION

We need your civility and respect so we can hear, learn, understand, exchange ideas, and make the best decisions.

(if people are repeating comments from others, it is okay to ask for no repeats)

(if people are rambling, it is okay to ask for focus on the relevant issues)

(if people are dominating the conversation, it is okay to ask to give others a chance)

(if people are interrupting, it is okay to ask to wait their turn)

(Shouting, distractions, obscenities, etc. are counter-productive and should cease)

(if there is a large audience wanting to speak, the Chairperson may ask people to limit their comments to three minutes)

(if the hour is late, may continue to next meeting)

FINDINGS OF FACT

It is the evidence that supports a conclusion

It includes an understanding of cause and effect

It forecasts future impacts and predicts what is best for the community

It provides the reasons for wise and fair decisions

The decision criteria in code help identify which findings are most relevant

The findings of fact for each criteria should be discussed openly before voting

The best findings of fact will educate, persuade, and lead to consensus

**MINUTES
CITY OF DARIEN
PLANNING & ZONING COMMISSION MEETING
May 2, 2018**

PRESENT: Chairperson Lou Mallers, Bryan Gay, Robert Cortez, Michael Desmond, Robert Erickson, Brian Liedtke, John Laratta, Ralph Stompanato, Steven Manning - City Planner, Elizabeth Lahey - Secretary

ABSENT: Mary Sullivan

Chairperson Mallers called the meeting to order at 7:00 p.m. at City Hall - City Council Chambers, Darien, Illinois and declared a quorum present.

A. Workshop - Procedures

Mr. Steven Manning, City Planner reported that he updated the Public Hearing Guidelines noting the time limit for public comment to 5 minutes.

Chairperson Mallers stated that 3 minutes was sufficient.

There was no one in the audience wishing to present public comment.

Commissioner Gay made a motion and it was seconded by Commissioner Cortez to approve the Public Hearing Guidelines as presented limiting public comment to 3 minutes.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 8-0.

There was some discussion regarding the Public Hearing discussion outline. Mr. Manning reported that he changed the language from "suspend" public comment to "pause" public comment. He suggested that the Committee should ask questions, discuss the facts and finding and then seek answers if needed.

There was also discussion regarding decision criteria for variations. Mr. Manning suggested that conditions can always be placed in a motion and that dialog is beneficial.

Mr. Manning stated that the Committee can come together on criteria and then Code can be amended.

There was discussion regarding Home Owners Associations and criteria. Mr. Manning stated that he would add an area to the application.

CORRESPONDENCE

None.

OLD BUSINESS

Mr. Steve Manning, City Planner reminded the Committee to file their Ethics Statement.

NEW BUSINESS

None.

APPROVAL OF MINUTES

Commissioner Liedtke made a motion and it was seconded by Commissioner Gay to approve the April 18, 2018 Regular Meeting Minutes.

Upon roll call vote, **THE MOTION CARRIED UNANIMOUSLY 8-0.**

NEXT MEETING

Mr. Manning announced that the next meeting is scheduled for Wednesday, May 16, 2018 at 7:00 p.m. He reported that there was nothing on the agenda and that this meeting would most likely be cancelled.

ADJOURNMENT

With no further business before the Commission, Commissioner Gay made a motion and it was seconded by Commissioner Liedtke. Upon voice vote, **THE MOTION CARRIED unanimously and the meeting adjourned at 8:35 p.m.**

RESPECTFULLY SUBMITTED:

APPROVED:

Elizabeth Lahey
Secretary

Lou Mallers
Chairman