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**PRE-COUNCIL WORK SESSION — 7:00 P.M.**  
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Agenda of the Regular Meeting

of the City Council of the

**CITY OF DARIEN**

April 21, 2025

7:30 P.M.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Declaration of Quorum
5. Questions, Comments and Announcements — **General (This is an opportunity for the public to [make comments or ask questions on any issue](#) – 3 Minute Limit Per Person, Additional Public Comment Period - Agenda Item 18)**
6. Approval of Minutes — [April 7, 2025](#)
7. Receiving of Communications
8. Mayor's Report
  - A. Consideration of a Motion to Approve the Reappointment of [Frank Noverini](#) to the Board of Fire and Police Commissioners
  - B. Consideration of a Motion to Approve the Appointment of [Maura Killian](#) to the Environmental Committee
9. City Clerk's Report
10. City Administrator's Report
11. Department Head Information/Questions
  - A. Police Department
  - B. Municipal Services
12. Treasurer's Report
  - A. Warrant Number — [24-25-24](#)
  - B. Monthly Report — [March 2025](#)
13. Standing Committee Reports

14. Questions and Comments — **Agenda Related (This is an opportunity for the public to make comments or ask questions on any item on the Council's Agenda – 3 Minute Limit Per Person)**
15. Old Business
16. Consent Agenda
  - A. Consideration of a Motion Authorizing the City Administrator to Sign a Contract for the Best Bid for Street Light Electric Supply
  - B. Consideration of a Motion to Approve an Ordinance Approving a Special Use Amendment and Variations from the Darien Zoning Ordinance (PZC 2024:-14: 8226 Cass Avenue, True North Energy, LLC)
17. New Business
  - A. Consideration of a Motion Approving the Memorandum of Understanding (MOU-Exhibit A) Regarding Social Worker Services between Northeast DuPage Family and Youth Services (NEDFYS) and the Darien Police Department and Authorizing the Mayor to Sign the MOU
  - B. Consideration of a Motion to Approve an Ordinance Authorizing the Sale or Disposal of Surplus Property
  - C. Consideration of a Motion to Approve an Ordinance Amending Section 3-3-7-5(C) Class E License of The Darien City Code (True North Energy, LLC)
18. Questions, Comments and Announcements — **General (This is an opportunity for the public to make comments or ask questions on any issue – 3 Minute Limit Per Person)**
19. Adjournment

THE 2025-2026 BUDGET PUBLIC HEARING WAS CALLED TO ORDER AT 7:00 P.M. BY MAYOR MARCHESE. THE PUBLIC HEARING ADJOURNED AT 7:01 P.M.

A WORK SESSION WAS CALLED TO ORDER AT 7:01 P.M. BY MAYOR MARCHESE FOR THE PURPOSE OF REVIEWING ITEMS ON THE APRIL 7, 2025 AGENDA WITH THE CITY COUNCIL. THE WORK SESSION ADJOURNED AT 7:26 P.M.

**Minutes of the Regular Meeting**

**of the City Council of the  
CITY OF DARIEN**

**APRIL 7, 2025**

**7:30 P.M.**

1. **CALL TO ORDER**

The regular meeting of the City Council of the City of Darien was called to order at 7:30 P.M. by Mayor Marchese.

2. **PLEDGE OF ALLEGIANCE**

Mayor Marchese led the Council and audience in the Pledge of Allegiance.

3. **ROLL CALL** — The Roll Call of Aldermen by Clerk Ragona was as follows:

Present:	Thomas J. Belczak	Ted V. Schauer
	Eric K. Gustafson	Ralph Stompanato
	Gerry Leganski	

Absent:	Joseph A. Kenny
	Mary Coyle Sullivan

Also in Attendance: Joseph Marchese, Mayor  
JoAnne E. Ragona, City Clerk  
Michael J. Coren, City Treasurer  
Bryon Vana, City Administrator  
Gregory Thomas, Police Chief  
Daniel Gombac, Director of Municipal Services

4. **DECLARATION OF A QUORUM** – There being five aldermen present, Mayor Marchese declared a quorum.

5. **QUESTIONS, COMMENTS AND ANNOUNCEMENTS – GENERAL**

There were none.

6. **APPROVAL OF MINUTES**

A. City Council Meeting, February 18, 2025

It was moved by Alderman Schauer and seconded by Alderman Stompanato to approve the minutes of the City Council Meeting of February 18, 2025.

Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato

Nays: None

Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2

**MOTION DULY CARRIED**

B. Administrative/Finance Committee-of-the-Whole — February 19, 2025

C. Administrative/Finance Committee-of-the-Whole — February 26, 2025

It was moved by Alderman Schauer and seconded by Alderman Belczak to approve the minutes of the Administrative/Finance Committee-of-the-Whole Meetings of February 19 and February 26, 2025.

Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato

Nays: None

Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2

**MOTION DULY CARRIED**



D. City Council Meeting, March 3, 2025

It was moved by Alderman Gustafson and seconded by Alderman Stompanato approve the minutes of the City Council Meeting of March 3, 2025.

Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato

Nays: None

Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2

**MOTION DULY CARRIED**

7. **RECEIVING OF COMMUNICATIONS**

Alderman Schauer received communication from Ralph Cozzi, 8400 block of Captons Lane, advising darkness at the intersection of Hinswood Drive & Frontage Road. Director Gombac to determine need for streetlight.

8. **MAYORS REPORT**

**A. CONSIDERATION OF A MOTION TO APPROVE THE APPOINTMENT OF VALERIE KAZICH TO THE ENVIRONMENTAL COMMITTEE**

It was moved by Alderman Stompanato and seconded by Alderman Leganski to approve the motion as presented.

**MOTION NO. M-10-25**

**A MOTION TO APPROVE THE APPOINTMENT OF VALERIE KAZICH TO THE ENVIRONMENTAL COMMITTEE**

Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato

Nays: None

Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2

**MOTION DULY CARRIED**

Clerk Ragona administered the Oath of Office to Valerie Kazich.

**B. CONSIDERATION OF A MOTION TO APPROVE THE REAPPOINTMENT OF JOHN BRESLIN TO THE POLICE PENSION BOARD**

It was moved by Alderman Belczak and seconded Alderman Schauer to approve the motion as presented.

**MOTION NO. M-11-25**

**A MOTION TO APPROVE THE REAPPOINTMENT OF JOHN BRESLIN TO THE POLICE PENSION BOARD**

Roll Call:	Ayes:	Belczak, Gustafson, Leganski, Schauer, Stompanato
	Nays:	None
	Absent:	Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2

**MOTION DULY CARRIED**

Clerk Ragona administered the Oath of Office to John Breslin.

**C. INTRODUCTION AND PRESENTATION OF METRONET FIBER PROVIDER**

Director Gombac provided synopsis of fiber optic cable providers.

Ben Ruzick, VP of New Market Development, provided an overview of Metronet, a fiber-optic internet service provider, which included impacts of 100% fiber network, ranking amongst industry leaders, construction communication & details, field crew, restoration, post construction and community commitment. He and Scott Carl, Project Director, addressed Council questions.

Director Gombac stated communication updates will be featured in Direct Connect eNews. He stated an additional fiber-optic company may present to Council at a later date.

9. **CITY CLERK'S REPORT**

Clerk Ragona announced City offices will be closed on April 18 in observance of Good Friday.

10. **CITY ADMINISTRATOR’S REPORT**

There was no report.

11. **DEPARTMENT HEAD INFORMATION/QUESTIONS**

**A. POLICE DEPARTMENT MONTHLY REPORT – ANNUAL REPORT 2024**

Chief Thomas presented 2024 Annual Report and highlighted the following topics: Crime, Traffic (Crashes), Concerns, Community Engagement, Honor, Personnel, Partnerships, Organization and Administration. He addressed Council questions.

**B. MUNICIPAL SERVICES – NO REPORT**

Alderman Leganski commended Public Works for cleaning area in Pinewood Park after rain.

12. **TREASURER’S REPORT**

**A. WARRANT NUMBER 24-25-22**

It was moved by Alderman Belczak and seconded by Alderman Schauer to approve payment of Warrant Number 24-25-22 in the amount of \$488,822.29 from the enumerated funds, and \$345,191.71 from payroll funds for the period ending 03/06/25 for a total to be approved of \$834,014.00.

Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato  
Nays: None  
Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2  
**MOTION DULY CARRIED**

**B. WARRANT NUMBER 24-25-23**

It was moved by Alderman Stompanato and seconded by Alderman Belczak to approve payment of Warrant Number 24-25-23 in the amount of \$175,185.57 from the enumerated funds, and \$643,997.24 from payroll funds for the periods ending 03/20/25 and 04/03/25 for a total to be approved of \$819,182.81.

Roll Call:       Ayes:       Belczak, Gustafson, Leganski, Schauer, Stompanato  
                   Nays:       None  
                   Absent:     Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2  
**MOTION DULY CARRIED**

**C. MONTHLY REPORT – FEBRUARY 2025**

Treasurer Coren reviewed year-to-date sources of revenue, expenditures, and fund balances through the month of February 2025.

General Fund:                   Revenue \$17,204,332; Expenditures \$14,427,339;  
   Current Balance \$7,757,217  
Water & Water Depreciation Funds:   Revenue \$6,573,798; Expenditures \$6,862,548  
   Current Balance \$3,437,213  
Motor Fuel Tax Fund:           Revenue \$866,206; Expenditures \$1,985,982;  
   Current Balance \$567,231  
Capital Improvement Fund:       Revenue \$701,106; Expenditures \$756,686; Current  
   Balance \$18,965,873

13. **STANDING COMMITTEE REPORTS**

**Administrative/Finance Committee** – Alderman Schauer stated the minutes of the May 3, 2025 were approved and submitted to the Clerk’s Office. He announced the Administrative/Finance Committee meeting is scheduled for May 5, 2025 at 6:00 P.M.

**Municipal Services Committee** – Chairman Belczak announced the Municipal Services Committee meeting is scheduled for April 28, 2025 at 5:30 P.M.

**Police Committee** – Alderman Stompanato announced the Police Committee meeting is scheduled for May 19, 2025 at 6:00 P.M. in the Police Department Training Room.

14. **QUESTIONS AND COMMENTS – AGENDA RELATED**

There were none.

15. **OLD BUSINESS**

There was no Old Business.

16. **CONSENT AGENDA**

As discussed in Work Session, New Business Item C was moved to the Consent Agenda as Item M.

It was moved by Alderman Belczak and seconded by Alderman Stompanato to approve by Omnibus Vote the following items on the Consent Agenda:

**A. MOTION NO. M-12-25**

**A MOTION TO APPROVE:**

**•THE ANNUAL FOURTH OF JULY PARADE ON THURSDAY, JULY 4, 2025, BEGINNING AT 9:30 A.M., SPONSORED BY THE DARIEN LIONS CLUB AND  
•AUTHORIZING THE POLICE DEPARTMENT TO ASSIST IN TRAFFIC CONTROL AND AUTHORIZING THE TEMPORARY CLOSURE OF STREETS FOR THE FOURTH OF JULY PARADE: FROM THE JEWEL PARKING LOT, NORTH ON CASS AVENUE TO 71ST STREET; EAST ON 71ST STREET TO CLARENDON HILLS ROAD; SOUTH ON CLARENDON HILLS ROAD TO HINSDALE SOUTH HIGH SCHOOL**

**B. MOTION NO. M-13-25**

**A MOTION APPROVING THE DARIEN YOUTH CLUB AND DARIEN LIONS CLUB OPENING DAY PARADE AND WAIVING THE POLICE DEPARTMENT EXPENSES**

**C. MOTION NO. M-14-25**

**A MOTION AUTHORIZING THE MAYOR TO SIGN A CONTRACT WITH WINDY CITY AMUSEMENTS, INC. DATED MARCH 17, 2025, TO PROVIDE AMUSEMENT RIDES AND ATTRACTIONS COMMENCING ON MAY 23, 2025 AND ENDING MAY 26, 2025, FOR DARIEN MEMORIAL DAY BASH HELD AT CHESTNUT COURT**

**D. MOTION NO. M-15-25**

**A MOTION TO APPROVE THE RELEASE OF EXECUTIVE SESSION MINUTES THAT NO LONGER REQUIRE CONFIDENTIALITY**

**E. MOTION NO. M-16-25**

**A MOTION ACCEPTING A PROPOSAL FROM STEVE PIPER AND SONS, INC., FOR TUB GRINDING SERVICES IN AN AMOUNT NOT TO EXCEED \$6,500.00**

- F. ORDINANCE NO. O-14-25** AN ORDINANCE AUTHORIZING THE SALE OR PERSONAL PROPERTY OWNED BY THE CITY OF DARIEN
- G. MOTION NO. M-17-25** A MOTION AUTHORIZING THE EXTENSION OF A PROPOSAL FROM SPRINKLERS, INC., FOR THE SPRING STARTUP AND WINTER SHUTDOWN MAINTENANCE AND BACKFLOW PREVENTION TESTING OF CITY OWNED IRRIGATION SYSTEMS AND POTABLE WATER BACKFLOW PREVENTERS AS PER THE SCHEDULE OF UNIT PRICES
- H. MOTION NO. M-18-25** A MOTION TO APPROVE WAIVING OF THE COMPETITIVE BID PROCESS AND ACCEPTING A PROPOSAL FROM MOSCA DESIGN FOR THE PURCHASE OF HOLIDAY LIGHTING AND DECORATIVE DISPLAYS AT A COST NOT TO EXCEED \$35,000
- I. MOTION NO. M-19-25** A MOTION TO APPROVE ACCEPTING THE EXTENSION OF A PROPOSAL AT THE UNIT PRICE FOR SIDEWALK GRINDING FROM HARD ROCK CONCRETE CUTTERS, INC., IN AN AMOUNT NOT TO EXCEED \$250,000
- J. ORDINANCE NO. O-15-25** AN ORDINANCE AMENDING TITLE 5A, ZONING REGULATIONS, OF THE DARIEN CITY CODE (PZC2025-02: SHORT-TERM RENTAL ORDINANCE UPDATE)
- K. MOTION NO. M-20-25** A MOTION TO APPROVE AMENDING THE POLICY FOR ADVERTISING AT THE MARQUEE SIGN (SOUTHWEST CORNER OF CASS AND PLAINFIELD ROAD)
- L. ORDINANCE NO. O-16-25** AN ORDINANCE APPROVING A MASTER LICENSE AGREEMENT WITH METRO FIBERNET, LLC. FOR THE USE OF THE CITY'S RIGHTS-OF-WAY FOR THE INSTALLATION, OPERATION, AND MAINTENANCE OF TELECOMMUNICATION FACILITIES
- M. ORDINANCE NO. O-19-25** AN ORDINANCE AUTHORIZING THE CITY'S FIRE AND POLICE COMMISSION TO AMEND ITS RULES TO ALLOW FOR THE SELECTION

**OF NEW POLICE HIRES FROM AMONG THE TOP THREE CANDIDATES ON AN ELIGIBILITY LIST**

Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato

Nays: None

Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2

**MOTION DULY CARRIED**

17. **NEW BUSINESS**

**A. CONSIDERATION OF A MOTION TO APPROVE AN ORDINANCE APPROVING THE 2025-2026 BUDGET**

It was moved by Alderman Gustafson and seconded by Alderman Schauer to approve the motion as presented.

Alderman Leganski read statement from Chairwoman Sullivan, Administrative/Finance Committee. Chairwoman Sullivan apologized for not being in attendance; thanked all those involved in the budget process, with special thanks to Lisa Klemm & Julie Saenz for researching and assembling budget; and noted the work City staff & elected officials continue to provide to City of Darien.

**ORDINANCE NO. O-17-25 AN ORDINANCE A APPROVING THE 2025-2026 BUDGET**

Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato

Nays: None

Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2

**MOTION DULY CARRIED**

**B. CONSIDERATION OF A MOTION TO APPROVE AN ORDINANCE AMENDING SECTION 6C-4-7 OF THE DARIEN CITY CODE, "WATER CONSUMPTION CHARGES"**

It was moved by Alderman Belczak and seconded by Alderman Stompanato to approve the motion as presented.

Alderman Gustafson questioned reason for increase. Administrator Vana explained increase needed to sustain Water Fund reserves and maintain system operations; he stated rates have not increased since 2016.

**ORDINANCE NO. O-18-25                    AN ORDINANCE AMENDING SECTION 6C-4-7 OF THE DARIEN CITY CODE, “WATER CONSUMPTION CHARGES”**

Roll Call:            Ayes:            Belczak, Leganski, Schauer, Stompanato  
                              Nays:            Gustafson  
                              Absent:            Kenny, Sullivan

Results: Ayes 4, Nays 1, Absent 2  
**MOTION DULY CARRIED**

**C. CONSIDERATION OF A MOTION DIRECTING STAFF TO PREPARE AN ORDINANCE AMENDING VARIOUS SECTIONS OF THE CITY CODE RELATING TO COMMERCIAL VEHICLES AND PARKING RESTRICTIONS THROUGHOUT THE CITY**

It was moved by Alderman Belczak and seconded by Alderman Stompanato to approve the motion as presented.

Alderman Leganski inquired about commercial vehicles on private property; Chief Thomas responded. Council discussion ensued with concurrence of details.

**MOTION NO. M-21-25                    A MOTION DIRECTING STAFF TO PREPARE AN ORDINANCE AMENDING VARIOUS SECTIONS OF THE CITY CODE RELATING TO COMMERCIAL VEHICLES AND PARKING RESTRICTIONS THROUGHOUT THE CITY**



Roll Call: Ayes: Belczak, Gustafson, Leganski, Schauer, Stompanato  
 Nays: None  
 Absent: Kenny, Sullivan

Results: Ayes 5, Nays 0, Absent 2  
**MOTION DULY CARRIED**

18. **QUESTIONS, COMMENTS AND ANNOUNCEMENTS – GENERAL**

Mayor Marchese...  
 ...attended Business Expo at Oak Brook Hills Conference Center; he noted Darien Business Alliance was one of the sponsors.  
 ...announced Multi-Chamber Networking Event will be held on May 22 at Delta Hotels in Willowbrook.  
 ...shared details of Local Government Summer Internship Program developed by City of Darien and Hinsdale South High School.  
 ...shared background on “The City of Darien 2025 Community Guide & Business Directory,” which will be mailed to Darien households.

19. **ADJOURNMENT**

There being no further business to come before the City Council, it was moved by Alderman Schauer and seconded by Alderman Leganski to adjourn the City Council meeting.

**VIA VOICE VOTE – MOTION DULY CARRIED**

The City Council meeting adjourned at 9:19 P.M.

\_\_\_\_\_  
 Mayor

\_\_\_\_\_  
 City Clerk

All supporting documentation and report originals of these minutes are on file in the Office of the City Clerk under File Number 04-07-25. Minutes of 04-07-25 CCM.

# CITY OF DARIEN

## MEMO

**TO:** City Council

**FROM:** Mayor Joseph Marchese

**DATE:** April 17, 2025

**SUBJECT: REAPPOINTMENT TO BOARD OF FIRE AND POLICE COMMISSIONERS**

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This is written to request your advice and consent to the reappointment of Frank Noverini to the Board of Fire and Police Commissioners. He has expressed an interest in continuing to serve the City in this capacity.

Again, should you have any questions, please do not hesitate to contact me.

mg

# CITY OF DARIEN

## MEMO

**TO:** City Council

**FROM:** Mayor Joseph Marchese

**DATE:** April 17, 2025

**SUBJECT: APPOINTMENT TO ENVIRONMENTAL COMMITTEE**

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This is written to request your advice and consent to the appointment of [Maura Killian](#) to the Environmental Committee. She has agreed to serve the City and have expressed an interest in this Committee.

As always, if you have any questions, please contact me.

mg

**From:** [Joe Marchese](#)  
**To:** [Maria Gonzalez](#)  
**Subject:** FW: Application for Service on a City Commission  
**Date:** Wednesday, April 16, 2025 4:43:05 PM  
**Attachments:** [image001.png](#)  
[image010.png](#)  
[image002.png](#)

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Maria:

I will be asking for the advice and consent of the city council for the appointment of Maura Killian to our Environmental Committee -- Thanks

---

**From:** Joe Marchese  
**Sent:** Tuesday, December 3, 2024 4:20 PM  
**To:** [postmaster@muniweb.com](mailto:postmaster@muniweb.com)  
**Subject:** RE: Application for Service on a City Commission

Message received

## Joseph A. Marchese

Mayor  
1702 Plainfield Road, Darien, IL 60561  
**Email:** [jmarchese@darienil.gov](mailto:jmarchese@darienil.gov)

**Office:** (630) 353-8108 | **Mobile:** (630) 200-2390

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**From:** [postmaster@muniweb.com](mailto:postmaster@muniweb.com) <[postmaster@muniweb.com](mailto:postmaster@muniweb.com)>  
**Sent:** Monday, December 2, 2024 9:35 PM  
**To:** Joe Marchese <[jmarchese@darienil.gov](mailto:jmarchese@darienil.gov)>  
**Subject:** Application for Service on a City Commission

12/2/2024 10:34:33 PM

**Name:** Maura Killian

**Address:** [REDACTED]

**Phone:** [REDACTED]

**Email:** [REDACTED]

**How long have you lived in Darien?:** Two years

**Where did you live prior to coming to Darien:** [REDACTED]

**If married, spouse's name:** Joseph Kieckhafer

**Children (include ages):**

**Education:** Bachelor of Science

**If you attended college, what was your major?:** Dietetics

**Present Employer:**

[REDACTED]

**Phone:** N/A

**Address:** N/A

**Fax:**

**Nature of Occupation:** Registered Dietitian and Account Supervisor

**Other Employment Experience**

N/A

**Interests and Hobbies?**

Gardening; Hiking; Reading

**Of what local organizations have you been a member? (Please include offices held, if any)**

Member, Darien Garden Club Committee Member, Technology, Darien Garden Club

**Have you served the community in any other way?**

New volunteer at the West Suburban Community Pantry

**Time you would have available to serve the City**

Evenings and Weekends

**In which of the following areas would you like to serve?:** Environmental Committee

**Other areas you would like to serve?:**

**What are your qualifications for this position(s)?**

Recommended by Heather Conroy; member of Darien Garden Club

**Why are you interested in this position(s)?**

Beyond the Darien Garden Club, I would like to be more involved in the Darien community and am interested in supporting the work of the Environmental Committee.

**What can you contribute to this board(s) or commission(s)?**

Environmental knowledge; project management experience; science background



CITY OF DARIEN

EXPENDITURE APPROVAL LIST  
FOR CITY COUNCIL MEETING ON  
April 21, 2025

Approval is hereby given to have the City Treasurer of Darien, Illinois pay to the officers, employees, independent contractors, vendors, and other providers of goods and services in the indicated amounts as set forth.

A summary indicating the source of funds used to pay the above is as follows:

General Fund		\$194,760.87
Water Fund		\$416,407.28
Motor Fuel Tax Fund		\$56,291.60
Stormwater Management Fund		
Special Service Area Tax Fund		\$608.21
State Drug Forfeiture Fund		\$331.08
Impact Fee Expenditures		
Capital Improvement Fund		\$3,455.00
Cannabis Fund		
DUI Technology Fund		
Federal Equitable Sharing Fund		\$34,376.99
	<i>Subtotal:</i>	<u>\$706,231.03</u>
General Fund Payroll	04/17/25	\$ 276,785.00
Water Fund Payroll	04/17/25	\$ 36,926.15
	<i>Subtotal:</i>	<u>\$ 313,711.15</u>

<i>Total to be Approved by City Council:</i>	<u>\$1,019,942.18</u>
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Approvals:

\_\_\_\_\_  
Joseph A. Marchese, Mayor

\_\_\_\_\_  
JoAnne E. Ragona, City Clerk

\_\_\_\_\_  
Michael J. Coren, Treasurer

\_\_\_\_\_  
Bryon D. Vana, City Administrator

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Administration**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
AIS	FY25 COMPUTER ROTATION-KIM WRIGHT	AP042125	4325	Consulting/Professional	999.01
AIS	FY25 COMPUTER ROTATION -LISA KLEMM	AP042125	4325	Consulting/Professional	999.01
AIS	COMPUTER REPLACEMENT	AP042125	4325	Consulting/Professional	966.76
AIS	COMPUTER REPLACEMENT- JOANNE RAGONA	AP042125	4325	Consulting/Professional	1,045.16
AIS	MANAGED SERVICES- APRIL 2025	AP042125	4325	Consulting/Professional	8,021.49
AIS	SECURE EMAIL- APRIL 2025	AP042125	4325	Consulting/Professional	15.50
AIS	ENDPOINT MANAGEMENT- APRIL 2025	AP042125	4325	Consulting/Professional	213.28
AIS	BACK UP SERVICE- APRIL 2025	AP042125	4325	Consulting/Professional	1,550.00
CHASE CARD SERVICES	TRIBUNE SUBSCRIPTION	AP042125	4213	Dues and Subscriptions	14.00
CHASE CARD SERVICES	DAILY HERALD SUBSCRIPTION	AP042125	4213	Dues and Subscriptions	19.00
CHASE CARD SERVICES	ZOOM SUBSCRIPTION	AP042125	4213	Dues and Subscriptions	15.99
CHASE CARD SERVICES	INTERNET- PUBLIC WORKS	AP042125	4267	Telephone	272.72
CHASE CARD SERVICES	CHASE TRANSACTIONS- MARCH 2025	AP042125	4273	Vehicle (Gas and Oil)	40.00
COMCAST	SIP SERVICE- APRIL 2025	AP042125	4267	Telephone	486.44
COMCAST BUSINESS	CITY HALL FAX MACHINE 8771 20 121 0533059	AP042125	4267	Telephone	72.01
IMPACT NETWORKING, LLC	COPIER AGREEMENTS (3-31-25 thru 4-29-25)	AP042125	4225	Maintenance - Equipment	65.05

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Administration**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
IP COMMUNICATIONS	PHONE- CIDLIK	AP042125	4267	Telephone	566.00
IP COMMUNICATIONS	COMMUNICATIONS- LABOR & TRAVEL	AP042125	4267	Telephone	190.00
MECO CONSULTING GROUP LLC	SPRING 2025 NEWSLETTER	AP042125	4239	Public Relations	2,000.00
MUNIWEB	WEBSITE MAINTENANCE- MARCH 2025	AP042125	4325	Consulting/Professional	1,027.00
O DELSON, MURPHEY, FRAZIER, MCGRAT	LEGAL SERVICES- FEB 2025	AP042125	4219	Liability Insurance	440.00
VERIZON WIRELESS	VERIZON WIRELESS	AP042125	4267	Telephone	798.57
				Total Administration	19,816.99



**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Community Development**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
BAZOS FREEMAN LLC	DARIEN VIOLATION HEARINGS	AP042125	4325	Consulting/Professional	75.00
CHRISTOPHER B. BURKE ENG, LTD	AS BUILT SURVEY & FINAL INSPECTION- 802 PLAINFIELD RD	AP042125	4328	Conslt/Prof Reimbursable	620.00
CHRISTOPHER B. BURKE ENG, LTD	FIRST REVIEW /GRADING PLANS FOR NEW HOME	AP042125	4328	Conslt/Prof Reimbursable	307.86
CHRISTOPHER B. BURKE ENG, LTD	2ND AND 3RD REVIEW /GRADING PLANS FOR NEW HOME	AP042125	4328	Conslt/Prof Reimbursable	400.00
CHRONICLE MEDIA LLC	LEGAL NOTICE: PUBLIC HEARING /REZONING 1220-1225 PLAINFIELD	AP042125	4328	Conslt/Prof Reimbursable	105.00
ELEVATOR INSPECTION SERVICE CO	56 ELEVATOR INSPECTIONS	AP042125	4328	Conslt/Prof Reimbursable	1,760.00
ODELSON,MURPHEY,FRAZIER,MCGRAT	LEGAL SERVICES- FEB 2025	AP042125	4219	Liability Insurance	3,465.00
				Total Community Development	6,732.86

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Public Works, Streets**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
A&W TRAILER LLC	MAINTENANCE TO PASS SAFETY LANE #316	AP042125	4229	Maintenance - Vehicles	546.97
A&W TRAILER LLC	LICENSE PLATE LIGHT #301	AP042125	4229	Maintenance - Vehicles	49.98
ACTION FLAG COMPANY	AMERICAN FLAG, OTHERS	AP042125	4223	Maintenance - Building	373.63
ALTORFER INDUSTRIES INC	LED FLASHER FOR #406	AP042125	4229	Maintenance - Vehicles	64.66
AMBER MECHANICAL CONTRACTORS	HVAC MAINTENANCE AGREEMENT	AP042125	4223	Maintenance - Building	1,930.00
CHASE CARD SERVICES	LOCKBOX-EMERGENCY RESPONDERS (KNOXBOX)	AP042125	4223	Maintenance - Building	563.00
CHRISTOPHER B. BURKE ENG, LTD	DALE BASIN- WETLAND MANAGEMENT	AP042125	4325	Consulting/Professional	752.12
CHRISTOPHER B. BURKE ENG, LTD	TELECONFERENCE AND FOLLOW UP WITH STAFF/ 1033 N FRONTAGE	AP042125	4325	Consulting/Professional	520.00
CHRISTOPHER B. BURKE ENG, LTD	UPDATES FOR GIS STORM SEWER AND ZONING MAP	AP042125	4325	Consulting/Professional	1,946.00
DTN LLC	WEATHER SERVICES	AP042125	4325	Consulting/Professional	3,307.50
FLEETPRIDE	REPAIR PARTS	AP042125	4229	Maintenance - Vehicles	44.43
FORESTRY SUPPLIERS, INC.	ARBORIST EQUIPMENT	AP042125	4350	Forestry	497.60
HARALDSEN'S GARAGE & BODY	TRUCK REPAIR FOR #502	AP042125	4229	Maintenance - Vehicles	2,563.52
HIGH STAR TRAFFIC	SIGNS	AP042125	4257	Supplies - Other	71.25
HOME DEPOT	MAINTENANCE SUPPLIES	AP042125	4223	Maintenance - Building	252.19
HOME DEPOT	MAINTENANCE SUPPLIES	AP042125	4223	Maintenance - Building	377.53
HOME DEPOT	MAINTENANCE SUPPLIES	AP042125	4257	Supplies - Other	183.98

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Public Works, Streets**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
IMPACT NETWORKING, LLC	COPIER AGREEMENTS (3-31-25 thru 4-29-25)	AP042125	4225	Maintenance - Equipment	65.05
KARA COMPANY, INC. L & G WELDING SERVICES INC	PREMIUM LATHE REPAIR TO BACKHOE DIG BUCKET	AP042125 AP042125	4257 4225	Supplies - Other Maintenance - Equipment	272.94 420.00
LAWSON PRODUCTS INCORPORATED McMASTER-CARR	SILICONE SEALANT COUNTERTOP MOUNT-SOAP DISPENSER & V-BELT	AP042125 AP042125	4225 4223	Maintenance - Equipment Maintenance - Building	272.13 184.59
NICOR GAS	90841110001 1041 S FRONTAGE RD, DARIEN	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	370.59
NORWALK TANK	PAID PER BID/ 4in ADJ RING, AND OTHER SUPPLIES	AP042125	4257	Supplies - Other	1,079.51
OCCUPATIONAL HEALTH CENTERS	PRE-EMPLOYMENT SCREENING	AP042125	4219	Liability Insurance	162.00
OCCUPATIONAL HEALTH CENTERS	PRE-EMPLOYMENT PHYSICAL	AP042125	4219	Liability Insurance	162.00
ODP BUSINESS SOLUTIONS	HEAVY DUTY STAPLE REMOVER- PW	AP042125	4253	Supplies - Office	15.55
ODP BUSINESS SOLUTIONS	OFFICE SUPPLIES FOR PW	AP042125	4253	Supplies - Office	69.07
ODP BUSINESS SOLUTIONS	OFFICE SUPPLIES FOR PW	AP042125	4253	Supplies - Office	170.16
PRO CHEM INC SKID STEERS	NITRILE GLOVES GALVANIZED WORK PLATFORM	AP042125 AP042125	4229 4225	Maintenance - Vehicles Maintenance - Equipment	320.73 4,095.00
STATE CHEMICAL SOLUTIONS STENSTROM PETROLEUM SERVICES	PARTS CLEANER SPILL BUCKET TEST / FUEL PUMP	AP042125 AP042125	4225 4223	Maintenance - Equipment Maintenance - Building	525.35 375.00
UNIQUE PRODUCTS & SERVICE CORP	JANITORIAL SUPPLIES-POLICE DEPT	AP042125	4223	Maintenance - Building	47.09
VERIZON WIRELESS	VERIZON WIRELESS	AP042125	4267	Telephone	499.39

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Public Works, Streets**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
VESTIS	MAT RENTAL SERVICE 4-3-25 (Short 1 3x10 runner)	AP042125	4223	Maintenance - Building	33.91
VESTIS	MAT RENTAL SERVICE 4-3-25	AP042125	4223	Maintenance - Building	27.48
VESTIS	MAT RENTAL SERVICE 4-3-25	AP042125	4223	Maintenance - Building	30.86
VESTIS	MAT RENTAL SERVICE 4-10-25	AP042125	4223	Maintenance - Building	37.18
VESTIS	MAT RENTAL 4-10-25 1041 S FRONTAGE RD	AP042125	4223	Maintenance - Building	30.86
VESTIS	MAT RENTAL SERVICE 4-10-25 1702 PLAINFIELD RD	AP042125	4223	Maintenance - Building	27.48
WAREHOUSE DIRECT	JANITORIAL SUPPLIES-POLICE DEPT	AP042125	4223	Maintenance - Building	58.98
WHOLESALE DIRECT, INC.	AMBER LIGHTS	AP042125	4225	Maintenance - Equipment	119.60
WHOLESALE DIRECT, INC.	STOCK PARTS	AP042125	4229	Maintenance - Vehicles	377.21
YELLOWSTONE LANDSCAPE	TREE REMOVAL - 7229 WHITTIER (NICOR GAS LEAK)	AP042125	4375	Tree Trim/Removal	803.40
YELLOWSTONE LANDSCAPE	TREE REMOVAL - 7112 CREST	AP042125	4375	Tree Trim/Removal	685.00
YELLOWSTONE LANDSCAPE	TREE REMOVAL - 1018 JANET	AP042125	4375	Tree Trim/Removal	1,200.00
YELLOWSTONE LANDSCAPE	2023-25 DORMANT PARKWAY TRIMMING	AP042125	4375	Tree Trim/Removal	96,082.48
				Total Public Works, Streets	122,664.95

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Police Department**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
BRANDED PROMO	RE-ISSUE (065486 not recd) 500 CHILD ID KITS	AP041425	4239	Public Relations	690.00
BRANDED PROMO	500 CHILD ID KITS	APVOID041425	4239	Public Relations	(690.00)
CHASE CARD SERVICES	E-COLLAR FOR K-9	AP042125	4217	Investigation and Equipment	291.91
CHASE CARD SERVICES	REVERSAL TO REMOVE TAX	AP042125	4217	Investigation and Equipment	(291.91)
CHASE CARD SERVICES	E-COLLAR FOR K-9 (no tax)	AP042125	4217	Investigation and Equipment	269.99
CHASE CARD SERVICES	BATTERY PACK FOR DETECTIVES	AP042125	4217	Investigation and Equipment	29.99
CHASE CARD SERVICES	TARGETS FOR RANGE	AP042125	4217	Investigation and Equipment	307.07
CHASE CARD SERVICES	BOBBERS - COPS & BOBBERS EVENT	AP042125	4239	Public Relations	219.00
CHASE CARD SERVICES	TONER FOR EVIDENCE DEPT	AP042125	4253	Supplies - Office	80.93
CHASE CARD SERVICES	COMPUTER PRIVACY SCREEN- POTERASKE	AP042125	4253	Supplies - Office	39.99
CHASE CARD SERVICES	IPHONE CASE FOR DC NORTON	AP042125	4253	Supplies - Office	22.65
CHASE CARD SERVICES	IPHONE CASE FOR SGT SKWERES	AP042125	4253	Supplies - Office	28.12
CHASE CARD SERVICES	MONITOR FOR RECORDS- GERSTEIN	AP042125	4253	Supplies - Office	119.99
CHASE CARD SERVICES	CULTURE CODE BOOKS FOR MANAGEMENT	AP042125	4253	Supplies - Office	109.60
CHASE CARD SERVICES	SAFETY CARDS FOR OFFICERS	AP042125	4253	Supplies - Office	125.46
CHASE CARD SERVICES	SUPPLIES FOR TRAINING MEETINGS	AP042125	4265	Travel/Meetings	46.28
CHASE CARD SERVICES	PO TRAINING- LUNCH FOR ASSESSORS	AP042125	4265	Travel/Meetings	42.48
CHASE CARD SERVICES	PO TRAINING- LUNCH FOR ASSESSORS	AP042125	4265	Travel/Meetings	31.33
CHASE CARD SERVICES	PO TRAINING- LUNCH FOR ASSESSORS	AP042125	4265	Travel/Meetings	40.26

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Police Department**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
CHASE CARD SERVICES	PO TRAINING= LUNCH FOR ASSESSORS	AP042125	4265	Travel/Meetings	22.97
CHASE CARD SERVICES	INTERNET- POLICE DEPT	AP042125	4267	Telephone	314.24
CHRISTINE CHARKEWYCZ	PROSECUTOR FEES - MARCH 2025	AP042125	4219	Liability Insurance	1,160.00
ELEMENT GRAPHICS & DESIGN	REPAIR GRAPHICS ON P46	AP042125	4229	Maintenance - Vehicles	59.70
EMERGENCY VEHICLE TECHNOLOGIES	ZEBRA LOCKING CABLES FOR PATROL CARS	AP042125	4815	Equipment	359.40
EMERGENCY VEHICLE TECHNOLOGIES	UPFITTING P50	AP042125	4815	Equipment	16,886.66
EMERGENCY VEHICLE TECHNOLOGIES	UPFITTING P59	AP042125	4815	Equipment	16,886.66
IL PHLEBOTOMY SERVICES	PHLEBOTOMY DAPC25003058	AP042125	4217	Investigation and Equipment	425.00
KING CAR WASH	CAR WASHES- MARCH 2025	AP042125	4229	Maintenance - Vehicles	296.50
NICOR GAS	82800010009 1710 PLAINFIELD RD, DARIEN	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	889.32
NORTH EAST MULTIREGIONAL TRNG	IN-HOUSE TRAINING FOR OFFICERS	AP042125	4263	Training and Education	1,420.00
ODELSON,MURPHEY,FRAZIER,MCGRAT	LEGAL SERVICES- FEB 2025	AP042125	4219	Liability Insurance	385.00
PHYLAX SOLUTIONS LLC	K-9 MAINTENANCE TRAINING (Jan, Feb, March 2025)	AP042125	4263	Training and Education	1,050.00
POMP'S TIRE SERVICE, INC.	TIRES FOR D52	AP042125	4229	Maintenance - Vehicles	957.77
RAY O'HERRON CO. INC.	LOREK -BP VEST REPLACEMENT	AP042125	4269	Uniforms	895.00
SECOND CHANCE CARDIAC SOLUIONS	CPR PADZ	AP042125	4219	Liability Insurance	585.00
THOMSON REUTERS -WEST	CLEAR PRO FLEX MONTHLY SUBSCRIPTION	AP042125	4217	Investigation and Equipment	476.73
VERIZON WIRELESS	VERIZON WIRELESS	AP042125	4267	Telephone	<u>962.98</u>

**CITY OF DARIEN**  
**Expenditure Journal**  
**General Fund**  
**Police Department**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
				Total Police Department	45,546.07
				Total General Fund	194,760.87

**CITY OF DARIEN**  
**Expenditure Journal**  
**Water Fund**  
**Public Works, Water**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
119TH STREET MATERIALS	TRUCKING 4-8-25	AP042125	4231	Maintenance - Water System	2,769.00
A&W TRAILER LLC	BREAK-AWAY KIT	AP042125	4229	Maintenance - Vehicles	294.98
ALEXANDER CHEMICAL CORPORATION	CHLORINE	AP042125	4241	Quality Control	469.68
ALTORFER INDUSTRIES INC	FREIGHT CHARGE	AP042125	4229	Maintenance - Vehicles	17.90
ALTORFER INDUSTRIES INC	FREIGHT CHARGE FOR PART	AP042125	4229	Maintenance - Vehicles	17.90
BUTTREY RENTAL SERVICES, INC.	HANDHELD BLOWER	AP042125	4231	Maintenance - Water System	132.79
COM ED	2261972000 2103 75TH ST PUMP	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	1,346.76
DUPAGE WATER COMMISSION	WATER PURCHASE 2-28-25 thru 3-31-25	AP042125	4340	DuPage Water Commission	383,770.08
DYNEGY ENERGY SERVICES	ENERGY	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	4,207.84
HOME DEPOT	MAINTENANCE SUPPLIES	AP042125	4231	Maintenance - Water System	312.02
LAWSON PRODUCTS INCORPORATED	NUTS & SCREWS	AP042125	4231	Maintenance - Water System	906.80
LAWSON PRODUCTS INCORPORATED	SILICONE SEALANT	AP042125	4231	Maintenance - Water System	272.12
LAWSON PRODUCTS INCORPORATED	BOLTS FOR HYDRANTS	AP042125	4231	Maintenance - Water System	1,069.42
LEE JENSEN SALES, CO., INC.	SHORING PINS	AP042125	4231	Maintenance - Water System	96.00
NICOR GAS	21710264942 1220 PLAINFIELD RD	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	142.88
NICOR GAS	23644110001 8600 LEMONT RD, DARIEN	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	193.44
NICOR GAS	05002110004 1930 MANNING RD, DARIEN	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	190.22
NICOR GAS	90841110001 1041 S FRONTAGE RD, DARIEN	AP042125	4271	Utilities (Elec,Gas,Wtr,Sewer)	370.59
SERVICE INDUSTRIAL SUPPLY INC.	HYDRANT GATE VALVE	AP042125	4231	Maintenance - Water System	399.63
UNDERGROUND PIPE & VALVE CO.	FIRE HYDRANTS	AP042125	4231	Maintenance - Water System	9,770.00
UNDERGROUND PIPE & VALVE CO.	VALVE BOXES	AP042125	4231	Maintenance - Water System	520.00
US GAS	GAS CYLINDER RENTAL -MARCH 2025	AP042125	4231	Maintenance - Water System	147.00
VERIZON WIRELESS	VERIZON WIRELESS	AP042125	4267	Telephone	535.39
VERIZON WIRELESS	VERIZON WIRELESS	AP042125	4267	Telephone	144.04
VERIZON WIRELESS	SCADA -APRIL 2025	AP042125	4267	Telephone	180.80
VL MOLINA TRUCKING INC	HAULING 4-8-25	AP042125	4231	Maintenance - Water System	6,450.00



**CITY OF DARIEN**  
**Expenditure Journal**  
**Water Fund**  
**Public Works, Water**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
ZIEBELL WATER SERVICE PRODUCTS	HYDRANT STEMS	AP042125	4231	Maintenance - Water System	<u>1,680.00</u>
				Total Public Works, Water	<u>416,407.28</u>
				Total Water Fund	<u>416,407.28</u>

**CITY OF DARIEN**  
**Expenditure Journal**  
**Motor Fuel Tax**  
**MFT Expenses**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
COM ED	7953012222 6701 CLARENDON HILLS RD, DARIEN	AP042125	4840	Street Lights	75.01
COM ED	9845228000 7033 CLARENDON HILLS RD	AP042125	4840	Street Lights	7.00
CONSTELLATION NEW ENERGY, INC.	ENERGY-2510 ABBEY DR	AP042125	4840	Street Lights	1,893.44
CONSTELLATION NEW ENERGY, INC.	ENERGY-CASS AVE RT 25 OF JAMES PETER CT	AP042125	4840	Street Lights	38.95
CONSTELLATION NEW ENERGY, INC.	ENERGY- SW CORNER 75TH ADAMS	AP042125	4840	Street Lights	1,193.77
CONSTELLATION NEW ENERGY, INC.	ENERGY- CASS AVE 75TH ST LEGS	AP042125	4840	Street Lights	775.73
CONSTELLATION NEW ENERGY, INC.	ENERGY- SW CORNER 75TH PLAINFIELD RD	AP042125	4840	Street Lights	694.01
CONSTELLATION NEW ENERGY, INC.	ENERGY- 0 E CASS ST LITE RT/25 CONTROLLER	AP042125	4840	Street Lights	76.74
EJ USA, INC.	ROAD INLETS	AP042125	4257	Supplies - Other	1,465.26
MORTON SALT, INC.	ROCK SALT 4-1-25	AP042125	4249	Salt	1,749.95
MORTON SALT, INC.	ROCK SALT 4-1-25	AP042125	4249	Salt	21,108.06
MORTON SALT, INC.	ROCK SALT 4-4-25	AP042125	4249	Salt	27,213.68
				Total MFT Expenses	56,291.60
				Total Motor Fuel Tax	56,291.60

**CITY OF DARIEN**  
**Expenditure Journal**  
**Special Service Area Tax Fund**  
**SSA Expenditures**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
CHRISTOPHER B. BURKE ENG, LTD	RE-APPLY IL EPA OPEN BURN PERMIT	AP042125	4325	Consulting/Professional	608.21
				Total SSA Expenditures	608.21
				Total Special Service Area Tax Fund	608.21

**CITY OF DARIEN**  
**Expenditure Journal**  
**State Drug Forfeiture Fund**  
**Drug Forfeiture Expenditures**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
WEX BANK	GAS FOR POLICE DEPT	AP042125	4273	Vehicle (Gas and Oil)	331.08
				Total Drug Forfeiture Expenditures	331.08
				Total State Drug Forfeiture Fund	331.08

**CITY OF DARIEN**  
**Expenditure Journal**  
**FESA - Justice - 1**  
**Drug Forfeiture Expenditures**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
CDS OFFICE TECHNOLOGIES	MICROSOFT LICENSE AND 5 PANASONIC TOUGHBOOKS	AP042125	4225	Maintenance - Equipment	20,055.00
DECKED LLC	F150 TRUCK BED STORAGE SYSTEM	AP042125	4225	Maintenance - Equipment	1,484.99
INDUSTRIAL ORG SOLUTIONS	POLICE DEPT ENTRY LEVEL APPLICATIONS AND TESTING	AP042125	4225	Maintenance - Equipment	12,837.00
				Total Drug Forfeiture Expenditures	34,376.99
				Total FESA - Justice - 1	34,376.99

**CITY OF DARIEN**  
**Expenditure Journal**  
**Capital Improvement Fund**  
**Capital Fund Expenditures**  
**From 4/8/2025 Through 4/21/2025**

<u>Vendor Name</u>	<u>Invoice Description</u>	<u>Session ID</u>	<u>Acct Code</u>	<u>Acct Title</u>	<u>Dept Amount</u>
CHRISTOPHER B. BURKE ENG, LTD	PRE-CON COORDINATION / ROAD PROGRAM	AP042125	4325	Consulting/Professional	2,660.00
CHRISTOPHER B. BURKE ENG, LTD	PLAINFIELD RETAINING WALL / MEETINGS, COORD, MGMT	AP042125	4390	Capital Improv-Infrastructure	795.00
				Total Capital Fund Expenditures	3,455.00
				Total Capital Improvement Fund	3,455.00
Report Total					706,231.03



Customer Service:  
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April 2025						
S	M	T	W	T	F	S
30	31	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	1	2	3
4	5	6	7	8	9	10

New Balance  
**\$2,775.06**  
 Minimum Payment Due  
**\$555.00**  
 Payment Due Date  
**04/24/25**

**Late Payment Warning:** If we do not receive your minimum payment by the due date, you may have to pay a late fee, and existing and new balances may become subject to the Default APR.

**Minimum Payment Warning:** Enroll in Auto-Pay and avoid missing a payment. To enroll, go to [www.chase.com](http://www.chase.com)

## ACCOUNT SUMMARY

Previous Balance	\$3,627.36
Payment, Credits	-\$3,919.27
Purchases	+\$3,066.97
Cash Advances	\$0.00
Balance Transfers	\$0.00
Fees Charged	\$0.00
Interest Charged	\$0.00
<b>New Balance</b>	<b>\$2,775.06</b>
Opening/Closing Date	03/03/25 - 04/02/25
Credit Limit	\$50,000
Available Credit	\$47,224
Cash Access Line	\$2,500
Available for Cash	\$2,500
<b>Past Due Amount</b>	<b>\$0.00</b>
<b>Balance over the Credit Limit</b>	<b>\$0.00</b>



## ACCOUNT ACTIVITY

Date of Transaction	Merchant Name or Transaction Description	\$ Amount
03/21	Payment Thank You - Web BRYON VANA TRANSACTIONS THIS CYCLE (CARD 4484) \$3627.36- INCLUDING PAYMENTS RECEIVED	-3,627.36
03/07	DAILY HERALD*ONLINE 847-427-4333 IL <i>SUBSCRIPTION</i>	19.00
03/10	ZOOM.COM 888-799-9666 ZOOM.US CA <i>SUBSCRIPTION</i>	15.99
03/27	IL TOLLWAY-AUTOREPLENISH 800-824-7277 IL MARY BELMONTE <i>IPASS</i> TRANSACTIONS THIS CYCLE (CARD 8706) \$74.99	40.00
03/18	RAY ALLEN MANUFACTURING 7193800404 CO <i>REVERSED / REMOVE TAX</i>	-291.91
03/02	AMAZON MKTPL*463Y59D93 Amzn.com/bill WA <i>PRIVACY SCREEN-COMPUTER</i>	39.99
03/04	AMAZON MKTPL*DD0QK9N03 Amzn.com/bill WA <i>BATTERY PACK</i>	29.99
03/05	IDEASTAGE.COM 480-585-4140 AZ <i>BOBBER EVENT BOBBERS</i>	219.00
03/06	AMAZON MKTPL*GS7HR78W3 Amzn.com/bill WA <i>TONER</i>	80.93
03/04	BUONA DARIEN #12 DARIEN IL	40.26
03/06	JIMMY JOHNS - 571 DARIEN IL <i>&gt; LUNCH FOR ASSESSORS/TESTS &lt;</i>	22.97
03/07	Amazon.com*9U4TF23P3 Amzn.com/bill WA <i>MONITOR FOR RECORDS</i>	119.99
03/08	PORTILLOS HOT DOGS #31 WILLOWBROOK IL <i>LUNCH FOR ASSESSORS</i>	31.33
03/17	RAY ALLEN MANUFACTURING 719-380-0404 CO <i>&gt; E-COLLAR FOR K-9 &lt;</i>	269.99
03/17	RAY ALLEN MANUFACTURING 719-380-0404 CO	291.91
03/18	Amazon.com*RD74F8ZJ8 Amzn.com/bill WA <i>CULTURE CODE BOOKS</i>	109.60
03/21	COMCAST CHICAGO 800-COMCAST IL <i>INTERNET-POLICE DEPT</i>	314.24
03/26	AMAZON MKTPL*JT3PA1RU3 Amzn.com/bill WA	22.65
03/27	Amazon.com*RO20R06U3 Amzn.com/bill WA <i>&gt; IPHONE CASES &lt;</i>	28.12
03/24	ACTION TARGETS 800-7790182 MN <i>RANGE TARGETS</i> ROSE MARY GONZALEZ TRANSACTIONS THIS CYCLE (CARD 2755) \$1636.13	307.07
03/13	CHICAGO TRIB SUBSCRIPTIO 312-546-7900 IL <i>SUBSCRIPTION</i>	14.00
03/22	COMCAST CHICAGO 800-COMCAST IL <i>PW INTERNET</i>	272.72
03/24	KNOX COMPANY INC 623-687-2300 AZ <i>FIRE DEPT / LOCK BOX</i> DANIEL GOMBAC TRANSACTIONS THIS CYCLE (CARD 1571) \$849.72	563.00
03/05	WAL-MART #2215 DARIEN IL <i>SUPPLIES FOR MEETINGS</i> JEFFREY MCKENZIE TRANSACTIONS THIS CYCLE (CARD 6543) \$46.28	46.28
03/05	THE PATIO - DARIEN 888-7947359 IL <i>LUNCH FOR ASSESSORS</i>	42.48
03/27	STAPLES 00117671 WILLOW BROOK IL <i>SAFETY CARDS FOR OFFICERS</i> ANTONIJA MAGAZIN TRANSACTIONS THIS CYCLE (CARD 2051) \$167.94	125.46

2025 Totals Year-to-Date	
Total fees charged in 2025	\$0.00
Total interest charged in 2025	\$0.00

Year-to-date totals do not reflect any fee or interest refunds you may have received.

## INTEREST CHARGES



**CITY OF DARIEN  
REVENUE AND EXPENDITURE REPORT SUMMARY  
March 31, 2025**

**GENERAL FUND - (01)**

	Current Month <u>Actual</u>	Year To Date <u>Actual</u>	Total <u>Budget</u>
Revenue	\$ 1,487,566	\$ 18,691,898	\$ 18,136,381
Expenditures	\$ 826,102	\$ 15,253,441	\$ 18,853,372
Audited 5/1/24 Opening Fund Balance:			\$ 8,480,224
Transfer to Capital Fund			\$ (3,500,000)
Transfer to Cannabis Fund			\$ -
Current Fund Balance:			\$ 8,418,682

**WATER & WATER DEPRECIATION FUNDS - (02 & 12)**

	Current Month <u>Actual</u>	Year To Date <u>Actual</u>	Total <u>Budget</u>
Revenue	\$ 11,238	\$ 6,585,036	\$ 8,289,447
Expenditures	\$ 527,380	\$ 7,389,928	\$ 9,760,837
Audited 5/1/24 Cash Balance			\$ 3,646,565
Transfer from Water Depreciation Fund			\$ 79,398
Current Modified Cash Balance:			\$ 2,921,071

**MOTOR FUEL TAX FUND - (03)**

	Current Month <u>Actual</u>	Year To Date <u>Actual</u>	Total <u>Budget</u>
Revenue	\$ 85,357	\$ 951,563	\$ 880,429
Expenditures	\$ 47,960	\$ 2,033,941	\$ 2,358,739
Audited 5/1/24 Opening Fund Balance:			\$ 1,687,007
Current Fund Balance:			\$ 604,629

**CAPITAL IMPROVEMENT FUND (25)**

	Current Month <u>Actual</u>	Year To Date <u>Actual</u>	Total <u>Budget</u>
Revenue	\$ 69,686	\$ 770,792	\$ 800,000
Expenditures	\$ 12,044	\$ 768,730	\$ 2,693,686
Audited 5/1/24 Opening Fund Balance:			\$ 15,521,454
Transfer from General Fund			\$ 3,500,000
Current Fund Balance:			\$ 19,023,516

	Current Actual Year to Date	Current Budgeted F.Y.E. '25	Prior Year Actual Through March 24
Property Tax Collections	\$ 2,514,235	\$ 2,505,438	\$ 2,498,394
Sales Tax Collections	\$ 7,068,656	\$ 7,170,254	\$ 6,682,999
Drug forfeiture Receipts	\$ 33,821	\$ -	\$ 51,105
Cannabis Use Fund	\$ 31,844	\$ 31,111	\$ 30,856

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**General Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Revenue</b>								
<b>Taxes</b>								
Real Estate Taxes - Current	3110	0.00	0.00	2,509,234.45	2,500,438.00	2,500,438.00	8,796.45	(0.35)%
Road and Bridge Tax	3120	12.88	0.00	271,852.22	210,903.00	210,903.00	60,949.22	(28.89)%
Municipal Utility Tax	3130	126,283.36	98,035.00	946,475.43	873,035.00	933,035.00	13,440.43	(1.44)%
Amusement Tax	3140	5,500.61	6,000.00	94,114.92	74,500.00	80,187.00	13,927.92	(17.36)%
Hotel/Motel Tax	3150	4,619.39	4,000.00	71,839.44	80,000.00	84,447.00	(12,607.56)	14.92%
Local Gas Tax	3151	17,243.42	16,000.00	213,160.98	206,000.00	222,868.00	(9,707.02)	4.35%
Food and Beverage Tax	3152	62,966.52	53,000.00	690,391.48	678,000.00	731,470.00	(41,078.52)	5.61%
Personal Property Tax	3425	633.88	892.00	10,470.10	11,892.00	11,892.00	(1,421.90)	11.95%
<b>Total Taxes</b>		<u>217,260.06</u>	<u>177,927.00</u>	<u>4,807,539.02</u>	<u>4,634,768.00</u>	<u>4,775,240.00</u>	<u>32,299.02</u>	<u>(0.68)%</u>
<b>License, Permits, Fees</b>								
Business Licenses	3210	3,578.00	500.00	47,372.50	25,000.00	35,000.00	12,372.50	(35.35)%
Liquor License	3212	0.00	0.00	78,200.00	80,150.00	80,150.00	(1,950.00)	2.43%
Contractor Licenses	3214	1,500.00	2,500.00	12,240.00	15,000.00	18,000.00	(5,760.00)	32.00%
Court Fines	3216	12,682.43	10,000.00	111,494.28	115,000.00	125,000.00	(13,505.72)	10.80%
Towing Fees	3217	7,000.00	3,000.00	58,000.00	43,000.00	46,000.00	12,000.00	(26.08)%
Ordinance Fines	3230	4,562.00	1,000.00	21,418.62	15,455.00	16,455.00	4,963.62	(30.16)%
Building Permits and Fees	3240	4,401.00	2,000.00	89,426.69	32,000.00	35,000.00	54,426.69	(155.50)%
Telecommunication Taxes	3242	17,723.79	18,000.00	220,461.96	197,160.00	215,160.00	5,301.96	(2.46)%
Cable T.V. Franchise Fee	3244	0.00	100,800.00	264,307.18	420,800.00	420,800.00	(156,492.82)	37.18%
PEG - Fees - AT&T	3245	0.00	0.00	3,771.79	0.00	0.00	3,771.79	0.00%
NICOR Franchise Fee	3246	0.00	0.00	48,426.25	33,000.00	33,000.00	15,426.25	(46.74)%
Public Hearing Fees	3250	950.00	0.00	6,725.00	2,000.00	2,000.00	4,725.00	(236.25)%
Elevator Inspections	3255	2,725.00	1,000.00	5,815.00	3,500.00	3,500.00	2,315.00	(66.14)%
Engineering & Prof Fees Reimb	3265	7,932.17	8,000.00	150,325.11	91,500.00	99,500.00	50,825.11	(51.08)%
Legal Fee Reimbursement	3266	231.00	0.00	514.50	0.00	0.00	514.50	0.00%
Police Special Service	3268	0.00	9,000.00	132,776.71	91,500.00	99,880.00	32,896.71	(32.93)%
<b>Total License, Permits, Fees</b>		<u>63,285.39</u>	<u>155,800.00</u>	<u>1,251,275.59</u>	<u>1,165,065.00</u>	<u>1,229,445.00</u>	<u>21,830.59</u>	<u>(1.78)%</u>
<b>Intergovernmental</b>								
State Income Tax	3410	210,835.27	200,000.00	3,439,539.15	2,941,595.00	3,141,595.00	297,944.15	(9.48)%
Local Use Tax	3420	89,188.93	75,000.00	725,575.22	730,000.00	782,396.00	(56,820.78)	7.26%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**General Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Sales Taxes	3430	714,963.98	650,000.00	7,068,656.27	6,640,000.00	7,170,254.00	(101,597.73)	1.41%
Video Gaming Revenue	3432	33,245.92	26,000.00	330,185.40	302,136.00	328,136.00	2,049.40	(0.62)%
Total Intergovernmental		1,048,234.10	951,000.00	11,563,956.04	10,613,731.00	11,422,381.00	141,575.04	(1.24)%
Other Revenue								
Interest Income	3510	13,121.72	8,000.00	171,198.10	102,000.00	110,000.00	61,198.10	(55.63)%
Water Share Expense	3520	20,833.34	20,833.34	229,166.74	229,166.74	250,000.00	(20,833.26)	8.33%
Police Report/Prints	3534	100.00	300.00	3,770.00	4,500.00	5,000.00	(1,230.00)	24.60%
Reimbursement-Rear Yard Drain	3541	0.00	0.00	18,636.54	0.00	0.00	18,636.54	0.00%
Grants	3560	67.37	0.00	22,490.63	0.00	0.00	22,490.63	0.00%
Rent/Lease Revenue	3561	19,511.80	22,000.00	230,651.21	242,000.00	266,315.00	(35,663.79)	13.39%
Other Reimbursements	3562	1,202.84	1,000.00	121,217.27	49,000.00	50,000.00	71,217.27	(142.43)%
Residential Concrete Reimb	3563	0.00	0.00	12,336.00	0.00	0.00	12,336.00	0.00%
Mail Box Reimbursement Program	3569	0.00	0.00	2,766.10	0.00	0.00	2,766.10	0.00%
Sales of Wood Chips	3572	0.00	0.00	3,620.00	3,000.00	3,000.00	620.00	(20.66)%
Sale of Equipment	3575	71,683.00	0.00	151,703.01	5,000.00	5,000.00	146,703.01	(2,934.06)%
Reimbursement - Workers Comp	3577	32,055.28	0.00	94,736.58	0.00	0.00	94,736.58	0.00%
Miscellaneous Revenue	3580	211.00	1,500.00	6,835.32	18,500.00	20,000.00	(13,164.68)	65.82%
Total Other Revenue		158,786.35	53,633.34	1,069,127.50	653,166.74	709,315.00	359,812.50	(50.73)%
Total Revenue		1,487,565.90	1,338,360.34	18,691,898.15	17,066,730.74	18,136,381.00	555,517.15	(3.06)%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**Water Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining	
<b>Revenue</b>								
<b>Charges for Services</b>								
Water Sales	3310	0.00	20,000.00	6,567,151.65	6,520,000.00	7,686,875.00	(1,119,723.35)	14.56%
Inspections/Tap on/Permits	3320	0.00	400.00	11,850.00	4,600.00	5,000.00	6,850.00	(137.00)%
Sale of Meters	3325	0.00	0.00	2,573.00	1,000.00	1,000.00	1,573.00	(157.30)%
Other Water Sales	3390	0.00	0.00	21,823.50	1,000.00	1,000.00	20,823.50	(2,082.35)%
<b>Total Charges for Services</b>		0.00	20,400.00	6,603,398.15	6,526,600.00	7,693,875.00	(1,090,476.85)	14.17%
<b>Other Revenue</b>								
Interest Income	3510	11,238.20	3,300.00	140,433.42	36,700.00	40,000.00	100,433.42	(251.08)%
Transfer from Other Funds	3612	0.00	0.00	(79,397.77)	555,572.00	555,572.00	(634,969.77)	114.29%
<b>Total Other Revenue</b>		11,238.20	3,300.00	61,035.65	592,272.00	595,572.00	(534,536.35)	89.75%
<b>Total Revenue</b>		11,238.20	23,700.00	6,664,433.80	7,118,872.00	8,289,447.00	(1,625,013.20)	19.60%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**Motor Fuel Tax**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Intergovernmental							
MFT Allotment	3440 83,567.43	71,000.00	919,011.18	786,000.00	858,429.00	60,582.18	(7.05)%
Total Intergovernmental	83,567.43	71,000.00	919,011.18	786,000.00	858,429.00	60,582.18	(7.06)%
Other Revenue							
Interest Income	3510 1,789.69	1,500.00	32,551.93	20,500.00	22,000.00	10,551.93	(47.96)%
Total Other Revenue	1,789.69	1,500.00	32,551.93	20,500.00	22,000.00	10,551.93	(47.96)%
Total Revenue	85,357.12	72,500.00	951,563.11	806,500.00	880,429.00	71,134.11	(8.08)%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**Stormwater Management Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Other Revenue							
Interest Income	3510 118.94	0.00	1,396.11	0.00	0.00	1,396.11	0.00%
Total Other Revenue	<u>118.94</u>	<u>0.00</u>	<u>1,396.11</u>	<u>0.00</u>	<u>0.00</u>	<u>1,396.11</u>	<u>0.00%</u>
Total Revenue	118.94	0.00	1,396.11	0.00	0.00	1,396.11	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**Special Service Area Tax Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Taxes							
Real Estate Taxes - Current	3110 0.00	0.00	5,000.23	5,000.00	5,000.00	0.23	0.00%
Total Taxes	0.00	0.00	5,000.23	5,000.00	5,000.00	0.23	(0.00)%
Other Revenue							
Interest Income	3510 78.79	10.00	894.95	95.00	100.00	794.95	(794.95)%
Total Other Revenue	78.79	10.00	894.95	95.00	100.00	794.95	(794.95)%
Total Revenue	78.79	10.00	5,895.18	5,095.00	5,100.00	795.18	(15.59)%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**State Drug Forfeiture Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Other Revenue							
Interest Income	3510 5.50	0.00	51.26	0.00	0.00	51.26	0.00%
Total Other Revenue	5.50	0.00	51.26	0.00	0.00	51.26	0.00%
Total Revenue	5.50	0.00	51.26	0.00	0.00	51.26	0.00%



**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**FESA - Justice - 1**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Other Revenue							
Interest Income	3510	342.50	0.00	6,951.75	0.00	6,951.75	0.00%
Drug Forfeiture Receipts	3538	1,394.25	0.00	33,821.46	0.00	33,821.46	0.00%
Other Reimbursements	3562	0.00	0.00	82,279.72	0.00	82,279.72	0.00%
Total Other Revenue	<u>1,736.75</u>	<u>0.00</u>	<u>123,052.93</u>	<u>0.00</u>	<u>0.00</u>	<u>123,052.93</u>	<u>0.00%</u>
Total Revenue	1,736.75	0.00	123,052.93	0.00	0.00	123,052.93	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**FESA - Treasury - 2**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Other Revenue							
Interest Income	3510 53.32	0.00	664.72	0.00	0.00	664.72	0.00%
Total Other Revenue	53.32	0.00	664.72	0.00	0.00	664.72	0.00%
Total Revenue	53.32	0.00	664.72	0.00	0.00	664.72	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**DUI Technology Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
License, Permits, Fees							
D.U.I. Technology Fines	3267    2,776.00	250.00	14,444.68	3,250.00	3,500.00	10,944.68	(312.70)%
Total License, Permits, Fees	2,776.00	250.00	14,444.68	3,250.00	3,500.00	10,944.68	(312.71)%
Other Revenue							
Interest Income	3510    8.97	0.00	151.39	0.00	0.00	151.39	0.00%
Total Other Revenue	8.97	0.00	151.39	0.00	0.00	151.39	0.00%
Total Revenue	2,784.97	250.00	14,596.07	3,250.00	3,500.00	11,096.07	(317.03)%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**E-Citation Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Other Revenue							
E-Citation Fees	3219    183.32	0.00	2,064.35	0.00	0.00	2,064.35	0.00%
Interest Income	3510    3.87	0.00	48.44	0.00	0.00	48.44	0.00%
Total Other Revenue	<u>187.19</u>	<u>0.00</u>	<u>2,112.79</u>	<u>0.00</u>	<u>0.00</u>	<u>2,112.79</u>	<u>0.00%</u>
Total Revenue	187.19	0.00	2,112.79	0.00	0.00	2,112.79	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**Capital Improvement Fund**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Other Revenue							
Interest Income	3510 69,686.48	45,000.00	770,792.01	505,000.00	550,000.00	220,792.01	(40.14)%
Grants	3560 0.00	0.00	0.00	250,000.00	250,000.00	(250,000.00)	100.00%
Transfer from Other Funds	3612 0.00	0.00	3,500,000.00	1,500,000.00	1,500,000.00	2,000,000.00	(133.33)%
Total Other Revenue	<u>69,686.48</u>	<u>45,000.00</u>	<u>4,270,792.01</u>	<u>2,255,000.00</u>	<u>2,300,000.00</u>	<u>1,970,792.01</u>	<u>(85.69)%</u>
Total Revenue	69,686.48	45,000.00	4,270,792.01	2,255,000.00	2,300,000.00	1,970,792.01	(85.69)%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Revenue**  
**Cannabis Funds**  
**Revenue**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Revenue							
Intergovernmental							
CANNABIS USE TAX	3435 2,969.46	2,600.00	31,844.42	28,600.00	31,111.00	733.42	(2.35)%
Total Intergovernmental	2,969.46	2,600.00	31,844.42	28,600.00	31,111.00	733.42	(2.36)%
Other Revenue							
Interest Income	3510 366.79	0.00	3,131.23	0.00	0.00	3,131.23	0.00%
Other Reimbursements	3562 0.00	0.00	29,064.90	0.00	0.00	29,064.90	0.00%
Total Other Revenue	366.79	0.00	32,196.13	0.00	0.00	32,196.13	0.00%
Total Revenue	3,336.25	2,600.00	64,040.55	28,600.00	31,111.00	32,929.55	(105.85)%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Administration**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Expenditures</b>								
<b>Salaries</b>								
Salaries	4010	33,496.81	33,991.75	379,003.38	373,909.25	407,901.00	28,897.62	7.08%
Overtime	4030	812.18	0.00	1,091.36	0.00	0.00	(1,091.36)	0.00%
<b>Total Salaries</b>		<b>34,308.99</b>	<b>33,991.75</b>	<b>380,094.74</b>	<b>373,909.25</b>	<b>407,901.00</b>	<b>27,806.26</b>	<b>6.82%</b>
<b>Benefits</b>								
Social Security	4110	2,029.60	2,107.50	23,540.02	23,182.50	25,290.00	1,749.98	6.91%
Medicare	4111	474.67	490.00	5,505.50	5,425.00	5,915.00	409.50	6.92%
I.M.R.F.	4115	2,250.67	2,380.00	24,159.79	26,214.00	28,594.00	4,434.21	15.50%
Medical/Life Insurance	4120	6,202.22	6,564.50	68,342.84	72,209.50	78,774.00	10,431.16	13.24%
Supplemental Pensions	4135	369.20	400.00	4,430.40	4,400.00	4,800.00	369.60	7.70%
<b>Total Benefits</b>		<b>11,326.36</b>	<b>11,942.00</b>	<b>125,978.55</b>	<b>131,431.00</b>	<b>143,373.00</b>	<b>17,394.45</b>	<b>12.13%</b>
<b>Materials and Supplies</b>								
Dues and Subscriptions	4213	273.99	50.00	1,725.62	1,665.00	1,715.00	(10.62)	(0.61)%
Liability Insurance	4219	77.00	8,250.00	249,462.78	257,806.00	263,806.00	14,343.22	5.43%
Legal Notices	4221	147.00	0.00	1,806.00	2,100.00	2,200.00	394.00	17.90%
Maintenance - Equipment	4225	61.95	62.50	9,386.55	10,047.50	10,110.00	723.45	7.15%
Maintenance - Vehicles	4229	638.20	300.00	1,433.42	2,000.00	2,000.00	566.58	28.32%
Postage/Mailings	4233	199.18	275.00	2,946.27	3,075.00	3,350.00	403.73	12.05%
Printing and Forms	4235	16.99	375.00	3,971.24	4,125.00	4,500.00	528.76	11.75%
Public Relations	4239	16,697.03	14,428.50	93,452.58	112,764.00	121,814.00	28,361.42	23.28%
Rent - Equipment	4243	421.08	250.00	1,638.24	2,790.00	3,040.00	1,401.76	46.11%
Supplies - Office	4253	513.87	650.00	8,053.26	7,350.00	8,000.00	(53.26)	(0.66)%
Supplies - Other	4257	0.00	0.00	0.00	500.00	500.00	500.00	100.00%
Training and Education	4263	0.00	0.00	0.00	1,500.00	1,500.00	1,500.00	100.00%
Travel/Meetings	4265	0.00	30.00	104.16	520.00	550.00	445.84	81.06%
Telephone	4267	1,372.92	3,300.00	25,789.27	38,905.00	42,200.00	16,410.73	38.88%
Utilities (Elec,Gas,Wtr,Sewer)	4271	318.73	375.00	3,027.13	4,125.00	4,500.00	1,472.87	32.73%
Vehicle (Gas and Oil)	4273	0.00	125.00	1,500.16	1,375.00	1,500.00	(0.16)	(0.01)%
<b>Total Materials and Supplies</b>		<b>20,737.94</b>	<b>28,471.00</b>	<b>404,296.68</b>	<b>450,647.50</b>	<b>471,285.00</b>	<b>66,988.32</b>	<b>14.21%</b>
<b>Contractual</b>								
Audit	4320	0.00	0.00	16,075.00	19,000.00	19,000.00	2,925.00	15.39%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Administration**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Consulting/Professional	4325	29,075.35	68,697.00	344,158.82	431,807.00	459,394.00	115,235.18	25.08%
Contingency	4330	0.00	1,500.00	1,267.30	9,000.00	10,000.00	8,732.70	87.32%
Janitorial Service	4345	1,868.00	2,130.00	20,688.00	23,470.00	25,600.00	4,912.00	19.18%
Total Contractual		30,943.35	72,327.00	382,189.12	483,277.00	513,994.00	131,804.88	25.64%
Other Charges								
Transfer to Other Funds	4605	0.00	0.00	3,500,000.00	0.00	0.00	(3,500,000.00)	0.00%
Total Other Charges		0.00	0.00	3,500,000.00	0.00	0.00	(3,500,000.00)	0.00%
Capital Outlay								
Equipment	4815	0.00	415.00	0.00	4,585.00	5,000.00	5,000.00	100.00%
Total Capital Outlay		0.00	415.00	0.00	4,585.00	5,000.00	5,000.00	100.00%
Total Expenditures		97,316.64	147,146.75	4,792,559.09	1,443,849.75	1,541,553.00	(3,251,006.09)	(210.89)%
Total		(97,316.64)	(147,146.75)	(4,792,559.09)	(1,443,849.75)	(1,541,553.00)	3,251,006.09	0.00%



**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**City Council**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Expenditures</b>								
<b>Salaries</b>								
Salaries	4010	3,562.50	3,562.50	39,187.50	39,187.50	42,750.00	3,562.50	8.33%
<b>Total Salaries</b>		<b>3,562.50</b>	<b>3,562.50</b>	<b>39,187.50</b>	<b>39,187.50</b>	<b>42,750.00</b>	<b>3,562.50</b>	<b>8.33%</b>
<b>Benefits</b>								
Social Security	4110	220.88	221.00	2,429.63	2,431.00	2,651.00	221.37	8.35%
Medicare	4111	51.67	51.00	568.37	569.00	620.00	51.63	8.32%
<b>Total Benefits</b>		<b>272.55</b>	<b>272.00</b>	<b>2,998.00</b>	<b>3,000.00</b>	<b>3,271.00</b>	<b>273.00</b>	<b>8.35%</b>
<b>Materials and Supplies</b>								
Boards and Commissions	4205	27.00	83.00	568.25	1,417.00	1,500.00	931.75	62.11%
Cable Operations	4206	1,350.00	550.00	4,520.00	6,050.00	6,600.00	2,080.00	31.51%
Dues and Subscriptions	4213	0.00	100.00	23,135.74	26,850.00	26,950.00	3,814.26	14.15%
Public Relations	4239	0.00	0.00	270.00	2,300.00	2,300.00	2,030.00	88.26%
Training and Education	4263	0.00	0.00	0.00	3,500.00	3,500.00	3,500.00	100.00%
Travel/Meetings	4265	0.00	0.00	35.00	50.00	50.00	15.00	30.00%
<b>Total Materials and Supplies</b>		<b>1,377.00</b>	<b>733.00</b>	<b>28,528.99</b>	<b>40,167.00</b>	<b>40,900.00</b>	<b>12,371.01</b>	<b>30.25%</b>
<b>Contractual</b>								
Consulting/Professional	4325	2,474.00	0.00	3,850.45	3,000.00	3,000.00	(850.45)	(28.34)%
<b>Total Contractual</b>		<b>2,474.00</b>	<b>0.00</b>	<b>3,850.45</b>	<b>3,000.00</b>	<b>3,000.00</b>	<b>(850.45)</b>	<b>(28.35)%</b>
<b>Total Expenditures</b>		<b>7,686.05</b>	<b>4,567.50</b>	<b>74,564.94</b>	<b>85,354.50</b>	<b>89,921.00</b>	<b>15,356.06</b>	<b>17.08%</b>
<b>Total</b>		<b>(7,686.05)</b>	<b>(4,567.50)</b>	<b>(74,564.94)</b>	<b>(85,354.50)</b>	<b>(89,921.00)</b>	<b>(15,356.06)</b>	<b>0.00%</b>

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Darien Business Alliance**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures								
Salaries								
Salaries	4010	5,645.56	0.00	14,678.46	0.00	0.00	(14,678.46)	0.00%
Total Salaries		5,645.56	0.00	14,678.46	0.00	0.00	(14,678.46)	0.00%
Benefits								
Social Security	4110	342.56	0.00	887.69	0.00	0.00	(887.69)	0.00%
Medicare	4111	80.12	0.00	207.61	0.00	0.00	(207.61)	0.00%
I.M.R.F.	4115	370.35	0.00	962.91	0.00	0.00	(962.91)	0.00%
Medical/Life Insurance	4120	481.14	0.00	1,443.43	0.00	0.00	(1,443.43)	0.00%
Total Benefits		1,274.17	0.00	3,501.64	0.00	0.00	(3,501.64)	0.00%
Materials and Supplies								
Dues and Subscriptions	4213	0.00	0.00	3,284.17	0.00	0.00	(3,284.17)	0.00%
Public Relations	4239	171.78	0.00	261.82	0.00	0.00	(261.82)	0.00%
Total Materials and Supplies		171.78	0.00	3,545.99	0.00	0.00	(3,545.99)	0.00%
Total Expenditures		7,091.51	0.00	21,726.09	0.00	0.00	(21,726.09)	0.00%
Total		(7,091.51)	0.00	(21,726.09)	0.00	0.00	21,726.09	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Community Development**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Expenditures</b>								
<b>Salaries</b>								
Salaries	4010	26,876.74	30,394.00	299,444.65	334,336.00	364,730.00	65,285.35	17.89%
Overtime	4030	0.00	83.00	0.00	917.00	1,000.00	1,000.00	100.00%
<b>Total Salaries</b>		<b>26,876.74</b>	<b>30,477.00</b>	<b>299,444.65</b>	<b>335,253.00</b>	<b>365,730.00</b>	<b>66,285.35</b>	<b>18.12%</b>
<b>Benefits</b>								
Social Security	4110	1,614.67	1,833.75	18,030.00	20,171.25	22,005.00	3,975.00	18.06%
Medicare	4111	377.62	440.75	4,455.60	4,848.25	5,289.00	833.40	15.75%
I.M.R.F.	4115	819.44	1,021.00	8,348.92	11,231.00	12,252.00	3,903.08	31.85%
Medical/Life Insurance	4120	2,830.72	3,131.00	28,307.20	34,445.00	37,576.00	9,268.80	24.66%
Supplemental Pensions	4135	92.30	200.00	1,246.05	2,200.00	2,400.00	1,153.95	48.08%
<b>Total Benefits</b>		<b>5,734.75</b>	<b>6,626.50</b>	<b>60,387.77</b>	<b>72,895.50</b>	<b>79,522.00</b>	<b>19,134.23</b>	<b>24.06%</b>
<b>Materials and Supplies</b>								
Boards and Commissions	4205	0.00	0.00	1,937.50	1,200.00	1,200.00	(737.50)	(61.45)%
Dues and Subscriptions	4213	0.00	0.00	0.00	2,500.00	2,500.00	2,500.00	100.00%
Liability Insurance	4219	4,675.00	1,500.00	19,874.22	21,500.00	23,000.00	3,125.78	13.59%
Maintenance - Vehicles	4229	0.00	0.00	28.08	500.00	500.00	471.92	94.38%
Postage/Mailings	4233	0.00	100.00	114.96	650.00	650.00	535.04	82.31%
Printing and Forms	4235	0.00	75.00	0.00	550.00	565.00	565.00	100.00%
Economic Development	4240	0.00	35,000.00	398,415.24	429,000.00	429,000.00	30,584.76	7.12%
Supplies - Office	4253	126.87	0.00	683.70	500.00	500.00	(183.70)	(36.74)%
Training and Education	4263	0.00	0.00	1,878.09	500.00	500.00	(1,378.09)	(275.61)%
Travel/Meetings	4265	0.00	0.00	0.00	200.00	200.00	200.00	100.00%
Vehicle (Gas and Oil)	4273	0.00	100.00	901.10	1,100.00	1,200.00	298.90	24.90%
<b>Total Materials and Supplies</b>		<b>4,801.87</b>	<b>36,775.00</b>	<b>423,832.89</b>	<b>458,200.00</b>	<b>459,815.00</b>	<b>35,982.11</b>	<b>7.83%</b>
<b>Contractual</b>								
Consulting/Professional	4325	303.00	3,308.00	170,423.46	166,816.00	170,124.00	(299.46)	(0.17)%
Conslt/Prof Reimbursable	4328	6,513.13	6,350.00	70,107.21	91,750.00	99,000.00	28,892.79	29.18%
<b>Total Contractual</b>		<b>6,816.13</b>	<b>9,658.00</b>	<b>240,530.67</b>	<b>258,566.00</b>	<b>269,124.00</b>	<b>28,593.33</b>	<b>10.62%</b>
<b>Total Expenditures</b>		<b>44,229.49</b>	<b>83,536.50</b>	<b>1,024,195.98</b>	<b>1,124,914.50</b>	<b>1,174,191.00</b>	<b>149,995.02</b>	<b>12.77%</b>
<b>Total</b>		<b>(44,229.49)</b>	<b>(83,536.50)</b>	<b>(1,024,195.98)</b>	<b>(1,124,914.50)</b>	<b>(1,174,191.00)</b>	<b>(149,995.02)</b>	<b>0.00%</b>

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Public Works, Streets**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Expenditures</b>								
<b>Salaries</b>								
Salaries	4010	82,666.64	73,889.75	806,102.44	812,787.25	886,677.00	80,574.56	9.08%
Overtime	4030	6,642.82	8,500.00	51,374.76	94,000.00	102,500.00	51,125.24	49.87%
<b>Total Salaries</b>		<b>89,309.46</b>	<b>82,389.75</b>	<b>857,477.20</b>	<b>906,787.25</b>	<b>989,177.00</b>	<b>131,699.80</b>	<b>13.31%</b>
<b>Benefits</b>								
Social Security	4110	5,266.70	5,126.25	53,447.95	56,388.75	61,515.00	8,067.05	13.11%
Medicare	4111	1,231.75	1,200.00	12,543.47	13,200.00	14,386.00	1,842.53	12.80%
I.M.R.F.	4115	5,221.17	5,674.00	45,951.25	62,414.00	68,088.00	22,136.75	32.51%
Medical/Life Insurance	4120	13,219.38	15,400.00	144,450.93	169,400.00	184,751.00	40,300.07	21.81%
Supplemental Pensions	4135	184.60	200.00	2,215.20	2,200.00	2,400.00	184.80	7.70%
<b>Total Benefits</b>		<b>25,123.60</b>	<b>27,600.25</b>	<b>258,608.80</b>	<b>303,602.75</b>	<b>331,140.00</b>	<b>72,531.20</b>	<b>21.90%</b>
<b>Materials and Supplies</b>								
Liability Insurance	4219	8,415.14	1,309.75	25,901.03	39,707.25	41,017.00	15,115.97	36.85%
Maintenance - Building	4223	20,897.86	5,575.00	161,824.68	300,762.00	304,562.00	142,737.32	46.86%
Maintenance - Equipment	4225	7,411.82	3,200.00	30,574.59	35,200.00	38,300.00	7,725.41	20.17%
Maintenance - Vehicles	4229	2,448.86	0.00	65,531.07	110,000.00	110,000.00	44,468.93	40.42%
Postage/Mailings	4233	0.00	62.50	145.16	687.50	750.00	604.84	80.64%
Rent - Equipment	4243	0.00	750.00	9,476.00	20,250.00	21,000.00	11,524.00	54.87%
Supplies - Office	4253	0.00	200.00	2,427.63	2,200.00	2,353.00	(74.63)	(3.17)%
Supplies - Other	4257	21,936.47	7,200.00	228,279.14	274,965.00	282,165.00	53,885.86	19.09%
Small Tools & Equipment	4259	334.54	0.00	16,279.45	22,550.00	22,550.00	6,270.55	27.80%
Training and Education	4263	0.00	0.00	4,278.75	7,150.00	7,150.00	2,871.25	40.15%
Uniforms	4269	500.00	0.00	12,477.49	39,096.00	39,096.00	26,618.51	68.08%
Utilities (Elec,Gas,Wtr,Sewer)	4271	1,227.52	1,000.00	18,790.27	25,500.00	26,400.00	7,609.73	28.82%
Vehicle (Gas and Oil)	4273	0.00	8,100.00	47,031.90	89,100.00	96,790.00	49,758.10	51.40%
<b>Total Materials and Supplies</b>		<b>63,172.21</b>	<b>27,397.25</b>	<b>623,017.16</b>	<b>967,167.75</b>	<b>992,133.00</b>	<b>369,115.84</b>	<b>37.20%</b>
<b>Contractual</b>								
Consulting/Professional	4325	3,349.31	955.00	51,848.82	107,660.00	108,615.00	56,766.18	52.26%
Janitorial Service	4345	0.00	130.00	0.00	1,430.00	1,550.00	1,550.00	100.00%
Forestry	4350	0.00	0.00	146,135.53	243,845.00	243,845.00	97,709.47	40.07%
Street Light Oper & Maint.	4359	1,520.00	6,000.00	36,419.57	92,500.00	98,500.00	62,080.43	63.02%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Public Works, Streets**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Mosquito Abatement	4365 0.00	0.00	39,900.00	42,500.00	42,500.00	2,600.00	6.11%
Street Sweeping	4373 0.00	0.00	20,148.38	43,293.00	46,793.00	26,644.62	56.94%
Drainage Projects	4374 0.00	0.00	80,567.20	213,491.00	213,491.00	132,923.80	62.26%
Tree Trim/Removal	4375 0.00	0.00	151,645.00	358,138.00	358,138.00	206,493.00	57.65%
Total Contractual	4,869.31	7,085.00	526,664.50	1,102,857.00	1,113,432.00	586,767.50	52.70%
Capital Outlay							
Residential Concrete Program	4381 0.00	0.00	7,868.00	0.00	0.00	(7,868.00)	0.00%
Equipment	4815 0.00	0.00	849,900.73	1,563,498.00	1,563,498.00	713,597.27	45.64%
Total Capital Outlay	0.00	0.00	857,768.73	1,563,498.00	1,563,498.00	705,729.27	45.14%
Total Expenditures	182,474.58	144,472.25	3,123,536.39	4,843,912.75	4,989,380.00	1,865,843.61	37.40%
Total	(182,474.58)	(144,472.25)	(3,123,536.39)	(4,843,912.75)	(4,989,380.00)	(1,865,843.61)	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Police Department**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Expenditures</b>								
<b>Salaries</b>								
Salaries	4010	39,517.32	43,850.00	447,999.18	482,414.00	526,264.00	78,264.82	14.87%
Salaries - Officers	4020	337,815.83	385,000.00	3,907,481.08	4,235,000.00	4,619,476.00	711,994.92	15.41%
Overtime	4030	41,538.39	40,800.00	514,273.85	448,898.00	489,698.00	(24,575.85)	(5.01)%
<b>Total Salaries</b>		<u>418,871.54</u>	<u>469,650.00</u>	<u>4,869,754.11</u>	<u>5,166,312.00</u>	<u>5,635,438.00</u>	<u>765,683.89</u>	<u>13.59%</u>
<b>Benefits</b>								
Social Security	4110	2,379.81	2,719.00	28,322.43	29,909.00	32,628.00	4,305.57	13.19%
Medicare	4111	5,575.00	6,809.50	70,687.94	74,904.50	81,714.00	11,026.06	13.49%
I.M.R.F.	4115	2,387.46	2,865.00	26,580.35	31,515.00	34,379.00	7,798.65	22.68%
Medical/Life Insurance	4120	36,420.81	47,880.00	402,348.84	526,708.00	574,588.00	172,239.16	29.97%
SERVICE PENSION	4130	0.00	0.00	2,587,370.54	2,589,935.00	2,589,935.00	2,564.46	0.09%
Supplemental Pensions	4135	3,322.80	3,600.00	41,304.25	40,800.00	44,400.00	3,095.75	6.97%
<b>Total Benefits</b>		<u>50,085.88</u>	<u>63,873.50</u>	<u>3,156,614.35</u>	<u>3,293,771.50</u>	<u>3,357,644.00</u>	<u>201,029.65</u>	<u>5.99%</u>
<b>Materials and Supplies</b>								
Animal Control	4201	0.00	0.00	1,405.00	1,200.00	1,200.00	(205.00)	(17.08)%
Auxiliary Police	4203	0.00	0.00	161.95	2,000.00	2,000.00	1,838.05	91.90%
Boards and Commissions	4205	0.00	0.00	6,938.95	10,250.00	10,250.00	3,311.05	32.30%
Dues and Subscriptions	4213	205.00	0.00	2,469.00	2,950.00	2,950.00	481.00	16.30%
Investigation and Equipment	4217	1,087.22	3,305.00	42,189.40	79,605.00	82,405.00	40,215.60	48.80%
Liability Insurance	4219	5,229.46	6,000.00	33,857.54	88,000.00	93,000.00	59,142.46	63.59%
Maintenance - Equipment	4225	1,527.35	0.00	22,074.49	27,050.00	27,050.00	4,975.51	18.39%
Maintenance - Vehicles	4229	1,679.24	575.00	20,234.18	64,925.00	65,500.00	45,265.82	69.10%
Postage/Mailings	4233	0.00	0.00	1,115.39	3,500.00	3,500.00	2,384.61	68.13%
Printing and Forms	4235	0.00	0.00	440.00	1,500.00	1,500.00	1,060.00	70.66%
Public Relations	4239	690.00	0.00	5,800.87	5,000.00	5,000.00	(800.87)	(16.01)%
Rent - Equipment	4243	0.00	500.00	600.00	5,325.00	5,800.00	5,200.00	89.65%
Supplies - Office	4253	905.84	575.00	5,298.32	6,425.00	7,000.00	1,701.68	24.30%
Training and Education	4263	3,280.00	3,951.25	39,914.55	43,463.75	47,415.00	7,500.45	15.81%
Travel/Meetings	4265	236.10	1,825.00	9,402.16	22,350.00	24,175.00	14,772.84	61.10%
Telephone	4267	1,524.47	1,391.00	14,081.64	15,584.00	17,000.00	2,918.36	17.16%
Uniforms	4269	969.95	100.00	54,080.47	64,300.00	64,400.00	10,319.53	16.02%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**General Fund**  
**Police Department**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Utilities (Elec, Gas, Wtr, Sewer)	4271 1,011.24	1,325.00	8,374.15	16,350.00	18,000.00	9,625.85	53.47%
Vehicle (Gas and Oil)	4273 0.00	7,500.00	67,075.38	82,500.00	90,000.00	22,924.62	25.47%
Total Materials and Supplies	18,345.87	27,047.25	335,513.44	542,277.75	568,145.00	232,631.56	40.95%
Contractual							
Consulting/Professional	4325 0.00	500.00	556,824.85	593,900.00	594,400.00	37,575.15	6.32%
Dumeg/Fiat/Child Center	4337 0.00	0.00	27,680.00	27,700.00	27,700.00	20.00	0.07%
Total Contractual	0.00	500.00	584,504.85	621,600.00	622,100.00	37,595.15	6.04%
Capital Outlay							
Equipment	4815 0.00	0.00	770,471.33	875,000.00	875,000.00	104,528.67	11.94%
Total Capital Outlay	0.00	0.00	770,471.33	875,000.00	875,000.00	104,528.67	11.95%
Total Expenditures	487,303.29	561,070.75	9,716,858.08	10,498,961.25	11,058,327.00	1,341,468.92	12.13%
Total	(487,303.29)	(561,070.75)	(9,716,858.08)	...,498,961.25)	...,058,327.00)	(1,341,468.92)	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Water Fund**  
**Public Works, Water**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Expenditures</b>								
<b>Salaries</b>								
Salaries	4010	51,592.11	64,390.00	625,957.77	708,290.00	772,682.00	146,724.23	18.98%
Overtime	4030	13,598.14	7,700.00	153,124.60	84,800.00	92,500.00	(60,624.60)	(65.54)%
<b>Total Salaries</b>		<b>65,190.25</b>	<b>72,090.00</b>	<b>779,082.37</b>	<b>793,090.00</b>	<b>865,182.00</b>	<b>86,099.63</b>	<b>9.95%</b>
<b>Benefits</b>								
Social Security	4110	3,808.57	4,470.00	47,910.50	49,170.00	53,641.00	5,730.50	10.68%
Medicare	4111	890.70	1,045.00	11,299.41	11,495.00	12,545.00	1,245.59	9.92%
I.M.R.F.	4115	4,620.68	5,224.25	50,929.27	57,466.75	62,691.00	11,761.73	18.76%
Medical/Life Insurance	4120	7,586.02	11,790.00	82,588.29	129,716.00	141,506.00	58,917.71	41.63%
Supplemental Pensions	4135	184.60	200.00	2,215.20	2,200.00	2,400.00	184.80	7.70%
<b>Total Benefits</b>		<b>17,090.57</b>	<b>22,729.25</b>	<b>194,942.67</b>	<b>250,047.75</b>	<b>272,783.00</b>	<b>77,840.33</b>	<b>28.54%</b>
<b>Materials and Supplies</b>								
Liability Insurance	4219	5,037.06	450.00	199,815.55	216,860.00	217,310.00	17,494.45	8.05%
Maintenance - Building	4223	300.64	1,020.00	87,615.34	260,755.00	261,775.00	174,159.66	66.53%
Maintenance - Equipment	4225	0.00	900.00	5,220.45	9,900.00	10,800.00	5,579.55	51.66%
Maintenance - Vehicles	4229	210.68	1,400.00	4,751.79	15,600.00	17,000.00	12,248.21	72.04%
Maintenance - Water System	4231	41,831.26	18,000.00	275,559.72	288,000.00	305,650.00	30,090.28	9.84%
Postage/Mailings	4233	0.00	100.00	381.22	1,300.00	1,400.00	1,018.78	72.77%
Quality Control	4241	5,698.68	0.00	13,072.02	29,850.00	29,850.00	16,777.98	56.20%
Service Charge	4251	20,833.34	20,833.33	229,166.74	229,166.63	250,000.00	20,833.26	8.33%
Supplies - Office	4253	0.00	50.00	883.69	1,550.00	1,600.00	716.31	44.76%
Supplies - Operation	4255	73.50	375.00	2,361.42	4,125.00	4,500.00	2,138.58	47.52%
Training and Education	4263	87.00	300.00	2,665.75	20,850.00	21,150.00	18,484.25	87.39%
Telephone	4267	1,093.86	1,087.50	10,130.82	15,978.50	17,066.00	6,935.18	40.63%
Uniforms	4269	0.00	0.00	8,866.77	11,100.00	11,100.00	2,233.23	20.11%
Utilities (Elec, Gas, Wtr, Sewer)	4271	7,178.26	3,500.00	46,636.62	38,500.00	42,000.00	(4,636.62)	(11.03)%
Vehicle (Gas and Oil)	4273	0.00	2,005.00	22,871.36	22,055.00	24,055.00	1,183.64	4.92%
<b>Total Materials and Supplies</b>		<b>82,344.28</b>	<b>50,020.83</b>	<b>909,999.26</b>	<b>1,165,590.13</b>	<b>1,215,256.00</b>	<b>305,256.74</b>	<b>25.12%</b>
<b>Contractual</b>								
Audit	4320	0.00	0.00	13,500.00	13,500.00	13,500.00	0.00	0.00%
Consulting/Professional	4325	228.00	2,450.00	8,143.02	14,950.00	14,950.00	6,806.98	45.53%



**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Water Fund**  
**Public Works, Water**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Leak Detection	4326 0.00	1,650.00	0.00	18,150.00	19,800.00	19,800.00	100.00%
Data Processing	4336 0.00	27,139.50	139,300.71	162,837.00	162,837.00	23,536.29	14.45%
DuPage Water Commission	4340 360,629.82	452,920.75	4,171,105.80	4,982,128.25	5,435,049.00	1,263,943.20	23.25%
Janitorial Service	4345 540.00	490.00	5,300.00	7,560.00	8,050.00	2,750.00	34.16%
Forestry	4350 0.00	0.00	1,983.00	4,534.00	4,534.00	2,551.00	56.26%
Total Contractual	361,397.82	484,650.25	4,339,332.53	5,203,659.25	5,658,720.00	1,319,387.47	23.32%
Capital Outlay							
Equipment	4815 1,357.22	0.00	472,468.37	493,500.00	493,500.00	21,031.63	4.26%
Water Meter Purchases	4880 0.00	0.00	0.00	5,000.00	5,000.00	5,000.00	100.00%
Total Capital Outlay	1,357.22	0.00	472,468.37	498,500.00	498,500.00	26,031.63	5.22%
Debt Service							
Debt Retire-Water Refunding	4950 0.00	0.00	694,102.50	694,825.00	694,825.00	722.50	0.10%
Total Debt Service	0.00	0.00	694,102.50	694,825.00	694,825.00	722.50	0.10%
Total Expenditures	527,380.14	629,490.33	7,389,927.70	8,605,712.13	9,205,266.00	1,815,338.30	19.72%
Total	(527,380.14)	(629,490.33)	(7,389,927.70)	(8,605,712.13)	(9,205,266.00)	(1,815,338.30)	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Motor Fuel Tax**  
**MFT Expenses**  
**From 3/1/2025 Through 3/31/2025**

		Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
<b>Expenditures</b>								
<b>Salaries</b>								
Salaries	4010	0.00	18,300.00	276,030.48	201,300.00	219,600.00	(56,430.48)	(25.69)%
Overtime	4030	0.00	2,000.00	21,948.94	46,207.00	48,207.00	26,258.06	54.46%
<b>Total Salaries</b>		<b>0.00</b>	<b>20,300.00</b>	<b>297,979.42</b>	<b>247,507.00</b>	<b>267,807.00</b>	<b>(30,172.42)</b>	<b>(11.27)%</b>
<b>Benefits</b>								
Social Security	4110	0.00	1,665.50	18,474.74	18,320.50	19,986.00	1,511.26	7.56%
Medicare	4111	0.00	395.00	4,320.68	4,345.00	4,740.00	419.32	8.84%
I.M.R.F.	4115	0.00	1,494.00	16,851.44	16,444.00	17,938.00	1,086.56	6.05%
<b>Total Benefits</b>		<b>0.00</b>	<b>3,554.50</b>	<b>39,646.86</b>	<b>39,109.50</b>	<b>42,664.00</b>	<b>3,017.14</b>	<b>7.07%</b>
<b>Materials and Supplies</b>								
Road Material	4245	1,152.24	0.00	112,144.31	152,000.00	152,000.00	39,855.69	26.22%
Salt	4249	36,962.57	0.00	6,557.84	122,767.00	122,767.00	116,209.16	94.65%
Supplies - Other	4257	0.00	0.00	18,571.64	18,500.00	18,500.00	(71.64)	(0.38)%
Pavement Striping	4261	0.00	0.00	0.00	16,000.00	16,000.00	16,000.00	100.00%
<b>Total Materials and Supplies</b>		<b>38,114.81</b>	<b>0.00</b>	<b>137,273.79</b>	<b>309,267.00</b>	<b>309,267.00</b>	<b>171,993.21</b>	<b>55.61%</b>
<b>Contractual</b>								
Tree Trim/Removal	4375	0.00	0.00	1,710.00	19,000.00	19,000.00	17,290.00	91.00%
<b>Total Contractual</b>		<b>0.00</b>	<b>0.00</b>	<b>1,710.00</b>	<b>19,000.00</b>	<b>19,000.00</b>	<b>17,290.00</b>	<b>91.00%</b>
<b>Capital Outlay</b>								
Street Lights	4840	5,164.03	1,800.00	22,071.70	20,000.00	20,000.00	(2,071.70)	(10.35)%
Street Reconstruction/Rehab	4855	4,680.74	0.00	1,535,259.53	1,700,000.00	1,700,000.00	164,740.47	9.69%
<b>Total Capital Outlay</b>		<b>9,844.77</b>	<b>1,800.00</b>	<b>1,557,331.23</b>	<b>1,720,000.00</b>	<b>1,720,000.00</b>	<b>162,668.77</b>	<b>9.46%</b>
<b>Total Expenditures</b>		<b>47,959.58</b>	<b>25,654.50</b>	<b>2,033,941.30</b>	<b>2,334,883.50</b>	<b>2,358,738.00</b>	<b>324,796.70</b>	<b>13.77%</b>
<b>Total</b>		<b>(47,959.58)</b>	<b>(25,654.50)</b>	<b>(2,033,941.30)</b>	<b>(2,334,883.50)</b>	<b>(2,358,738.00)</b>	<b>(324,796.70)</b>	<b>0.00%</b>

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Stormwater Management Fund**  
**Native Plantings**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Contractual							
Stormwater Management Special	4379	0.00	2,800.00	0.00	0.00	(2,800.00)	0.00%
Total Contractual	0.00	0.00	2,800.00	0.00	0.00	(2,800.00)	0.00%
Total Expenditures	0.00	0.00	2,800.00	0.00	0.00	(2,800.00)	0.00%
Total	0.00	0.00	(2,800.00)	0.00	0.00	2,800.00	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Special Service Area Tax Fund**  
**SSA Expenditures**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Materials and Supplies							
Maintenance - Equipment	4225	0.00	0.00	1,500.00	1,500.00	1,500.00	100.00%
Total Materials and Supplies	0.00	0.00	0.00	1,500.00	1,500.00	1,500.00	100.00%
Contractual							
Consulting/Professional	4325	208.50	0.00	2,862.78	5,500.00	2,637.22	47.94%
Contingency	4330	0.00	0.00	0.00	2,000.00	2,000.00	100.00%
Total Contractual	208.50	0.00	2,862.78	7,500.00	7,500.00	4,637.22	61.83%
Total Expenditures	208.50	0.00	2,862.78	9,000.00	9,000.00	6,137.22	68.19%
Total	(208.50)	0.00	(2,862.78)	(9,000.00)	(9,000.00)	(6,137.22)	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**State Drug Forfeiture Fund**  
**Drug Forfeiture Expenditures**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Materials and Supplies							
Maintenance - Equipment	4225	0.00	2,049.00	0.00	0.00	(2,049.00)	0.00%
Vehicle (Gas and Oil)	4273	239.20	239.20	0.00	0.00	(239.20)	0.00%
Total Materials and Supplies	<u>239.20</u>	<u>0.00</u>	<u>2,288.20</u>	<u>0.00</u>	<u>0.00</u>	<u>(2,288.20)</u>	<u>0.00%</u>
Total Expenditures	<u>239.20</u>	<u>0.00</u>	<u>2,288.20</u>	<u>0.00</u>	<u>0.00</u>	<u>(2,288.20)</u>	<u>0.00%</u>
Total	(239.20)	0.00	(2,288.20)	0.00	0.00	2,288.20	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Water Depreciation Fund**  
**Depreciation Expenses**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Other Charges							
Transfer to Other Funds	4605 0.00	0.00	(79,397.77)	555,572.00	555,572.00	634,969.77	114.29%
Total Other Charges	0.00	0.00	(79,397.77)	555,572.00	555,572.00	634,969.77	114.29%
Total Expenditures	0.00	0.00	(79,397.77)	555,572.00	555,572.00	634,969.77	114.29%
Total	0.00	0.00	79,397.77	(555,572.00)	(555,572.00)	(634,969.77)	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**FESA - Justice - 1**  
**Drug Forfeiture Expenditures**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Materials and Supplies							
Maintenance - Equipment	4225	0.00	65,890.54	0.00	0.00	(65,890.54)	0.00%
Maintenance - Vehicles	4229	0.00	65,181.04	0.00	0.00	(65,181.04)	0.00%
Total Materials and Supplies	0.00	0.00	131,071.58	0.00	0.00	(131,071.58)	0.00%
Capital Outlay							
Equipment	4815	0.00	58,500.62	0.00	0.00	(58,500.62)	0.00%
Total Capital Outlay	0.00	0.00	58,500.62	0.00	0.00	(58,500.62)	0.00%
Total Expenditures	0.00	0.00	189,572.20	0.00	0.00	(189,572.20)	0.00%
Total	0.00	0.00	(189,572.20)	0.00	0.00	189,572.20	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**DUI Technology Fund**  
**Police Department**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Capital Outlay							
Equipment	4815 0.00	0.00	40,671.36	0.00	0.00	(40,671.36)	0.00%
Total Capital Outlay	0.00	0.00	40,671.36	0.00	0.00	(40,671.36)	0.00%
Total Expenditures	0.00	0.00	40,671.36	0.00	0.00	(40,671.36)	0.00%
Total	0.00	0.00	(40,671.36)	0.00	0.00	40,671.36	0.00%



**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Capital Improvement Fund**  
**Capital Fund Expenditures**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Contractual							
Consulting/Professional	4325 8,514.32	0.00	28,398.82	47,500.00	47,500.00	19,101.18	40.21%
Total Contractual	8,514.32	0.00	28,398.82	47,500.00	47,500.00	19,101.18	40.21%
Capital Outlay							
Ditch Projects	4376 0.00	0.00	180,119.08	198,519.00	198,519.00	18,399.92	9.26%
Sidewalk Replacement Program	4380 0.00	0.00	500,867.60	623,600.00	623,600.00	122,732.40	19.68%
Curb & Gutter Replacement Prog	4383 0.00	0.00	22,578.75	851,400.00	851,400.00	828,821.25	97.34%
Capital Improv-Infrastructure	4390 3,530.00	0.00	36,766.20	772,667.00	772,667.00	735,900.80	95.24%
Street Reconstruction/Rehab	4855 0.00	0.00	0.00	200,000.00	200,000.00	200,000.00	100.00%
Total Capital Outlay	3,530.00	0.00	740,331.63	2,646,186.00	2,646,186.00	1,905,854.37	72.02%
Total Expenditures	12,044.32	0.00	768,730.45	2,693,686.00	2,693,686.00	1,924,955.55	71.46%
Total	(12,044.32)	0.00	(768,730.45)	(2,693,686.00)	(2,693,686.00)	(1,924,955.55)	0.00%

**CITY OF DARIEN**  
**Statement of Revenues and Expenditures - Expenditures**  
**Cannabis Funds**  
**Police Department**  
**From 3/1/2025 Through 3/31/2025**

	Current Period Actual	Current Period Budget	Current Year Actual	YTD Budget - Original	Total Budget	Total Budget Variance	Percent Total Budget Remaining
Expenditures							
Materials and Supplies							
Miscellaneous Expenditures	4232 0.00	0.00	900.00	0.00	0.00	(900.00)	0.00%
Total Materials and Supplies	0.00	0.00	900.00	0.00	0.00	(900.00)	0.00%
Total Expenditures	0.00	0.00	900.00	0.00	0.00	(900.00)	0.00%
Total	0.00	0.00	(900.00)	0.00	0.00	900.00	0.00%

**CITY OF DARIEN -- CASH RESERVES**  
**March 31, 2025**

FUND	FUND NAME	TOTAL
01	General Fund	\$ 4,228,667.83
02	Water Fund	\$ 2,552,494.08
03	MFT Fund	\$ 525,465.26
05	Impact Fees Fund	\$ -
07	Stormwater Management Fund	\$ 39,378.85
10	Special Service Area Tax Fund	\$ 25,879.63
11	State Drug Forfeiture Fund	\$ 52,811.81
12	Water Depreciation Fund	\$ -
17	Federal Equitable Sharing Acct	\$ 133,222.07
18	Seized Asset Funds	\$ -
19	DOT - Federal Equitable Sharing	\$ 20,522.93
23	DUI Technology Fund	\$ 38,258.24
24	E-Citation Fund	\$ 15,475.08
25	Capital Improvement Fund	\$ 19,023,516.06
26	Cannabis Fund	\$ 159,205.23
	<b>TOTAL</b>	<b>\$ 26,814,897.07</b>

*Prior Month Cash Balance*

<b>\$ 26,498,062.57</b>
-------------------------

Bank Accounts and Interest Rates	Account Balances
Republic Bank Drug Forfeiture Account - 0.10% *	\$ 70,804.27
Republic Bank Federal Federal Sharing Acct - 3.11% *	\$ 152,350.75
Republic Bank Now Account - 3.11% *	\$ 2,522,023.25
Republic Bank Operating Account	\$ 134,971.89
Republic Bank Payroll Account - Zero Balance Acct	\$ 218,395.66
Illinois Funds Money Market Account - 4.436%	\$ 16,296,668.68
IMET Investment Fund 4.2566%	\$ 3,301,206.65
Cash on hand - PD - 1052	\$ 34.35
Petty Cash - CH - 1050	\$ 416.85
Republic Bank 11 Month CD *1744 - 4.92% - Maturity 7/23/2025	\$ 4,118,024.72
	<b>TOTAL</b>
	<b>\$ 26,814,897.07</b>

Market Value

Letter of Credit # 287264 (1st) 3/28/2025 - 06/27/2025

<b>\$ 11,000,000</b>
----------------------

MOTION NO. \_\_\_\_\_

**AGENDA MEMO**  
**City Council**  
**April 21, 2025**

**ISSUE STATEMENT**

Approval of a motion authorizing the city administrator to sign a contract for the best bid for street light electric supply.

**BACKGROUND/HISTORY**

The city pays for street lights throughout that we own. Our annual light accounts with NIMEC expire this July and will be a part of our upcoming group bid. This year's NIMEC group bid will take place on Wednesday, May 14, 2025. The challenge of approving the bid is a timing issue. The bid prices are only good for the day they are opened. Typically, the city council would approve the city administrator to sign a contract with the low bidder. The annual street light expense is approximately \$50,000 with half going for supply and half for power supply.

We will participate with NIMEC again to solicit prices. As a reminder, NIMEC is an intergovernmental purchasing group of over 170+ municipal and non-profit organizations that conduct joint bids for electric supply rates. We have participated with NIMEC for joint purchasing and community wide aggregation.

**STAFF/COMMITTEE RECOMMENDATION**

Administrative/Finance recommends approval.

**ALTERNATE CONSIDERATION**

As directed.

**DECISION MODE**

This item will be placed on the April 21, 2025 City Council Agenda for consideration.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE  
COUNTY, ILLINOIS, this 21<sup>st</sup> day of April 2025.**

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**AGENDA MEMO**  
**CITY COUNCIL**  
**APRIL 21, 2025**

**CASE**

PZC2024-14

Special Use Amendment, Variations – 8226 S. Cass Avenue

**ORDINANCE**

**ISSUE STATEMENT**

Petitioner (True North Energy, LLC) requests an amendment to the Special Use Permit which previously permitted the construction and operation of an automobile service station, drive-through car wash, and mini-mart, to allow for the demolition of the existing car wash and mini-mart, and the relocation/expansion of the mini-mart. The project includes requested variations from the City’s landscape requirements. On-site improvements include parking facilities, landscape improvements and drainage/stormwater improvements. The subject property is located in the General Business District B-3 at the northwest corner S. Cass Avenue and N. Frontage Road, commonly known as 8226 S. Cass Avenue.

Applicable Regulations:

Ordinance No. O-31-85  
 Zoning Section 5A-8-4, B-3 District Standards

**GENERAL INFORMATION**

Petitioner:	True North Energy, LLC
Property Owner:	True North Energy, LLC
Property Location:	8226 S. Cass Avenue
PIN Number:	09-33-205-036-0000
Existing Zoning:	General Business District (B-3)
Existing Land Use:	Gas Station, Drive-Through Carwash, Mini-Mart
Proposed Land Use:	Gas Station, Mini-Mart
Comprehensive Plan:	Commercial (Existing); Commercial (Future)
Surrounding Zoning & Uses	
North:	Multi Family Residence District (R-3); Townhomes
East:	Neighborhood Convenience Shopping District (B-1) and Multi Family Residence District (R-3); Bank and Apartments
South:	Single Family Residence District (R-1); Our Lady of Mt. Carmel Church
West:	General Business District (B-3); Banquet Hall
Size of Property:	1.64 Acres
Floodplain:	N/A
Natural Features:	Site is fully developed and professionally landscaped with trees, shrubs and groundcover.
Transportation:	The petition site gains access from two driveways off of Cass Avenue and one driveway off of North Frontage Road.

**ATTACHMENTS**

- 1) **LOCATION MAP & AERIAL IMAGE (BY CITY STAFF)**
- 2) **ORDINANCE O-31-85**
- 3) **PLAT OF SURVEY (EXISTING)**
- 4) **ZONING APPLICATION**
- 5) **SITE PLAN, UTILITY PLAN AND GRADING PLAN (PROPOSED)**
- 6) **ARCHITECTURAL PLANS**
- 7) **ARCHITECTURAL RENDERINGS**
- 8) **TRAFFIC STUDY**
- 9) **ENGINEERING REVIEW LETTER**
- 10) **LANDSCAPE PLANS**
- 11) **VARIATION JUSTIFICATION LETTER**
- 12) **SPECIAL USE AND VARIATION CRITERIA**

**BACKGROUND/OVERVIEW**

The 1.64-acre subject property is located at the northwest corner of Cass Avenue and the North Frontage Road intersection (see Attachment 1), within the General Business District (B-3). On October 7, 1985, the City Council adopted Ordinance No. O-31-85 (see Attachment 2), approving a Special Use Permit for the construction of the existing site, which includes automobile service station with a canopy and 10 fuel pumps, a mini-mart approximately 936 square feet in size, and a drive-through carwash (see Attachment 3).

In 2010, the property was purchased from Shell Oil Products US by True North Energy, LLC (the Petitioner), which owns and operates automobile service stations and convenience stores across the Midwest. In the last several years, the Petitioner has reinvested in its branded convenience stores, and as part of that effort, is now requesting to amend the existing Special Use Permit (see Attachment 4) to perform a full tear down and renovation of the property which includes a fuel island and canopy for six pumps, a new convenience store approximately 5,425 square feet in size, and the removal of the carwash. On-site improvements are proposed including a new trash enclosure, pedestrian access, parking and landscape areas, and drainage/stormwater improvements.

**ANALYSIS**

**A) Zoning and Land Use**

*Existing Zoning and Land Use:* The property is currently zoned General Business District (B-3). The site is bordered by Multi Family Residence District (R-3) and townhomes to the north; Neighborhood Convenience Shopping District (B-1) and Multi Family Residence District (R-3) to the east, consisting of a bank and apartments; General Business District (B-3) and a banquet hall to the west; and lastly, Single Family Residence District (R-1) to the south, which consists of the Our Lady of Mt. Carmel Church.

**B) Automobile Service Station and Mini-Mart (Special Use Amendment and Variations)**

*Special Use Permit Amendment:* Automobile service stations and carwash facilities are permitted as special uses, per Section 5A-8-3-4 and 5A-8-4-4 of the City's Zoning Ordinance. As the project

involves a change in the land use and site plan, a Special Use Permit Amendment is required.

*Site and Architectural Design:* The project site (see Attachment 5 – Site Plan, Utility Plan and Grading Plan) is designed with the new 5,425 square foot convenience store in the same approximate location as the previous drive-through carwash, on the west of the property, behind the renovated fuel island and canopy in the center of the site. To the rear of the convenience store and adjacent to the west property line, the existing detention pond will be further excavated and redesigned. Changes to the pond include the construction of a retaining wall along the western property line that will function as the edge of the pond. The wall varies in height from 2-feet to 7-feet tall, with an approximately 2.5 to 3-foot portion of the wall's height being below grade. A landscaped refuse and recycling enclosure is proposed to the south of the convenience store building.

The floor plan and elevations (see Attachment 6) show that the rectangular building utilizes a contemporary commercial design, with a corniced flat roof and a prominent arched entryway. The exterior materials include stucco and stone veneer, while the arched entryway and awnings incorporate a bronze finish. The prominent front elevation uses large aluminum storefront windows and wall sconce lighting, while the rear employs wall-pack security lighting. In addition to the plans, enhanced 3D renderings were provided (see Attachment 7).

*Access, Circulation and Parking:* Access to the site is provide by two restricted driveways on Cass Avenue (right-in and right-out), and a shared drive aisle that access from North Frontage Road. The existing raised curb/island barrier between the shared drive aisle and the project site will be demolished and the area will consist of open paving. 19 dedicated parking stalls are proposed, along with 12 stalls available at the fuel pumps, with additional unmarked parking surfaces are provided near the perimeter of the site which meets the minimum requirement of 21 parking stalls.

*Traffic Study:* Cass Avenue right-of-way is under the jurisdiction of DuPage County – however, the petitioner provided a traffic study (see Attachment 8) prepared by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA), dated February 25, 2025 to evaluate the potential for transportation impacts resulting from the development of the proposed project. The study analyzed existing conditions without the project, existing conditions plus the project, future traffic conditions, and analyzed the specific roadway and site access existing or included as part of the project. Results indicate that peak hour trips will increase by approximately 1%, and due to the existing capacity, the proposed project is forecast to result in no substantial transportation impacts or degradation in level of service.

*Site Plan Review:* Staff have reviewed the petitioner submitted plans and found that the project complies with all required development standards, except with regard to perimeter landscaping requirements, as outlined below. The preliminary plans were reviewed and accepted by Christopher B. Burke Engineering's Dan Lynch on January 22, 2025, and the applicant will be required to address the comments in the letter during the plan check process and prior to permit issuance (see Attachment 9).

*Variation Request:* Based on the site layout and submitted documents, the petitioner is requesting variations from the following sections of the City’s Zoning Regulations:

- Section 5A-8-4-8(B)(2) To allow for parking areas near the northern property line to be located within the 30-foot parking setback.
- Section 5A-10-6 To allow for no landscape islands to be provided in the parking area directly in front of the mini-mart.
- Section 5A-10-5 To allow for less perimeter landscaping than would otherwise be required at the eastern, western, and southern property lines, in lieu of the proposed landscaping.

The City’s landscape ordinance is based on a point system. Trees provide the most points, while shrubs and groundcover provide fewer points. The table details the required and proposed landscape points.

Table 1: Landscaping Tabulation

	<b>Required Landscaping</b>	<b>Proposed Landscaping</b>
<b>North</b>	1680 pts	1780 pts (complies)
<b>South</b>	1192.5 pts	780 pts ( <i>deficient</i> )
<b>East</b>	1197 pts	405 pts ( <i>deficient</i> )
<b>West</b>	1192.5 pts	880 pts ( <i>deficient</i> )

The proposed landscape plan provides planting details and a breakdown of the landscaping calculations – see Attachment 10.

*Justification Letter and Findings of Fact:* As previously mentioned, a justification letter for the various findings of fact for the special use amendment and variations have been prepared by the petitioner and are attached to the application as Attachment 11. They generally refer to site constraints and as-built conditions that prevent strict compliance with the required landscaping scores. For reference, the criteria the Planning, Zoning and Economic Development Commission and City Council apply in their actions for Special Uses and Variation requests are included in Attachment 12.

*Conditions of Approval:* All existing conditions of approval established under Ordinance No. O-31-85 will remain in place, except those regarding carwash operations, and landscaping. Should the petition be approved, the new ordinance would supersede those conditions of approval where necessary. Should the Planning, Zoning and Economic Development Commission recommend approval of this petition, staff recommended adding the following conditions of approval:

- ~~1. Plans submitted for the project shall include enhanced landscaping along the northern~~



~~property line, to consist of additional shade/overstory trees in areas where no trees are provided.~~ (Removed by PZC on 03/05/2025)

2. Prior to the issuance of a final certificate of occupancy, the petitioner shall include pavement rehabilitation or resurfacing of those portions of the shared access drive that are located on the subject property that are generally in disrepair, to the satisfaction of the Director of Community Development.
3. Comply with the comments and requirements within the letter from Christopher B. Burke Engineering, Ltd. dated January 22, 2025.

#### **PZC MEETING UPDATE – 03/05/2025**

The Planning, Zoning and Economic Development Commission reviewed this petition at its March 5, 2025 meeting. The petitioner was present and answered questions after staff’s introduction of the case. There were members of the public in attendance and provided comment on the landscaping and fencing at the north end of the site. Staff answered various questions about the site design, nature of variations requested, and recommended conditions of approval.

**Based on testimony and discussion at the meeting, the Planning and Zoning Commission made a motion to forward the case with a favorable recommendation to the Municipal Services Committee and City Council. The motion passed with a unanimous 7-0 vote. The following conditions of approval were included:**

- 1. Prior to issuance of a certificate of occupancy, the petitioner shall complete pavement rehabilitation or resurfacing of those portions of the shared access drive that are located on the subject property that are generally in disrepair to the satisfaction of the Director of Community Development.**
- 2. The developer/petitioner shall comply with the comments and requirements within the letter from Christopher B. Burke Engineering, LTE dated January 22, 2025.**
- 3. Comply with all requirements of the original ordinance, including fencing, but excluding landscaping as amended herein.**
- 4. Replace or provide signage to clarify existing right-in and right-out access on Cass Avenue.**

#### **MSC MEETING UPDATE 03/24/2025**

The Municipal Services Committee reviewed this petition at its March 24, 2025 meeting. Staff presented the item and answered various questions about the project and recommended conditions of approval.

**Based on testimony and discussion at the meeting, the Municipal Services Committee made a motion to forward the case with a favorable recommendation to the City Council. The motion passed unanimously.**

#### **DECISION MODE**

The Municipal Services Committee will consider this item at its meeting on March 24, 2025.

**MEETING SCHEDULE**

City Council

April 7, 2025

**CITY OF DARIEN**  
**PLANNING, ZONING AND ECONOMIC**  
**DEVELOPMENT COMMISSION**

**MARCH 5, 2025**

**LOCATION MAP**



**Project No.: PZC2024-14 – 8226 S. Cass Avenue**

*Zoning Book*

CITY OF DARIEN

ORDINANCE NUMBER 0-31-85

AN ORDINANCE GRANTING A SPECIAL USE  
PERMIT FOR CERTAIN PROPERTY WITHIN THE  
CITY OF DARIEN (KLOSKI/SHELL)

ADOPTED BY THE  
MAYOR AND CITY COUNCIL  
OF THE  
CITY OF DARIEN

THIS 7th DAY OF October, 19 85

Published in pamphlet form  
by authority of the Mayor and  
City Council of the City of  
Darien, DuPage County, Illinois,  
this 8th day of October,  
19 85.

STATE OF ILLINOIS)  
 ) SS  
COUNTY OF DU PAGE)

CERTIFICATE

I, Gertrude M. Coit, C.M.C., certify that I am the duly elected and acting municipal clerk of the City of Darien, Du Page County, Illinois.

I further certify that on October 7, 1985, the Corporate Authorities of such municipality passed and approved Ordinance Number 0-31-85, entitled AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR CERTAIN PROPERTY WITHIN THE CITY OF DARIEN (KLOSKI/SHELL)

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance Number 0-31-85, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on October 8, 19 85, and continuing for at least ten (10) days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at Darien, Illinois, this 8th day of October, 1985.

(SEAL)

  
Municipal Clerk



ORDINANCE NUMBER 0-31-85

AN ORDINANCE GRANTING A SPECIAL USE PERMIT  
FOR CERTAIN PROPERTY WITHIN THE CITY OF  
DARIEN (KLOSKI/SHELL)

WHEREAS, the owner and the contract purchaser of the property legally described on Exhibit "A" attached hereto and made a part hereof ("subject property") have filed a petition with the City of Darien for a Special Use Permit to allow the construction and operation of an automobile service station, car wash, and mini-mart facility on the subject property; and,

WHEREAS, pursuant to due and proper legal notice, the Darien Plan Commission conducted a public hearing with respect to said petition on August 28, 1985; and,

WHEREAS, the Plan Commission has forwarded its report and recommendation to the City Council; and,

WHEREAS, following review of the Plan Commission's report and recommendation, the City Council has determined to grant the Special Use Permit, subject to the conditions set forth hereinbelow; and,

WHEREAS, the subject property is currently in the B-3 Zoning District of the City and gas stations and car washes and mini-marts are allowable Special Uses in said zoning district.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: A Special Use Permit is hereby granted to permit the construction and operation of a gasoline service station, car wash, and mini-mart on the subject property.

SECTION 2: The facility shall be constructed in accordance with the site plan prepared by FGM/C Incorporated and dated July 23, 1984 and shall be constructed in accordance with the representations made by Shell Oil Company during the August 28, 1985 Plan Commission hearing and shall further be subject to the following specific terms and conditions:

ORDINANCE NUMBER 0-31-85

A. GENERAL CONDITIONS

1. The facility shall at all times be operated in accordance with relevant provisions of the Darien City Code to include relevant noise and odor emission regulations of the Illinois Environmental Protection Agency.
2. The facility shall not perform any automobile service or repair or vehicle or trailer rentals.
3. No alcoholic beverages shall be sold from the facility.
4. The car wash hours of operation shall be from 7:00 A.M. to 9:00 P.M.

B. TRAFFIC REGULATIONS

1. The owner shall post and maintain "NO EXIT" or similar signs in order to prevent vehicles from exiting the facility at the north curb cut on Cass Avenue and a "RIGHT TURN ONLY" sign at the south curb cut on Cass Avenue.
2. The owner shall utilize cones or similar on-site regulatory devices to prevent vehicles awaiting a car wash from stacking onto either Cass Avenue or Frontage Road.
3. Two (2) "NO LEFT HAND TURN" signs shall be installed in the west Cass Avenue right-of-way to face northbound Cass Avenue traffic at both north and south curb cuts on Cass Avenue. The signs shall be supplied and erected by the City of Darien.
4. On-site traffic signs to indicate north bound Cass Avenue traffic to exit via Frontage Road.



ORDINANCE NUMBER 0-31-85

C. ENGINEERING AND UTILITIES

1. No construction shall commence until such time as the City Engineer approves of Shell's drainage and storm water retention plans.
2. Owner agrees to tap onto the City of Darien's water and other utility lines at the owner's property line at such time as an appropriate service connection is available to the subject property from Cass Avenue. Owner further agrees to pay a maximum of five-thousand dollars (\$5,000.00) as its share of the cost of the extension of such lines. Construction of the water line to serve Shell shall be coordinated so that Shell can tap onto the system during the course of construction of the facility. If this coordination cannot be achieved, even after good faith negotiation has been conducted to arrive at an equitable solution, Shell shall not be required to tap onto this system.

D. LIGHTING AND SIGNAGE

1. All on-site lighting shall be designed and installed in such a manner as to prevent any spillage onto all adjacent private properties.
2. Without waiving any of its rights to the use of the easement for road purposes along the southern edge of the subject property, permission is granted by the City to allow the owner to erect and maintain its identification sign on said easement in accordance with the facility site plan and in accordance with all applicable City ordinances and other regulations.
3. All signage shall meet and comply with City of Darien Code requirements.



ORDINANCE NUMBER 0-31-85

E. LANDSCAPING AND FENCING

1. The owner shall install an eight foot (8') high stockade-type fence along the north two-hundred twenty-five feet (225') of the western perimeter of the subject property.

2. A fence shall be constructed along the west two-hundred forty feet (240') of the northern property line with the first two-hundred twenty feet (220') being eight feet (8') in height, and the next ten feet (10') being six feet (6') in height, with the next ten feet (10') being four feet (4'), or such other acceptable method of constructing the fence as the City and Shell may agree. The remaining portion of the north property line shall be landscaped with low-line vegetation. However, in the event it is determined that the eastern building line of the residence to the immediate north of the subject property is set back less than sixty feet (60') from the property line along Cass Avenue, the owner shall extend the fence along the northern property line of the subject property so that said fence extends at least ten feet (10') east of said building line.

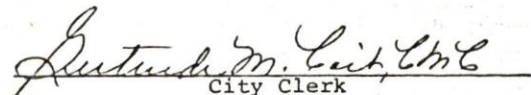
3. In addition, the owner shall construct a berm and plantings on the church property along the westerly one-hundred feet (100') of the abutting property line.

SECTION 3: This Ordinance shall be in full force and effect upon its passage, approval, and publication in pamphlet form as provided by law.



ORDINANCE NUMBER 0-31-85

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF  
DARIEN, DU PAGE COUNTY, ILLINOIS, this 7th day of October,  
1985.

  
City Clerk

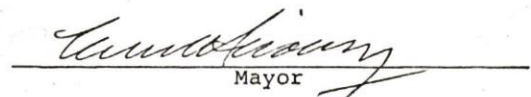
AYES: 6: Biehl, Gillespie, Nosbisch,

Smith, Thompson, VonZuckerstein

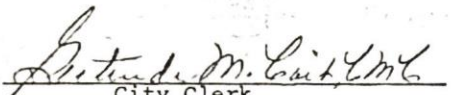
NAYS: 2: Colby, Sims

ABSENT: 0: None

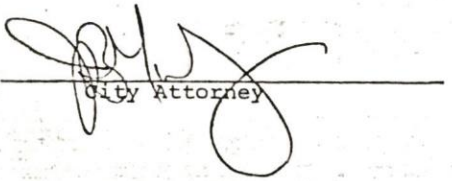
APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE  
COUNTY, ILLINOIS, this 7th day of October, 1985.

  
Mayor

ATTEST:

  
City Clerk

APPROVED AS TO FORM:

  
City Attorney

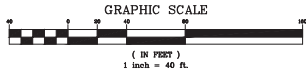


# CITY OF DARIEN

ORDINANCE NUMBER 0-31-85

## EXHIBIT "A"

The East 280.0 feet of Lot 1 (except the East 15 feet thereof) and also the East 280.0 feet of Lot 2, (except that part thereof lying East of a line drawn from the North East corner of Lot 2 to a point 15 feet West of the South East corner of Lot 2), in Smart Acres, being a Subdivision of the South 1/2 of the North East 1/4 of Section 33, Township 38 North, Range 11, East of the Third Principal Meridian, DuPage County, Illinois.



PROPERTY AREA

71,408 SQUARE FEET (1.64 ACRES), MORE OR LESS

P.I.N. NUMBERS

09-33-205-036

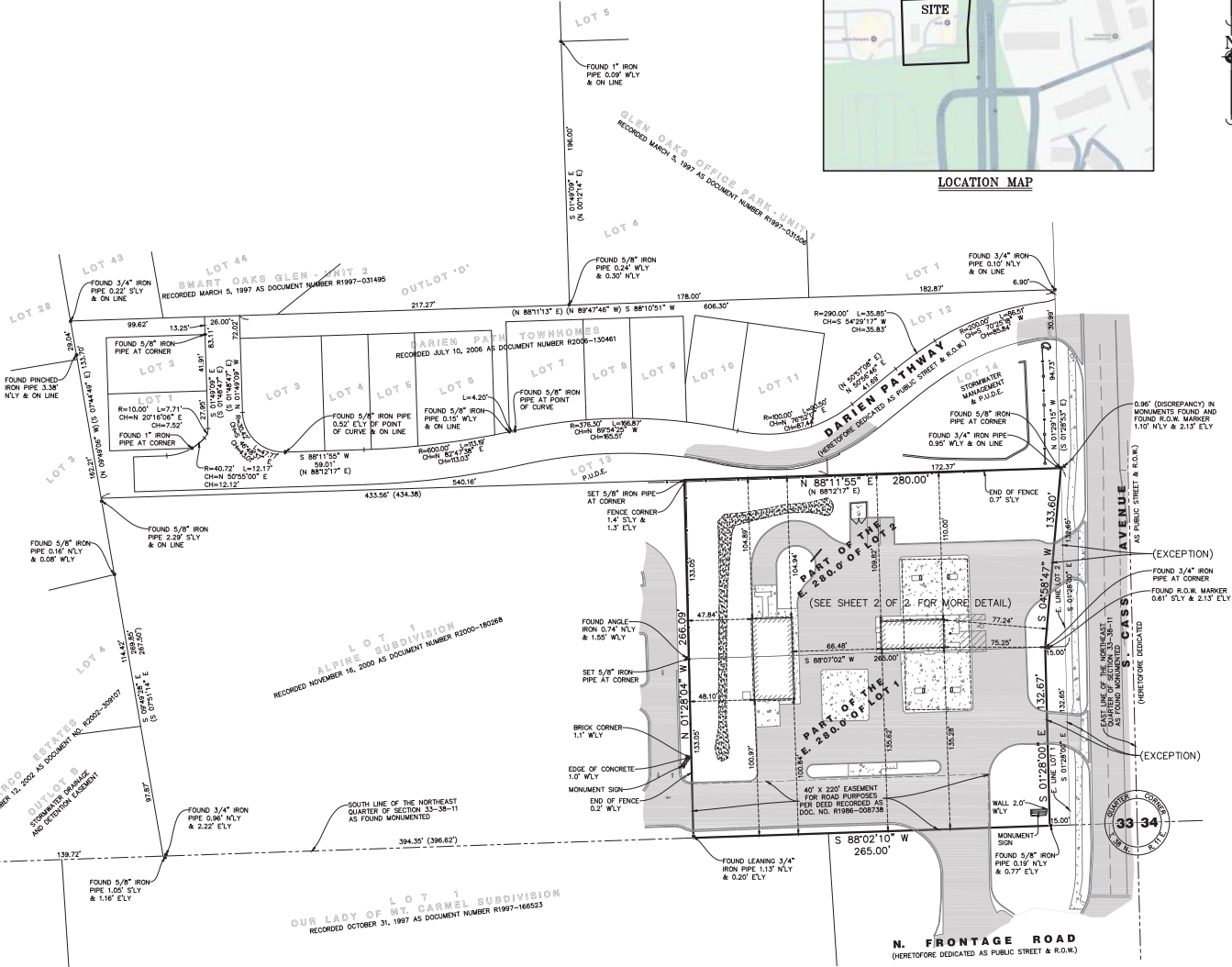
LEGEND

Table with 2 columns: Symbol and Description. Includes items like 50.00' = MEASURED DIMENSION, B.S.L. = BUILDING SETBACK LINE, P.U.E. = PUBLIC UTILITY EASEMENT, R.O.W. = RIGHT-OF-WAY, etc.

BOUNDARY & TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

THE EAST TWO HUNDRED EIGHTY FEET (280.0') OF LOT 1 EXCEPT THE EAST FIFTEEN FEET (15.0') THEREOF AND ALSO THE EAST TWO HUNDRED EIGHTY FEET (280.0') OF LOT 2, EXCEPT THAT PART THEREOF LYING EAST OF A LINE DRAWN FROM THE NORTHEAST CORNER OF LOT 2, TO A POINT FIFTEEN FEET (15.0') WEST OF THE SOUTHEAST CORNER OF LOT 2, IN SHANT ACRES BEING A SUBDIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 21, 1947 AS DOCUMENT 532141, IN DUPAGE COUNTY, ILLINOIS.



BENCH MARKS: (NAVD88) SOURCE BENCH MARK: NSG MONUMENT WITH PIVOT #F1255 BEING AN FLANGE-ENCASED STEEL ROD. (SEE NSG DATA SHEET FOR A MORE DETAILED DESCRIPTION) ELEVATION=784.09

SITE BENCH MARK: NORTH BOLT ON HYDRANT LOCATED 13.3' NLY & 18.6' ELY OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION=725.91

SURVEYOR SIGNATURE AND SEAL THIS PROFESSIONAL SURVEYOR CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY. DATE SIGNED: NOVEMBER 25, 2024

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035.003520 LICENSE EXPIRES NOVEMBER 30, 2024



Table with columns: DATE, SURVEYOR, and other administrative fields.

WE GET CORNERS OTHER PEOPLE CUT! LAND SURVEYING, TOPOGRAPHIC MAPPING, SITE STAKING, SITE PLANS, GRADING PLANS, FEMA CERTIFICATES AND MORE. SIGHT ON SOLUTIONS, INC. 557 CAPITAL DRIVE, LAKE ZURICH, ILLINOIS 60047

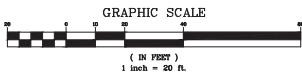
BOUNDARY & TOPOGRAPHIC SURVEY 8226 S. CASS AVENUE DARIEN, ILLINOIS SHEET 1 OF 2



# BOUNDARY & TOPOGRAPHIC SURVEY

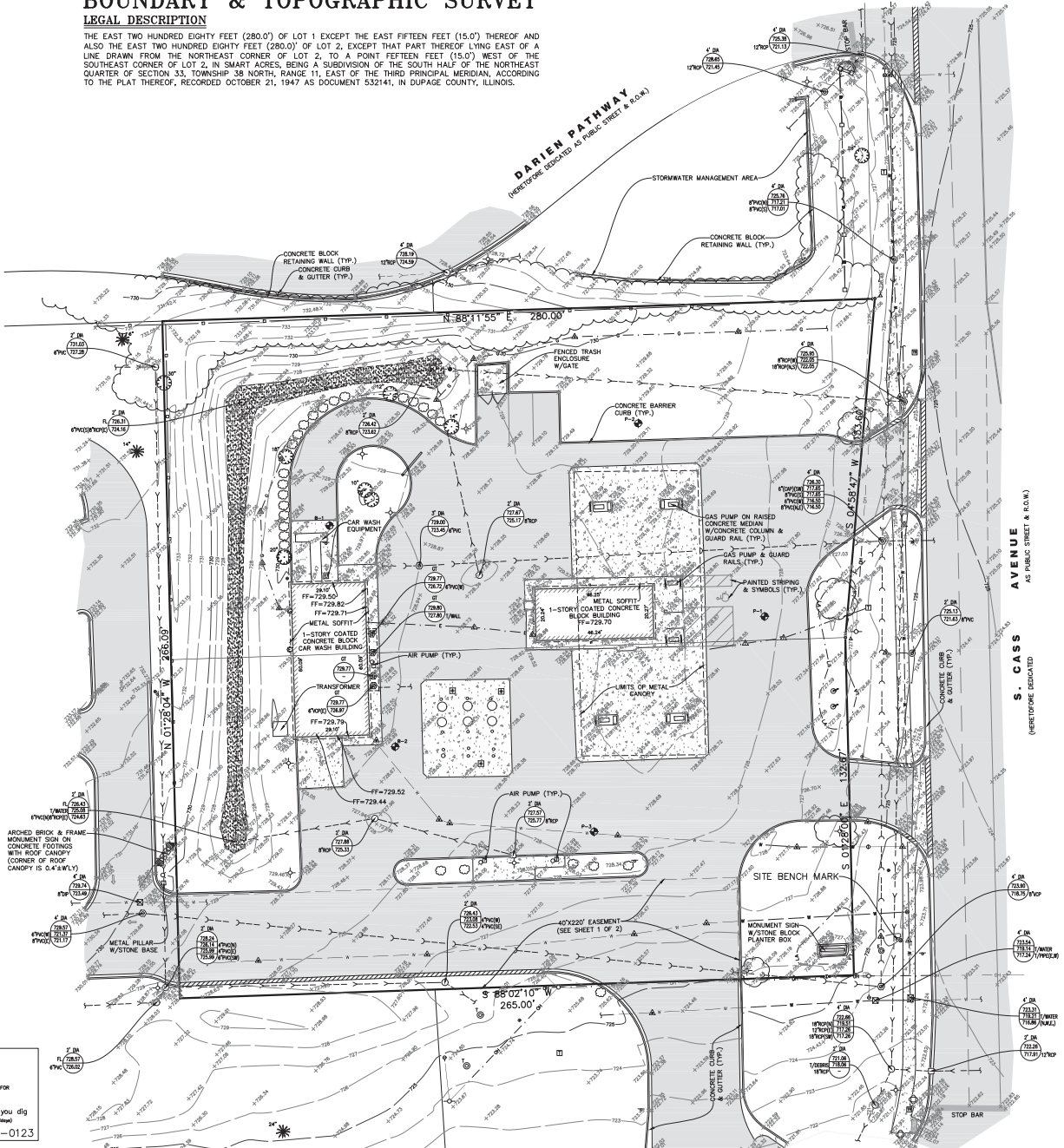
## LEGAL DESCRIPTION

THE EAST TWO HUNDRED EIGHTY FEET (280.0') OF LOT 1 EXCEPT THE EAST FIFTEEN FEET (15.0') THEREOF AND ALSO THE EAST TWO HUNDRED EIGHTY FEET (280.0') OF LOT 2, EXCEPT THAT PART THEREOF LYING EAST OF A LINE DRAWN FROM THE NORTHEAST CORNER OF LOT 2, TO A POINT FIFTEEN FEET (15.0') WEST OF THE SOUTHEAST CORNER OF LOT 2, IN SHANT ACRES, BEING A SUBDIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 21, 1947 AS DOCUMENT 532141, IN DUPAGE COUNTY, ILLINOIS.



### LEGEND

50.00'	= MEASURED DIMENSION	⊗	= GAS METER
50.0'	= RECORD/DEED DIMENSION	⊙	= GAS MANHOLE
B.S.L.	= BUILDING SETBACK LINE	⊕	= JULIE GAS MARKER
N.L.Y.W.L.Y.	= DIRECTION (N= NORTHERLY)	⊖	= ELECTRICAL METER
P.U.E.	= PUBLIC UTILITY EASEMENT	⊗	= ELECTRICAL PEDESTAL
P.U.D.E.	= PUBLIC UTILITY & DRAINAGE EASEMENT	⊙	= ELECTRICAL MANHOLE
R.O.W.	= RIGHT-OF-WAY	⊕	= ELECTRICAL OUTLET/PULL BOX
BDX	= BUILDING CORNER TE	⊖	= JULIE ELECTRICAL MARKER
---	= PROPERTY LINE	⊕	= MANHOLE
---	= EASEMENT LINE	⊖	= DOUBLE HANDBOLE BOX
---	= SECTION LINE	⊗	= TELECOM PEDESTAL
---	= DEPRESSED CURB	⊙	= TELECOM MANHOLE
---	= CHAIN-LINK FENCE	⊕	= TELECOM VAULT
---	= WOOD FENCE	⊖	= TELECOM CONTROL BOX
---	= METAL/COMPOSITE FENCE	⊕	= TELECOM MARKER
---	= WIRE FENCE	⊖	= PETROLEUM MARKER
---	= COMBINATION SEWER LINE	⊕	= UTILITY POLE
---	= ROOF/UNDERDRAIN LINE	⊖	= LIGHT STANDARD
---	= STORM LINE	⊗	= LIGHT BOLLARD
---	= WATER MAIN LINE	⊙	= GROUND LIGHT
---	= FORCE MAIN LINE	⊕	= TRAFFIC SIGNAL
---	= UNDERGROUND GAS LINE	⊖	= TRAFFIC SIGNAL WITH ARM
---	= UNDERGROUND ELECTRICAL LINE	⊗	= TRAFFIC SIGNAL MANHOLE
---	= UNDERGROUND TELECOM LINE	⊙	= DOUBLE TRAFFIC SIGNAL MANHOLE
---	= OVERHEAD WIRES	⊕	= SIGN
---	= TREE/BRUSH LINE	⊖	= DOUBLE POLE SIGN
---	= FLOOD PLAIN LIMIT LINE	⊗	= MAILBOX
---	= WATER LINE	⊙	= BOLLARD
---	= 1 FOOT CONTOURS	⊕	= FLAG POLE
---	= LANDSCAPE AREA	⊖	= PAY/EMERGENCY PHONE
---	= QUARD RAIL	⊗	= FIRE SPRINKLER CONNECTION
---	= OVERLAND STORMWATER FLOW	⊙	= AIR CONDITIONING UNIT
○	= SURVEY MONUMENT DRIVEN	⊕	= WATER POST INDICATOR VALVE
○	= SURVEY NOTCH CUT	⊖	= SOIL BORING W/D NUMBER
+	= FOUND CUT CROSS	⊗	= BASKETBALL HOOP
⊕	= BENCHMARK	⊙	= HANDICAPPED PARKING
⊖	= SURVEY CONTROL POINT	⊕	= RAILROAD CONTROL BOX
⊗	= MISCELLANEOUS MANHOLE (MH)	⊖	= RAILROAD CROSSING GATE
⊙	= STORM MANHOLE (SMH)	⊗	= RAILROAD SWITCH
⊕	= STORM CATCH BASIN (CB)	⊙	= SPOT ELEVATION
⊖	= STORM INLET (NLI)	⊕	= BUSHES
⊗	= FLARED END SECTION (FES)	⊖	= RECYCLED RUBBER TIE WITH
⊙	= DOWN SPOUT TO GRADE	⊗	= CONCRETE TREE WITH TRUNK
⊕	= RIP-RAP	⊙	= TREE CLUMP W/NUMBER-SIZE
⊖	= STORM SEWER MARKER	⊕	= RIM ELEVATION
⊗	= SANITARY MANHOLE (SMH)	⊖	= BUILDING LIMITS
⊙	= GREASE TRAP (GT)	⊗	= ASPHALT PAVEMENT
⊕	= LIFT STATION (LS)	⊙	= CONCRETE PAVEMENT
⊖	= CLEANOUT (CO)	⊕	= GRAVEL SURFACE
⊗	= SANITARY SEWER MARKER	⊖	= BRICK PAVERS
⊙	= COMBINATION SEWER MANHOLE (CSM)	⊗	= WOOD SURFACE
⊕	= FIRE HYDRANT W/AUX. VALVE	⊙	= STONE PAVERS
⊖	= VALVE BOX (VB)	⊕	= HANDICAP DOME INSERT (UNLESS NOTED OTHERWISE)
⊗	= VALVE VAULT (VV)	⊖	
⊙	= WATER METER		
⊕	= WATER SERVICE BUFFALO BOX (B-BOX)		
⊖	= MONITORING WELL		
⊗	= WELL HEAD		
⊙	= SPRINKLER CONTROL VALVE		
⊕	= GAS MARKER		
⊖	= GAS VALVE		



### SURVEYOR'S NOTES

- THIS SURVEY WAS PREPARED FOR [CLIENT NAME], INC.
- NO EASEMENTS OR SETBACKS WERE CREATED BY THE FINAL PLAT OF SUBDIVISION. EASEMENT SHOWN HEREON WAS CREATED BY DOCUMENT NUMBER [NUMBER] WHICH COMPLIES WITH ZONING REGULATIONS OR OTHER DOCUMENTS FOR SETBACK, EASEMENT OR OTHER REQUIREMENTS NOT SHOWN HEREON, IF ANY.
- BUILDING SETBACKS ARE SHOWN FROM THE LIMITS OF COATED CONCRETE BLOCK CONSTRUCTION.
- DISTANCES ARE MARKED IN U.S. SURVEY FEET. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (ASAP) ARE RECORD OR DEED VALUES, NOT FIELD MEASURED. BEARINGS ARE GEODESIC BASED ON FOUND MONUMENTATION LOCATED AND MEASURED USING TRIMBLE'S VIRTUAL REFERENCE SYSTEM (NAD 83, ILLINOIS STATE PLANE, EAST ZONE) AND THE SURVEYOR'S FIELD BOOK.
- MANHOLES, INLETS, OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH BASED ON LID MARKINGS, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. UNDERGROUND UTILITY LINES EXIST BUT ARE NOT SHOWN HEREON AND OBSERVATIONS HAVE NOT BEEN MADE TO DETERMINE THE EXTENT OF UTILITIES SERVING OR EXISTING ON THE PROPERTY.
- ONLY THE IMPROVEMENTS WHICH WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY AND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE ARE SHOWN ON THE FACE OF THIS PLAT. LANS SPRINKLER HEADS, IF ANY, ARE NOT SHOWN ON THE SURVEY.
- THIS SURVEY MAY NOT REFLECT ALL IMPROVEMENTS ON THE PROPERTY IF SUCH ITEMS WERE HIDDEN BY LANDSCAPING, FOLIAGE, DEPTH OF PAVEMENT, CONCRETE PAVERETS, STORMWATER EQUIPMENT, TRAILERS OR OTHER OBJECTS.
- OTHER THAN VISUAL OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE OR UTILITY LINE. USE OF UTILITY ATLAS RECORDS, IF ANY, AND/OR CONTROLLED UNDERGROUND EXPLORATORY SYSTEMS (CUES) IS RECOMMENDED TO DETERMINE THE EXTENT OF UNDERGROUND SERVICE AND UTILITY LINES. CONTACT JURISDICTIONAL AGENCIES, ILLULIE, DUGGLEA, OR PRIVATE UTILITY LOCATING COMPANY FOR RECORDS.
- THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED ON THE LEGAL DESCRIPTION AND INFORMATION PROVIDED BY THE CLIENT. THIS SURVEY DOES NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED FOR OWNERSHIP. CONSULT YOUR TITLE COMPANY.
- COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.



Call 48 hours before you dig  
1-800-892-0123

DATE	DESCRIPTION

WE GET CORNERS OTHER PEOPLE CUT!  
LAND SURVEYING, TOPOGRAPHIC MAPPING, SITE STAKING,  
SITE PLANS, GRADING PLANS, FEMA CERTIFICATES AND MORE  
**SIGHT ON SOLUTIONS, INC.**  
557 CAPITAL DRIVE, LAKE ZURICH, ILLINOIS 60047  
PHONE: 847.356.7559 FAX: 815.576.9847 www.sightonsolutions.com

BOUNDARY & TOPOGRAPHIC SURVEY  
8226 S. CASS AVENUE  
DARIEN, ILLINOIS

SHEET  
2 OF 2  
S09# 24174



## ZONING VARIATIONS INFORMATION and APPLICATION

REV 12/21

### Assistance

All zoning standards and procedures are described in detail in the City Code, Title 5A, which is presented in full on the City website [www.darienil.us](http://www.darienil.us). This website also has links to this packet and related information. The City Staff is dedicated to help all those involved. Our goal is to make your experience understandable, informative, meaningful, protective of your rights, responsive to your needs, and not unnecessarily long or costly. Contact the City Planner for guidance.

### Available Relief

The zoning standards are uniform throughout the City and for each zoning district. However, there may be some unique properties that would be very difficult to develop if strictly conforming to these zoning standards. So, zoning relief may be available. Property owners have the opportunity to apply for variations that would substitute a lesser zoning standard to be used for a particular development but only for properties that have a unique hardship situation. For example, locating a proposed house 35 feet setback from the rear lot line of a property in the R-1 District would not normally be allowed where the uniform zoning standard is 40 feet, however a variation might be justified if the particular lot is extra shallow.

### Fair Process

The City has a process to review each zoning variation application on its merits. It starts with the property owner or buyer or builder or their representative submitting an application with all the relevant information needed. The City staff (and consultants if needed) review the application, assist the applicant on technical issues, and schedule a public hearing for the Planning and Zoning Commission. The PZC are nine volunteer residents appointed by the Mayor and City Council to evaluate all variation applications. The PZC approves or denies 'simple' variations, which are front yard or corner side yard reductions of 10% or less or side yard reductions to not less than 7.5 feet for single family houses. For all other types of variations, the PZC recommends to the Municipal Services Committee. The MSC are three aldermen who review the findings of the PZC and make their own recommendation to the full City Council. The City Council then has the final vote to approve or deny. The process usually takes about 2-3 months, but in some cases it may take longer if hearings are continued to get more information.

### Transparency

A key step in the process is the public hearing held by the PZC. The application and City staff report are posted on the City website for all to see before the hearing. City staff mails notice of the hearing to neighbors and publishes it in a local newspaper and posts it in City Hall. The applicant places a sign on the property that gives notice of the hearing. Everyone is invited to attend, listen to the applicant's presentation, join in the discussion, and give their comments. Decision criteria in the Code are used to focus all input to determine the unbiased, objective reasons for or against the variation requested.

**CITY OF DARIEN**  
**ZONING VARIATIONS**  
**SUBMITTAL CHECKLIST**

1. APPLICATION. *See attached one-page form.*

2. OWNER AUTHORIZATION LETTER. If the applicant is not the owner, include letter from owner describing the relation to applicant and authorizing the applicant to act on behalf of the owner.

3. PROOF OF OWNERSHIP. If the owner name and address on the Application form is different than on the County Tax Assessor's records, then include proof of ownership such as a deed or title search and list of trust beneficiaries, partners, or corporation owners and officers.

4. APPLICATION FEE. Cash or check payable to the City of Darien. This is non-refundable and is used to pay for administrative expenses. *See attached Fee Schedule.*

5. REIMBURSEMENT AGREEMENT. Some case reviews may need extra engineering, legal, or other consultants review, publication, recording, or other costs. By signing this form, the applicant agrees to reimburse the City if there are such costs. *See attached form.*

6. NEIGHBOR LIST. Provide a stamped envelope with name and address of the owner of each of the neighboring properties within 250 feet of the applicant's property. City staff will put notices of the public hearing in each envelope and then mail them. These names and addresses can be obtained from the Downers Grove Township Assessor's Office 630-719-6630.

7. PUBLIC NOTICE SIGN(S). The applicant must provide and post one or two signs on the property giving notice when the public hearing is scheduled. *See attached Public Hearing Signs and Hearing Schedule.*

8. PLAT OF SURVEY. It should show property boundaries, easements, buildings, other structures, legal description, and any other existing conditions relevant to the variation requested.

9. PLANS. Usually this includes a site plan, drawn to scale on the plat of survey, showing proposed improvements with appropriate dimensions. One copy is sufficient if 11"x17" or smaller. Ten copies if larger than 11"x17" or in color. Additional plans may be appropriate to show all relevant information depending on the nature of the variation being requested, such as;

elevation drawings

photos simulations

traffic studies

landscaping plans

other (*contact the City Planner for guidance*)

10. JUSTIFICATION NARRATIVE. The applicant is responsible for providing written evidence (facts) that supports a conclusion (finding) that the variation is necessary and would not cause problems. *See attached form.*



# ZONING APPLICATION

**CITY OF DARIEN**  
1702 Plainfield Road, Darien, IL 60561  
[www.darienil.us](http://www.darienil.us) 630-852-5000

## CONTACT INFORMATION

Lindsay Lyden  
Applicant's Name  
10346 Brecksville, Rd., Brecksville OH 44141  
Address, City, State, Zip Code  
(440) 792-4200  
Telephone  
llyden@truenorth.org  
Email

True North Energy, LLC  
Owner's Name  
10346 Brecksville, Rd., Brecksville OH 44141  
Address, City, State, Zip Code  
(440) 792-4200  
Telephone  
llyden@truenorth.org  
Email

## PROPERTY INFORMATION

8226 Cass Ave.  
Property address  
Special Use O-30-23  
Zoning District

0933205036  
PIN Number(s)  
Fuel Station with Car Wash  
Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

## REQUEST

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

Reconstruct the site for a new fuel station and convenience store.

Lindsay Lyden  
Applicant Signature

As Notary Public, in and for LUCAS County in OHIO Illinois, I do hereby certify that LINDSAY LYDEN is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.  
Given under my hand and seal, this 3rd day of December 2024.

For office use only
Date Received:
Case Number:
Fee Paid:
Hearing Date:

Diane M. Long  
Notary Public



**DIANE M. LONG**  
Notary Public, State of Ohio  
My Commission Expires: March 31, 2025



**CITY OF DARIEN**  
1702 Plainfield Road, Darien, Illinois 60561  
**DEVELOPMENT APPLICATIONS**

REIMBURSEMENT AGREEMENT

The undersigned applicant for development approval acknowledges that the City of Darien may seek advice and council from professional sources outside the employee staff of the City of Darien. The purpose of such consultation would be for traffic impact analysis, engineering, stormwater, legal, or other such reviews related to variation, special use, rezoning, subdivision, site plan, permits, or other proposals submitted to the City of Darien by the applicant. The City of Darien may also incur expenses as part of the development review and approval process, such as copying, mailing, publication, recording, inspecting, or other such activities.

As an express condition in submitting said application and the consideration thereof by the City of Darien, the applicant both personally and on behalf of the property owner(s), agrees to reimburse the City of Darien forthwith for all costs and expenses that may be incurred by the City of Darien for such consultation and activities.

The applicant hereby accepts and acknowledges that if at any time the application fails to pay for such consultation and activity costs in accordance with the direction of the City of Darien, the no further action will be taken by the City of Darien in relation to the application until such time as said payment is paid in full.

Lindsay Lyden

---

Applicant's Name (print)



---

Applicant's Name (signature)

10346 Brecksville, Rd., Brecksville OH 44141

---

Applicant's Address

December 4, 2024

---

Date

**CITY OF DARIEN**

**Fee Schedule  
Ordinance O-38-92**

	<b>Residential</b>		<b>Commercial</b>	
	<b>&lt; 5 acres</b>	<b>&gt; 5 acres</b>	<b>&lt; 5 acres</b>	<b>&gt; 5 acres</b>
Rezoning	385.00	435.00	485.00	510.00
Special Use	510.00	535.00	585.00	610.00
Special Use Amendment	460.00	460.00	510.00	560.00
Special Use PUD	600.00	650.00	700.00	750.00
Major PUD Amendment	485.00	510.00	560.00	610.00
Minor PUD Amendment	385.00	410.00	435.00	460.00

	<b>Residential</b>			<b>Commercial</b>
	<b>&lt; 5 lots</b>	<b>&gt; 5 lots</b>	<b>&gt; 10 lots</b>	
Preliminary Plat	205.00	230.00 + 15.00 per lot	305.00 + 15.00 per lot	305.00 + 30.00 per lot
Final Plat	180.00	205.00 + 10.00 per lot	255.00 + 10.00 per lot	255.00 + 20.00 per lot

	<b>Residential</b>		<b>Commercial</b>
	<b>Single lot</b>	<b>Multi lot</b>	
Major Variation	360.00	460.00	485.00
Simple Variation	75.00		

	<b>One lot</b>	<b>&gt; 1 lot</b>
Annexation Petition	30.00	50.00
Annexation Agreements	200.00	
Annexation Agreement Amendment	200.00	
Text Amendment	400.00	
Appeal of Administrative Decisions/Interpretation	250.00	

**For new development/redevelopment (excluding petitions involving a single-family residence):**

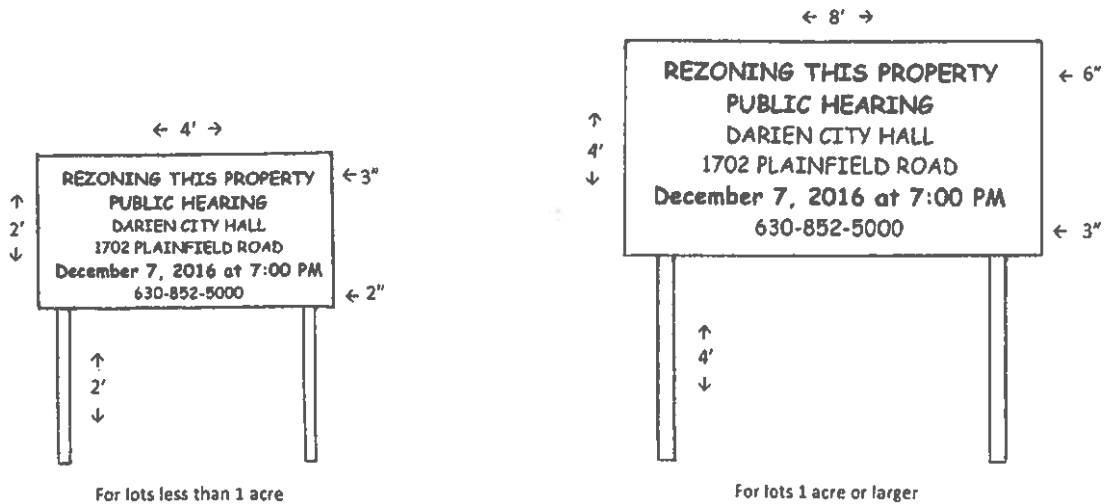
\$2,000.00 deposit required when the petition is submitted, to be returned once all invoices from professional services are paid (engineering, legal and traffic reviews, etc.)

**The bill incurred for publishing the public hearing notice in the newspaper will be billed to the petitioner (excluding petitions involving a single-family residence.)**

**CITY OF DARIEN**  
**ZONING APPLICATIONS**  
**PUBLIC NOTICE SIGNS**

Applicants requesting zoning approval of a map amendment, special use, variation or annexation are responsible for obtaining, posting, and maintaining signs on the subject property to inform the public about the application and the public hearing. See City Code Section 5A-2-3 (B). Contact the City Planner for guidance.

1. Post sign(s) for 15 – 30 days before hearing and remove within 3 days after City Council vote.
2. Place one sign in front yard where most visible to drivers, but not in parkway.
3. Place a second sign for large or usual lots.
4. Signs should be made of durable materials to withstand weather.
5. Signs are to be self-supporting – not attached to buildings, fences, trees.
6. Signs should be legible from street – light background, dark letters – no hand lettering.
7. Minimum sizes 8 – 32 square feet – see samples below.



**CITY OF DARIEN  
PLANNING AND ZONING COMMISSION**

**2022 Schedule**

First and Third Mondays	Fifteen Days Before Hearing	Forty-Five Days Before Hearing
Meeting Dates	Public Hearing Notice and Sign Posting Deadlines	Submittal Deadlines
January 5	December 21, 2021	November 22, 2021
January 19	January 4	December 6, 2021
February 2	January 18	December 28, 2021**
February 16	February 1	January 3
March 2	February 15	January 17
March 16	March 1	January 31
April 6	March 22	February 22**
April 20	April 5	March 7
May 4	April 19	March 21
May 18	May 3	April 4
June 1	May 17	April 18
June 15	May 31	May 2
July 6	June 21	May 23
July 20	July 5	June 6
August 3	July 19	June 20
August 17	August 2	July 5**
September 7	August 23	July 25
September 21	September 6	August 8
October 5	September 20	August 22
October 19	October 4	September 6**
November 2	October 18	September 19
November 16	November 1	October 3
December 7	November 22	October 24
December 21	December 6	November 7

**Meetings are Held in the Council Chambers at Darien City Hall,  
1702 Plainfield Road, Beginning at 7:00 PM.**

**\*\*Due to City Hall Closure for Holiday, Please Note Date Change.**

**CITY OF DARIEN**  
**ZONING VARIATIONS**  
**JUSTIFICATION NARRATIVE**

**Purpose**

To be consistent and fair, the City is obligated to make decisions on zoning variation requests based on findings-of-fact. The Applicant should write a justification narrative that contains evidence (facts) that support a conclusion (finding) that the variation is necessary and would not cause problems. It should include: a) explanation of why the variation is being requested, b) describe the 'hardship condition' of the property that makes it difficult to conform, c) estimate the impact on neighbors , and d) respond to each of the decision criteria below.

**Decision Criteria** (See City Code Section 5A-2-2-3)

2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

---

2b. The plight of the owner is due to unique circumstances.

---

2c. The variation if granted will not alter the essential character of the locality.

---

3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

---

3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.

---

3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

---

3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

---

3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

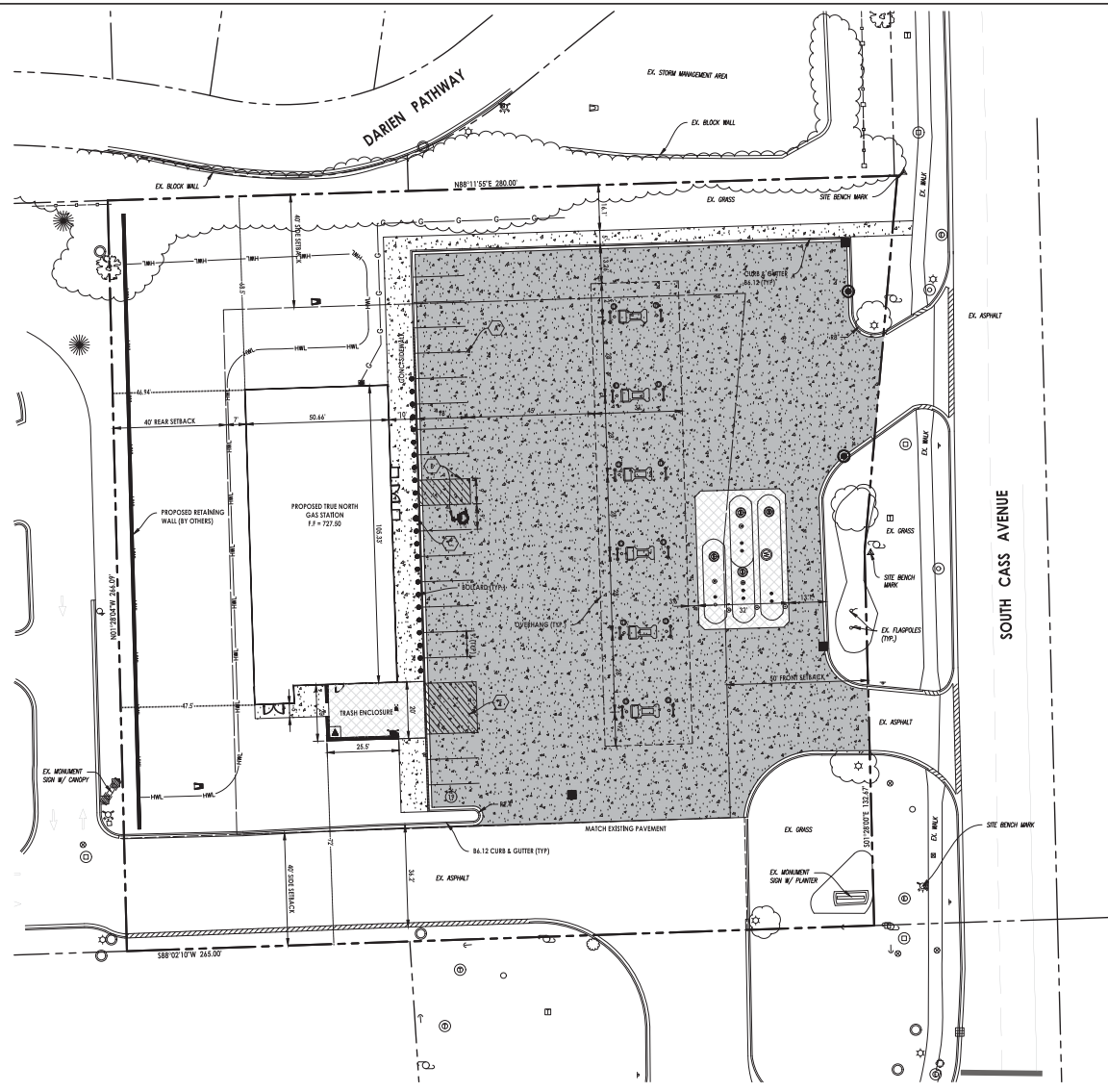
---

3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.

---

3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

---



- NOTES:**
- ALL DIMENSIONS ALONG CURB LINES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
  - BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE BUILDING PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER SITE PLANS HAVE BEEN APPROVED. THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SITE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATION IS NEEDED, OR IF CONFLICTS OR INCONSISTENCIES EXIST.
  - ADA DETECTIBLE WARNING STRIPS SHALL BE CAST IRON TILES, WET SET INTO CONCRETE SURFACE. PER MANUFACTURERS INSTALLATION RECOMMENDATIONS.
  - TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SIGHT ON SOLUTIONS, INC.

**○ SIGNING AND STRIPING SCHEDULE**

- A. 4" YELLOW STRIPING
- B. YELLOW HANDCAP PARKING STRIPING (SEE DETAIL)
- C. "ACCESSIBLE" PARKING STALL SIGN ASSEMBLY (2205 RME)
- D. "STOP" SIGN (R-1-1) (20'x30")
- E. 24" WHITE THERMOPLASTIC STOP BAR
- F. 4" FLUORESCENT CROSS STRIPING 4-C-C
- G. DIRECTIONAL ARROW
- H. RIGHT TURN ONLY 2.5'x5' (20'x30")
- I. THERMOPLASTIC RIGHT TURN ONLY STRIPING
- J. 4" YELLOW LINES, 5.5' C-C 30P-DASH AND SOLID
- K. 4" SOLID WHITE THERMOPLASTIC
- L. "NO LEFT TURN" SIGN (20'x30")
- M. 4" WHITE THERMOPLASTIC 1-STEP 2'-DASH

STRIPING NOTE: ON-SITE PAVEMENT MARKINGS AND GRAPHICS SHALL CONSIST OF TWO (2) COATS OF TRAFFIC-PAINTED PAVEMENT APPLIED AT A MINIMUM OF 30 DAYS APART. STRIPING AND GRAPHICS AT ENTRY DRIVES SHALL BE THERMOPLASTIC, AS NOTED. MATERIALS SHALL MEET ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS.

**○ PARKING SUMMARY**

PROPOSED	
REGULAR STALLS (18'x18')	18
ACCESSIBLE STALLS (16'x18')	1
<b>TOTAL STALL COUNT</b>	<b>19</b>

**LEGEND:**

- ADA TRUNCATED DOMES
- EXISTING BARRIER CURBS
- EXISTING CURB AND GUTTER
- EXISTING CURB AND GUTTER - DEPRESSED
- 84.12 CURB AND GUTTER UNLESS NOTED OTHERWISE
- 84.12 CURB AND GUTTER - DEPRESSED
- BARRIER CURB AND GUTTER UNLESS NOTED OTHERWISE
- BARRIER CURB AND GUTTER - DEPRESSED
- 84.12 CURB AND GUTTER - TRANSITION (ZERO TO FULL HEIGHT)
- BARRIER CURB AND GUTTER - TRANSITION (ZERO TO FULL HEIGHT)
- SAWCUT LINE
- CONCRETE PAVEMENT FOR RAMP PAD, DUMPSTER ENCLOSURE, AND APRONS  
F F.C. CONCRETE (CLASS FV) W/ #4 BARS @ 2'-0" C-C EACH WAY  
4" AGGREGATE BASE COURSE, TYPE B, CA-4
- CONCRETE PAVEMENT FOR FUEL AND ISLAND PARKING  
F F.C. CONCRETE (CLASS FV) W/ #4 BARS @ 2'-0" C-C EACH WAY  
4" AGGREGATE BASE COURSE, TYPE B, CA-4
- CONCRETE SIDEWALK  
F F.C. CONCRETE (CLASS S)  
4" AGGREGATE BASE COURSE, TYPE B, CA-4



NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

606 E. Algonquin Road  
 Suite 200  
 Itasca, IL 60143  
 Telephone: (630) 256-1480  
 www.rtm.com

**engineering consultants**

IL Design Firm: 06060770-0002

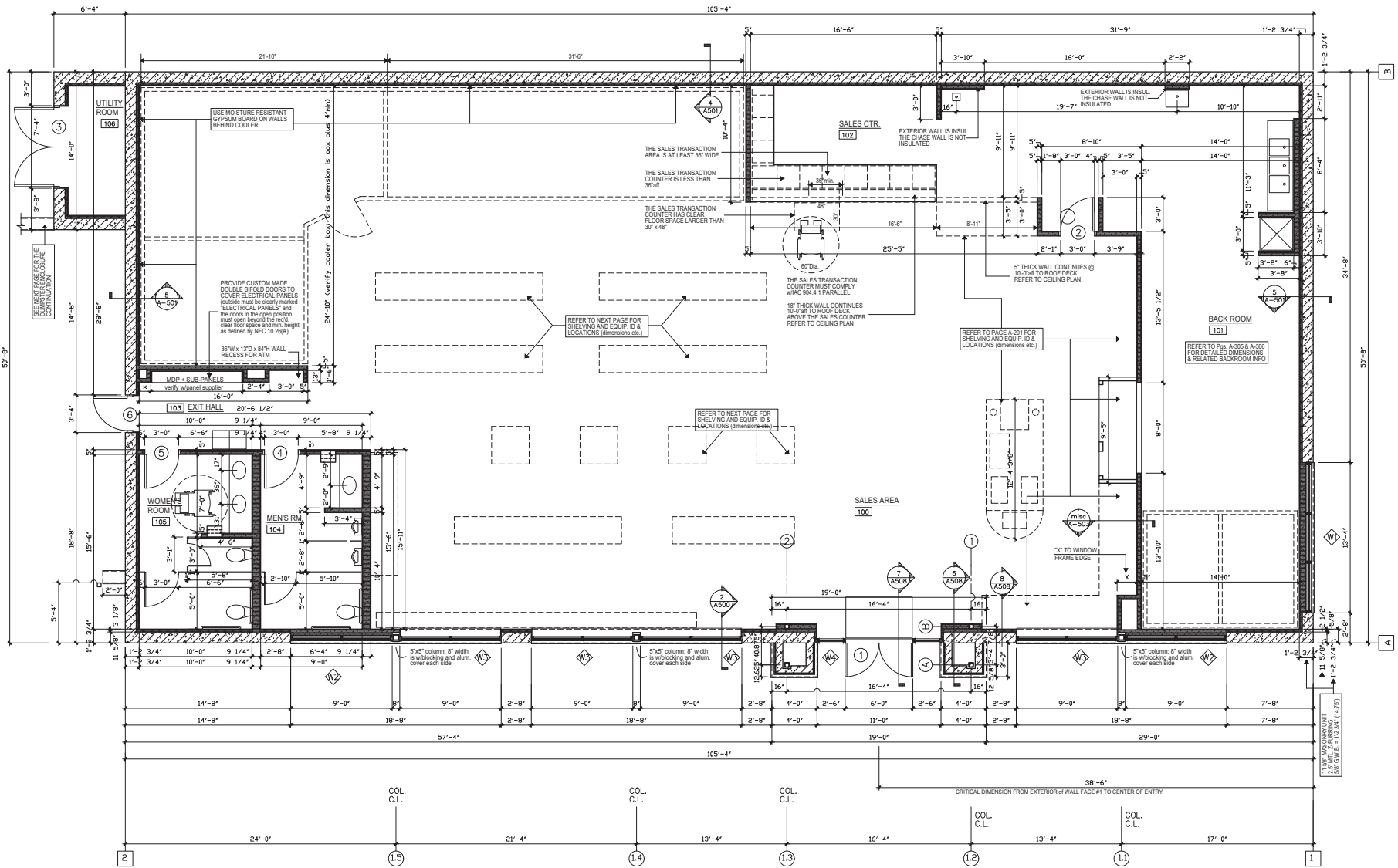
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<p><b>PROJECT No.:</b>                  TN 984</p>	<p><b>SHEET No.:</b>                  C2.0</p>
<p><b>DARIEN, IL</b></p>	
<p>OF 13 SHEETS</p>	

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express: 11-30-2024.  
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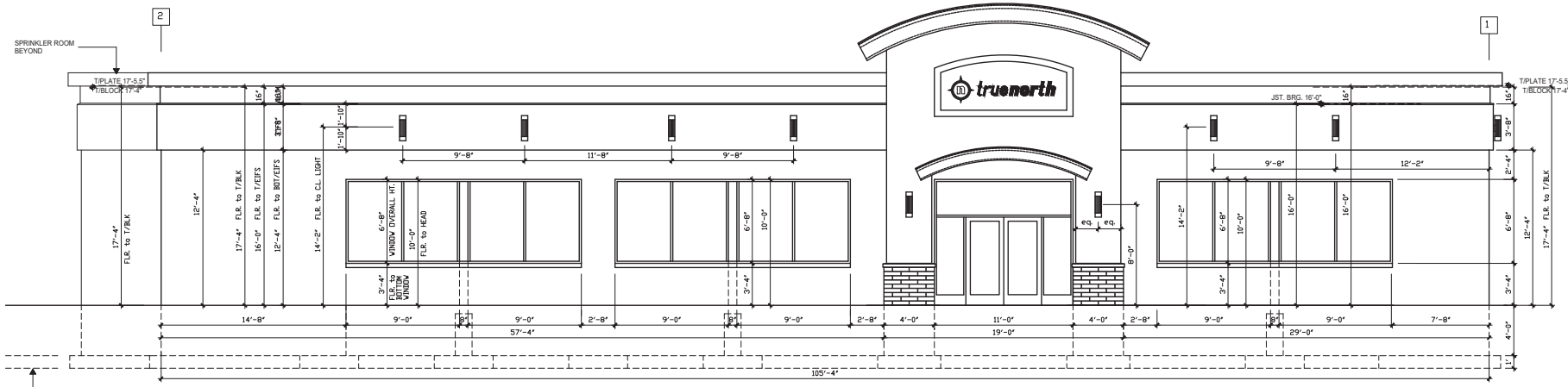
**F. A. Ross - Architects**  
238 E. Hazelwood Avenue  
NEW CASTLE, PA 16105  
PHONE: (724) 856-7898  
CELL CONTACT: (724) 856-1892

Source: Floor Plan & notes  
Project: Truenor-th 8226 Cass Ave  
Darien, Illinois 60561

date: 10/10/2024  
project number: TN 984  
sheet:

A-200

**FLOOR PLAN** called notes  
SCALE: 1/4" = 1'-0"  
0 1 2 3 4 5 10 15



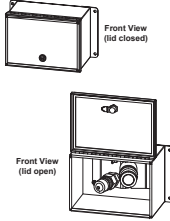
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



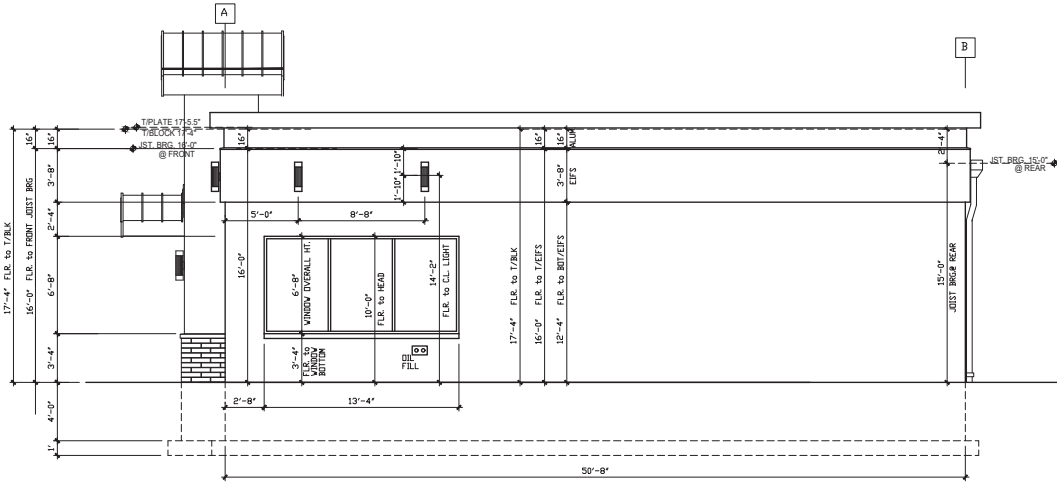
REFER TO PAGE A200.1 FOR DUMPSTER CONT.

DETAIL A (pictorial view, verify with supplier)

Surface Mount Fill Box



- Fill Box Dimensions:
  - Height = 7"
  - Width = 13" (including flange)
  - Depth = 6"
- Materials of Construction:
  - Stainless steel enclosure
  - Stainless steel inner panel
- Features:
  - Integral locking latch (key retained by RTI employees)
  - Food-grade new oil coupler
  - Incompatible waste oil coupler
  - Electrical connector for overfill protection
  - Dip tray to catch residual oil
- Mounting details:
  - Surface mounted
  - 3" diameter hole through wall (sealed)
  - Locate within 15 feet of waste oil tank (longer distances possible, but delivery times increase)
  - Locate away from drive-thru (if applicable)



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



express: 11-30-2024  
signature:

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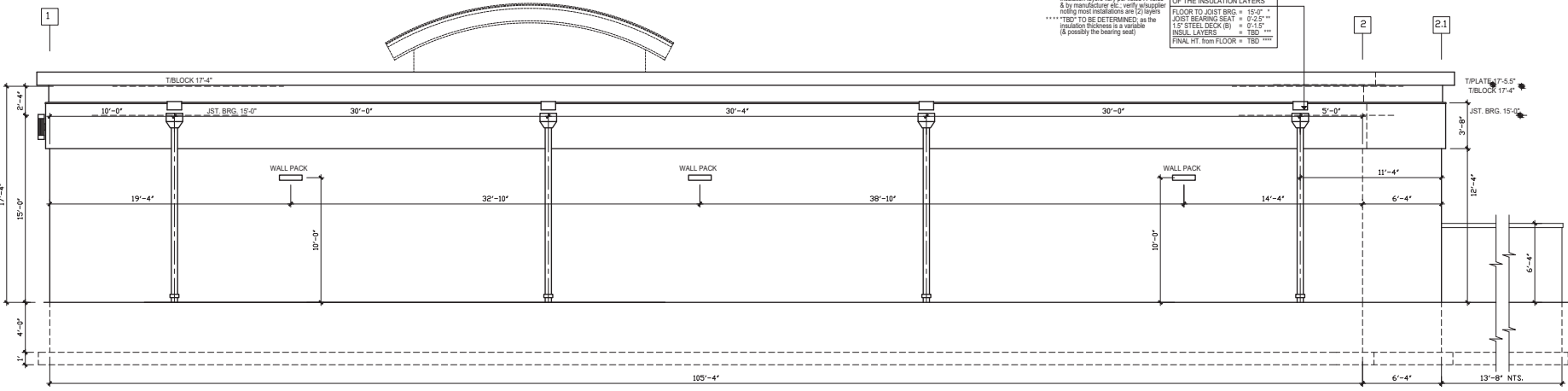


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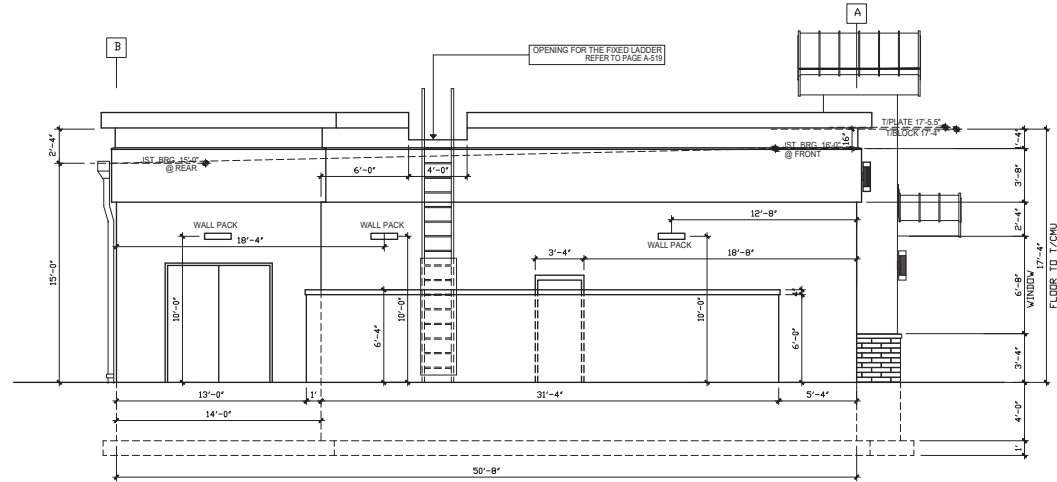
Drawn: Front and side dimension elevations  
Project: Truenorth 8226 Cass Ave  
Darien, Illinois 60561

date: 10/10/2024  
project number: TN 984  
sheet:

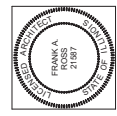
A-400



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



expressed 11-30-2024  
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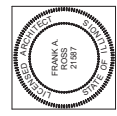
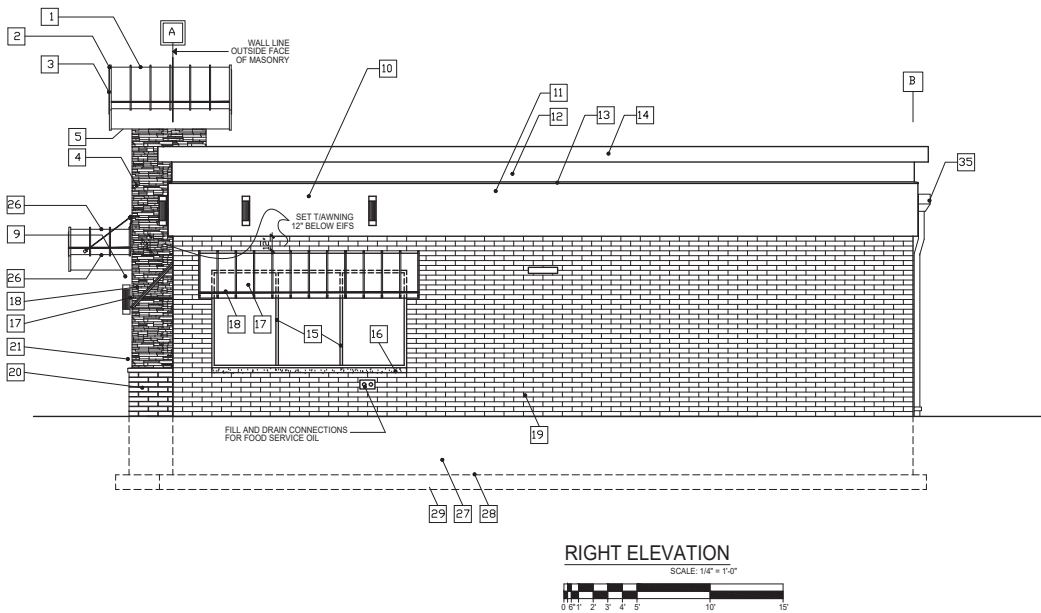
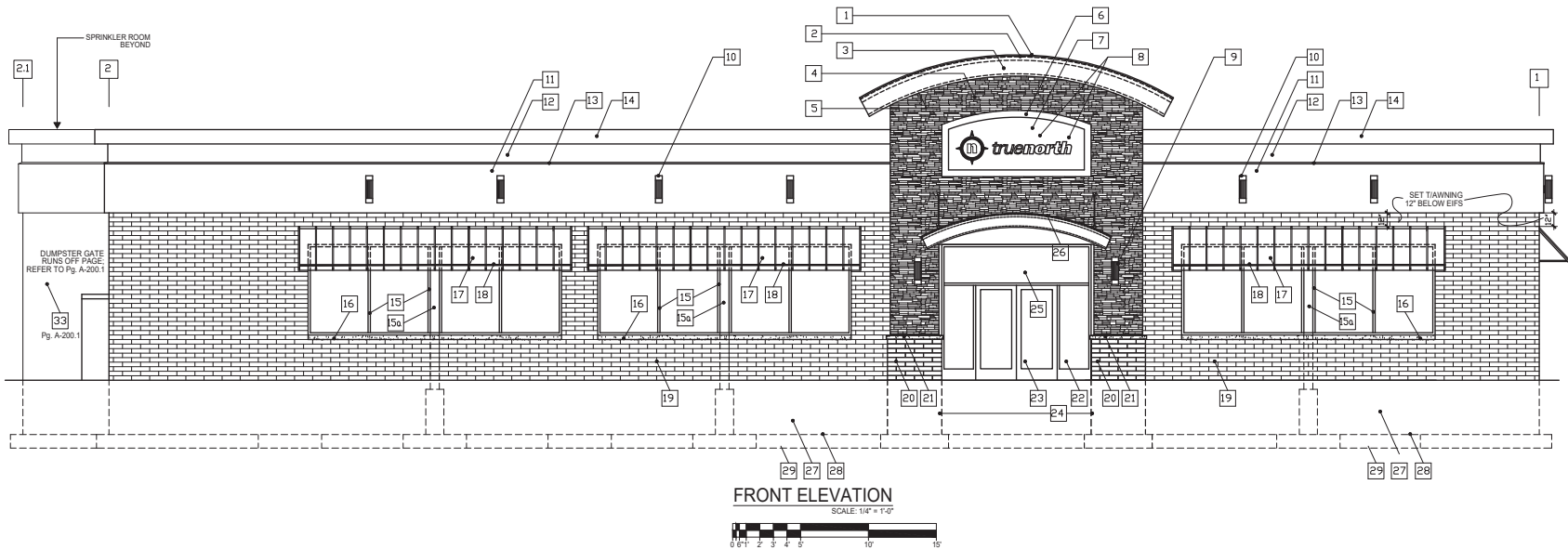


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Drawn: Rear and side dimension elevations  
project: Truemanth 8226 Cass Ave  
Darien, Illinois 60561

date: 10/10/2024  
project number: TN 984  
sheet:

A-401



prepared: 11-30-2024  
signature:

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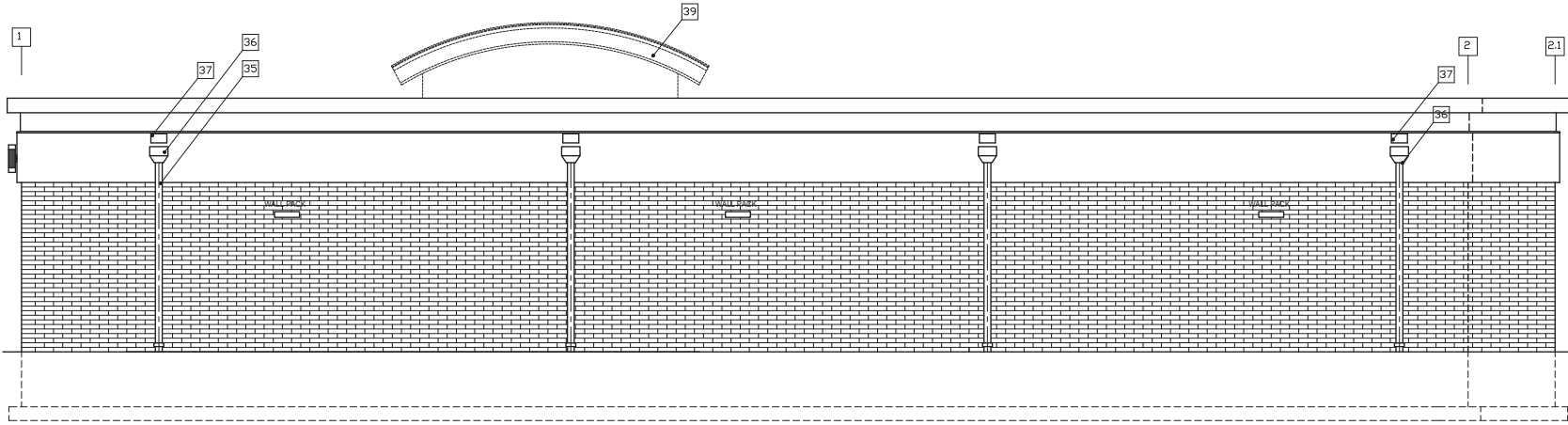


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Source: Front and side materials elevations  
Project: Truenorth 8226 Cass Ave  
Darlen, Illinois 60561

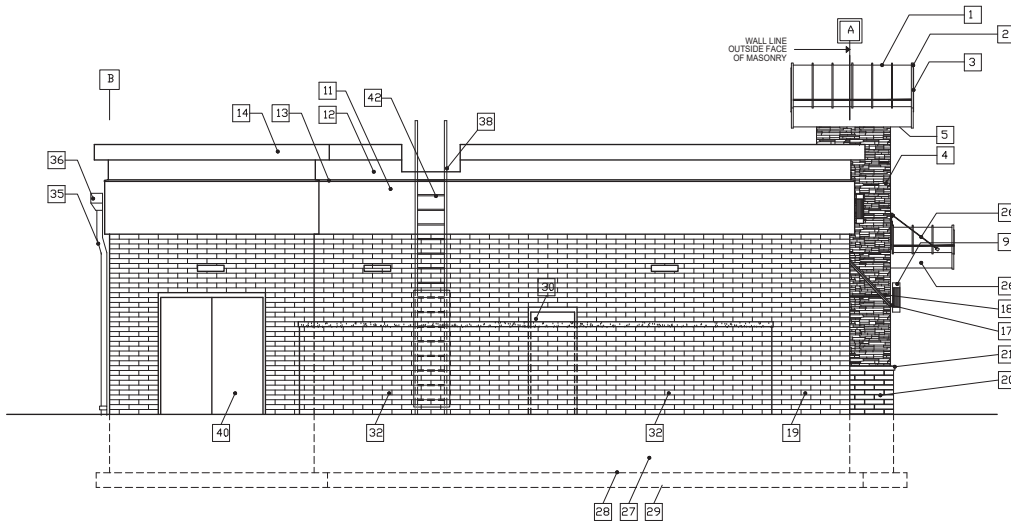
date: 10/10/2024  
project number: TN 984  
sheet:

A-402



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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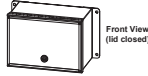
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project: Truvenorth 8226 Cass Ave  
Darien, Illinois 60561

date: 10/10/2024  
project number: TN 984  
sheet:

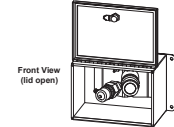
A-403

**COOKING OIL FILL PORT**  
(pictorial view, verify with supplier)  
(obtain supplier cut sheet for both)

**Surface Mount Fill Box**



Front View  
(closed)



Front View  
(lid open)

- Fill Box Dimensions:
  - Height = 7"
  - Width = 13" (including flange)
  - Depth = 6"
- Materials of Construction:
  - Stainless steel enclosure
  - Stainless steel inner panel
- Features:
  - Integral locking latch (key retained by RTI employees)
  - Food-grade new oil coupler
  - Incompatible waste oil coupler
  - Electrical connector for overfill protection
  - Drip tray to catch residual oil
- Mounting details:
  - Surface mounted
  - 3" diameter hole through wall (sealed)
  - Locate within 15 feet of waste oil tank (longer distances possible, but delivery times increase)
  - Locate away from drive-thru (if applicable)

**ELEVATIONS NOTES**

X	CODE NOTES ELEVATIONS	X	CODE NOTES ELEVATIONS CONT.
1	STANDING SEAM METAL ROOF: CUSTOM CURVED ATOP SEGMENTAL ARCH AT ENTRY.	26	CUSTOM ARCHED CANOPY ATOP THE ENTRY DOOR: REFER TO CANOPY SHOP DRAWINGS
2	CUSTOM ALUM. DRIP EDGE ALONG SIDE EDGE OF CUSTOM CURVED ARCH ATOP ENTRY.		PLEASE NOTE YOU MUST OBTAIN A SHOP DRAWING PLAN AND IT MUST SHOW THE BLOCKING FOR ALL THE ARCH AND FOR THE ATTACHMENT AREA. AND DO NOT INSTALL THE STONE UNTIL THE ARCH IS INSTALLED.
3	CUSTOM CURVED ALUM. FASCIA AT THE CUSTOM CURVED ARCH ATOP ENTRY.		• PROVIDE SOLID BLOCKING AND GROUTING IN CMU LOCATIONS FIRST; PER MFG.'S SHOP DRAWING
4	ADHERED TYPE STONE: REFER TO SPECIFICATIONS & SECTIONS		• AFTER ARCH IS IN PLACE INSTALL TOP FLASHING TO FLASH WATER OVER AND NOT BEHIND AWNING
5	CUSTOM CURVED ALUM. 1/2" MOULD CHANNEL AT EACH END OF ENTRY AND STANDARD LINEAR SOFFIT PANELS SET IN ALONG THE RADIIUS.		• AFTER ARCH IS AND FLASHING ARE IN PLACE AND EIFS SIGN RECESS IN PLACE, THE STONE CAN BE SET
6	FRAMED EDGE OF EIFS TO CREATE THE SIGN PANEL RECESS.	27	REINFORCED CONCRETE FOUNDATION WALL: REFER TO FOUND. PLANS AND SECTIONS AND SCHEDULES.
7	BACK SURFACE OF EIFS TO CREATE THE SIGN PANEL RECESS. (concealed can light)	28	TOP OF FOUNDATION: FOUNDATION PLAN FOR ELEV.
8	NON-ILLUMINATED (not internally) SIGN by OWNER (external can light shines on sign)	29	BOTTOM OF FOUNDATION: REFER TO FOUNDATION PLAN FOR ELEV.
9	ENTRY WALL SCONCE: REFER TO LIGHTING PLAN.	30	HOLLOW METAL DOOR: SEE DOOR COLOR PAINTED TO MATCH MASONRY
10	MAIN WALL SCONCE: REFER TO LIGHTING PLAN.	31	WALL PACK BRONZE COLOR: REFER TO LIGHTING PLAN
11	EIFS WALL SURFACE: REFER TO WALL SECTIONS.	32	DUMPSTER WALL: REFER TO WALL SECTION No. 3
12	ALUMINUM WALL SURFACE: REFER TO WALL SECTIONS.	33	COMPOSITE MATERIAL, SCRATCH AND DENT RESISTANT, TREX COLOR "ROPE SWING"
13	ALUMINUM FLASHING AT TRANSITION BETWEEN EIFS AND ALUM. SURFACES REFER TO WALL SECTIONS.	34	OPENING IN DUMPSTER FOR MAN DOOR
14	OVERHEAD ALUMINUM FASCIA AT THE PARAPET: REFER TO WALL SECTIONS.	35	ALUMINUM DOWNSPOUT: REFER TO THE SECTION PAGE WITH DETAILS AND ALSO REFER TO ROOF PLAN.
15	BRONZE ANODIZED THERMALLY BROKEN WINDOW FRAME AND INSULATED GLASS: REFER TO WALL SECTIONS.	36	ALUMINUM CONDUCTOR HEAD: REFER TO THE SECTION PAGE WITH DETAILS AND ALSO REFER TO ROOF PLAN.
16	LIMESTONE WINDOW SILL.	37	MEMBRANE LINED SCUPPER OPENING ATOP THE CONDUCTOR HEAD AND ALSO TO SERVE AS AN EMERG. OVERFLOW. ALSO REFER TO ROOF PLAN.
17	CUSTOM MADE STANDING SEAM METAL CANOPY ATOP WINDOW: REFER TO MFG. SHOP DRAWINGS.	38	MEMBRANE LINED PARAPET OPENING IN THE LOCATION AS SHOWN FOR ROOF ACCESS. ALSO REFER TO THE ROOF PLAN.
18	SNOW AND ICE RETENTION BAR OR GUARDS IN COLOR BRONZE.	39	BACKSIDE OF THE ENTRY STRUCTURE: LINE WITH MEMBRANE.
19	12" HALF HEIGHT (2) courses = 8" w/inotlar) SET IN RUNNING BOND.	40	LIMESTONE SILL REFER TO WALL SECT.
20	12" HALF HEIGHT (2) courses = 8" w/inotlar) SET IN RUNNING BOND.	41	OIL FILL & WASTE OIL PORTS PER MFG.: ONE FOR FILL AND ONE FOR WASTE
21	LIMESTONE SILL BETWEEN THE BRICK AT THE ENTRY BASE AND THE STONE ABOVE.	42	PARAPET OPENING FOR FIXED LADDER FIXED LADDER w/ TOP GRAB RAILS AND SECURITY PANEL AT BOTTOM (TO PREVENT UNAUTHORIZED USE)
22	BRONZE ANODIZED THERMALLY BROKEN DOOR FRAME AND SIDELITE INSULATION GLASS: REFER TO WALL SECTIONS.		
23	BRONZE ANODIZED DOUBLE ENTRY DOOR: REFER TO DOOR SCHEDULE.		
24	REINFORCED FOUNDATION FOR THE ENTRY STRUCTURE.		
25	BRONZE ANODIZED TRANSOM FRAME AND GLASS: REFER TO DOOR SCHEDULE.		

\*REFER TO FLOOR PLAN AND WINDOW SCHEDULE FOR OPAQUE WINDOWS

**BUILDING MATERIAL LISTING**

BUILDING MATERIAL COLOURS
ALL EIFS MATERIALS EIFS COLOR: 3'-8" BAND DRYWIT COLOR 481 CLAY
ALL FINISH ALUMINUM (except window frames) FASCIA, SOFFIT, COPING, DOWNSPOUT AND CONDUCTOR HEAD, & MISC. TRIM TO BE DARK BRONZE. SUBMIT SAMPLE TO LINDSAY LYDEN.
THROUGH THE WALL BRICK 12" HALF COURSE HIGH (if nominal of 3.58" actual height) (16" stretcher) QUIK-BRICK IN COLOR MESABA CALUM IF MANUFACTURER NOT AVAILABLE IN AREA, PLEASE SUBMIT SAMPLE TO LINDSAY LYDEN AT TRUENORTH.
STONE ON ENTRY ELDORADO STACKED STONE IN DRY CREEK STONE 4" H AND LENGTHS VARYING IN 8", 12", 20"
DECORATIVE WALL SCONCE LIGHTS TERON SCONCE LIGHTING: DIECAST ALUMINUM OIL RUBBED BRONZE POWDER COATED FINISH w/GLASS 4.5" W X 24" H X 6" D.
WALL PACK LIGHT (8 OTHER)
BRONZE COLOR
WINDOW / DOOR FRAME DOUBLE THERMALLY BROKEN BRONZE ANODIZED FRAMES (or bronze Mylar coating) w/ INSULATED GLASS WITH LOW EMISSIVITY COATING ON THE NUMBER 2 SURFACE. KAWNEER No. 40 DARK BRONZE
PANES THAT ARE OPAQUE, COLOR BLACK TO MATCH APPEARANCE OF VIEWABLE GLASS
ROOF ROOF MEMBRANE EPDM FULLY ADHERED ROOF COPING TO MATCH ADJACENT BRONZE METAL COLOR.
WINDOW AWNING SIZE ROOF WINDOWS SHALL HAVE A VERTICAL HEIGHT OF 36" AND A HORIZONTAL PROJECTION FROM THE WALL OF 36"
(The awning above the door will project 48" from the wall)
SNOW PROTECTION ALL AWNINGS SHALL HAVE BRONZE COLOR SNOW GUARD.
AWNING COLORS STANDING SEAM SLOPED METAL AWNING ABOVE WINDOWS IN MATCHING DARK BRONZE COLOR. FRAMES IN SAME COLOR
CURVED AWNINGS ABOVE ENTRY DOOR IN DARK BRONZE COLOR. FRAMES IN SAME COLOR AWNINGS BY OTHERS
GENERAL CONTRACTOR MUST MAIL A COLOR CHIP OF DARK BRONZE COLOR TO AWNING CO. FOR A COLOR MATCH.
REAR DOOR AND FRAME PAINT COLOR TO MATCH MASONRY UNITS COLOR
DUMPSTER GATE COMPOSITE MATERIAL, SCRATCH AND DENT RESISTANT, TREX DECKING COLOR "ROPE SWING"
SIGNAGE ABOVE THE DOOR THE SIGNAGE COLOR AND GRAPHICS WILL BE SUBMITTED TO THE LOCAL AUTHORITIES IN THE PROCESS OF SUBMITTING FOR A SIGN PERMIT.
SIGNAGE COMPASS LOGO: 2'-0" H X 2'-3 3/8" W FOLLOWED BY TEXT LETTERS TRUENORTH, 8 1/4" X 11" H X 5'-10 1/2" WIDE LOGO TO HAVE SATIN ACRYLIC POLYURETHANE FINISH WITH LETTER FACES RETURNS TO BE PRISM GREEN. LOGO FACE DIGITALLY PRINTED APPLIED FIRST SURFACE WITH PROTECTIVE CLEAR COAT



prepared: 11-30-2024  
signature:

Subject to review in accordance with the Illinois Administrative Code, Section 105.00, the design information and data are based on the information and data submitted.

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Source: Material coded notes and misc. information  
Project: Truennorth 8226 Cass Ave  
Darien, Illinois 60561

date: 10/10/2024  
project number: TN xxx  
sheet:













 truenorth





# Traffic Impact Study Fuel Center Redevelopment

Darien, Illinois



Prepared For:



February 14, 2025

# 1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) for the proposed redevelopment of the existing fuel center located in Darien, Illinois. The site is located in the northwest corner of the intersection of Cass Avenue with the Frontage Road/Hinswood Drive. As proposed, the existing fuel center with 12 fueling positions will be redeveloped to include a larger convenience store totaling approximately 5,400 square feet. Access to the fuel center will be provided via the existing access drives off Cass Avenue and the east-west access road (Access Road) that serves the fuel center and Alpine Banquets and connects to the Frontage Road (access road).

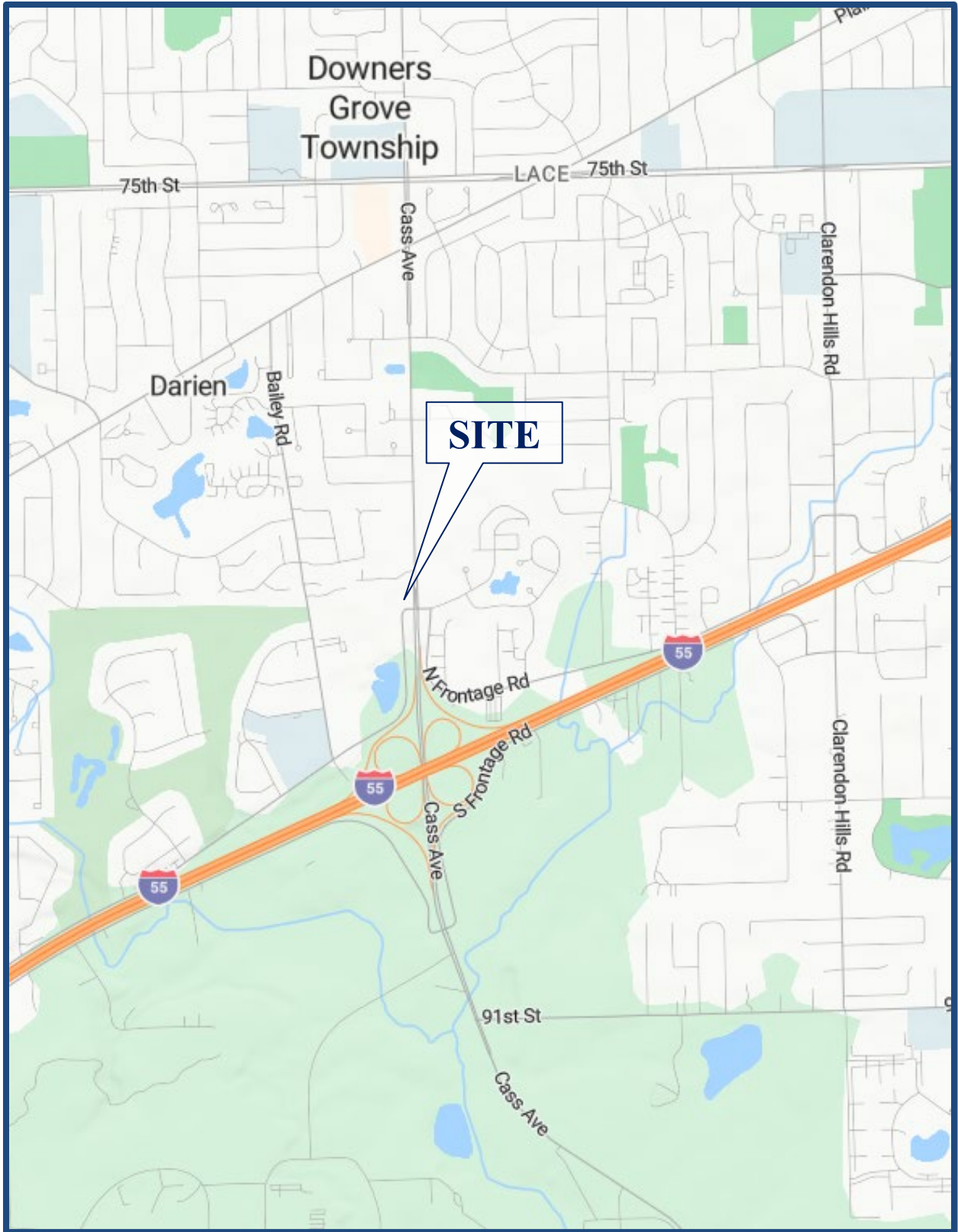
The purpose of this study was to examine background traffic conditions, assess the impact that the proposed redevelopment will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed redevelopment. **Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed redevelopment
- Directional distribution of the redevelopment traffic
- Vehicle trip generation for the redevelopment
- Future traffic conditions including access to the redevelopment
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following conditions:

1. Existing Conditions – Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Year 2030 No-Build Conditions – Analyzes the capacity of the existing roadway system using existing traffic volumes increased by an ambient area growth factor not attributable to any particular development.
3. Projected Conditions – Analyzes the capacity of the future roadway system using the projected traffic volumes that include the existing traffic volumes, ambient area growth not attributable to any particular development, and the traffic estimated to be generated by the proposed redevelopment.



**Site Location**

**Figure 1**





**Aerial View of Site**

**Figure 2**

## 2. Existing Conditions

Existing transportation conditions in the vicinity of the site were conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

### Site Location

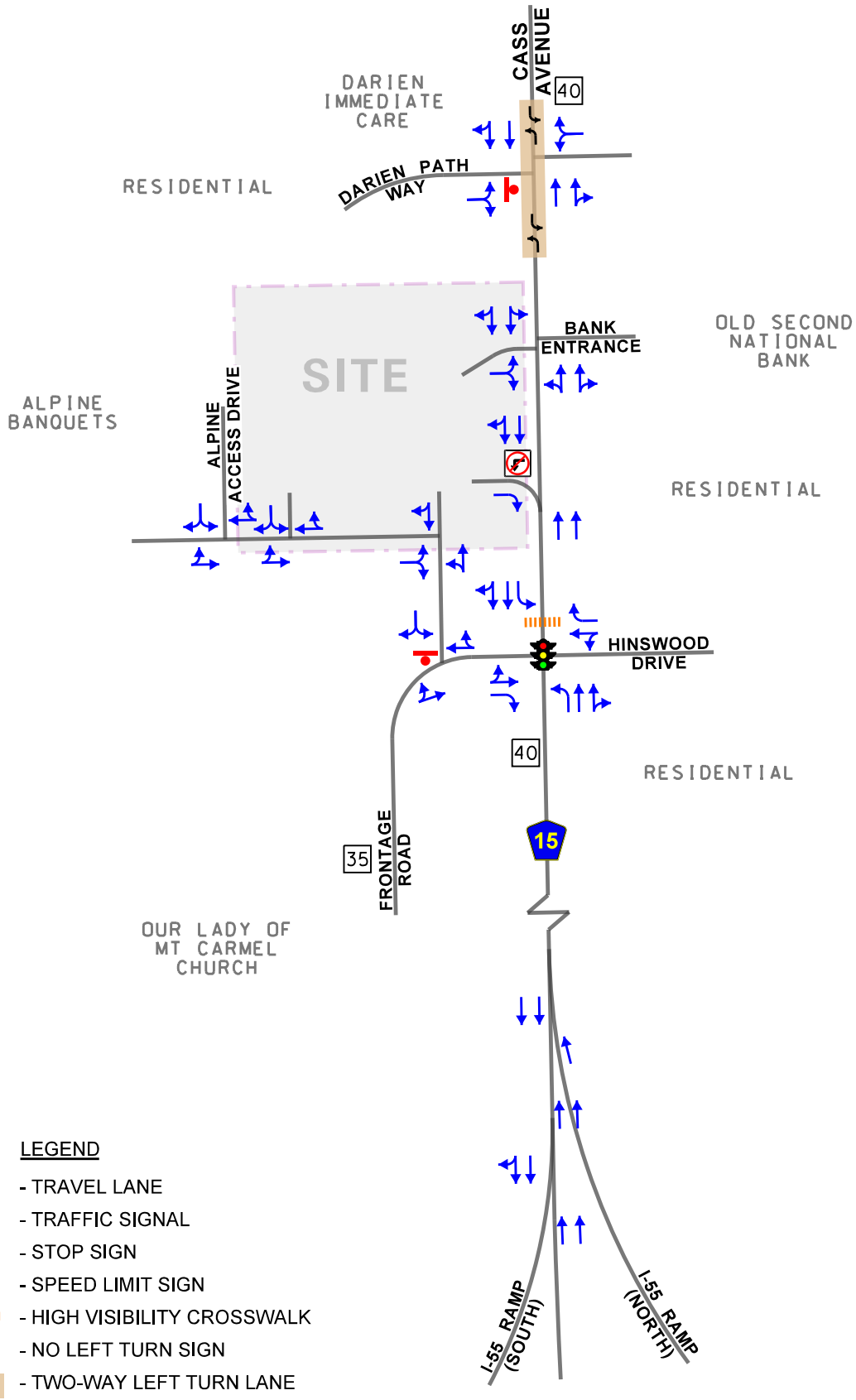
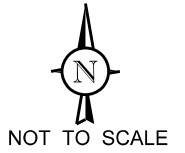
The site is located at 8226 South Cass Avenue in the northwest corner of Cass Avenue with the Frontage Road. The site is bordered by Cass Avenue on the east, the Frontage Road on the south, Alpine Banquets on the west, and Darien Path Way on the north. Land uses in the vicinity of the site include commercial uses along Cass Avenue and residential uses in all directions. It should be noted that Cass Avenue has a full interchange with Interstate 55 approximately 2,040 feet to the south (approximately 0.4 miles).

### Existing Roadway System Characteristics








The characteristics of the existing roadways near the redevelopment are described below and illustrated in **Figure 3**.

*Cass Avenue* is a north-south minor arterial roadway that provides two through lanes in each direction in the vicinity of the site. At its signalized intersection with the Frontage Road/Hinswood Drive, Cass Avenue provides a left-turn lane, a through lane, and a combined through/right-turn lane on the northbound and southbound approaches. A high-visibility crosswalk is provided on the north leg of the intersection. North of the Frontage Road intersection, Cass Road provides a two-way left-turn lane and no exclusive turn lanes are provided for any access drives or local roadways included in the study area. Cass Avenue carries an annual average daily traffic (AADT) volume of 21,100 vehicles north of the Frontage Road and 12,500 vehicles to the south (IDOT 2020). Cass Avenue is under the jurisdiction of the DuPage County Division of Transportation (DuDOT) and has a posted speed limit of 40 miles per hour.

*Frontage Road/Hinswood Drive* is an east-west roadway that is classified as a local roadway east of Cass Avenue and a minor collector roadway west of Cass Avenue. Hinswood Drive runs concurrently with the Frontage Road east of Cass Avenue for approximately 195 feet. At its signalized intersection with Cass Avenue, the Frontage Road provides a combined left-turn/through lane and a right-turn lane on the eastbound and westbound approaches. At its unsignalized intersection with the access road, the Frontage Road provides no separate turn lanes. The Frontage Road is under the jurisdiction of the Illinois Department of Transportation (IDOT) and has a posted speed limit of 35 miles per hour.



**LEGEND**

-  - TRAVEL LANE
-  - TRAFFIC SIGNAL
-  - STOP SIGN
-  - SPEED LIMIT SIGN
-  - HIGH VISIBILITY CROSSWALK
-  - NO LEFT TURN SIGN
-  - TWO-WAY LEFT TURN LANE

Fuel Center  
Darien, Illinois

Existing Roadway Characteristics



Job No: 24-298

Figure: 3

*Darien Path Way* is an east-west local roadway that provides one lane in each direction extending west from Cass Avenue. At its unsignalized intersection with Cass Avenue, Darien Path Way provides a combined left-turn/through/right-turn lane that is under stop sign control. The roadway is under the jurisdiction of the City of Darien.

The *East-West Access Road (Access Road)* is a roadway that connects access drives for the existing fuel center and Alpine Banquets to the Frontage Road west of Cass Avenue. The access road provides one lane in each direction. At its unsignalized intersection with the Frontage Road, the access road provides a combined left-turn/right-turn lane on the southbound approach that is under stop sign control. The access road is under private jurisdiction.

## Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period vehicle, pedestrian, and bicycle traffic counts using Miovision Video Scout Collection Units on Wednesday, December 4, 2024, during the weekday morning (7:00 to 9:00 A.M.) and weekday evening (4:00 to 6:00 P.M.) peak periods at the following intersections:

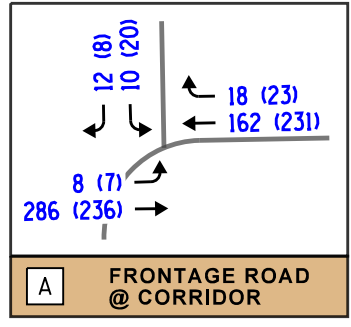
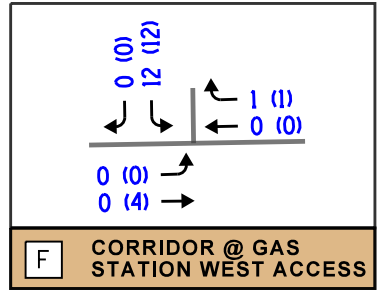
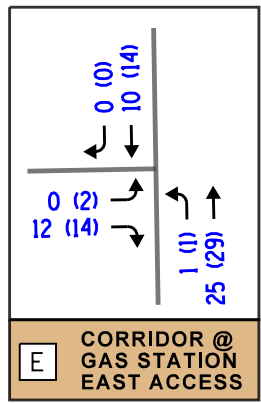
- Cass Avenue with Frontage Road/Hinswood Drive
- Cass Avenue with South Site Access Drive
- Cass Avenue with North Site Access Drive
- Cass Avenue with Darien Path Way/North Bank Access Drive
- Frontage Road with Access Road
- Access Road with East Site Access Drive
- Access Road with West Site Access Drive
- Access Road with Alpine Banquets Access Drives
- Cass Avenue with Interstate 55 Southbound Exit Ramp
- Cass Avenue with Interstate 55 Southbound Entrance Ramp

From the count data, it was determined that the weekday morning peak hour generally occurs between 7:15 and 8:15 A.M. and the weekday evening peak hour generally occurs between 4:45 and 5:45 P.M. The existing peak hour traffic volumes are shown in **Figure 4**.

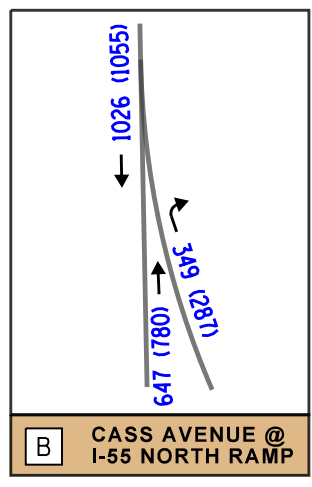
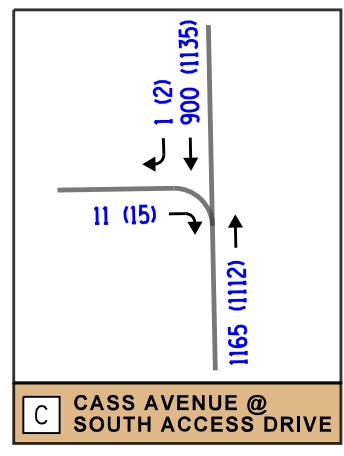
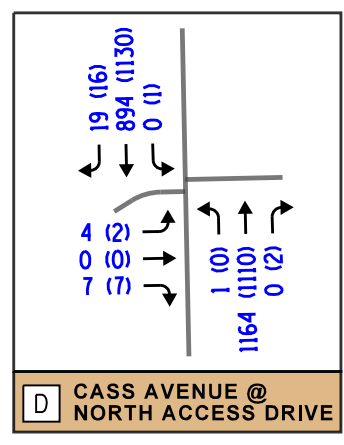
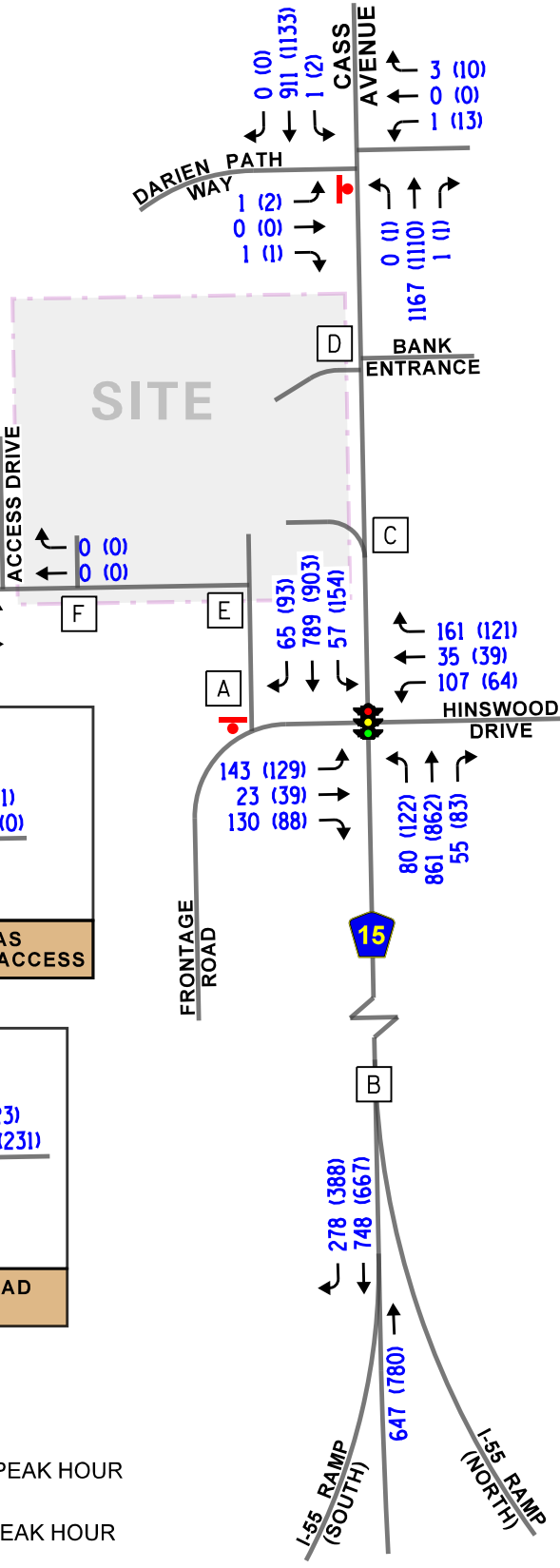




NOT TO SCALE



- LEGEND**
- 00** - WEEKDAY MORNING PEAK HOUR (7:15-8:15 AM)
  - (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)



Fuel Center  
Darien, Illinois

Existing Traffic Volumes



Job No: 24-298

Figure: 4

## Crash Data Summary

KLOA, Inc. obtained crash data<sup>1</sup> from IDOT for the most recent available five years (2019 to 2023) for the intersections of Cass Avenue with Frontage Road, Darien Path Way, and the Interstate 55 southbound exit and entrance ramps. No crashes were reported at the Interstate 55 ramps during the review period. The crash data for the intersections are summarized in **Tables 1** and **2**. A review of the crash data indicated no fatalities were reported at the intersections during the review period.

Table 1  
CASS AVENUE WITH FRONTAGE ROAD – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2019	0	0	0	3	0	7	0	10
2020	0	0	0	3	1	1	0	5
2021	0	0	0	1	0	2	0	3
2022	0	0	0	2	0	2	0	4
2023	<u>0</u>	<u>0</u>	<u>0</u>	<u>2</u>	<u>1</u>	<u>3</u>	<u>0</u>	<u>6</u>
<b>Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>11</b>	<b>2</b>	<b>15</b>	<b>0</b>	<b>23</b>
<b>Average</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>2.2</b>	<b>&lt;1.0</b>	<b>3.0</b>	<b>0.0</b>	<b>4.6</b>

Table 2  
CASS AVENUE WITH DARIEN PATH WAY – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2019	0	0	0	0	0	0	0	0
2020	0	0	0	0	0	1	0	1
2021	0	0	0	0	0	0	0	0
2022	0	0	0	0	0	0	0	0
2023	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>
<b>Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>1</b>
<b>Average</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>&lt;1.0</b>	<b>0.0</b>	<b>&lt;1.0</b>

<sup>1</sup> IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s).

### 3. Traffic Characteristics of the Proposed Redevelopment

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed redevelopment, including the directional distribution and volumes of traffic that it will generate.

#### Proposed Site and Redevelopment Plan

As proposed, the existing fuel center will be redeveloped to contain a larger convenience store, totaling approximately 5,400 square feet. The fuel center will continue to provide 12 fueling positions. Access to the fuel center will be provided via the following:

- The existing north access drive on Cass Avenue located approximately 175 feet south of Darien Path Way will remain and continue to provide access to the site. This access drive will provide one inbound lane and one outbound lane, with outbound movements under stop sign control.
- The existing south access drive on Cass Avenue located approximately 320 feet south of Darien Path Way will remain and continue to provide access to the site. This access drive will provide one inbound lane and one outbound lane, with outbound movement under stop sign control. Movements will continue to be restricted via posted signage to right-turns only based on the geometry of the access drive and its proximity to the traffic signal.
- The existing east access drive located off the east-west access road that serves the fuel center and Alpine Banquets and connects to the Frontage Road (access road), approximately 140 feet north of the intersection of the Frontage Road with the access road will remain and continue to provide access to the site. This access drive will be widened with outbound movements under stop sign control.
- As part of the redevelopment of the fuel center, the existing west access drive off the access road will be eliminated.

A site plan illustrating the proposed site and development plan is included in the Appendix.

#### Directional Distribution

The directional distribution of future site-generated trips on the roadway system is a function of several variables, including the operational characteristics of the roadway system, the ease with which drivers can travel over various sections of the roadway system, and the restrictions of the proposed access drive. This is particularly true for pass-by traffic. The directional distribution was based on these factors. The estimated directional distribution for the proposed development is illustrated in **Figure 5**.



NOT TO SCALE



LEGEND

- 00% - PERCENT DISTRIBUTION
- 00' - DISTANCE IN FEET

Fuel Center  
Darien, Illinois

Directional Distribution



Job No: 24-298

Figure: 5

## Peak Hour Traffic Volumes

The estimates of traffic to be generated by the proposed fuel center are based on the trip generation rates contained in the ITE *Trip Generation Manual*, 11<sup>th</sup> Edition for Land-Use Code 945 (Convenience Store/Gas Station).

As the site is currently operating as a fuel center with 12 fueling positions, the existing trips to the site were subtracted from the ITE rates for a proposed fuel center with 12 fueling positions to determine the total trips that will be made to the fuel center as a result of the redevelopment.

It is important to note that surveys conducted by ITE have shown that approximately 60 percent of trips are made to fuel centers are made up of existing traffic on the roadway system. This is particularly true during the weekday morning, evening peak hours when traffic is diverted from the home-to-work and work-to-home trips (pass-by traffic). As such, 60 percent of the traffic estimated to be generated by the redeveloped fuel center was assumed to be pass-by traffic.

**Table 3** summarizes the trips projected to be generated by the proposed fuel center during the peak hours.

Table 3  
PEAK HOUR SITE-GENERATED TRAFFIC VOLUMES

ITE Land-Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
		In	Out	Total	In	Out	Total
945	Proposed Convenience Store/Gas Station (12 fueling positions)	96	97	193	111	110	221
	Existing Convenience Store/Gas Station (12 fueling positions)	<u>-47</u>	<u>-44</u>	<u>-91</u>	<u>-50</u>	<u>-50</u>	<u>-100</u>
	<b>Total Trips</b>	<b>49</b>	<b>53</b>	<b>102</b>	<b>61</b>	<b>60</b>	<b>121</b>
	<i>60% Pass-By</i>	<u>-30</u>	<u>-30</u>	<u>-60</u>	<u>-36</u>	<u>-36</u>	<u>-72</u>
	<b>Total New Trips</b>	<b>19</b>	<b>23</b>	<b>42</b>	<b>25</b>	<b>24</b>	<b>49</b>

## 4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

### Development Traffic Assignment

The peak hour traffic volumes projected to be generated by the proposed redevelopment were assigned to the area roadways based on the established directional distribution (Figure 5).

**Figure 6** shows the assignment of the redevelopment-generated traffic volumes. The pass-by traffic assignment is illustrated in **Figure 7**.

### Background Traffic Conditions

The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on Year 2050 Annual Average Daily Traffic (AADT) projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated November 12, 2024, the existing traffic volumes were increased by an annually compounded growth rate of approximately 0.3 percent per year for six years (buildout year plus five years) for a total of approximately two percent to project Year 2030 background conditions. A copy of the CMAP 2050 projections letter is included in the Appendix.

**Figure 8** shows the Year 2030 background traffic volumes. A copy of the CMAP 2050 projections letter is included in the Appendix.

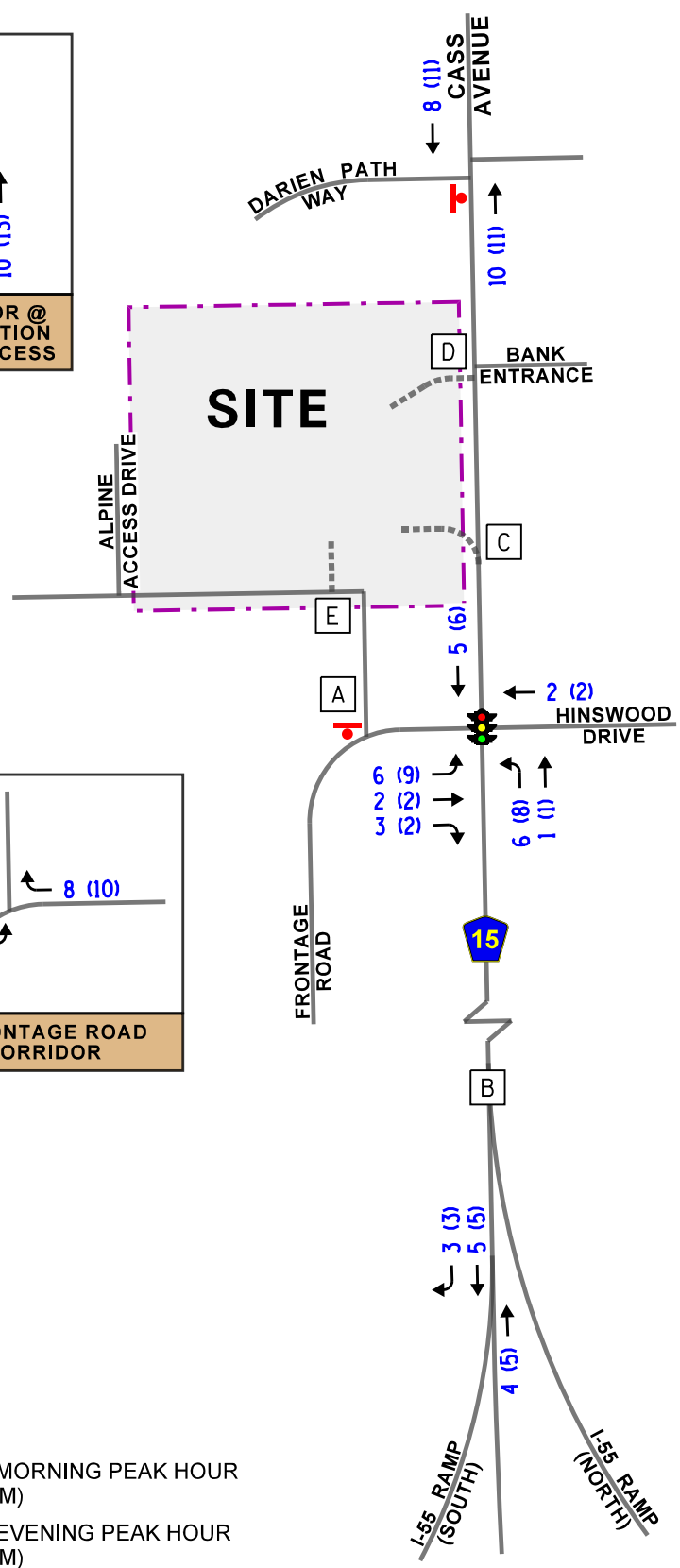
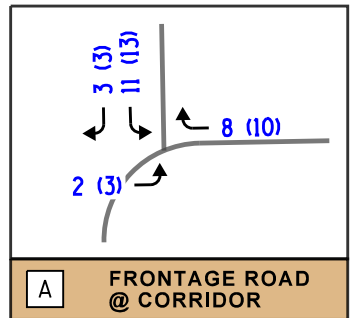
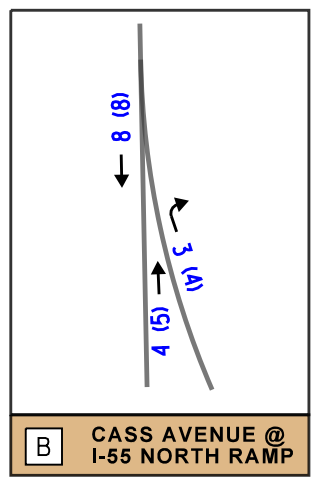
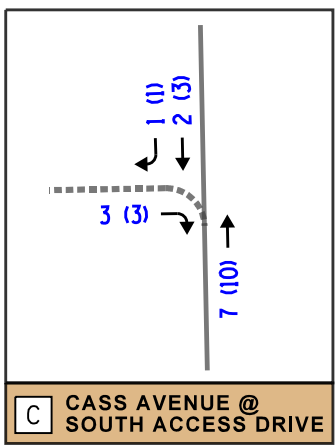
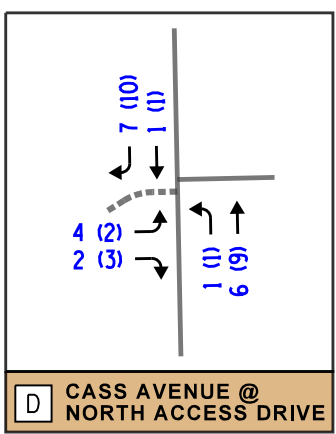
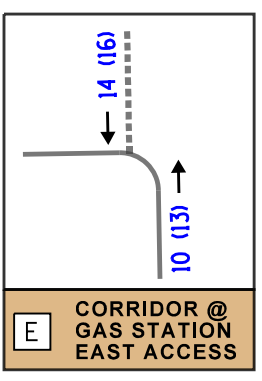
### Total Projected Traffic Volumes

Total projected traffic volumes include the Year 2030 background traffic volumes (Figure 8), and the traffic estimated to be generated by the proposed redevelopment (Figures 6 and 7).

**Figure 9** shows the Year 2030 total projected traffic volume conditions.



NOT TO SCALE



**LEGEND**

- 00** - WEEKDAY MORNING PEAK HOUR (7:15-8:15 AM)
- (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Fuel Center  
Darien, Illinois

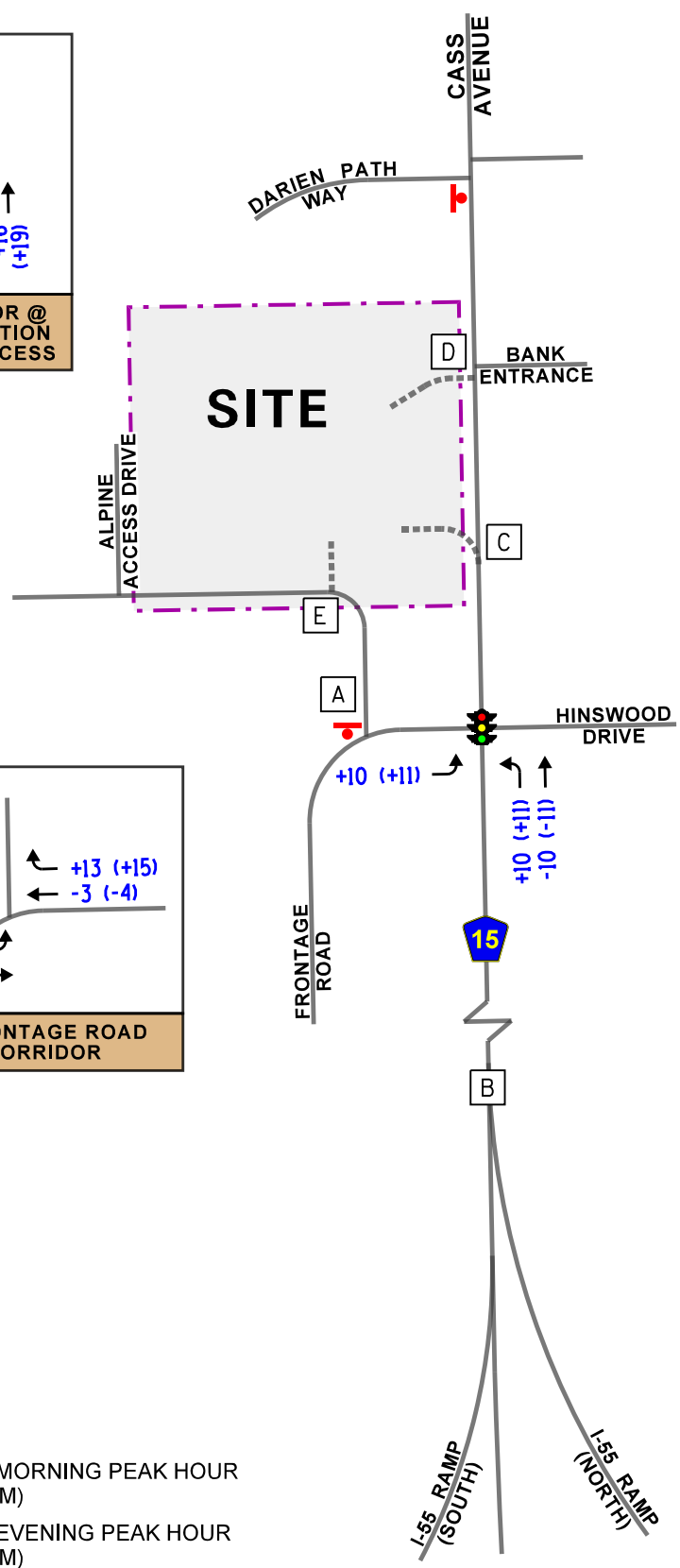
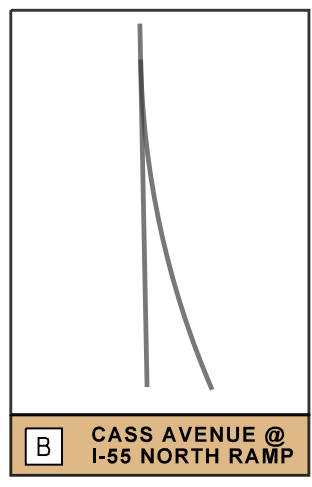
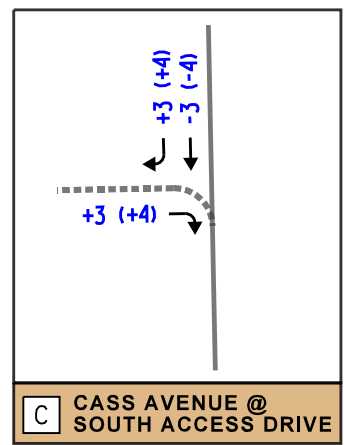
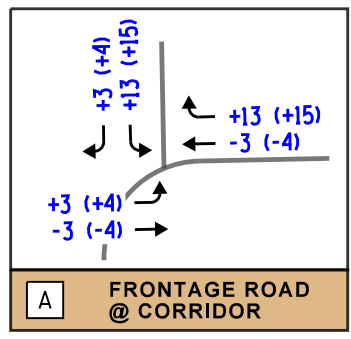
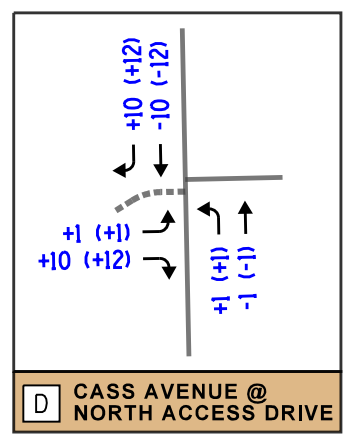
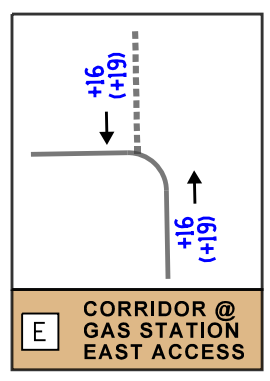
Site-Generated Traffic Volumes



Job No: 24-298 Figure: 6



NOT TO SCALE



**LEGEND**

- 00** - WEEKDAY MORNING PEAK HOUR (7:15-8:15 AM)
- (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Fuel Center  
Darien, Illinois

Pass-By Traffic Volumes



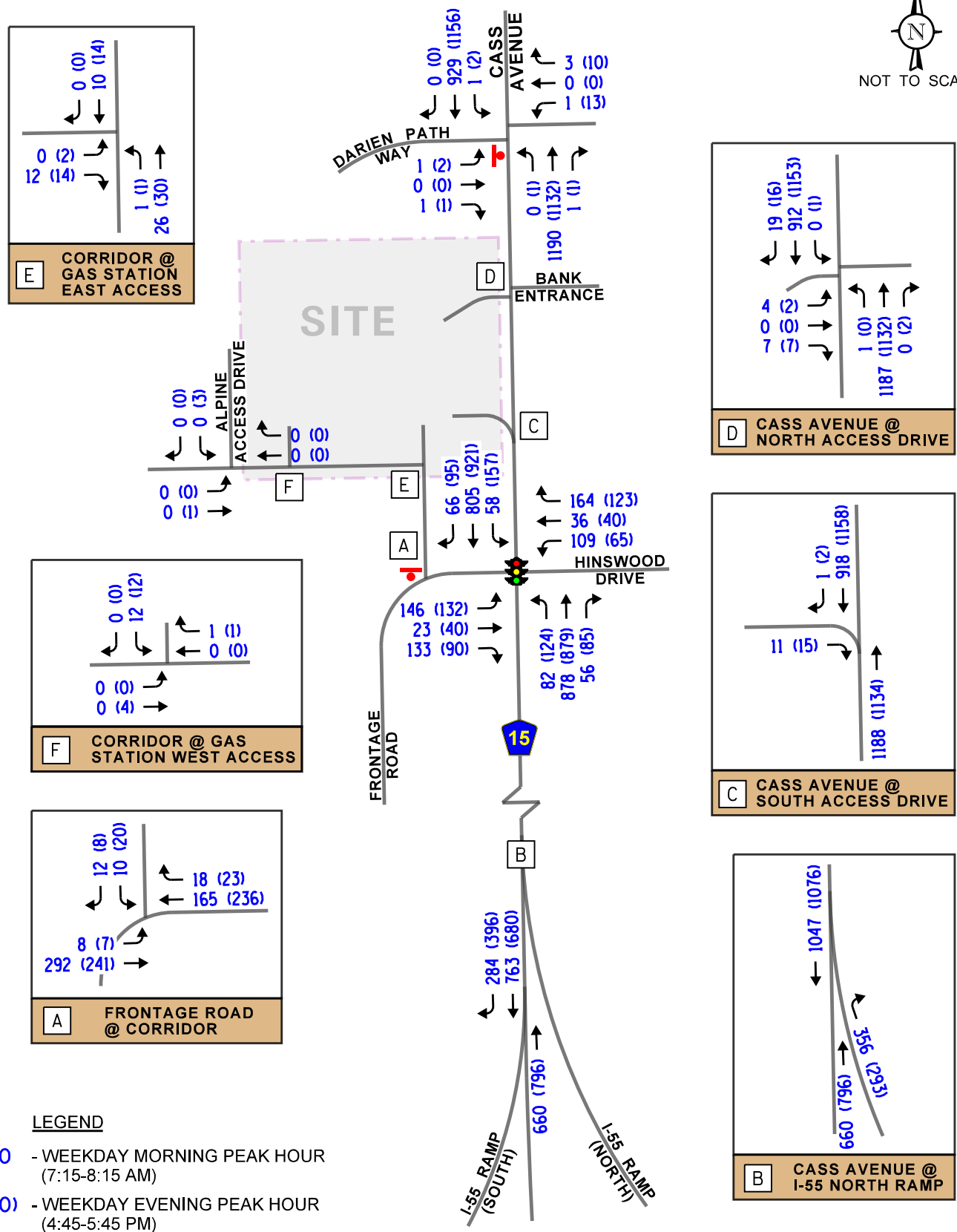
Job No: 24-298

Figure: 7





NOT TO SCALE



- LEGEND**
- 00 - WEEKDAY MORNING PEAK HOUR (7:15-8:15 AM)
  - (00) - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Fuel Center  
Darien, Illinois

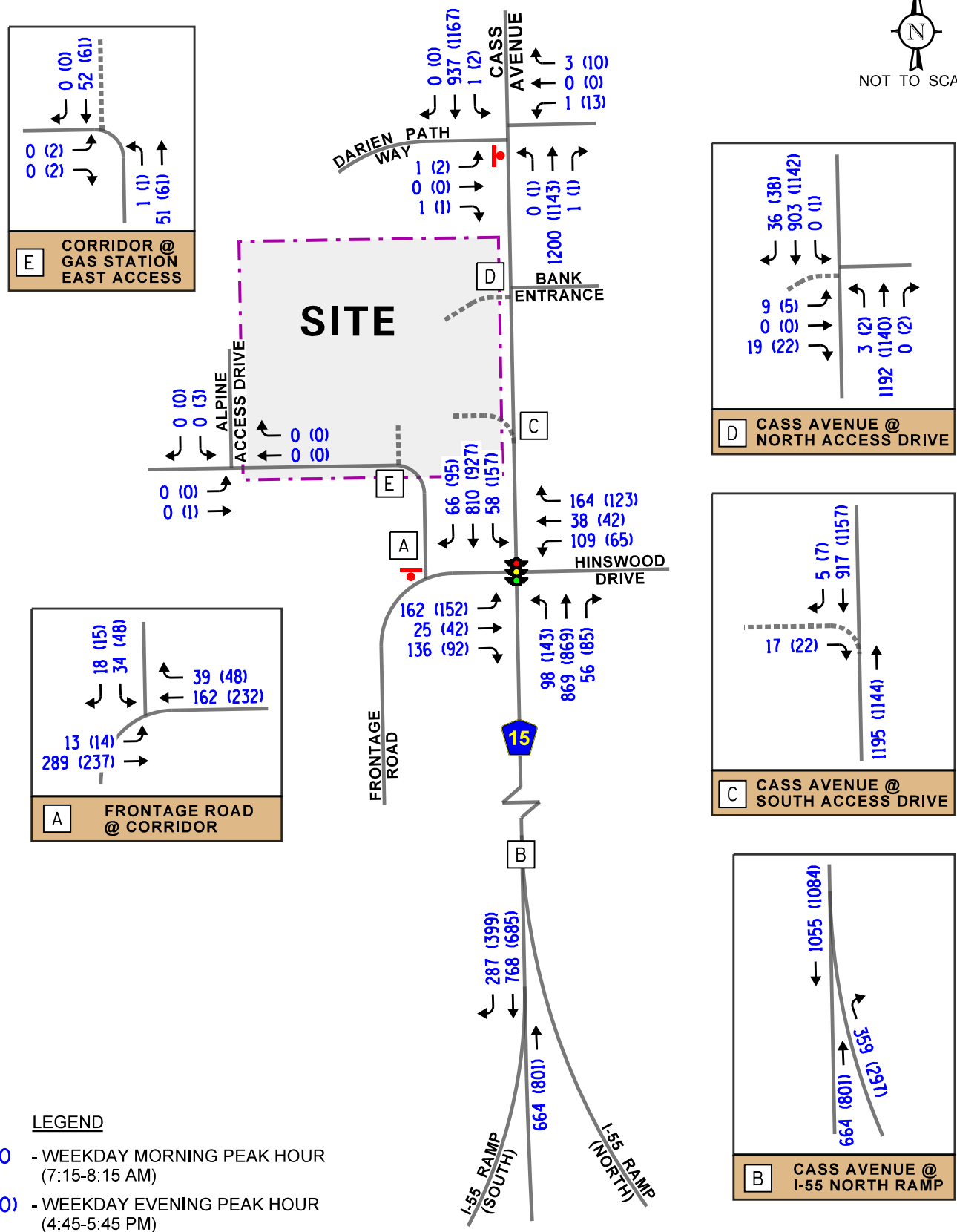
Year 2030 No-Build Traffic Volumes



Job No: 24-298 Figure: 8



NOT TO SCALE



**LEGEND**

- 00** - WEEKDAY MORNING PEAK HOUR (7:15-8:15 AM)
- (00)** - WEEKDAY EVENING PEAK HOUR (4:45-5:45 PM)

Fuel Center  
Darien, Illinois

Year 2030 Total Traffic Volumes



Job No: 24-298 Figure: 9

## 5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drive are projected to operate and whether any roadway improvements or modifications are required.

### Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hours for the existing, no-build, and total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6<sup>th</sup> Edition and analyzed using Synchro/SimTraffic 11 software. The analysis for the traffic-signal controlled intersections were accomplished using actual cycle lengths and phasings to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the projected existing, no-build, and total projected conditions are presented in **Tables 4** through **7**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 4

## CASS AVENUE WITH FRONTAGE ROAD/HINSWOOD DRIVE – SIGNALIZED

	Peak Hour	Eastbound		Westbound		Northbound		Southbound		Overall
		L/T	R	L/T	R	L	T/R	L	T/R	
Existing Conditions	Weekday Morning	F 81.0	B 15.4	E 70.8	C 22.3	A 8.0	B 15.8	A 7.6	B 15.6	C 23.1
		D – 52.2		D – 45.0		B – 15.2		B – 15.1		
	Weekday Evening	E 64.0	B 10.5	E 55.4	B 12.9	A 7.5	B 13.9	A 7.9	B 13.8	B 17.8
		D – 45.6		C – 32.5		B – 13.1		B – 13.0		
No-Build Conditions	Weekday Morning	F 81.7	B 16.2	E 71.3	C 22.8	A 8.3	B 16.4	A 7.8	B 16.1	C 23.7
		D – 52.8		D – 45.6		B – 15.7		B – 15.5		
	Weekday Evening	E 64.8	B 11.6	E 55.9	B 13.7	A 7.8	B 14.3	A 8.3	B 14.2	B 18.3
		D – 46.6		C – 33.2		B – 13.6		B – 13.4		
Projected Conditions	Weekday Morning	F 83.8	B 16.0	E 70.6	C 21.8	A 9.4	B 17.1	A 8.2	B 17.3	C 24.8
		E – 55.3		D – 44.9		B – 16.4		B – 16.7		
	Weekday Evening	E 67.3	B 11.6	E 55.7	B 12.7	A 8.9	B 15.1	A 8.8	B 15.5	B 19.5
		D – 49.4		C – 32.7		B – 14.3		B – 14.6		
Letter denotes Level of Service Delay is measured in seconds.		L – Left Turn		R – Right Turn						
		T – Through								

Table 5  
 UNSIGNALIZED – EXISTING CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Cass Avenue with South Site Access Drive<sup>1</sup></b>				
• Eastbound Approach	B	12.0	B	13.6
<b>Cass Avenue with North Site Access Drive<sup>1</sup></b>				
• Eastbound Approach	D	29.0	D	29.2
• Northbound Left Turn	B	10.6	A	0.0
<b>Cass Avenue with Darien Path Way/North Bank Access Drive<sup>1</sup></b>				
• Eastbound Approach	C	18.1	C	21.3
• Westbound Approach	B	13.0	B	14.9
• Northbound Left Turn	--	--	B	11.0
• Southbound Left Turn	A	9.6	A	9.7
<b>Frontage Road with Access Road<sup>1</sup></b>				
• Southbound Approach	B	10.7	B	11.8
• Eastbound Left Turn	A	7.6	A	7.8
<b>Access Road with East Site Access Drive<sup>2</sup></b>				
• ICU	A	13.3%	A	13.3%
LOS = Level of Service Delay is measured in seconds.		1 – Two-way stop control 2 – Intersection Capacity Utilization (ICU)		

Table 6  
 UNSIGNALIZED – YEAR 2030 NO-BUILD CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Cass Avenue with South Site Access Drive<sup>1</sup></b>				
• Eastbound Approach	B	12.1	B	13.7
<b>Cass Avenue with North Site Access Drive<sup>1</sup></b>				
• Eastbound Approach	D	30.4	D	30.6
• Northbound Left Turn	B	10.7	A	0.0
<b>Cass Avenue with Darien Path Way/North Bank Access Drive<sup>1</sup></b>				
• Eastbound Approach	C	18.4	C	22.0
• Westbound Approach	B	13.2	C	15.1
• Northbound Left Turn	--	--	B	11.1
• Southbound Left Turn	A	9.5	A	9.7
<b>Frontage Road with Access Road<sup>1</sup></b>				
• Southbound Approach	B	10.7	B	11.9
• Eastbound Left Turn	A	7.6	A	7.8
<b>Access Road with East Site Access Drive<sup>2</sup></b>				
• ICU	A	13.3%	A	13.3%
LOS = Level of Service Delay is measured in seconds.		1 – Two-way stop control 2 – Intersection Capacity Utilization (ICU)		

Table 7  
 UNSIGNALIZED – YEAR 2030 TOTAL CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Cass Avenue with South Site Access Drive<sup>1</sup></b>				
• Eastbound Approach	B	12.2	B	13.9
<b>Cass Avenue with North Site Access Drive<sup>1</sup></b>				
• Eastbound Approach	D	32.3	D	31.5
• Northbound Left Turn	B	10.7	B	11.2
<b>Cass Avenue with Darien Path Way/North Bank Access Drive<sup>1</sup></b>				
• Eastbound Approach	C	18.6	C	22.0
• Westbound Approach	B	13.3	D	25.6
• Northbound Left Turn	--	--	B	11.2
• Southbound Left Turn	A	9.6	A	9.7
<b>Frontage Road with Access Road<sup>1</sup></b>				
• Southbound Approach	B	11.9	B	12.8
• Eastbound Left Turn	A	7.7	A	7.9
<b>Access Road with East Site Access Drive<sup>2</sup></b>				
• ICU	A	6.8%	A	14.0%
LOS = Level of Service Delay is measured in seconds.		1 – Two-way stop control 2 – Intersection Capacity Utilization (ICU)		

## Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the redevelopment-generated traffic.

### *Cass Avenue with Frontage Road/Hinswood Drive*

The results of the capacity analysis indicate that overall this intersection currently operates at Level of Service (LOS) C during the weekday morning peak hour and at LOS B during the weekday evening peak hour. The northbound and southbound approaches on Cass Avenue currently operate at LOS B during the peak hours. The eastbound and westbound approaches on the Frontage Road currently operate at LOS D or better during the peak hours. Under Year 2030 no-build conditions, the intersection and its approaches are projected to continue operating at the current levels of service during the peak hours, with increases in delay of approximately one second or less over the existing conditions.

Under Year 2030 total projected conditions, the intersection is projected to continue to operate at LOS C during the weekday morning peak hour and at LOS B during the weekday evening peak hour, with increases in delay of approximately one second over the no-build conditions. All approaches are projected to operate at an acceptable LOS D or better during the peak hours, with the exception of the eastbound approach, which during the weekday morning peak hour, is projected to operate at LOS E. Observations and a review of the traffic simulation indicate that the queues at the approach clear the intersection every cycle. Further, the volume to capacity ratio ( $v/c$ ) is less than 1.0. It should be noted that the queue for the right-turn movement is projected to be 90 feet during the weekday morning peak hour and 52 feet during the weekday evening peak hour, which can be fully contained within the 100 feet of storage that the right-turn lane provides.

Overall, the proposed fuel center is only projected to increase the volume of traffic traversing this intersection by approximately one percent during the peak hours. As such, the intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the fuel center redevelopment, and no roadway or traffic signal modifications are required.

### *Cass Avenue with South Site Access Drive*

The results of the capacity analysis indicate that the eastbound approach, which is restricted to right turns only, currently operates at LOS B during the weekday morning and weekday evening peak hours. Under Year 2030 no-build and total projected conditions, the eastbound approach is projected to continue to operate at the current levels of service, with increases in delays of less than one second over the existing conditions. As such, this access drive is projected to accommodate the increase in traffic generated by the fuel center redevelopment, and no additional roadway or traffic control modifications are required.



### *Cass Road with North Site Access Drive/South Bank Access Drive*

The results of the capacity analysis indicate that the eastbound approach from the north site access drive currently operates at LOS D during the weekday morning and weekday evening peak hours. The northbound left-turn movement currently operates at LOS B or better during the peak hours. Under Year 2030 no-build and total projected conditions, the critical movements and approaches are projected to continue to operate at the current levels of service, with increases in delay of approximately three seconds or less over the existing conditions. It should be noted that the southbound queues on Cass Avenue extending from the Frontage Road occasionally extend to this access drive, impacting the eastbound left-turn movement and the northbound left-turn movement. Queues typically clear within one signal cycle. Additionally, gaps in the traffic flow allow for left-turn movements due to the platooning from traffic signal to the north on Cass Avenue. As such, this access drive is projected to accommodate the increase in traffic generated by the fuel center redevelopment, and no additional roadway or traffic control modifications are required.

### *Cass Avenue with Darien Path Way/North Bank Access Drive*

The results of the capacity analysis indicate that the eastbound approach from Darien Path Way and the westbound approach from the north bank access drive currently operate at LOS C or better during the weekday morning and weekday evening peak hours. The northbound and southbound left-turn movements currently operate at LOS B or better during the peak hours. Under Year 2030 no-build and total projected conditions, the critical movements and approaches are projected to operate at LOS C or better during the peak hours. As such, no roadway or traffic control modifications are required at this intersection in conjunction with the proposed fuel center redevelopment.

### *Frontage Road with Access Road*

The results of the capacity analysis indicate that the southbound approach from the access road currently operates at LOS B during the weekday morning and weekday evening peak hours. The eastbound left-turn movement currently operates at LOS A during both peak hours. Under Year 2030 no-build and total projected conditions, the critical approaches and movements are projected to continue to operate at the current levels of service, with increases in delay of approximately one second over the existing conditions. It should be noted that the westbound queues on the Frontage Road extending from Cass Avenue occasionally extend to this intersection, specifically the left-turn/through movements which have a projected 95<sup>th</sup> percentile queue of approximately 290 feet during the weekday morning peak hour and 230 feet during the weekday evening peak hour. However, the queues typically clear within one signal cycle. This was confirmed based on a review of the traffic simulation, which was consistent with existing operations at the intersection. As such, this intersection is projected to continue to operate well and accommodate the traffic projected to be generated by the proposed fuel center redevelopment.

*Access Road with East Site Access Drive*

As this intersection is atypical with the northbound and eastbound approaches uncontrolled and the southbound approach from the access drive being under stop sign control, the intersection was evaluated using the Intersection Capacity Utilization (ICU) method. The results of the capacity analysis indicate that the intersection currently operates at ICU A with minimal queues during the weekday morning and weekday evening peak hours. Under Year 2030 no-build conditions, the intersection is projected to continue to operate at ICU A during the peak hours.

Under Year 2030 total projected conditions, this intersection will be widened. It is projected to operate at ICU A during both peak hours with minimal queues. However, it is recommended that the proposed width of the driveway be reduced while still accommodating traffic movements at this access drive. As such, given the reduction in the proposed access drive width, this access drive is projected to provide flexible and efficient access to the redeveloped fuel center and no additional roadway or traffic control modifications are required.

## 6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The existing fuel center on the site will be redeveloped to have a larger convenience store and continue to have 12 fueling positions.
- The proposed fuel center redevelopment is only projected to increase the volume of traffic traversing the intersection of Cass Avenue with the Frontage Road by approximately one percent during the peak hours.
- The results of the capacity analysis indicate that the roadway system generally has sufficient reserve capacity to accommodate the redevelopment-generated traffic and no roadway or traffic control improvements are required at the study area intersections.
- Access to the site will be provided via two existing access drives off Cass Avenue and one access drive off the east-west access road that serves the fuel center and Alpine Banquets and connects to the Frontage Road
- The proposed access system that will serve the site will be adequate in accommodating the traffic estimated to be generated by the proposed redevelopment of the fuel center and will ensure flexible access is provided.

# Appendix

Traffic Count Summary Sheets

Site Plan

ITE Trip Generation Sheets

CMAP 2050 Projections Letter

Level of Service Criteria

Capacity Analysis Summary Sheets

## Traffic Count Summary Sheets



% Bicycles on Road	-	0.0	0.8	0.0	-	0.1	-	0.0	0.0	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	0	-	-	-	-	-	-	-	-	1	-	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-



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Count Name: Cass Avenue with Hinswood Drive  
TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 3

### Turning Movement Peak Hour Data (7:15 AM)

Start Time	Frontage Road Eastbound					Frontage Road Westbound					Cass Avenue Northbound					Cass Avenue Southbound									
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:15 AM	0	29	8	33	0	70	0	22	10	30	0	62	0	19	195	8	0	222	0	10	180	5	0	195	549
7:30 AM	0	52	7	35	0	94	0	29	5	41	0	75	1	14	246	17	0	278	0	15	202	7	0	224	671
7:45 AM	0	47	2	38	0	87	0	30	5	59	0	94	0	20	247	19	0	286	0	14	218	26	0	258	725
8:00 AM	0	15	6	24	0	45	0	26	7	31	0	64	0	27	173	11	0	211	0	18	189	20	0	227	547
Total	0	143	23	130	0	296	0	107	27	161	0	295	1	80	861	55	0	997	0	57	789	58	0	904	2492
Approach %	0.0	48.3	7.8	43.9	-	-	0.0	36.3	9.2	54.6	-	-	0.1	8.0	86.4	5.5	-	-	0.0	6.3	87.3	6.4	-	-	-
Total %	0.0	5.7	0.9	5.2	-	11.9	0.0	4.3	1.1	6.5	-	11.8	0.0	3.2	34.6	2.2	-	40.0	0.0	2.3	31.7	2.3	-	36.3	-
PHF	0.000	0.688	0.719	0.855	-	0.787	0.000	0.892	0.675	0.682	-	0.785	0.250	0.741	0.871	0.724	-	0.872	0.000	0.792	0.905	0.558	-	0.876	0.859
Lights	0	140	19	128	-	287	0	102	27	155	-	284	1	75	823	50	-	949	0	56	769	55	-	880	2400
% Lights	-	97.9	82.6	96.5	-	97.0	-	95.3	100.0	96.3	-	96.3	100.0	93.8	95.6	90.9	-	95.2	-	98.2	97.5	94.8	-	97.3	96.3
Buses	0	3	4	0	0	7	0	0	0	1	0	1	0	0	10	1	0	11	0	1	4	2	0	7	26
% Buses	-	2.1	17.4	0.0	-	2.4	-	0.0	0.0	0.6	-	0.3	0.0	0.0	1.2	1.8	-	1.1	-	1.8	0.5	3.4	-	0.8	1.0
Single-Unit Trucks	0	0	0	2	-	2	0	4	0	4	-	8	0	4	17	4	-	25	0	0	10	1	-	11	46
% Single-Unit Trucks	-	0.0	0.0	1.5	-	0.7	-	3.7	0.0	2.5	-	2.7	0.0	5.0	2.0	7.3	-	2.5	-	0.0	1.3	1.7	-	1.2	1.8
Articulated Trucks	0	0	0	0	-	0	0	1	0	1	-	2	0	1	11	0	-	12	0	0	6	0	-	6	20
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.9	0.0	0.6	-	0.7	0.0	1.3	1.3	0.0	-	1.2	-	0.0	0.8	0.0	-	0.7	0.8
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-





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TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 4

### Turning Movement Peak Hour Data (4:45 PM)

Start Time	Frontage Road Eastbound						Frontage Road Westbound						Cass Avenue Northbound						Cass Avenue Southbound						
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
4:45 PM	0	40	11	23	0	74	0	16	12	25	0	53	0	30	208	22	0	260	0	34	226	21	0	281	668
5:00 PM	0	25	12	24	0	61	0	20	13	30	0	63	2	27	211	13	0	253	0	40	228	20	0	288	665
5:15 PM	0	32	9	24	0	65	0	13	9	34	0	56	1	33	227	20	0	281	0	45	212	24	0	281	683
5:30 PM	0	32	5	17	0	54	0	15	5	32	0	52	3	32	201	17	0	253	0	28	197	23	0	248	607
Total	0	129	37	88	0	254	0	64	39	121	0	224	6	122	847	72	0	1047	0	147	863	88	0	1098	2623
Approach %	0.0	50.8	14.6	34.6	-	-	0.0	28.6	17.4	54.0	-	-	0.6	11.7	80.9	6.9	-	-	0.0	13.4	78.6	8.0	-	-	-
Total %	0.0	4.9	1.4	3.4	-	9.7	0.0	2.4	1.5	4.6	-	8.5	0.2	4.7	32.3	2.7	-	39.9	0.0	5.6	32.9	3.4	-	41.9	-
PHF	0.000	0.806	0.771	0.917	-	0.858	0.000	0.800	0.750	0.890	-	0.889	0.500	0.924	0.933	0.818	-	0.931	0.000	0.817	0.946	0.917	-	0.953	0.960
Lights	0	129	37	86	-	252	0	64	39	121	-	224	6	121	839	71	-	1037	0	145	847	87	-	1079	2592
% Lights	-	100.0	100.0	97.7	-	99.2	-	100.0	100.0	100.0	-	100.0	100.0	99.2	99.1	98.6	-	99.0	-	98.6	98.1	98.9	-	98.3	98.8
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	1	-	2	0	0	2	0	-	2	4
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.1	1.4	-	0.2	-	0.0	0.2	0.0	-	0.2	0.2
Single-Unit Trucks	0	0	0	2	-	2	0	0	0	0	-	0	0	1	5	0	-	6	0	2	10	1	-	13	21
% Single-Unit Trucks	-	0.0	0.0	2.3	-	0.8	-	0.0	0.0	0.0	-	0.0	0.0	0.8	0.6	0.0	-	0.6	-	1.4	1.2	1.1	-	1.2	0.8
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	0	0	4	0	-	4	6
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.2	0.0	-	0.2	-	0.0	0.5	0.0	-	0.4	0.2
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

## Cass Avenue with Shell Access Drive (south)

Time Period	Eastbound			Westbound			Northbound			Southbound			Total
	L	T	R	L	T	R	L	T	R	L	T	R	
<b>Peak 1</b>													
Specified Period													
7:15 AM - 8:15 AM													
One Hour Peak													
7:15 AM - 8:15 AM	1	0	11	0	0	0	0	0	0	0	0	0	1
<b>Total</b>	<b>1</b>	<b>0</b>	<b>11</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>13</b>
<b>Peak 2</b>													
Specified Period													
4:45 PM - 5:45 PM													
One Hour Peak													
4:45 PM - 5:45 PM	0	0	15	0	0	0	0	0	0	0	0	2	17
<b>Total</b>	<b>0</b>	<b>0</b>	<b>15</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>17</b>



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Count Name: Cass Avenue with Shell Gas  
Station Access Drive (north) TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 1

### Turning Movement Data

Start Time	Shell Access Drive Eastbound					Access Drive Westbound					Cass Avenue Northbound					Cass Avenue Southbound										
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:00 AM	0	2	0	1	0	3	0	0	0	0	0	0	0	0	185	1	0	186	0	0	191	5	0	196	385	
7:15 AM	0	1	0	0	0	1	0	0	0	0	0	0	0	1	241	2	0	244	0	0	205	4	0	209	454	
7:30 AM	0	1	0	3	0	4	0	0	0	0	0	0	0	0	327	3	0	330	0	0	210	1	0	211	545	
7:45 AM	0	2	0	1	0	3	0	0	0	0	0	0	0	0	350	6	0	356	0	0	248	9	0	257	616	
Hourly Total	0	6	0	5	0	11	0	0	0	0	0	0	0	1	1103	12	0	1116	0	0	854	19	0	873	2000	
8:00 AM	0	0	0	3	0	3	0	0	0	0	0	0	0	0	221	3	0	224	0	0	231	5	0	236	463	
8:15 AM	0	2	0	0	0	2	0	0	0	0	0	0	0	0	222	3	0	225	0	2	203	3	0	208	435	
8:30 AM	0	1	0	1	0	2	0	0	0	0	1	0	0	0	230	2	0	232	0	0	200	2	0	202	436	
8:45 AM	0	0	0	1	0	1	0	0	0	0	0	0	0	1	283	4	0	288	0	0	205	2	0	207	496	
Hourly Total	0	3	0	5	0	8	0	0	0	0	1	0	0	1	956	12	0	969	0	2	839	12	0	853	1830	
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	0	0	2	0	2	0	0	0	0	0	0	0	0	192	3	0	195	0	0	273	4	0	277	474	
4:15 PM	0	1	0	0	0	1	0	0	0	0	0	0	0	1	261	2	0	264	0	1	278	5	0	284	549	
4:30 PM	0	2	0	0	0	2	0	0	0	0	0	0	0	0	244	2	0	246	0	0	257	4	0	261	509	
4:45 PM	0	0	0	3	0	3	0	0	0	0	0	0	0	0	276	1	0	277	0	0	279	8	0	287	567	
Hourly Total	0	3	0	5	0	8	0	0	0	0	0	0	0	1	973	8	0	982	0	1	1087	21	0	1109	2089	
5:00 PM	0	0	0	2	0	2	0	0	0	0	0	0	0	0	275	1	0	276	1	0	291	2	0	294	572	
5:15 PM	0	1	0	2	0	3	0	0	0	0	0	0	0	0	269	0	0	269	0	1	299	3	0	303	575	
5:30 PM	0	1	0	0	0	1	0	0	0	0	0	0	0	0	267	0	0	267	0	0	261	3	0	264	532	
5:45 PM	0	1	0	1	0	2	0	0	0	0	0	0	0	0	271	0	0	271	0	1	236	6	0	243	516	
Hourly Total	0	3	0	5	0	8	0	0	0	0	0	0	0	0	1082	1	0	1083	1	2	1087	14	0	1104	2195	
Grand Total	0	15	0	20	0	35	0	0	0	0	1	0	0	3	4114	33	0	4150	1	5	3867	66	0	3939	8124	
Approach %	0.0	42.9	0.0	57.1	-	-	0.0	0.0	0.0	0.0	-	-	0.0	0.1	98.1	0.8	-	98.9	0.0	0.1	98.2	1.7	-	-	-	
Total %	0.0	0.2	0.0	0.2	-	0.4	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	50.6	0.4	-	51.1	0.0	0.1	47.6	0.8	-	48.5	-	
Lights	0	13	0	20	-	33	0	0	0	0	-	0	0	3	4018	33	-	4054	1	5	3780	65	-	3851	7938	
% Lights	-	86.7	-	100.0	-	94.3	-	-	-	-	-	-	-	100.0	97.7	100.0	-	97.7	100.0	100.0	97.8	98.5	-	97.8	97.7	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	28	0	-	28	0	0	23	1	-	24	52	
% Buses	-	0.0	-	0.0	-	0.0	-	-	-	-	-	-	-	0.0	0.7	0.0	-	0.7	0.0	0.0	0.6	1.5	-	0.6	0.6	
Single-Unit Trucks	0	2	0	0	-	2	0	0	0	0	-	0	0	0	49	0	-	49	0	0	49	0	-	49	100	
% Single-Unit Trucks	-	13.3	-	0.0	-	5.7	-	-	-	-	-	-	-	0.0	1.2	0.0	-	1.2	0.0	0.0	1.3	0.0	-	1.2	1.2	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	19	0	-	19	0	0	15	0	-	15	34	
% Articulated Trucks	-	0.0	-	0.0	-	0.0	-	-	-	-	-	-	-	0.0	0.5	0.0	-	0.5	0.0	0.0	0.4	0.0	-	0.4	0.4	
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	







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Station Access Drive (north) TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 4

### Turning Movement Peak Hour Data (4:45 PM)

Start Time	Shell Access Drive Eastbound					Access Drive Westbound					Cass Avenue Northbound					Cass Avenue Southbound										
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
4:45 PM	0	0	0	3	0	3	0	0	0	0	0	0	0	0	0	276	1	0	277	0	0	279	8	0	287	567
5:00 PM	0	0	0	2	0	2	0	0	0	0	0	0	0	0	275	1	0	276	1	0	291	2	0	294	572	
5:15 PM	0	1	0	2	0	3	0	0	0	0	0	0	0	0	269	0	0	269	0	1	299	3	0	303	575	
5:30 PM	0	1	0	0	0	1	0	0	0	0	0	0	0	0	267	0	0	267	0	0	261	3	0	264	532	
Total	0	2	0	7	0	9	0	0	0	0	0	0	0	0	1087	2	0	1089	1	1	1130	16	0	1148	2246	
Approach %	0.0	22.2	0.0	77.8	-	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0	99.8	0.2	-	-	0.1	0.1	98.4	1.4	-	-	-	
Total %	0.0	0.1	0.0	0.3	-	0.4	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	48.4	0.1	-	48.5	0.0	0.0	50.3	0.7	-	51.1	-	
PHF	0.000	0.500	0.000	0.583	-	0.750	0.000	0.000	0.000	0.000	-	0.000	0.000	0.000	0.985	0.500	-	0.983	0.250	0.250	0.945	0.500	-	0.947	0.977	
% Lights	0	1	0	7	-	8	0	0	0	0	-	0	0	0	1080	2	-	1082	1	1	1116	16	-	1134	2224	
% Lights	-	50.0	-	100.0	-	88.9	-	-	-	-	-	-	-	-	99.4	100.0	-	99.4	100.0	100.0	98.8	100.0	-	98.8	99.0	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	1	0	-	1	2	
% Buses	-	0.0	-	0.0	-	0.0	-	-	-	-	-	-	-	-	0.1	0.0	-	0.1	0.0	0.0	0.1	0.0	-	0.1	0.1	
Single-Unit Trucks	0	1	0	0	-	1	0	0	0	0	-	0	0	0	4	0	-	4	0	0	11	0	-	11	16	
% Single-Unit Trucks	-	50.0	-	0.0	-	11.1	-	-	-	-	-	-	-	-	0.4	0.0	-	0.4	0.0	0.0	1.0	0.0	-	1.0	0.7	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	0	0	2	0	-	2	4	
% Articulated Trucks	-	0.0	-	0.0	-	0.0	-	-	-	-	-	-	-	-	0.2	0.0	-	0.2	0.0	0.0	0.2	0.0	-	0.2	0.2	
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Bicycles on Road	-	0.0	-	0.0	-	0.0	-	-	-	-	-	-	-	-	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	



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(847)518-9990 mmendoza@kloainc.com

Count Name: Darien Path w/ with Cass Avenue  
TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 1

### Turning Movement Data

Start Time	Darien Path Way Eastbound					Access Drive Westbound					Cass Avenue Northbound					Cass Avenue Southbound				
	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total
7:00 AM	0	2	0	0	2	0	1	0	0	1	0	0	191	0	191	0	0	201	0	201
7:15 AM	0	0	0	0	0	0	1	0	0	1	0	0	245	0	245	0	0	212	0	212
7:30 AM	0	1	0	0	1	0	0	0	2	2	0	0	327	0	327	0	0	208	0	208
7:45 AM	0	0	0	0	0	0	0	0	1	1	0	0	357	0	357	0	0	264	0	264
Hourly Total	0	3	0	0	3	0	2	0	3	5	0	0	1120	0	1120	0	0	885	0	885
8:00 AM	0	0	0	1	1	0	0	0	0	0	0	0	221	1	222	0	1	221	0	222
8:15 AM	0	0	0	0	0	0	1	0	0	1	0	0	228	0	228	0	0	201	0	201
8:30 AM	0	0	0	0	0	0	0	0	0	0	1	0	226	0	227	0	1	189	1	191
8:45 AM	0	0	0	1	1	0	0	0	0	0	0	0	282	0	282	0	1	198	0	199
Hourly Total	0	0	0	2	2	0	1	0	0	1	1	0	957	1	959	0	3	809	1	813
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	1	0	0	1	0	5	0	1	6	0	1	198	0	199	0	0	273	0	273
4:15 PM	0	0	0	0	0	0	3	0	3	6	0	0	259	0	259	0	2	275	0	277
4:30 PM	0	0	0	0	0	0	1	0	1	2	0	0	249	0	249	0	0	257	0	257
4:45 PM	0	1	0	0	1	0	3	0	2	5	0	0	275	0	275	0	1	268	0	269
Hourly Total	0	2	0	0	2	0	12	0	7	19	0	1	981	0	982	0	3	1073	0	1076
5:00 PM	0	1	0	0	1	0	4	0	2	6	0	0	283	1	284	0	0	282	0	282
5:15 PM	0	0	0	0	0	0	3	0	5	8	0	1	266	0	267	0	1	286	0	287
5:30 PM	0	0	0	1	1	0	3	0	1	4	0	0	267	0	267	0	0	243	0	243
5:45 PM	0	0	0	1	1	0	1	0	1	2	0	0	264	0	264	0	0	234	2	236
Hourly Total	0	1	0	2	3	0	11	0	9	20	0	1	1080	1	1082	0	1	1045	2	1048
Grand Total	0	6	0	4	10	0	26	0	19	45	1	2	4138	2	4143	0	7	3812	3	3822
Approach %	0.0	60.0	0.0	40.0	-	0.0	57.8	0.0	42.2	-	0.0	0.0	99.9	0.0	-	0.0	0.2	99.7	0.1	-
Total %	0.0	0.1	0.0	0.0	0.1	0.0	0.3	0.0	0.2	0.6	0.0	0.0	51.6	0.0	51.7	0.0	0.1	47.5	0.0	47.7
Lights	0	6	0	4	10	0	26	0	19	45	1	2	4029	2	4034	0	6	3721	3	3730
% Lights	-	100.0	-	100.0	-	-	100.0	-	100.0	-	100.0	100.0	97.4	100.0	97.4	-	85.7	97.6	100.0	-
Buses	0	0	0	0	0	0	0	0	0	0	0	0	30	0	30	0	0	22	0	22
% Buses	-	0.0	-	0.0	-	-	0.0	-	0.0	-	0.0	0.0	0.7	0.0	0.7	-	0.0	0.6	0.0	-
Single-Unit Trucks	0	0	0	0	0	0	0	0	0	0	0	0	57	0	57	0	1	50	0	51
% Single-Unit Trucks	-	0.0	-	0.0	-	-	0.0	-	0.0	-	0.0	0.0	1.4	0.0	1.4	-	14.3	1.3	0.0	-
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	0	0	22	0	22	0	0	19	0	19
% Articulated Trucks	-	0.0	-	0.0	-	-	0.0	-	0.0	-	0.0	0.0	0.5	0.0	0.5	-	0.0	0.5	0.0	-
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0









# Frontage RD with Corridor

Time Period	Eastbound			Westbound			Northbound			Southbound			Total
	L	T	R	L	T	R	L	T	R	L	T	R	
<b>Peak 1</b>													
Specified Period													
7:15 AM - 8:15 AM													
One Hour Peak													
7:15 AM - 8:15 AM	7	282	0	0	162	18	0	0	0	10	0	11	490
<b>Peak 2</b>													
Specified Period													
4:45 PM - 5:45 PM													
One Hour Peak													
4:45 PM - 5:45 PM	3	236	0	0	231	23	0	0	0	20	0	8	521



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Rosemont, Illinois, United States 60018  
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Count Name: Frontage Road with Shell Gas  
Station (east) TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 1

### Turning Movement Data

Start Time	Frontage Road Eastbound				Frontage Road Northbound				Access Drive Southbound							
	U-Turn	Left	Right	Peds	App. Total	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	Int. Total
7:00 AM	0	0	4	0	4	0	0	6	0	6	0	4	0	0	4	14
7:15 AM	0	0	3	0	3	0	0	7	0	7	0	2	0	0	2	12
7:30 AM	0	0	1	0	1	0	0	6	0	6	0	3	0	0	3	10
7:45 AM	0	0	5	0	5	0	1	6	0	7	0	3	0	0	3	15
Hourly Total	0	0	13	0	13	0	1	25	0	26	0	12	0	0	12	51
8:00 AM	0	0	3	0	3	0	0	6	0	6	0	2	0	0	2	11
8:15 AM	0	0	1	0	1	0	0	5	0	5	0	3	0	0	3	9
8:30 AM	0	0	3	0	3	1	0	11	0	12	0	3	0	1	3	18
8:45 AM	0	0	1	0	1	0	0	4	0	4	0	2	0	0	2	7
Hourly Total	0	0	8	0	8	1	0	26	0	27	0	10	0	1	10	45
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	0	3	0	3	0	0	10	0	10	0	5	1	0	6	19
4:15 PM	0	0	3	0	3	0	1	9	0	10	0	9	0	0	9	22
4:30 PM	0	0	10	0	10	0	1	12	0	13	0	1	0	0	1	24
4:45 PM	0	2	4	0	6	0	1	5	0	6	0	2	0	0	2	14
Hourly Total	0	2	20	0	22	0	3	36	0	39	0	17	1	0	18	79
5:00 PM	0	0	2	0	2	0	0	7	0	7	0	2	0	0	2	11
5:15 PM	0	0	5	0	5	0	0	8	0	8	0	4	0	0	4	17
5:30 PM	0	0	2	0	2	0	0	9	0	9	0	6	0	0	6	17
5:45 PM	0	0	5	0	5	0	2	5	0	7	0	4	0	0	4	16
Hourly Total	0	0	14	0	14	0	2	29	0	31	0	16	0	0	16	61
Grand Total	0	2	55	0	57	1	6	116	0	123	0	55	1	1	56	236
Approach %	0.0	3.5	96.5	-	-	0.8	4.9	94.3	-	-	0.0	98.2	1.8	-	-	-
Total %	0.0	0.8	23.3	-	24.2	0.4	2.5	49.2	-	52.1	0.0	23.3	0.4	-	23.7	-
Lights	0	2	51	-	53	100.0	6	111	-	118	0	52	100.0	-	53	224
% Lights	-	100.0	92.7	-	93.0	100.0	100.0	95.7	-	95.9	-	94.5	100.0	-	94.6	94.9
Buses	0	0	2	-	2	0	0	0	-	0	0	2	0	-	2	4
% Buses	-	0.0	3.6	-	3.5	0.0	0.0	0.0	-	0.0	-	3.6	0.0	-	3.6	1.7
Single-Unit Trucks	0	0	2	-	2	0	0	5	-	5	0	1	0	-	1	8
% Single-Unit Trucks	-	0.0	3.6	-	3.5	0.0	0.0	4.3	-	4.1	-	1.8	0.0	-	1.8	3.4
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	0	-	-	-	-	0	-	-	-	-	1	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-





# Corridor with Shell Access Drive (west)

Time Period	Eastbound			Westbound			Northbound			Southbound			Total
	L	T	R	L	T	R	L	T	R	L	T	R	
<b>Peak 1</b>													
Specified Period													
7:15 AM - 8:15 AM													
One Hour Peak													
7:15 AM - 8:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Peak 2</b>													
Specified Period													
4:45 PM - 5:45 PM													
One Hour Peak													
4:45 PM - 5:45 PM	0	4	0	0	0	0	1	0	0	0	0	0	16



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(847)518-9990 mmendoza@kloainc.com

Count Name: Frontage Road with Alpine  
Banquets Access Drive TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 1

### Turning Movement Data

Start Time	Alpine Banquets Access Drive Eastbound					Frontage Road Westbound					Alpine Banquets Access Drive Southbound					
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	0	2	0	2	0	0	0	0	0	0	0	0	0	0	2
7:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Hourly Total	0	0	2	0	2	0	0	0	0	0	0	0	0	0	0	2
8:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Hourly Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	1
4:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:30 PM	0	0	1	0	1	0	0	0	0	0	0	1	0	0	1	2
4:45 PM	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	1
Hourly Total	0	0	1	0	1	0	1	0	0	1	0	2	0	0	2	4
5:00 PM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1
5:15 PM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	2	2
5:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5:45 PM	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	1
Hourly Total	0	0	1	0	1	1	0	0	0	1	0	2	0	0	2	4
Grand Total	0	0	4	0	4	1	1	0	0	2	0	4	0	1	4	10
Approach %	0.0	0.0	100.0	-	-	50.0	50.0	0.0	-	-	0.0	100.0	0.0	-	-	-
Total %	0.0	0.0	40.0	-	40.0	10.0	10.0	0.0	-	20.0	0.0	40.0	0.0	-	40.0	-
Lights	0	0	4	-	4	1	1	0	-	2	0	4	0	-	4	10
% Lights	-	-	100.0	-	100.0	100.0	100.0	-	-	100.0	-	100.0	-	-	100.0	100.0
Buses	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Buses	-	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	-	-	0.0	0.0
Single-Unit Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Single-Unit Trucks	-	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	-	-	0.0	0.0
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Articulated Trucks	-	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	-	-	0.0	0.0
Bicycles on Road	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Bicycles on Road	-	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	-	-	0.0	0.0
Pedestrians	-	-	-	0	-	-	-	-	0	-	-	-	-	1	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-







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Count Name: Frontage Road with Alpine  
Banquets Access Drive TMC  
Site Code:  
Start Date: 12/04/2024  
Page No: 3

### Turning Movement Peak Hour Data (4:45 PM)

Start Time	Alpine Banquets Access Drive Eastbound					Frontage Road Westbound					Alpine Banquets Access Drive Southbound					
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
4:45 PM	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1	1
5:00 PM	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1
5:15 PM	0	0	0	0	0	0	0	0	0	0	2	0	0	2	2	2
5:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	1	0	1	0	0	0	0	0	3	0	1	3	4	4
Approach %	0.0	0.0	100.0	-	-	0.0	0.0	0.0	-	-	100.0	0.0	0.0	-	-	-
Total %	0.0	0.0	25.0	-	25.0	0.0	0.0	0.0	-	0.0	75.0	0.0	0.0	-	75.0	-
PHF	0.000	0.000	0.250	-	0.250	0.000	0.000	0.000	-	0.000	0.375	0.000	0.000	-	0.375	0.500
Lights	0	0	1	-	1	0	0	0	-	0	3	0	0	-	3	4
% Lights	-	-	100.0	-	100.0	-	-	-	-	-	100.0	-	-	-	100.0	100.0
Buses	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Buses	-	-	0.0	-	0.0	-	-	-	-	-	0.0	-	-	-	0.0	0.0
Single-Unit Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Single-Unit Trucks	-	-	0.0	-	0.0	-	-	-	-	-	0.0	-	-	-	0.0	0.0
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Articulated Trucks	-	-	0.0	-	0.0	-	-	-	-	-	0.0	-	-	-	0.0	0.0
Bicycles on Road	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Bicycles on Road	-	-	0.0	-	0.0	-	-	-	-	-	0.0	-	-	-	0.0	0.0
Pedestrians	-	-	-	0	-	-	-	-	0	-	-	-	-	1	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-















## Site Plan



# ITE Trip Generation Sheets

# Convenience Store/Gas Station - GFA (2-4k) (945)

**Vehicle Trip Ends vs: Vehicle Fueling Positions**  
On a: Weekday

**Setting/Location: General Urban/Suburban**

Number of Studies: 48

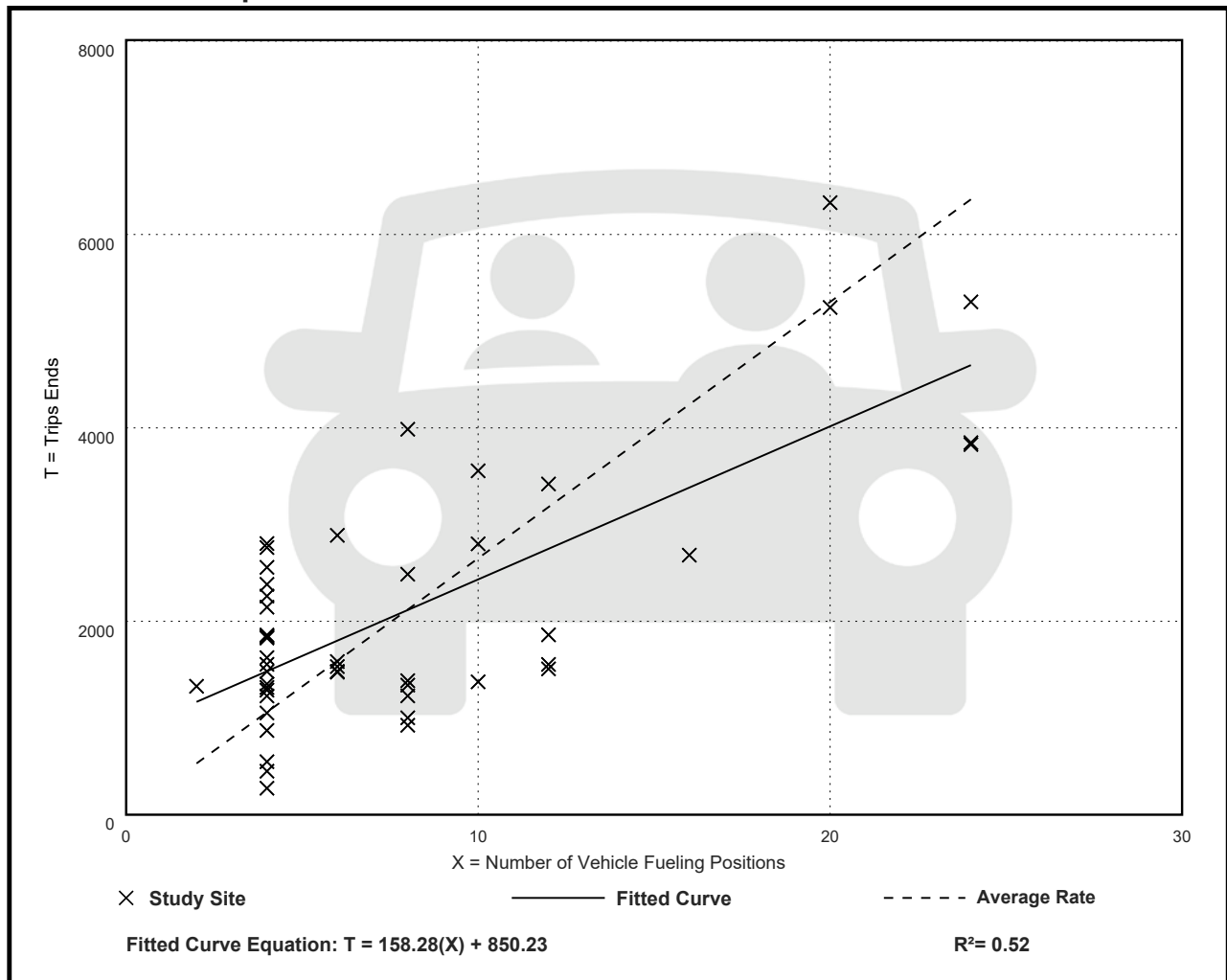
Avg. Num. of Vehicle Fueling Positions: 8

Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Vehicle Fueling Position

Average Rate	Range of Rates	Standard Deviation
265.12	68.50 - 701.00	142.37

## Data Plot and Equation



# Convenience Store/Gas Station - GFA (2-4k) (945)

## Vehicle Trip Ends vs: Vehicle Fueling Positions

On a: **Weekday,**

**Peak Hour of Adjacent Street Traffic,**

**One Hour Between 7 and 9 a.m.**

**Setting/Location: General Urban/Suburban**

Number of Studies: 76

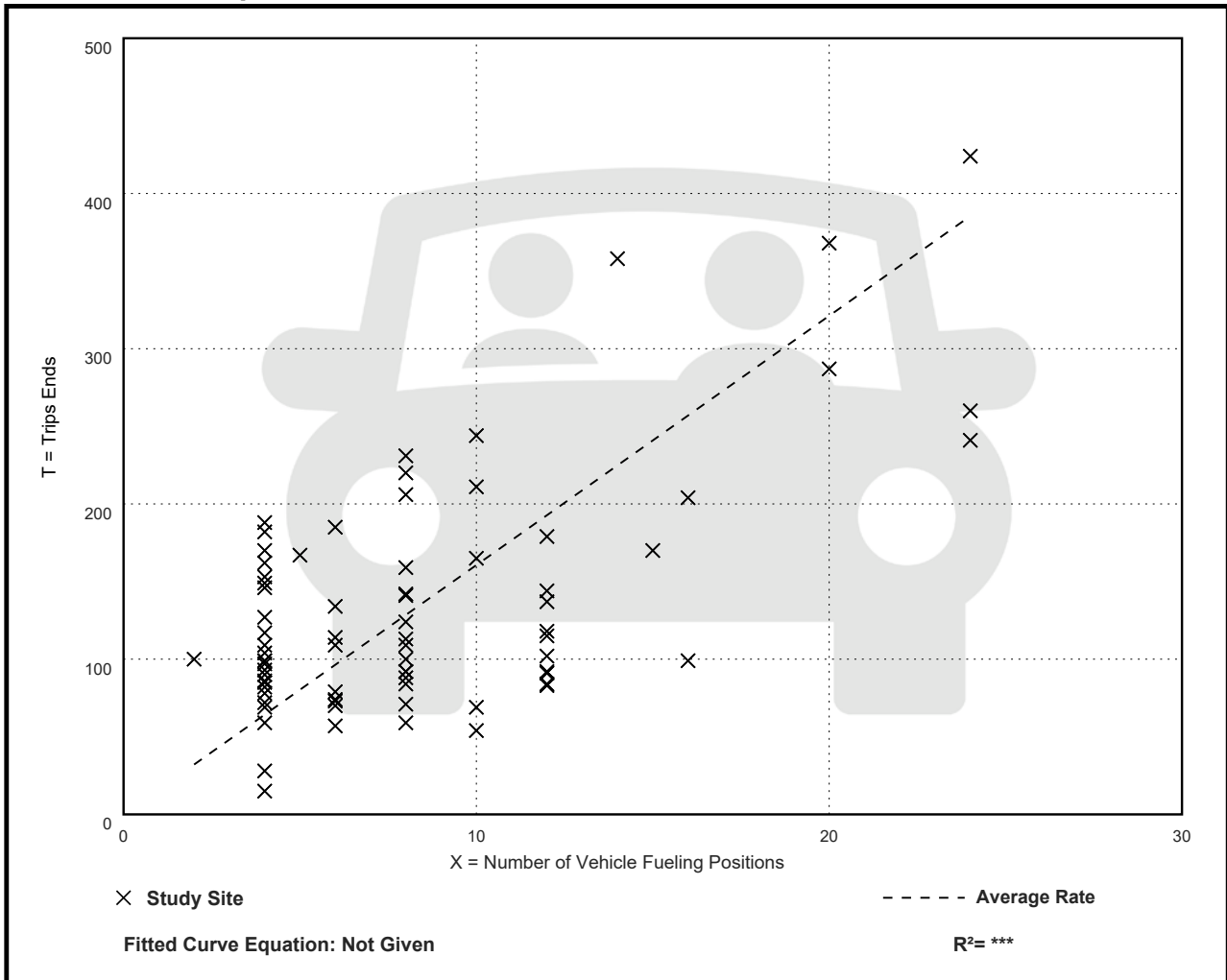
Avg. Num. of Vehicle Fueling Positions: 8

Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Vehicle Fueling Position

Average Rate	Range of Rates	Standard Deviation
16.06	3.75 - 50.00	8.79

## Data Plot and Equation



# Convenience Store/Gas Station - GFA (2-4k) (945)

## Vehicle Trip Ends vs: Vehicle Fueling Positions

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 93

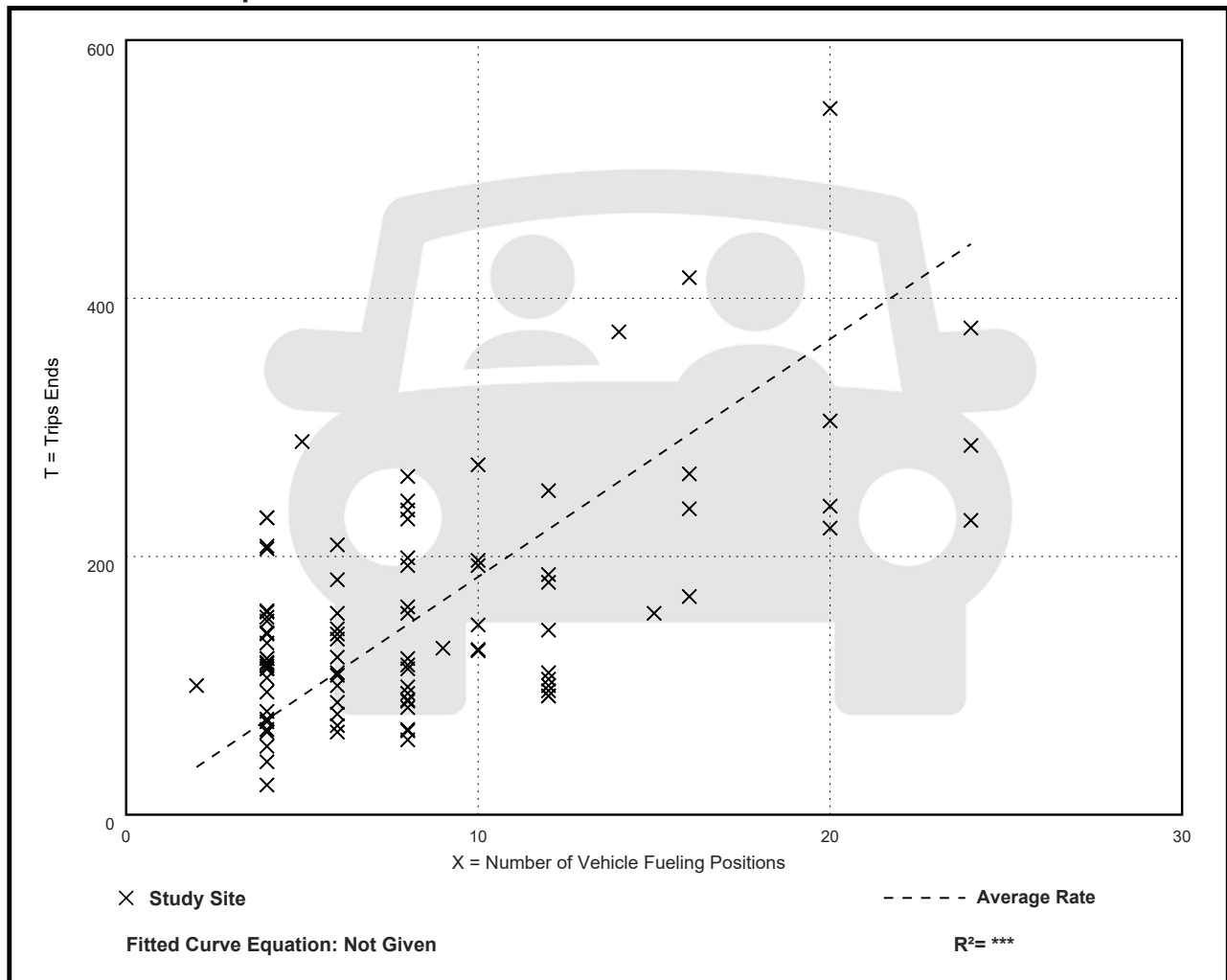
Avg. Num. of Vehicle Fueling Positions: 8

Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Vehicle Fueling Position

Average Rate	Range of Rates	Standard Deviation
18.42	5.75 - 57.80	10.16

## Data Plot and Equation



# CMAP 2050 Projections Letter



November 12, 2024

Ryan May  
Project Coordinator  
Kenig, Lindgren, O'Hara and Aboona, Inc.  
9575 West Higgins Road  
Suite 400  
Rosemont, IL 60018

**Subject: Cass Avenue with Frontage Road**  
IDOT

Dear Ms. May:

In response to a request made on your behalf and dated November 11, 2024, we have developed year 2050 average daily traffic (ADT) projections for the subject location.

ROAD SEGMENT	Current ADT	Year 2050 ADT
Cass Ave north of Frontage Rd	21,100	23,000
Cass Ave south of Frontage Rd	12,500	13,600

Traffic projections are developed using existing ADT data provided in the request letter and the results from the June 2024 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2050 socioeconomic projections and assumes the implementation of the ON TO 2050 Comprehensive Regional Plan for the Northeastern Illinois area. The provision of this data in support of your request does not constitute a CMAP endorsement of the proposed development or any subsequent developments.

If you have any questions, please call me at (312) 386-8806 or email me at [jrodriguez@cmap.illinois.gov](mailto:jrodriguez@cmap.illinois.gov)

Jose Rodriguez, PTP, AICP  
Senior Planner, Research & Analysis

cc: Rios (IDOT)  
2024\_TrafficForecasts\Darlen\du-54-24\du-54-24.docx



## Level of Service Criteria

## LEVEL OF SERVICE CRITERIA

<b>Signalized Intersections</b>		
<b>Level of Service</b>	<b>Interpretation</b>	<b>Average Control Delay (seconds per vehicle)</b>
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	> 10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	> 20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	> 35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	> 55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.	> 80
<b>Unsignalized Intersections</b>		
<b>Level of Service</b>	<b>Average Total Delay (sec/veh)</b>	
A	0 - 10	
B	> 10 - 15	
C	> 15 - 25	
D	> 25 - 35	
E	> 35 - 50	
F	> 50	
Source: <i>Highway Capacity Manual</i> , 6 <sup>th</sup> Edition.		

Capacity Analysis Summary Sheets  
Existing Weekday Morning Peak Hour

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	143	23	130	107	35	161	80	861	55	57	789	65
Future Volume (vph)	143	23	130	107	35	161	80	861	55	57	789	65
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	0		100	0		95	185		0	210		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	100			25			165			100		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.991			0.989	
Flt Protected		0.959			0.964		0.950			0.950		
Satd. Flow (prot)	0	1750	1583	0	1765	1553	1703	3430	0	1770	3492	0
Flt Permitted		0.559			0.525		0.229			0.212		
Satd. Flow (perm)	0	1020	1583	0	961	1553	410	3430	0	395	3492	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			72			55		7			9	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		130			179			615			208	
Travel Time (s)		3.0			4.1			10.5			3.5	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	2%	17%	2%	5%	0%	4%	6%	4%	9%	2%	2%	5%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	193	151	0	165	187	93	1065	0	66	993	0
Turn Type	Perm	NA	pm+ov	Perm	NA	pm+ov	pm+pt	NA		pm+pt	NA	
Protected Phases		4	5		8	1	5	2		1	6	
Permitted Phases	4		4	8		8	2			6		
Detector Phase	4	4	5	8	8	1	5	2		1	6	
Switch Phase												
Minimum Initial (s)	8.0	8.0	3.0	8.0	8.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	24.0	24.0	9.5	35.0	35.0	9.5	9.5	24.0		9.5	24.0	
Total Split (s)	35.0	35.0	25.0	35.0	35.0	25.0	25.0	60.0		25.0	60.0	
Total Split (%)	29.2%	29.2%	20.8%	29.2%	29.2%	20.8%	20.8%	50.0%		20.8%	50.0%	
Yellow Time (s)	4.5	4.5	3.5	4.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	1.5	1.5	0.0	1.5	1.5	0.0	0.0	1.5		0.0	1.5	
Lost Time Adjust (s)		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)		6.0	3.5		6.0	3.5	3.5	6.0		3.5	6.0	
Lead/Lag			Lead			Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?			Yes			Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)		25.9	39.6		25.9	38.9	81.8	71.6		80.3	70.9	
Actuated g/C Ratio		0.22	0.33		0.22	0.32	0.68	0.60		0.67	0.59	

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

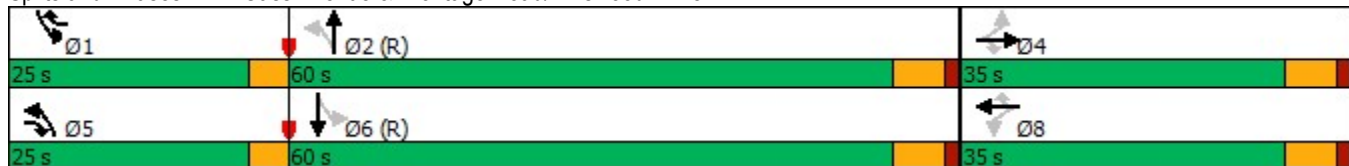


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio		0.88	0.26		0.80	0.35	0.26	0.52		0.19	0.48	
Control Delay		81.0	15.4		70.8	22.3	8.0	15.8		7.6	15.6	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		81.0	15.4		70.8	22.3	8.0	15.8		7.6	15.6	
LOS		F	B		E	C	A	B		A	B	
Approach Delay		52.2			45.0			15.2			15.1	
Approach LOS		D			D			B			B	
Queue Length 50th (ft)		141	41		118	73	22	253		15	232	
Queue Length 95th (ft)		#241	83		#203	123	39	301		29	278	
Internal Link Dist (ft)		50			99			535			128	
Turn Bay Length (ft)			100			95	185			210		
Base Capacity (vph)		246	745		232	722	520	2050		524	2066	
Starvation Cap Reductn		0	0		0	0	0	0		0	0	
Spillback Cap Reductn		0	0		0	0	0	0		0	0	
Storage Cap Reductn		0	0		0	0	0	0		0	0	
Reduced v/c Ratio		0.78	0.20		0.71	0.26	0.18	0.52		0.13	0.48	

Intersection Summary

Area Type: Other  
 Cycle Length: 120  
 Actuated Cycle Length: 120  
 Offset: 25 (21%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green  
 Natural Cycle: 75  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.88  
 Intersection Signal Delay: 23.1  
 Intersection Capacity Utilization 58.0%  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Cass Avenue & Frontage Road/Hinswood Drive



# Intersection Capacity Utilization

## 6: Access Road & East Site Access Drive

02/14/2025



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (vph)	0	12	1	25	10	0
Pedestrians						
Ped Button						
Pedestrian Timing (s)						
Free Right		No				No
Ideal Flow	1900	1900	1900	1900	1900	1900
Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Green (s)	4.0	4.0	4.0	4.0	4.0	4.0
Refr Cycle Length (s)	120	120	120	120	120	120
Volume Combined (vph)	12	0	0	26	10	0
Lane Utilization Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Factor (vph)	0.85	0.85	0.95	1.00	1.00	0.85
Saturated Flow (vph)	1615	0	0	1896	1900	0
Ped Intf Time (s)	0.0	0.0	0.0	0.0	0.0	0.0
Pedestrian Frequency (%)	0.00			0.00	0.00	
Protected Option Allowed	No			No	No	
Reference Time (s)		0.0				0.0
Adj Reference Time (s)		0.0				0.0
Permitted Option						
Adj Saturation A (vph)	108		0	1223	1900	
Reference Time A (s)	13.4		0.0	2.6	0.6	
Adj Saturation B (vph)	NA		0	0	1900	
Reference Time B (s)	NA		8.1	9.6	0.6	
Reference Time (s)				2.6	0.6	
Adj Reference Time (s)				8.0	8.0	
Split Option						
Ref Time Combined (s)	0.9		0.0	1.6	0.6	
Ref Time Seperate (s)	0.0		0.1	1.6	0.6	
Reference Time (s)	0.9		1.6	1.6	0.6	
Adj Reference Time (s)	8.0		8.0	8.0	8.0	
Summary						
Protected Option (s)	NA		NA			
Permitted Option (s)	Err		8.0			
Split Option (s)	8.0		16.0			
Minimum (s)	8.0		8.0		16.0	
Right Turns						
Adj Reference Time (s)						
Cross Thru Ref Time (s)						
Oncoming Left Ref Time (s)						
Combined (s)						
Intersection Summary						
Intersection Capacity Utilization		13.3%		ICU Level of Service		A
Reference Times and Phasing Options do not represent an optimized timing plan.						

HCM 6th TWSC  
 2: Cass Avenue & South Site Access Drive

02/14/2025

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		↗		↑↑	↑↑	
Traffic Vol, veh/h	0	11	0	1165	900	1
Future Vol, veh/h	0	11	0	1165	900	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Stop	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	12	0	1266	978	1

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	-	490	-	0	0
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-
Pot Cap-1 Maneuver	0	529	0	-	-
Stage 1	0	-	0	-	-
Stage 2	0	-	0	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	-	529	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	-	529	-	-
HCM Lane V/C Ratio	-	0.023	-	-
HCM Control Delay (s)	-	12	-	-
HCM Lane LOS	-	B	-	-
HCM 95th %tile Q(veh)	-	0.1	-	-

HCM 6th TWSC  
 3: Cass Avenue & North Site Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	4	0	7	0	0	0	1	1164	0	0	894	19
Future Vol, veh/h	4	0	7	0	0	0	1	1164	0	0	894	19
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	84	84	84	84	84	84	84	84	84	84	84	84
Heavy Vehicles, %	0	0	0	0	0	0	0	4	0	0	3	5
Mvmt Flow	5	0	8	0	0	0	1	1386	0	0	1064	23

Major/Minor	Minor2			Major1			Major2					
Conflicting Flow All	1771	2464	544				1087	0	0	1386	0	0
Stage 1	1076	1076	-				-	-	-	-	-	-
Stage 2	695	1388	-				-	-	-	-	-	-
Critical Hdwy	6.8	6.5	6.9				4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	5.8	5.5	-				-	-	-	-	-	-
Critical Hdwy Stg 2	5.8	5.5	-				-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3				2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	76	31	488				649	-	-	500	-	-
Stage 1	293	298	-				-	-	-	-	-	-
Stage 2	462	212	-				-	-	-	-	-	-
Platoon blocked, %								-	-		-	-
Mov Cap-1 Maneuver	75	0	488				649	-	-	500	-	-
Mov Cap-2 Maneuver	75	0	-				-	-	-	-	-	-
Stage 1	291	0	-				-	-	-	-	-	-
Stage 2	462	0	-				-	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	29	0	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	SBL	SBT	SBR
Capacity (veh/h)	649	-	-	163	500	-	-
HCM Lane V/C Ratio	0.002	-	-	0.08	-	-	-
HCM Control Delay (s)	10.6	0	-	29	0	-	-
HCM Lane LOS	B	A	-	D	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.3	0	-	-



HCM 6th TWSC

4: Cass Avenue & Darien Path Way/Old Second National Bank North Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	1	0	1	1	0	3	0	1167	1	1	911	0
Future Vol, veh/h	1	0	1	1	0	3	0	1167	1	1	911	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	1	-	-	1	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	83	83	83	83	83	83	83	83	83	83	83	83
Heavy Vehicles, %	0	0	0	0	0	0	0	4	0	0	3	0
Mvmt Flow	1	0	1	1	0	4	0	1406	1	1	1098	0

Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	1803	2507	549	1958	2507	704	-	0	0	1407	0	0
Stage 1	1100	1100	-	1407	1407	-	-	-	-	-	-	-
Stage 2	703	1407	-	551	1100	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.5	6.5	6.9	-	-	-	4.1	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	-	-	-	2.2	-	-
Pot Cap-1 Maneuver	*134	29	485	85	29	*622	0	-	-	783	-	-
Stage 1	*230	290	-	444	418	-	0	-	-	-	-	-
Stage 2	*586	418	-	491	290	-	0	-	-	-	-	-
Platoon blocked, %	1	1		1	1	1		-	-	1	-	-
Mov Cap-1 Maneuver	*133	28	485	85	28	*622	-	-	-	783	-	-
Mov Cap-2 Maneuver	*194	168	-	251	168	-	-	-	-	-	-	-
Stage 1	*230	289	-	444	418	-	-	-	-	-	-	-
Stage 2	*583	418	-	488	289	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	18.1	13	0	0
HCM LOS	C	B		

Minor Lane/Major Mvmt	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	-	-	277	454	783	-	-
HCM Lane V/C Ratio	-	-	0.009	0.011	0.002	-	-
HCM Control Delay (s)	-	-	18.1	13	9.6	-	-
HCM Lane LOS	-	-	C	B	A	-	-
HCM 95th %tile Q(veh)	-	-	0	0	0	-	-

Notes  
 ~: Volume exceeds capacity    \$: Delay exceeds 300s    +: Computation Not Defined    \*: All major volume in platoon

HCM 6th TWSC  
5: Frontage Road & Access Road

02/14/2025

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	8	286	162	18	10	12
Future Vol, veh/h	8	286	162	18	10	12
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	9	311	176	20	11	13

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	196	0	-	0	515 186
Stage 1	-	-	-	-	186 -
Stage 2	-	-	-	-	329 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1377	-	-	-	520 856
Stage 1	-	-	-	-	846 -
Stage 2	-	-	-	-	729 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1377	-	-	-	516 856
Mov Cap-2 Maneuver	-	-	-	-	516 -
Stage 1	-	-	-	-	839 -
Stage 2	-	-	-	-	729 -























Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	10.7
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1377	-	-	-	659
HCM Lane V/C Ratio	0.006	-	-	-	0.036
HCM Control Delay (s)	7.6	0	-	-	10.7
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Capacity Analysis Summary Sheets  
Existing Weekday Evening Peak Hour

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	129	39	88	64	39	121	122	862	83	154	903	93
Future Volume (vph)	129	39	88	64	39	121	122	862	83	154	903	93
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	0		100	0		95	185		0	210		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	100			25			165			100		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.987				0.986
Flt Protected		0.963			0.970		0.950			0.950		
Satd. Flow (prot)	0	1830	1583	0	1843	1615	1787	3528	0	1787	3493	0
Flt Permitted		0.697			0.560		0.228			0.239		
Satd. Flow (perm)	0	1324	1583	0	1064	1615	429	3528	0	450	3493	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			67			76		11				12
Link Speed (mph)		30			30			40				40
Link Distance (ft)		130			179			615				208
Travel Time (s)		3.0			4.1			10.5				3.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	0%	0%	2%	0%	0%	0%	1%	1%	1%	1%	2%	1%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	175	92	0	108	126	127	984	0	160	1038	0
Turn Type	Perm	NA	pm+ov	Perm	NA	pm+ov	pm+pt	NA		pm+pt	NA	
Protected Phases		4	5		8	1	5	2		1	6	
Permitted Phases	4		4	8		8	2			6		
Detector Phase	4	4	5	8	8	1	5	2		1	6	
Switch Phase												
Minimum Initial (s)	8.0	8.0	3.0	8.0	8.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	24.0	24.0	9.5	35.0	35.0	9.5	9.5	24.0		9.5	24.0	
Total Split (s)	35.0	35.0	25.0	35.0	35.0	25.0	25.0	60.0		25.0	60.0	
Total Split (%)	29.2%	29.2%	20.8%	29.2%	29.2%	20.8%	20.8%	50.0%		20.8%	50.0%	
Yellow Time (s)	4.5	4.5	3.5	4.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	1.5	1.5	0.0	1.5	1.5	0.0	0.0	1.5		0.0	1.5	
Lost Time Adjust (s)		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)		6.0	3.5		6.0	3.5	3.5	6.0		3.5	6.0	
Lead/Lag			Lead			Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?			Yes			Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)		21.6	35.6		21.6	36.3	84.7	74.2		86.2	74.9	
Actuated g/C Ratio		0.18	0.30		0.18	0.30	0.71	0.62		0.72	0.62	

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

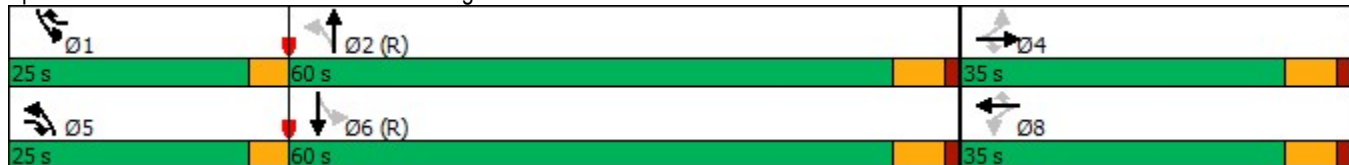


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio		0.74	0.18		0.57	0.23	0.32	0.45		0.38	0.48	
Control Delay		64.0	10.5		55.4	12.9	7.5	13.9		7.9	13.8	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		64.0	10.5		55.4	12.9	7.5	13.9		7.9	13.8	
LOS		E	B		E	B	A	B		A	B	
Approach Delay		45.6			32.5			13.1			13.0	
Approach LOS		D			C			B			B	
Queue Length 50th (ft)		129	14		77	28	24	196		31	208	
Queue Length 95th (ft)		196	47		130	65	53	305		65	322	
Internal Link Dist (ft)		50			99			535			128	
Turn Bay Length (ft)			100			95	185			210		
Base Capacity (vph)		319	686		257	705	561	2184		573	2184	
Starvation Cap Reductn		0	0		0	0	0	0		0	0	
Spillback Cap Reductn		0	0		0	0	0	0		0	0	
Storage Cap Reductn		0	0		0	0	0	0		0	0	
Reduced v/c Ratio		0.55	0.13		0.42	0.18	0.23	0.45		0.28	0.48	

Intersection Summary

Area Type:	Other
Cycle Length:	120
Actuated Cycle Length:	120
Offset:	25 (21%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
Natural Cycle:	75
Control Type:	Actuated-Coordinated
Maximum v/c Ratio:	0.74
Intersection Signal Delay:	17.8
Intersection LOS:	B
Intersection Capacity Utilization	64.2%
ICU Level of Service	C
Analysis Period (min)	15

Splits and Phases: 1: Cass Avenue & Frontage Road/Hinswood Drive



Intersection Capacity Utilization  
6: Access Road & East Site Access Drive

02/14/2025



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (vph)	2	14	1	29	14	0
Pedestrians						
Ped Button						
Pedestrian Timing (s)						
Free Right	No				No	
Ideal Flow	1900	1900	1900	1900	1900	1900
Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Green (s)	4.0	4.0	4.0	4.0	4.0	4.0
Refr Cycle Length (s)	120	120	120	120	120	120
Volume Combined (vph)	16	0	0	30	14	0
Lane Utilization Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Factor (vph)	0.86	0.85	0.95	1.00	1.00	0.85
Saturated Flow (vph)	1640	0	0	1897	1900	0
Ped Intf Time (s)	0.0	0.0	0.0	0.0	0.0	0.0
Pedestrian Frequency (%)	0.00		0.00		0.00	
Protected Option Allowed	No		No		No	
Reference Time (s)	0.0				0.0	
Adj Reference Time (s)	0.0				0.0	
Permitted Option						
Adj Saturation A (vph)	109		0	1285	1900	
Reference Time A (s)	17.6		0.0	2.8	0.9	
Adj Saturation B (vph)	NA		0	0	1900	
Reference Time B (s)	NA		8.1	9.9	0.9	
Reference Time (s)			2.8		0.9	
Adj Reference Time (s)			8.0		8.0	
Split Option						
Ref Time Combined (s)	1.2		0.0	1.9	0.9	
Ref Time Seperate (s)	0.1		0.1	1.8	0.9	
Reference Time (s)	1.2		1.9	1.9	0.9	
Adj Reference Time (s)	8.0		8.0	8.0	8.0	
Summary	EB		NB SB	Combined		
Protected Option (s)	NA		NA			
Permitted Option (s)	Err		8.0			
Split Option (s)	8.0		16.0			
Minimum (s)	8.0		8.0	16.0		
Right Turns						
Adj Reference Time (s)						
Cross Thru Ref Time (s)						
Oncoming Left Ref Time (s)						
Combined (s)						

**Intersection Summary**  
 Intersection Capacity Utilization 13.3% ICU Level of Service A  
 Reference Times and Phasing Options do not represent an optimized timing plan.

HCM 6th TWSC  
 2: Cass Avenue & South Site Access Drive

02/14/2025

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		↗		↑↑	↑↑	
Traffic Vol, veh/h	0	15	0	1112	1135	2
Future Vol, veh/h	0	15	0	1112	1135	2
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Stop	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	16	0	1209	1234	2

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	-	618	-	0	0
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-
Pot Cap-1 Maneuver	0	437	0	-	-
Stage 1	0	-	0	-	-
Stage 2	0	-	0	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	-	437	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.6	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	-	437	-	-
HCM Lane V/C Ratio	-	0.037	-	-
HCM Control Delay (s)	-	13.6	-	-
HCM Lane LOS	-	B	-	-
HCM 95th %tile Q(veh)	-	0.1	-	-

HCM 6th TWSC  
 3: Cass Avenue & North Site Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	2	0	7	0	0	0	0	1110	2	1	1130	16
Future Vol, veh/h	2	0	7	0	0	0	0	1110	2	1	1130	16
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	98	98	98	98	98	98	98	98	98	98	98	98
Heavy Vehicles, %	50	0	0	0	0	0	0	1	0	0	1	0
Mvmt Flow	2	0	7	0	0	0	0	1133	2	1	1153	16

Major/Minor	Minor2			Major1			Major2					
Conflicting Flow All	1730	2298	585				1169	0	0	1135	0	0
Stage 1	1163	1163	-				-	-	-	-	-	-
Stage 2	567	1135	-				-	-	-	-	-	-
Critical Hdwy	7.8	6.5	6.9				4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.8	5.5	-				-	-	-	-	-	-
Critical Hdwy Stg 2	6.8	5.5	-				-	-	-	-	-	-
Follow-up Hdwy	4	4	3.3				2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	48	39	459				605	-	-	623	-	-
Stage 1	178	271	-				-	-	-	-	-	-
Stage 2	416	280	-				-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	48	0	459				605	-	-	623	-	-
Mov Cap-2 Maneuver	48	0	-				-	-	-	-	-	-
Stage 1	178	0	-				-	-	-	-	-	-
Stage 2	414	0	-				-	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	29.2	0	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	SBL	SBT	SBR
Capacity (veh/h)	605	-	-	158	623	-	-
HCM Lane V/C Ratio	-	-	-	0.058	0.002	-	-
HCM Control Delay (s)	0	-	-	29.2	10.8	0	-
HCM Lane LOS	A	-	-	D	B	A	-
HCM 95th %tile Q(veh)	0	-	-	0.2	0	-	-



HCM 6th TWSC

4: Cass Avenue & Darien Path Way/Old Second National Bank North Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	2	0	1	13	0	10	1	1110	1	2	1133	0
Future Vol, veh/h	2	0	1	13	0	10	1	1110	1	2	1133	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	1	-	-	1	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	0	0	0	0	0	0	0	1	0	50	1	0
Mvmt Flow	2	0	1	14	0	10	1	1156	1	2	1180	0

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	1764	2343	590	1753	2343	579	1180	0	0	1157	0	0
Stage 1	1184	1184	-	1159	1159	-	-	-	-	-	-	-
Stage 2	580	1159	-	594	1184	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.5	6.5	6.9	4.1	-	-	5.1	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.7	-	-
Pot Cap-1 Maneuver	*150	*43	456	*155	*43	*622	599	-	-	*761	-	-
Stage 1	*204	*265	-	*586	*513	-	-	-	-	-	-	-
Stage 2	*586	*513	-	*463	*265	-	-	-	-	-	-	-
Platoon blocked, %	1	1		1	1	1		-	-	1	-	-
Mov Cap-1 Maneuver	*146	*42	456	*153	*42	*622	599	-	-	*761	-	-
Mov Cap-2 Maneuver	*179	*175	-	*302	*175	-	-	-	-	-	-	-
Stage 1	*203	*263	-	*584	*511	-	-	-	-	-	-	-
Stage 2	*574	*511	-	*458	*263	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	21.3	14.9	0	0
HCM LOS	C	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	599	-	-	224	389	*761	-	-
HCM Lane V/C Ratio	0.002	-	-	0.014	0.062	0.003	-	-
HCM Control Delay (s)	11	-	-	21.3	14.9	9.7	-	-
HCM Lane LOS	B	-	-	C	B	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0	0.2	0	-	-

Notes  
 ~: Volume exceeds capacity    \$: Delay exceeds 300s    +: Computation Not Defined    \*: All major volume in platoon

HCM 6th TWSC  
5: Frontage Road & Access Road

02/14/2025

Intersection						
Int Delay, s/veh	0.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↶	↷		↶	↷
Traffic Vol, veh/h	7	236	231	23	20	8
Future Vol, veh/h	7	236	231	23	20	8
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	8	257	251	25	22	9

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	276	0	-	0	537
Stage 1	-	-	-	-	264
Stage 2	-	-	-	-	273
Critical Hdwy	4.1	-	-	-	6.4
Critical Hdwy Stg 1	-	-	-	-	5.4
Critical Hdwy Stg 2	-	-	-	-	5.4
Follow-up Hdwy	2.2	-	-	-	3.5
Pot Cap-1 Maneuver	1299	-	-	-	508
Stage 1	-	-	-	-	785
Stage 2	-	-	-	-	778
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1299	-	-	-	504
Mov Cap-2 Maneuver	-	-	-	-	504
Stage 1	-	-	-	-	780
Stage 2	-	-	-	-	778

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	11.8
HCM LOS			B























Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1299	-	-	-	561
HCM Lane V/C Ratio	0.006	-	-	-	0.054
HCM Control Delay (s)	7.8	0	-	-	11.8
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.2

Capacity Analysis Summary Sheets  
Year 2030 No-Build Weekday Morning Peak Hour

Lanes, Volumes, Timings

1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	146	23	133	109	36	164	82	878	56	58	805	66
Future Volume (vph)	146	23	133	109	36	164	82	878	56	58	805	66
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	0		100	0		95	185		0	210		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	100			25			165			100		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.991			0.989	
Flt Protected		0.959			0.964		0.950			0.950		
Satd. Flow (prot)	0	1751	1583	0	1765	1553	1703	3430	0	1770	3492	0
Flt Permitted		0.553			0.521		0.221			0.203		
Satd. Flow (perm)	0	1010	1583	0	954	1553	396	3430	0	378	3492	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			68			52		7				9
Link Speed (mph)		30			30			40				40
Link Distance (ft)		130			179			615				208
Travel Time (s)		3.0			4.1			10.5				3.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	2%	17%	2%	5%	0%	4%	6%	4%	9%	2%	2%	5%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	197	155	0	169	191	95	1086	0	67	1013	0
Turn Type	Perm	NA	pm+ov	Perm	NA	pm+ov	pm+pt	NA		pm+pt	NA	
Protected Phases		4	5		8	1	5	2		1	6	
Permitted Phases	4		4	8		8	2			6		
Detector Phase	4	4	5	8	8	1	5	2		1	6	
Switch Phase												
Minimum Initial (s)	8.0	8.0	3.0	8.0	8.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	24.0	24.0	9.5	35.0	35.0	9.5	9.5	24.0		9.5	24.0	
Total Split (s)	35.0	35.0	25.0	35.0	35.0	25.0	25.0	60.0		25.0	60.0	
Total Split (%)	29.2%	29.2%	20.8%	29.2%	29.2%	20.8%	20.8%	50.0%		20.8%	50.0%	
Yellow Time (s)	4.5	4.5	3.5	4.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	1.5	1.5	0.0	1.5	1.5	0.0	0.0	1.5		0.0	1.5	
Lost Time Adjust (s)		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)		6.0	3.5		6.0	3.5	3.5	6.0		3.5	6.0	
Lead/Lag			Lead			Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?			Yes			Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)		26.5	40.2		26.5	39.5	81.2	71.0		79.8	70.3	
Actuated g/C Ratio		0.22	0.34		0.22	0.33	0.68	0.59		0.66	0.59	

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

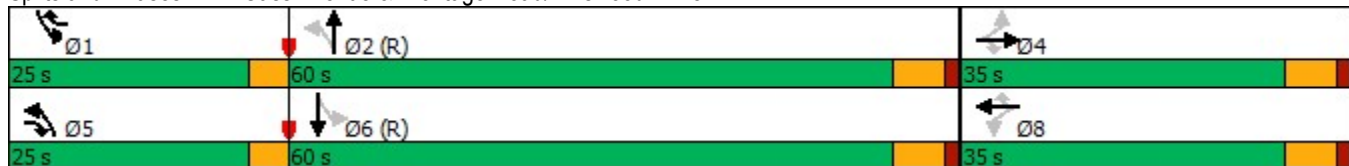


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio		0.88	0.27		0.80	0.35	0.27	0.53		0.20	0.49	
Control Delay		81.7	16.2		71.3	22.8	8.3	16.4		7.8	16.1	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		81.7	16.2		71.3	22.8	8.3	16.4		7.8	16.1	
LOS		F	B		E	C	A	B		A	B	
Approach Delay		52.8			45.6			15.7			15.5	
Approach LOS		D			D			B			B	
Queue Length 50th (ft)		143	45		120	76	24	268		16	245	
Queue Length 95th (ft)		#251	88		#211	128	39	310		29	286	
Internal Link Dist (ft)		50			99			535			128	
Turn Bay Length (ft)			100			95	185			210		
Base Capacity (vph)		246	749		232	727	511	2033		514	2049	
Starvation Cap Reductn		0	0		0	0	0	0		0	0	
Spillback Cap Reductn		0	0		0	0	0	0		0	0	
Storage Cap Reductn		0	0		0	0	0	0		0	0	
Reduced v/c Ratio		0.80	0.21		0.73	0.26	0.19	0.53		0.13	0.49	

Intersection Summary

Area Type: Other  
 Cycle Length: 120  
 Actuated Cycle Length: 120  
 Offset: 25 (21%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green  
 Natural Cycle: 75  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.88  
 Intersection Signal Delay: 23.7  
 Intersection Capacity Utilization 58.8%  
 Analysis Period (min) 15  
 Intersection LOS: C  
 ICU Level of Service B  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Cass Avenue & Frontage Road/Hinswood Drive



Intersection Capacity Utilization  
6: Access Road & East Site Access Drive

02/14/2025



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (vph)	0	12	1	26	10	0
Pedestrians						
Ped Button						
Pedestrian Timing (s)						
Free Right	No				No	
Ideal Flow	1900	1900	1900	1900	1900	1900
Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Green (s)	4.0	4.0	4.0	4.0	4.0	4.0
Refr Cycle Length (s)	120	120	120	120	120	120
Volume Combined (vph)	12	0	0	27	10	0
Lane Utilization Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Factor (vph)	0.85	0.85	0.95	1.00	1.00	0.85
Saturated Flow (vph)	1615	0	0	1896	1900	0
Ped Intf Time (s)	0.0	0.0	0.0	0.0	0.0	0.0
Pedestrian Frequency (%)	0.00		0.00		0.00	
Protected Option Allowed	No		No		No	
Reference Time (s)	0.0				0.0	
Adj Reference Time (s)	0.0				0.0	
Permitted Option						
Adj Saturation A (vph)	108		0	1240	1900	
Reference Time A (s)	13.4		0.0	2.6	0.6	
Adj Saturation B (vph)	NA		0	0	1900	
Reference Time B (s)	NA		8.1	9.7	0.6	
Reference Time (s)				2.6	0.6	
Adj Reference Time (s)				8.0	8.0	
Split Option						
Ref Time Combined (s)	0.9		0.0	1.7	0.6	
Ref Time Seperate (s)	0.0		0.1	1.6	0.6	
Reference Time (s)	0.9		1.7	1.7	0.6	
Adj Reference Time (s)	8.0		8.0	8.0	8.0	
Summary	EB		NB SB	Combined		
Protected Option (s)	NA		NA			
Permitted Option (s)	Err		8.0			
Split Option (s)	8.0		16.0			
Minimum (s)	8.0		8.0	16.0		
Right Turns						
Adj Reference Time (s)						
Cross Thru Ref Time (s)						
Oncoming Left Ref Time (s)						
Combined (s)						

Intersection Summary			
Intersection Capacity Utilization	13.3%	ICU Level of Service	A
Reference Times and Phasing Options do not represent an optimized timing plan.			

HCM 6th TWSC  
 2: Cass Avenue & South Site Access Drive

02/14/2025

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		↗		↑↑	↑↑	
Traffic Vol, veh/h	0	11	0	1188	918	1
Future Vol, veh/h	0	11	0	1188	918	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Stop	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	12	0	1291	998	1

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	-	500	-	0	0
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-
Pot Cap-1 Maneuver	0	522	0	-	-
Stage 1	0	-	0	-	-
Stage 2	0	-	0	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	-	522	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.1	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	-	522	-	-
HCM Lane V/C Ratio	-	0.023	-	-
HCM Control Delay (s)	-	12.1	-	-
HCM Lane LOS	-	B	-	-
HCM 95th %tile Q(veh)	-	0.1	-	-

HCM 6th TWSC  
 3: Cass Avenue & North Site Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	4	0	7	0	0	0	1	1187	0	0	912	19
Future Vol, veh/h	4	0	7	0	0	0	1	1187	0	0	912	19
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	84	84	84	84	84	84	84	84	84	84	84	84
Heavy Vehicles, %	0	0	0	0	0	0	0	4	0	0	3	5
Mvmt Flow	5	0	8	0	0	0	1	1413	0	0	1086	23

Major/Minor	Minor2			Major1			Major2					
Conflicting Flow All	1807	2513	555				1109	0	0	1413	0	0
Stage 1	1098	1098	-				-	-	-	-	-	-
Stage 2	709	1415	-				-	-	-	-	-	-
Critical Hdwy	6.8	6.5	6.9				4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	5.8	5.5	-				-	-	-	-	-	-
Critical Hdwy Stg 2	5.8	5.5	-				-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3				2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	72	29	480				637	-	-	489	-	-
Stage 1	285	291	-				-	-	-	-	-	-
Stage 2	454	206	-				-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	71	0	480				637	-	-	489	-	-
Mov Cap-2 Maneuver	71	0	-				-	-	-	-	-	-
Stage 1	283	0	-				-	-	-	-	-	-
Stage 2	454	0	-				-	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	30.4	0	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	SBL	SBT	SBR
Capacity (veh/h)	637	-	-	155	489	-	-
HCM Lane V/C Ratio	0.002	-	-	0.084	-	-	-
HCM Control Delay (s)	10.7	0	-	30.4	0	-	-
HCM Lane LOS	B	A	-	D	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.3	0	-	-



HCM 6th TWSC

4: Cass Avenue & Darien Path Way/Old Second National Bank North Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	1	0	1	1	0	3	0	1190	1	1	929	0
Future Vol, veh/h	1	0	1	1	0	3	0	1190	1	1	929	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	1	-	-	1	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	83	83	83	83	83	83	83	83	83	83	83	83
Heavy Vehicles, %	0	0	0	0	0	0	0	4	0	0	3	0
Mvmt Flow	1	0	1	1	0	4	0	1434	1	1	1119	0

Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	1838	2556	560	1997	2556	718	-	0	0	1435	0	0
Stage 1	1121	1121	-	1435	1435	-	-	-	-	-	-	-
Stage 2	717	1435	-	562	1121	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.5	6.5	6.9	-	-	-	4.1	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	-	-	-	2.2	-	-
Pot Cap-1 Maneuver	*135	25	477	83	25	*596	0	-	-	796	-	-
Stage 1	*223	284	-	467	429	-	0	-	-	-	-	-
Stage 2	*562	429	-	484	284	-	0	-	-	-	-	-
Platoon blocked, %	1	1		1	1	1		-	-	1		-
Mov Cap-1 Maneuver	*134	25	477	82	25	*596	-	-	-	796	-	-
Mov Cap-2 Maneuver	*189	166	-	254	167	-	-	-	-	-	-	-
Stage 1	*223	283	-	467	429	-	-	-	-	-	-	-
Stage 2	*559	429	-	481	283	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	18.4	13.2	0	0
HCM LOS	C	B		

Minor Lane/Major Mvmt	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	-	-	271	446	796	-	-
HCM Lane V/C Ratio	-	-	0.009	0.011	0.002	-	-
HCM Control Delay (s)	-	-	18.4	13.2	9.5	-	-
HCM Lane LOS	-	-	C	B	A	-	-
HCM 95th %tile Q(veh)	-	-	0	0	0	-	-

Notes  
 ~: Volume exceeds capacity    \$: Delay exceeds 300s    +: Computation Not Defined    \*: All major volume in platoon

HCM 6th TWSC  
5: Frontage Road & Access Road

02/14/2025

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	8	292	165	18	10	12
Future Vol, veh/h	8	292	165	18	10	12
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	9	317	179	20	11	13

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	199	0	-	0	524 189
Stage 1	-	-	-	-	189 -
Stage 2	-	-	-	-	335 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1373	-	-	-	514 853
Stage 1	-	-	-	-	843 -
Stage 2	-	-	-	-	725 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1373	-	-	-	510 853
Mov Cap-2 Maneuver	-	-	-	-	510 -
Stage 1	-	-	-	-	836 -
Stage 2	-	-	-	-	725 -























Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	10.7
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1373	-	-	-	653
HCM Lane V/C Ratio	0.006	-	-	-	0.037
HCM Control Delay (s)	7.6	0	-	-	10.7
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Capacity Analysis Summary Sheets  
Year 2030 No-Build Weekday Evening Peak Hour

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	132	40	90	65	40	123	124	879	85	157	921	95
Future Volume (vph)	132	40	90	65	40	123	124	879	85	157	921	95
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	0		100	0		95	185		0	210		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	100			25			165			100		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.987			0.986	
Flt Protected		0.963			0.970		0.950			0.950		
Satd. Flow (prot)	0	1830	1583	0	1843	1615	1787	3528	0	1787	3493	0
Flt Permitted		0.693			0.550		0.221			0.231		
Satd. Flow (perm)	0	1317	1583	0	1045	1615	416	3528	0	435	3493	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			63			72		11			12	
Link Speed (mph)		30			30			40			40	
Link Distance (ft)		130			179			615			208	
Travel Time (s)		3.0			4.1			10.5			3.5	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	0%	0%	2%	0%	0%	0%	1%	1%	1%	1%	2%	1%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	180	94	0	110	128	129	1005	0	164	1058	0
Turn Type	Perm	NA	pm+ov	Perm	NA	pm+ov	pm+pt	NA		pm+pt	NA	
Protected Phases		4	5		8	1	5	2		1	6	
Permitted Phases	4		4	8		8	2			6		
Detector Phase	4	4	5	8	8	1	5	2		1	6	
Switch Phase												
Minimum Initial (s)	8.0	8.0	3.0	8.0	8.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	24.0	24.0	9.5	35.0	35.0	9.5	9.5	24.0		9.5	24.0	
Total Split (s)	35.0	35.0	25.0	35.0	35.0	25.0	25.0	60.0		25.0	60.0	
Total Split (%)	29.2%	29.2%	20.8%	29.2%	29.2%	20.8%	20.8%	50.0%		20.8%	50.0%	
Yellow Time (s)	4.5	4.5	3.5	4.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	1.5	1.5	0.0	1.5	1.5	0.0	0.0	1.5		0.0	1.5	
Lost Time Adjust (s)		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)		6.0	3.5		6.0	3.5	3.5	6.0		3.5	6.0	
Lead/Lag			Lead			Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?			Yes			Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)		21.9	36.0		21.9	36.8	84.3	73.7		85.9	74.5	
Actuated g/C Ratio		0.18	0.30		0.18	0.31	0.70	0.61		0.72	0.62	

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

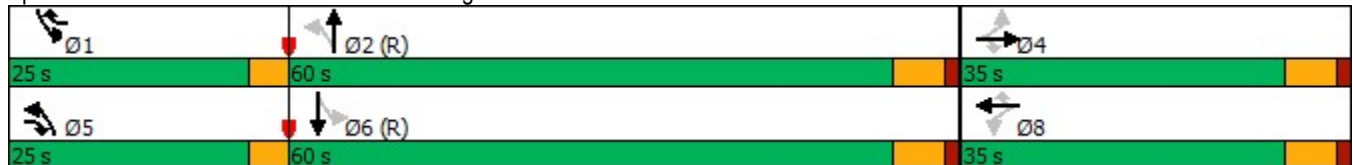


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio		0.75	0.18		0.58	0.23	0.34	0.46		0.40	0.49	
Control Delay		64.8	11.6		55.9	13.7	7.8	14.3		8.3	14.2	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		64.8	11.6		55.9	13.7	7.8	14.3		8.3	14.2	
LOS		E	B		E	B	A	B		A	B	
Approach Delay		46.6			33.2			13.6			13.4	
Approach LOS		D			C			B			B	
Queue Length 50th (ft)		133	17		78	31	25	205		32	216	
Queue Length 95th (ft)		202	51		132	69	53	316		66	330	
Internal Link Dist (ft)		50			99			535			128	
Turn Bay Length (ft)			100			95	185			210		
Base Capacity (vph)		318	688		252	707	552	2169		563	2172	
Starvation Cap Reductn		0	0		0	0	0	0		0	0	
Spillback Cap Reductn		0	0		0	0	0	0		0	0	
Storage Cap Reductn		0	0		0	0	0	0		0	0	
Reduced v/c Ratio		0.57	0.14		0.44	0.18	0.23	0.46		0.29	0.49	

Intersection Summary

Area Type:	Other
Cycle Length:	120
Actuated Cycle Length:	120
Offset:	25 (21%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
Natural Cycle:	75
Control Type:	Actuated-Coordinated
Maximum v/c Ratio:	0.75
Intersection Signal Delay:	18.3
Intersection LOS:	B
Intersection Capacity Utilization	65.1%
ICU Level of Service	C
Analysis Period (min)	15

Splits and Phases: 1: Cass Avenue & Frontage Road/Hinswood Drive



# Intersection Capacity Utilization

## 6: Access Road & East Site Access Drive

02/14/2025



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (vph)	2	14	1	30	14	0
Pedestrians						
Ped Button						
Pedestrian Timing (s)						
Free Right		No				No
Ideal Flow	1900	1900	1900	1900	1900	1900
Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Green (s)	4.0	4.0	4.0	4.0	4.0	4.0
Refr Cycle Length (s)	120	120	120	120	120	120
Volume Combined (vph)	16	0	0	31	14	0
Lane Utilization Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Factor (vph)	0.86	0.85	0.95	1.00	1.00	0.85
Saturated Flow (vph)	1640	0	0	1897	1900	0
Ped Intf Time (s)	0.0	0.0	0.0	0.0	0.0	0.0
Pedestrian Frequency (%)	0.00			0.00	0.00	
Protected Option Allowed	No			No	No	
Reference Time (s)		0.0				0.0
Adj Reference Time (s)		0.0				0.0
Permitted Option						
Adj Saturation A (vph)	109		0	1299	1900	
Reference Time A (s)	17.6		0.0	2.9	0.9	
Adj Saturation B (vph)	NA		0	0	1900	
Reference Time B (s)	NA		8.1	10.0	0.9	
Reference Time (s)				2.9	0.9	
Adj Reference Time (s)				8.0	8.0	
Split Option						
Ref Time Combined (s)	1.2		0.0	2.0	0.9	
Ref Time Seperate (s)	0.1		0.1	1.9	0.9	
Reference Time (s)	1.2		2.0	2.0	0.9	
Adj Reference Time (s)	8.0		8.0	8.0	8.0	
Summary	EB		NB SB	Combined		
Protected Option (s)	NA		NA			
Permitted Option (s)	Err		8.0			
Split Option (s)	8.0		16.0			
Minimum (s)	8.0		8.0	16.0		
Right Turns						
Adj Reference Time (s)						
Cross Thru Ref Time (s)						
Oncoming Left Ref Time (s)						
Combined (s)						

### Intersection Summary

Intersection Capacity Utilization 13.3% ICU Level of Service A  
 Reference Times and Phasing Options do not represent an optimized timing plan.

HCM 6th TWSC  
 2: Cass Avenue & South Site Access Drive

02/14/2025

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		↗		↑↑	↑↑	
Traffic Vol, veh/h	0	15	0	1134	1158	2
Future Vol, veh/h	0	15	0	1134	1158	2
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Stop	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	16	0	1233	1259	2

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	-	631	-	0	0
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-
Pot Cap-1 Maneuver	0	429	0	-	-
Stage 1	0	-	0	-	-
Stage 2	0	-	0	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	-	429	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.7	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	-	429	-	-
HCM Lane V/C Ratio	-	0.038	-	-
HCM Control Delay (s)	-	13.7	-	-
HCM Lane LOS	-	B	-	-
HCM 95th %tile Q(veh)	-	0.1	-	-

HCM 6th TWSC  
 3: Cass Avenue & North Site Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	2	0	7	0	0	0	0	1132	2	1	1153	16
Future Vol, veh/h	2	0	7	0	0	0	0	1132	2	1	1153	16
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	98	98	98	98	98	98	98	98	98	98	98	98
Heavy Vehicles, %	50	0	0	0	0	0	0	1	0	0	1	0
Mvmt Flow	2	0	7	0	0	0	0	1155	2	1	1177	16

Major/Minor	Minor2			Major1			Major2					
Conflicting Flow All	1765	2344	597				1193	0	0	1157	0	0
Stage 1	1187	1187	-				-	-	-	-	-	-
Stage 2	578	1157	-				-	-	-	-	-	-
Critical Hdwy	7.8	6.5	6.9				4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.8	5.5	-				-	-	-	-	-	-
Critical Hdwy Stg 2	6.8	5.5	-				-	-	-	-	-	-
Follow-up Hdwy	4	4	3.3				2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	45	37	451				592	-	-	611	-	-
Stage 1	172	264	-				-	-	-	-	-	-
Stage 2	409	273	-				-	-	-	-	-	-
Platoon blocked, %								-	-		-	-
Mov Cap-1 Maneuver	45	0	451				592	-	-	611	-	-
Mov Cap-2 Maneuver	45	0	-				-	-	-	-	-	-
Stage 1	172	0	-				-	-	-	-	-	-
Stage 2	407	0	-				-	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	30.6	0	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	SBL	SBT	SBR
Capacity (veh/h)	592	-	-	150	611	-	-
HCM Lane V/C Ratio	-	-	-	0.061	0.002	-	-
HCM Control Delay (s)	0	-	-	30.6	10.9	0	-
HCM Lane LOS	A	-	-	D	B	A	-
HCM 95th %tile Q(veh)	0	-	-	0.2	0	-	-



HCM 6th TWSC

4: Cass Avenue & Darien Path Way/Old Second National Bank North Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	2	0	1	13	0	10	1	1132	1	2	1156	0
Future Vol, veh/h	2	0	1	13	0	10	1	1132	1	2	1156	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	1	-	-	1	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	0	0	0	0	0	0	0	1	0	50	1	0
Mvmt Flow	2	0	1	14	0	10	1	1179	1	2	1204	0

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	1800	2390	602	1788	2390	590	1204	0	0	1180	0	0
Stage 1	1208	1208	-	1182	1182	-	-	-	-	-	-	-
Stage 2	592	1182	-	606	1208	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.5	6.5	6.9	4.1	-	-	5.1	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.7	-	-
Pot Cap-1 Maneuver	*135	*38	448	*140	*38	*622	587	-	-	*761	-	-
Stage 1	*197	*258	-	*586	*513	-	-	-	-	-	-	-
Stage 2	*586	*513	-	*456	*258	-	-	-	-	-	-	-
Platoon blocked, %	1	1		1	1	1		-	-	1	-	-
Mov Cap-1 Maneuver	*132	*38	448	*139	*38	*622	587	-	-	*761	-	-
Mov Cap-2 Maneuver	*171	*171	-	*294	*170	-	-	-	-	-	-	-
Stage 1	*196	*256	-	*584	*511	-	-	-	-	-	-	-
Stage 2	*574	*511	-	*451	*256	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	22	15.1	0	0
HCM LOS	C	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	587	-	-	215	381	*761	-	-
HCM Lane V/C Ratio	0.002	-	-	0.015	0.063	0.003	-	-
HCM Control Delay (s)	11.1	-	-	22	15.1	9.7	-	-
HCM Lane LOS	B	-	-	C	C	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0	0.2	0	-	-

Notes  
 ~: Volume exceeds capacity    \$: Delay exceeds 300s    +: Computation Not Defined    \*: All major volume in platoon

HCM 6th TWSC  
5: Frontage Road & Access Road

02/14/2025

Intersection						
Int Delay, s/veh	0.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↶	↷		↶	
Traffic Vol, veh/h	7	241	236	23	20	8
Future Vol, veh/h	7	241	236	23	20	8
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	8	262	257	25	22	9

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	282	0	0	548	270
Stage 1	-	-	-	270	-
Stage 2	-	-	-	278	-
Critical Hdwy	4.1	-	-	6.4	6.2
Critical Hdwy Stg 1	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	5.4	-
Follow-up Hdwy	2.2	-	-	3.5	3.3
Pot Cap-1 Maneuver	1292	-	-	501	774
Stage 1	-	-	-	780	-
Stage 2	-	-	-	774	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1292	-	-	497	774
Mov Cap-2 Maneuver	-	-	-	497	-
Stage 1	-	-	-	775	-
Stage 2	-	-	-	774	-

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	11.9
HCM LOS			B























Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1292	-	-	-	554
HCM Lane V/C Ratio	0.006	-	-	-	0.055
HCM Control Delay (s)	7.8	0	-	-	11.9
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.2

Capacity Analysis Summary Sheets  
Year 2030 Total Projected Weekday Morning Peak Hour

Lanes, Volumes, Timings

1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	162	25	136	109	38	164	98	869	56	58	810	66
Future Volume (vph)	162	25	136	109	38	164	98	869	56	58	810	66
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	0		100	0		95	185		0	210		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	100			25			165			100		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.991			0.989	
Flt Protected		0.958			0.964		0.950			0.950		
Satd. Flow (prot)	0	1750	1583	0	1766	1553	1703	3430	0	1770	3493	0
Flt Permitted		0.558			0.497		0.211			0.204		
Satd. Flow (perm)	0	1019	1583	0	910	1553	378	3430	0	380	3493	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			67			54		7				9
Link Speed (mph)		30			30			40				40
Link Distance (ft)		130			179			615				208
Travel Time (s)		3.0			4.1			10.5				3.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86	0.86
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	2%	17%	2%	5%	0%	4%	6%	4%	9%	2%	2%	5%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	217	158	0	171	191	114	1075	0	67	1019	0
Turn Type	Perm	NA	pm+ov	Perm	NA	pm+ov	pm+pt	NA		pm+pt	NA	
Protected Phases		4	5		8	1	5	2		1	6	
Permitted Phases	4		4	8		8	2			6		
Detector Phase	4	4	5	8	8	1	5	2		1	6	
Switch Phase												
Minimum Initial (s)	8.0	8.0	3.0	8.0	8.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	24.0	24.0	9.5	35.0	35.0	9.5	9.5	24.0		9.5	24.0	
Total Split (s)	35.0	35.0	25.0	35.0	35.0	25.0	25.0	60.0		25.0	60.0	
Total Split (%)	29.2%	29.2%	20.8%	29.2%	29.2%	20.8%	20.8%	50.0%		20.8%	50.0%	
Yellow Time (s)	4.5	4.5	3.5	4.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	1.5	1.5	0.0	1.5	1.5	0.0	0.0	1.5		0.0	1.5	
Lost Time Adjust (s)		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)		6.0	3.5		6.0	3.5	3.5	6.0		3.5	6.0	
Lead/Lag			Lead			Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?			Yes			Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)		28.2	42.4		28.2	41.1	80.1	69.4		77.6	68.1	
Actuated g/C Ratio		0.24	0.35		0.24	0.34	0.67	0.58		0.65	0.57	

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

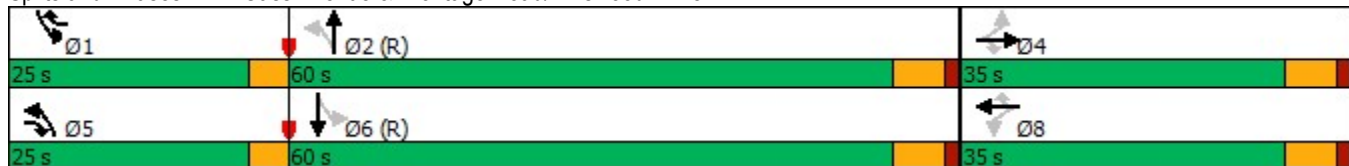


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio		0.91	0.26		0.80	0.34	0.33	0.54		0.21	0.51	
Control Delay		83.8	16.0		70.6	21.8	9.4	17.1		8.2	17.3	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		83.8	16.0		70.6	21.8	9.4	17.1		8.2	17.3	
LOS		F	B		E	C	A	B		A	B	
Approach Delay		55.3			44.9			16.4			16.7	
Approach LOS		E			D			B			B	
Queue Length 50th (ft)		159	46		121	73	29	270		17	254	
Queue Length 95th (ft)		#287	90		#224	127	46	305		29	293	
Internal Link Dist (ft)		50			99			535			128	
Turn Bay Length (ft)			100			95	185			210		
Base Capacity (vph)		250	770		222	749	496	1985		510	1985	
Starvation Cap Reductn		0	0		0	0	0	0		0	0	
Spillback Cap Reductn		0	0		0	0	0	0		0	0	
Storage Cap Reductn		0	0		0	0	0	0		0	0	
Reduced v/c Ratio		0.87	0.21		0.77	0.26	0.23	0.54		0.13	0.51	

Intersection Summary

Area Type: Other  
 Cycle Length: 120  
 Actuated Cycle Length: 120  
 Offset: 25 (21%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green  
 Natural Cycle: 75  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.91  
 Intersection Signal Delay: 24.8  
 Intersection Capacity Utilization 60.2%  
 Analysis Period (min) 15  
 Intersection LOS: C  
 ICU Level of Service B  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Cass Avenue & Frontage Road/Hinswood Drive



Intersection Capacity Utilization  
6: Access Road & Site Access Drive

02/14/2025



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Volume (vph)	0	0	1	51	52	0
Pedestrians						
Ped Button						
Pedestrian Timing (s)						
Free Right	No				No	
Ideal Flow	1900	1900	1900	1900	1900	1900
Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Green (s)	4.0	4.0	4.0	4.0	4.0	4.0
Refr Cycle Length (s)	120	120	120	120	120	120
Volume Combined (vph)	0	0	0	52	52	0
Lane Utilization Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Factor (vph)	0.95	0.85	0.95	1.00	1.00	0.85
Saturated Flow (vph)	1805	0	0	1898	1900	0
Ped Intf Time (s)	0.0	0.0	0.0	0.0	0.0	0.0
Pedestrian Frequency (%)	0.00		0.00		0.00	
Protected Option Allowed	No		No		No	
Reference Time (s)	0.0				0.0	
Adj Reference Time (s)	0.0				0.0	
Permitted Option						
Adj Saturation A (vph)	120		0	1492	1900	
Reference Time A (s)	0.0		0.0	4.2	3.3	
Adj Saturation B (vph)	NA		0	0	1900	
Reference Time B (s)	NA		8.1	11.3	3.3	
Reference Time (s)				4.2	3.3	
Adj Reference Time (s)				8.2	8.0	
Split Option						
Ref Time Combined (s)	0.0		0.0	3.3	3.3	
Ref Time Seperate (s)	0.0		0.1	3.2	3.3	
Reference Time (s)	0.0		3.3	3.3	3.3	
Adj Reference Time (s)	0.0		8.0	8.0	8.0	
Summary						
Protected Option (s)	NA		NA			
Permitted Option (s)	Err		8.2			
Split Option (s)	0.0		16.0			
Minimum (s)	0.0		8.2		8.2	
Right Turns						
Adj Reference Time (s)						
Cross Thru Ref Time (s)						
Oncoming Left Ref Time (s)						
Combined (s)						
Intersection Summary						
Intersection Capacity Utilization	6.8%		ICU Level of Service		A	
Reference Times and Phasing Options do not represent an optimized timing plan.						

HCM 6th TWSC  
 2: Cass Avenue & South Site Access Drive

02/14/2025

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		↗		↑↑	↑↑	
Traffic Vol, veh/h	0	17	0	1195	917	5
Future Vol, veh/h	0	17	0	1195	917	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Stop	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	18	0	1299	997	5

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	-	501	-	0	0
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-
Pot Cap-1 Maneuver	0	521	0	-	-
Stage 1	0	-	0	-	-
Stage 2	0	-	0	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	-	521	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.2	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	-	521	-	-
HCM Lane V/C Ratio	-	0.035	-	-
HCM Control Delay (s)	-	12.2	-	-
HCM Lane LOS	-	B	-	-
HCM 95th %tile Q(veh)	-	0.1	-	-

HCM 6th TWSC  
 3: Cass Avenue & North Site Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	9	0	19	0	0	0	3	1192	0	0	903	36
Future Vol, veh/h	9	0	19	0	0	0	3	1192	0	0	903	36
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	84	84	84	84	84	84	84	84	84	84	84	84
Heavy Vehicles, %	0	0	0	0	0	0	0	4	0	0	3	5
Mvmt Flow	11	0	23	0	0	0	4	1419	0	0	1075	43

Major/Minor	Minor2			Major1			Major2					
Conflicting Flow All	1815	2524	559				1118	0	0	1419	0	0
Stage 1	1097	1097	-				-	-	-	-	-	-
Stage 2	718	1427	-				-	-	-	-	-	-
Critical Hdwy	6.8	6.5	6.9				4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	5.8	5.5	-				-	-	-	-	-	-
Critical Hdwy Stg 2	5.8	5.5	-				-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3				2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	71	28	478				632	-	-	486	-	-
Stage 1	286	291	-				-	-	-	-	-	-
Stage 2	449	203	-				-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	69	0	478				632	-	-	486	-	-
Mov Cap-2 Maneuver	69	0	-				-	-	-	-	-	-
Stage 1	277	0	-				-	-	-	-	-	-
Stage 2	449	0	-				-	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	32.3	0.2	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	SBL	SBT	SBR
Capacity (veh/h)	632	-	-	165	486	-	-
HCM Lane V/C Ratio	0.006	-	-	0.202	-	-	-
HCM Control Delay (s)	10.7	0.2	-	32.3	0	-	-
HCM Lane LOS	B	A	-	D	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.7	0	-	-



HCM 6th TWSC

4: Cass Avenue & Darien Path Way/Old Second National Bank North Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	1	0	1	1	0	3	0	1200	1	1	937	0
Future Vol, veh/h	1	0	1	1	0	3	0	1200	1	1	937	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	1	-	-	1	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	83	83	83	83	83	83	83	83	83	83	83	83
Heavy Vehicles, %	0	0	0	0	0	0	0	4	0	0	3	0
Mvmt Flow	1	0	1	1	0	4	0	1446	1	1	1129	0

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	1854	2578	565	2014	2578	724	-	0	0	1447	0	0
Stage 1	1131	1131	-	1447	1447	-	-	-	-	-	-	-
Stage 2	723	1447	-	567	1131	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.5	6.5	6.9	-	-	-	4.1	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	-	-	-	2.2	-	-
Pot Cap-1 Maneuver	*128	24	473	78	24	*596	0	-	-	781	-	-
Stage 1	*220	281	-	453	420	-	0	-	-	-	-	-
Stage 2	*562	420	-	481	281	-	0	-	-	-	-	-
Platoon blocked, %	1	1		1	1	1		-	-	1	-	-
Mov Cap-1 Maneuver	*127	23	473	78	23	*596	-	-	-	781	-	-
Mov Cap-2 Maneuver	*186	163	-	248	163	-	-	-	-	-	-	-
Stage 1	*220	280	-	453	420	-	-	-	-	-	-	-
Stage 2	*559	420	-	478	280	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	18.6	13.3	0	0
HCM LOS	C	B		

Minor Lane/Major Mvmt	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	-	-	267	441	781	-	-
HCM Lane V/C Ratio	-	-	0.009	0.011	0.002	-	-
HCM Control Delay (s)	-	-	18.6	13.3	9.6	-	-
HCM Lane LOS	-	-	C	B	A	-	-
HCM 95th %tile Q(veh)	-	-	0	0	0	-	-

Notes  
 ~: Volume exceeds capacity    \$: Delay exceeds 300s    +: Computation Not Defined    \*: All major volume in platoon

HCM 6th TWSC  
5: Frontage Road & Access Road

02/14/2025

Intersection						
Int Delay, s/veh	1.3					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	13	289	162	39	34	18
Future Vol, veh/h	13	289	162	39	34	18
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	14	314	176	42	37	20

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	218	0	0	539	197
Stage 1	-	-	-	197	-
Stage 2	-	-	-	342	-
Critical Hdwy	4.12	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	3.518	3.318
Pot Cap-1 Maneuver	1352	-	-	503	844
Stage 1	-	-	-	836	-
Stage 2	-	-	-	719	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1352	-	-	496	844
Mov Cap-2 Maneuver	-	-	-	496	-
Stage 1	-	-	-	825	-
Stage 2	-	-	-	719	-

Approach	EB	WB	SB
HCM Control Delay, s	0.3	0	11.9
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1352	-	-	-	579
HCM Lane V/C Ratio	0.01	-	-	-	0.098
HCM Control Delay (s)	7.7	0	-	-	11.9
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.3

Capacity Analysis Summary Sheets  
Year 2030 Total Projected Weekday Evening Peak Hour

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	152	42	92	65	42	123	143	869	85	157	927	95
Future Volume (vph)	152	42	92	65	42	123	143	869	85	157	927	95
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	0		100	0		95	185		0	210		0
Storage Lanes	0		1	0		1	1		0	1		0
Taper Length (ft)	100			25			165			100		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.987				0.986
Flt Protected		0.962			0.971		0.950			0.950		
Satd. Flow (prot)	0	1828	1583	0	1845	1615	1787	3528	0	1787	3493	0
Flt Permitted		0.687			0.515		0.212			0.233		
Satd. Flow (perm)	0	1305	1583	0	978	1615	399	3528	0	438	3493	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)			62			75		11				12
Link Speed (mph)		30			30			40				40
Link Distance (ft)		130			179			615				208
Travel Time (s)		3.0			4.1			10.5				3.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	0%	0%	2%	0%	0%	0%	1%	1%	1%	1%	2%	1%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	202	96	0	112	128	149	994	0	164	1065	0
Turn Type	Perm	NA	pm+ov	Perm	NA	pm+ov	pm+pt	NA		pm+pt	NA	
Protected Phases		4	5		8	1	5	2		1	6	
Permitted Phases	4		4	8		8	2			6		
Detector Phase	4	4	5	8	8	1	5	2		1	6	
Switch Phase												
Minimum Initial (s)	8.0	8.0	3.0	8.0	8.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	24.0	24.0	9.5	35.0	35.0	9.5	9.5	24.0		9.5	24.0	
Total Split (s)	35.0	35.0	25.0	35.0	35.0	25.0	25.0	60.0		25.0	60.0	
Total Split (%)	29.2%	29.2%	20.8%	29.2%	29.2%	20.8%	20.8%	50.0%		20.8%	50.0%	
Yellow Time (s)	4.5	4.5	3.5	4.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	1.5	1.5	0.0	1.5	1.5	0.0	0.0	1.5		0.0	1.5	
Lost Time Adjust (s)		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)		6.0	3.5		6.0	3.5	3.5	6.0		3.5	6.0	
Lead/Lag			Lead			Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?			Yes			Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)		23.4	38.1		23.4	38.5	83.2	72.0		83.9	72.4	
Actuated g/C Ratio		0.20	0.32		0.20	0.32	0.69	0.60		0.70	0.60	

Lanes, Volumes, Timings  
 1: Cass Avenue & Frontage Road/Hinswood Drive

02/14/2025

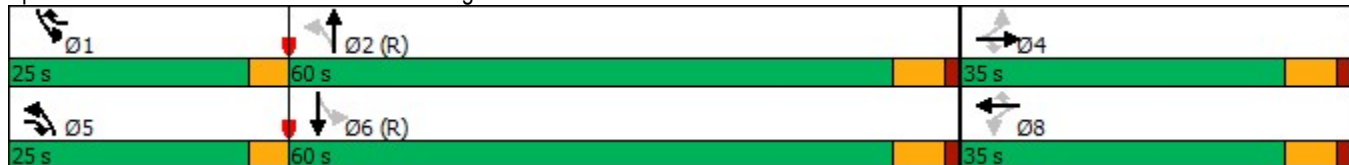


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio		0.79	0.18		0.59	0.23	0.40	0.47		0.40	0.50	
Control Delay		67.3	11.6		55.7	12.7	8.9	15.1		8.8	15.5	
Queue Delay		0.0	0.0		0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay		67.3	11.6		55.7	12.7	8.9	15.1		8.8	15.5	
LOS		E	B		E	B	A	B		A	B	
Approach Delay		49.4			32.7			14.3			14.6	
Approach LOS		D			C			B			B	
Queue Length 50th (ft)		149	18		79	28	31	213		35	234	
Queue Length 95th (ft)		227	52		136	67	60	310		66	338	
Internal Link Dist (ft)		50			99			535			128	
Turn Bay Length (ft)			100			95	185			210		
Base Capacity (vph)		315	707		236	728	538	2121		559	2111	
Starvation Cap Reductn		0	0		0	0	0	0		0	0	
Spillback Cap Reductn		0	0		0	0	0	0		0	0	
Storage Cap Reductn		0	0		0	0	0	0		0	0	
Reduced v/c Ratio		0.64	0.14		0.47	0.18	0.28	0.47		0.29	0.50	

Intersection Summary

Area Type:	Other
Cycle Length:	120
Actuated Cycle Length:	120
Offset:	25 (21%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
Natural Cycle:	75
Control Type:	Actuated-Coordinated
Maximum v/c Ratio:	0.79
Intersection Signal Delay:	19.5
Intersection LOS:	B
Intersection Capacity Utilization	67.2%
ICU Level of Service	C
Analysis Period (min)	15

Splits and Phases: 1: Cass Avenue & Frontage Road/Hinswood Drive



Intersection Capacity Utilization  
6: Access Road & Site Access Drive

02/14/2025



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	WT			WT	WT	
Volume (vph)	2	2	1	61	61	0
Pedestrians						
Ped Button						
Pedestrian Timing (s)						
Free Right	No				No	
Ideal Flow	1900	1900	1900	1900	1900	1900
Lost Time (s)	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Green (s)	4.0	4.0	4.0	4.0	4.0	4.0
Refr Cycle Length (s)	120	120	120	120	120	120
Volume Combined (vph)	4	0	0	62	61	0
Lane Utilization Factor	1.00	1.00	1.00	1.00	1.00	1.00
Turning Factor (vph)	0.90	0.85	0.95	1.00	1.00	0.85
Saturated Flow (vph)	1714	0	0	1898	1900	0
Ped Intf Time (s)	0.0	0.0	0.0	0.0	0.0	0.0
Pedestrian Frequency (%)	0.00		0.00		0.00	
Protected Option Allowed	No		No		No	
Reference Time (s)	0.0				0.0	
Adj Reference Time (s)	0.0				0.0	
Permitted Option						
Adj Saturation A (vph)	114		0	1546	1900	
Reference Time A (s)	4.2		0.0	4.8	3.9	
Adj Saturation B (vph)	NA		0	0	1900	
Reference Time B (s)	NA		8.1	11.9	3.9	
Reference Time (s)			4.8		3.9	
Adj Reference Time (s)			8.8		8.0	
Split Option						
Ref Time Combined (s)	0.3		0.0	3.9	3.9	
Ref Time Seperate (s)	0.1		0.1	3.9	3.9	
Reference Time (s)	0.3		3.9	3.9	3.9	
Adj Reference Time (s)	8.0		8.0	8.0	8.0	
Summary	EB		NB SB	Combined		
Protected Option (s)	NA		NA			
Permitted Option (s)	Err		8.8			
Split Option (s)	8.0		16.0			
Minimum (s)	8.0		8.8	16.8		
Right Turns						
Adj Reference Time (s)						
Cross Thru Ref Time (s)						
Oncoming Left Ref Time (s)						
Combined (s)						
Intersection Summary						
Intersection Capacity Utilization	14.0%		ICU Level of Service		A	
Reference Times and Phasing Options do not represent an optimized timing plan.						

HCM 6th TWSC  
 2: Cass Avenue & South Site Access Drive

02/14/2025

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		↗		↑↑	↑↑	
Traffic Vol, veh/h	0	22	0	1144	1157	7
Future Vol, veh/h	0	22	0	1144	1157	7
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	Stop	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	24	0	1243	1258	8

Major/Minor	Minor2	Major1	Major2		
Conflicting Flow All	-	633	-	0	0
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-
Pot Cap-1 Maneuver	0	427	0	-	-
Stage 1	0	-	0	-	-
Stage 2	0	-	0	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	-	427	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.9	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT EBLn1	SBT	SBR
Capacity (veh/h)	- 427	-	-
HCM Lane V/C Ratio	- 0.056	-	-
HCM Control Delay (s)	- 13.9	-	-
HCM Lane LOS	- B	-	-
HCM 95th %tile Q(veh)	- 0.2	-	-

HCM 6th TWSC  
 3: Cass Avenue & North Site Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	5	0	22	0	0	0	2	1140	2	1	1142	38
Future Vol, veh/h	5	0	22	0	0	0	2	1140	2	1	1142	38
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	98	98	98	98	98	98	98	98	98	98	98	98
Heavy Vehicles, %	50	0	0	0	0	0	0	1	0	0	1	0
Mvmt Flow	5	0	22	0	0	0	2	1163	2	1	1165	39

Major/Minor	Minor2			Major1			Major2					
Conflicting Flow All	1773	2356	602				1204	0	0	1165	0	0
Stage 1	1187	1187	-				-	-	-	-	-	-
Stage 2	586	1169	-				-	-	-	-	-	-
Critical Hdwy	7.8	6.5	6.9				4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.8	5.5	-				-	-	-	-	-	-
Critical Hdwy Stg 2	6.8	5.5	-				-	-	-	-	-	-
Follow-up Hdwy	4	4	3.3				2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	44	36	448				587	-	-	607	-	-
Stage 1	172	264	-				-	-	-	-	-	-
Stage 2	405	269	-				-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	43	0	448				587	-	-	607	-	-
Mov Cap-2 Maneuver	43	0	-				-	-	-	-	-	-
Stage 1	170	0	-				-	-	-	-	-	-
Stage 2	403	0	-				-	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	31.5	0.1	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	SBL	SBT	SBR
Capacity (veh/h)	587	-	-	163	607	-	-
HCM Lane V/C Ratio	0.003	-	-	0.169	0.002	-	-
HCM Control Delay (s)	11.2	0.1	-	31.5	10.9	0	-
HCM Lane LOS	B	A	-	D	B	A	-
HCM 95th %tile Q(veh)	0	-	-	0.6	0	-	-



HCM 6th TWSC

4: Cass Avenue & Darien Path Way/Old Second National Bank North Access Drive

02/14/2025

Intersection												
Int Delay, s/veh	0.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	2	0	1	13	0	10	1	1143	1	2	1167	0
Future Vol, veh/h	2	0	1	13	0	10	1	1143	1	2	1167	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	1	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	0	0	0	0	0	0	0	1	0	50	1	0
Mvmt Flow	2	0	1	14	0	10	1	1191	1	2	1216	0

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	1818	2414	608	1806	2414	596	1216	0	0	1192	0	0
Stage 1	1220	1220	-	1194	1194	-	-	-	-	-	-	-
Stage 2	598	1194	-	612	1220	-	-	-	-	-	-	-
Critical Hdwy	7.5	6.5	6.9	7.5	6.5	6.9	4.1	-	-	5.1	-	-
Critical Hdwy Stg 1	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.5	5.5	-	6.5	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.7	-	-
Pot Cap-1 Maneuver	*128	*36	444	*133	*36	*622	581	-	-	*761	-	-
Stage 1	*194	*255	-	*586	*513	-	-	-	-	-	-	-
Stage 2	*586	*513	-	*452	*255	-	-	-	-	-	-	-
Platoon blocked, %	1	1		1	1	1		-	-	1	-	-
Mov Cap-1 Maneuver	*125	*36	444	*131	*36	*622	581	-	-	*761	-	-
Mov Cap-2 Maneuver	*168	*169	-	*131	*36	-	-	-	-	-	-	-
Stage 1	*193	*253	-	*584	*511	-	-	-	-	-	-	-
Stage 2	*574	*511	-	*447	*253	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	22.2	25.6	0	0
HCM LOS	C	D		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	581	-	-	212	199	*761	-	-
HCM Lane V/C Ratio	0.002	-	-	0.015	0.12	0.003	-	-
HCM Control Delay (s)	11.2	-	-	22.2	25.6	9.7	-	-
HCM Lane LOS	B	-	-	C	D	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0	0.4	0	-	-

Notes  
 ~: Volume exceeds capacity    \$: Delay exceeds 300s    +: Computation Not Defined    \*: All major volume in platoon

HCM 6th TWSC  
5: Frontage Road & Access Road

02/14/2025

Intersection						
Int Delay, s/veh	1.5					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↶	↷		↶	↷
Traffic Vol, veh/h	14	237	232	48	48	15
Future Vol, veh/h	14	237	232	48	48	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	15	258	252	52	52	16

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	304	0	-	0	566 278
Stage 1	-	-	-	-	278 -
Stage 2	-	-	-	-	288 -
Critical Hdwy	4.1	-	-	-	6.4 6.2
Critical Hdwy Stg 1	-	-	-	-	5.4 -
Critical Hdwy Stg 2	-	-	-	-	5.4 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	1268	-	-	-	489 766
Stage 1	-	-	-	-	774 -
Stage 2	-	-	-	-	766 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1268	-	-	-	482 766
Mov Cap-2 Maneuver	-	-	-	-	482 -
Stage 1	-	-	-	-	763 -
Stage 2	-	-	-	-	766 -

Approach	EB	WB	SB
HCM Control Delay, s	0.4	0	12.8
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1268	-	-	-	529
HCM Lane V/C Ratio	0.012	-	-	-	0.129
HCM Control Delay (s)	7.9	0	-	-	12.8
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.4

**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

January 22, 2025

City of Darian  
1702 Plainfield Road  
Darien, Illinois

Attention: Ryan Murphy

Subject: 8226 S. Cass Road – True North Energy LLC  
(CBBEL Project No. 950323.H0266)

Dear Ryan:

As requested on January 21, 2025, we have reviewed the Preliminary Plans for a proposed gas station prepared by RTM Engineering Consultants and dated April 26, 2019. Previously, the site consisted of a separate drive through car wash and mini mart. The proposed project will eliminate the car wash and relocate the mini mart into a larger store where the car wash was originally located.

**Preliminary Plans**

All previous comments have been addressed, and we believe the preliminary engineering plans are now in general compliance with County stormwater management requirements and City code.

As the preliminary final engineering plans were also submitted, the following comments shall be addressed during the Final Engineering Plan Review process upon approval from the Planning and Zoning Commission:

**Final Engineering Plans**Sheet C0.0

1. The owner's contact information shall be added to the cover sheet.
2. Under NOTES, note 2, revise note to state that the contractor shall notify all utility companies at minimum 2 business days before the beginning of construction.
3. The design engineer's stamp and stormwater certification shall be added to the sheet.

Sheet C1.0

4. Under GENERAL NOTES AND CONDITIONS, notes 11 and 12, the 48 hours shall be changed to 2 business days.
5. The existing water service line size shall be specified on the drawing, if known.

Sheet C2.0

6. Specify the distance between bollards for ADA access to the storefront walkway, ensuring sufficient spacing to allow for wheelchair passage.

### Sheet C3.0

7. Provide the vertical crossing elevations for all proposed utility crossings.
8. The proposed 42 LF 12" RCP storm sewer when measured is only 16 LF. This typo should be revised to the correct length.
9. The slope for the 58 LF RCP storm sewer is calculated to be 0.78% instead of 0.74%. Verify and revise accordingly.
10. The slope for the 134 LF RCP storm sewer is calculated to be 0.37% instead of 0.45%. Verify and revise accordingly.
11. Provide the proposed rim and invert elevations, the proposed slopes, and connect invert to the proposed 18" storm sewer.
12. We note that an existing telecommunications line is located within the footprint of the proposed underground storage tanks and will likely need to be removed and relocated.
13. Callout the relocated water service from the connection point to the building. Also provide the material and size of the water service.

### Sheet C4-0

14. Provide grading cross-section details of the ADA parking stall and the accessible route to the entrance, ensuring full ADA compliance.
15. The proposed 727 contour at the southern entrance along S. Cass Avenue should end at the back of the curb. The contour also extends beyond the existing 727 contour within the grass area south of the entrance, disrupting the existing 726 and 725 contours. The grading in this area must be revised accordingly to allow adequate drainage.
16. Provide details regarding the trickle channel and proposed grades along the channel.
17. The proposed contour lines at the south end of the detention pond are missing their elevation callout.
18. The proposed 727 contour line shown passing through the building shall terminate at the building's edge.
19. The proposed 726.76 spot elevation appears to have a typo, the elevation would create a high point, disrupting the flow line towards the northeast storm inlet.

### Sheet C5.0

20. The construction fencing shall be shown to block access from the joint drive to the south.
21. Provide silt fencing or a ditch check within the proposed detention basins near the south inflow and outflow culvert.
22. If soil stockpiles will be utilized, then a location shall be specified.
23. The site's portable toilet location shall be specified.

### **General Comments**

24. Provide manufacturer details for the proposed 6' Dia restrictor manhole specifying elevations and flow rates.
25. We note that the only lighting proposed consists of the existing fixtures and those associated with the gas pump canopy. If additional lighting is to be proposed, it shall be depicted on the plans and a photometric plan shall be added to the plan set.

26. Provide details regarding the proposed retaining wall with structural calculations.
27. An oil and grease interceptor shall be considered before stormwater enters the restrictor or detention basins as “good practice”.
28. The Preliminary Stormwater Narrative indicates that the proposed net new impervious area is approximately 6340 SF. The stormwater ordinance requires Best Management Practices (BMPs) for all new impervious areas if the net new impervious area is 2500 SF or greater. This can be addressed in the final stormwater report.

If you have any questions, please contact me.

Sincerely,

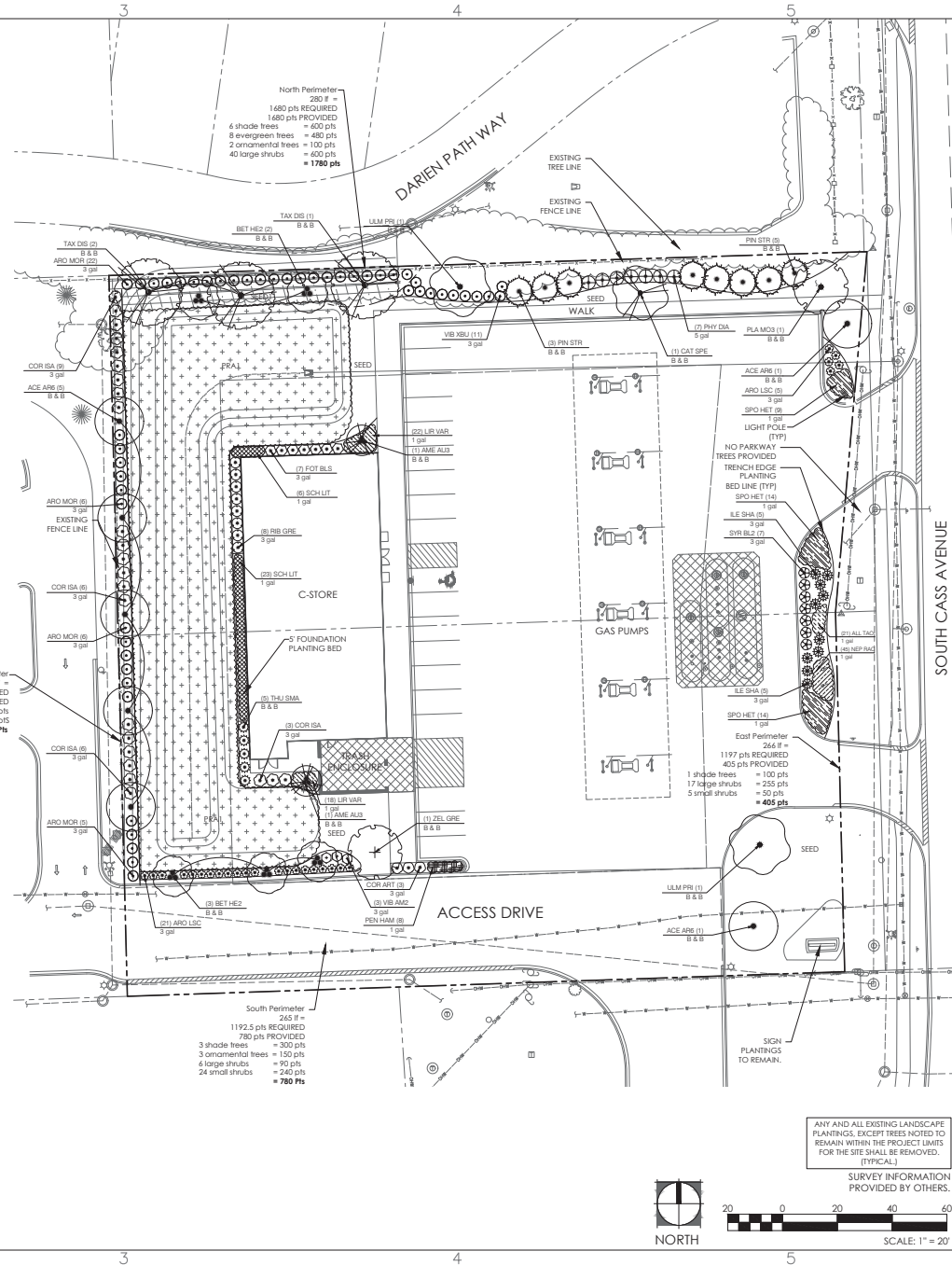


Daniel L. Lynch, PE, CFM  
Vice President, Head Municipal Engineering Department

Cc Dan Gombac, City of Darien

PLANT SCHEDULE

Table with columns: CODE, BOTANICAL / COMMON NAME, CONT, SIZE, QTY, REMARKS. Includes sections for TREES, SHRUBS, and GROUND COVERS.



SEED1 (WITH BLANKET): No Mow. Includes a product image for Mattenson Turf Products, Inc. and a 'PREMIUM TURF' label.

Table for PR1 (WITH BLANKET) listing numerous plant species and their quantities. Includes a note about 'Minimum Seed Mixture'.



TRUE NORTH  
8226 South Cass Avenue  
Darien, Illinois 60541



1167 Hobson Mill Drive  
Naperville, Illinois 60540  
Telephone: (630) 606-0776  
www.design-perspectives.net

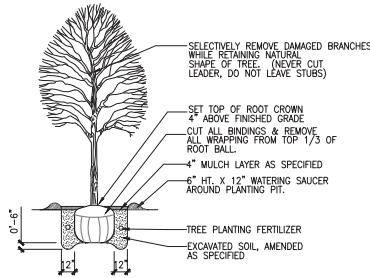
In association with  
rtm  
engineering consultants  
650 E. Algonquin Road  
Suite 250  
Schamburg, IL 60173  
Telephone: (847) 756 - 4180  
www.rtmec.com  
Design Firm: 184006777-0002

Table with columns: REV., COMMENT, DATE. Includes a 'SEAL:' section with a circular professional seal.

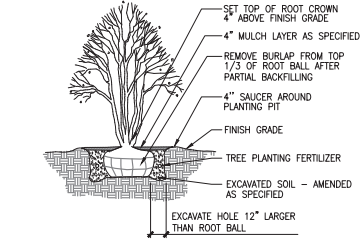
DATE: 1/17/2025  
JOB NO.: 24-3711J  
DRAWN BY: TS  
CHECKED BY: TS

LANDSCAPE PLAN

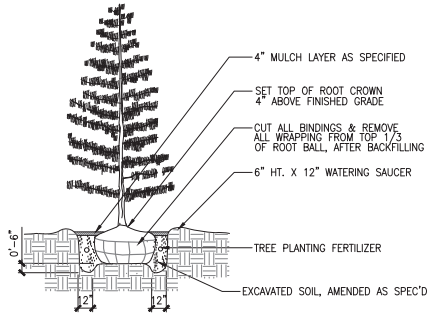
SCALE: 1" = 20'



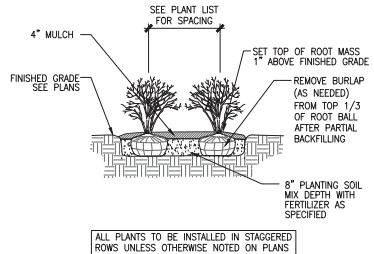
○ SHADE TREE PLANTING  
SCALE: 1/4"=1'-0"



○ ORNAMENTAL TREE PLANTING  
SCALE: 1/4"=1'-0" DT-ornamtree-gn

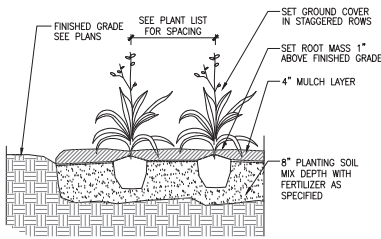


○ EVERGREEN TREE PLANTING  
SCALE: 1/4"=1'-0" DT-evergreen-gn

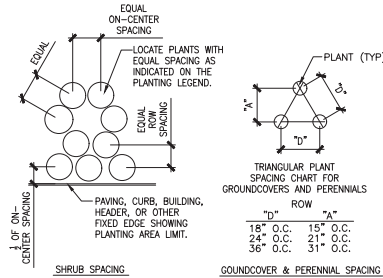


○ SHRUB PLANTING  
SCALE: 1/2"=1'-0" DT-shrub-gn

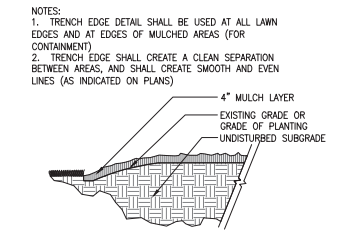
ALL PLANTS TO BE INSTALLED IN STAGGERED ROWS UNLESS OTHERWISE NOTED ON PLANS



○ GROUNDCOVER PLANTING  
SCALE: 1"=1'-0" DT-groundcover-gn



○ PLANT SPACING DETAIL  
SCALE: 1/2"=1'-0" DT-plantspc-gn



○ TRENCH EDGE DETAIL  
SCALE: 1"=1'-0" DT-trench-gn

NOTES:

- TRENCH EDGE DETAIL SHALL BE USED AT ALL LAWN EDGES AND AT EDGES OF MULCHED AREAS (FOR CONTAINMENT)
- TRENCH EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS, AND SHALL CREATE SMOOTH AND EVEN LINES (AS INDICATED ON PLANS)

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. SEE CONSTRUCTION NOTES.
- DO NOT WILLFULLY PROCEED WITH PLANTINGS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY NECESSARY REVISIONS AND COSTS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AND/OR SUPPLIERS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- THE LANDSCAPE CONTRACTOR IS TO RECEIVE THE SITE AT +/- 1/10TH OF AN INCH. THE LANDSCAPE CONTRACTOR SHALL OBTAIN A LETTER OF GRADE FROM THE GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.
- REFER TO SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION.
- ALL TREES SHALL BE TAGGED BY THE PROJECT MANAGER AT A NURSERY SELECTED BY THE LANDSCAPE CONTRACTOR OR AT THE DISCRETION OF THE PROJECT MANAGER.

○ PLANTING NOTES  
SCALE: N/A DT-plantnote-gn

- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF THE PROJECT MANAGER PRIOR TO DIGGING ANY HOLES. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROJECT MANAGER ADEQUATE ADVANCE NOTICE FOR ON-SITE APPROVALS. THE LANDSCAPE CONTRACTOR IS TO FOLLOWING BEFORE BEGINNING INSTALLING PLANTINGS:
- SHRUBS - LAY OUT THE ACTUAL CONTAINERS ON-SITE BEFORE DIGGING HOLES.
- TREES - STAKE THE LOCATIONS BEFORE DIGGING HOLES. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE PROJECT MANAGER MAY BE REQUESTED TO BE RELOCATED AT THE SOLE EXPENSE OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AT LEAST 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
- IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE PROJECT MANAGER FOR RESOLUTION.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANTS FREE OF PESTS AND/OR DISEASES. PRE-SELECTED OR "PROJECT MANAGER TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.

- GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS INDICATED ON THE PLANS.
- ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, UNLESS OTHERWISE NOTED.
- ALL TREES, SHRUB AND GROUNDCOVER AREAS (EXCLUDING TURF AND SLOPE AREAS) ARE TO BE MULCHED PER DETAILS.
- ALL MULCH TO BE DOUBLE SHREDDED HARDWOOD MULCH, BROWN IN COLOR MINIMUM 4" THICK.
- TREES SHALL BE SET BACK A MINIMUM OF TEN FEET (10') HORIZONTALLY FROM UTILITY STRUCTURES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES, FIRE HYDRANTS, TRANSFORMERS AND SWITCH CANS. TREES SHALL BE SET BACK A MINIMUM OF FIVE (5') HORIZONTALLY FROM SANITARY SEWER AND WATER SERVICES. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS UNDER THE APPROVAL OF OWNER.
- PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.
  - SPRING PLANTING: 5/1 - 6/15
  - FALL PLANTING: 9/15 - 12/1



TRUE NORTH  
8226 South Cass Avenue  
Darien, Illinois 60561



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In association with



650 E. Algonquin Road  
Suite 250  
Schaumburg, IL 60173  
Telephone: (847) 756-4180  
www.rtmec.com  
Design Firm: 184006777-0002

REV.	COMMENT	DATE

SEAL:



DATE: 1/17/2025  
JOB NO.: 24-3711J  
DRAWN BY: TS  
CHECKED BY: TS

DRAWING TITLE:  
LANDSCAPE DETAILS

SHEET NO.:  
LP-500





December 4, 2024

Mr. Ryan Murphy  
Senior Planner  
City of Darien  
1702 Plainfield Rd.  
Darien, IL 60561

RE: 8226 Cass Avenue – BP Gas Stations Renovation  
Zoning Variation Justification Narrative

Dear Mr. Murphy,

Thank you for providing clarity and information regarding the zoning review process. On behalf of True North Energy LLC. We have prepared a justification narrative of zoning variation requests for the proposed renovation of the fueling station and car wash on the subject property.

The intent of the owner is to perform a full tear down and renovation of the property which includes a new servicing island and canopy for six pumps and a new convenience storefront that is a hallmark of True North’s unique touch to the latest in fueling stations. The car wash facility will not be returned in this renovation.

The following Variances are requested from O-31-85:

General Conditions

- 3. No alcoholic beverages shall be sold from the facility.  
**Request to amend to allow Alcohol sales.**

Landscaping and Fencing

- 1. The owner shall install an eight foot (8’) high stockade-type fence along the north two-hundred twenty-five feet (225’) of the western perimeter of the subject property.  
**Request to amend to defer to the proposed landscaping plan.**
- 2. A fence shall be constructed along the west two-hundred forty feet (240’) of the northern property line with the first two-hundred twenty feet (220’) being eight feet (8’) in height, and the next ten feet (10’) being six feet (6’) in height, with the next ten feet (10’) being four feet (4’), or such other acceptable method of constructl.ng the fence as the city and shell may agree. The remaining portion of the north property line shall be landscaped with low-line vegetation. However, in the event it is determined that the-eastern building line of the residence to the immediate north of the subject property is set back less than sixty feet (60’) from the property line along Cass Avenue, the owner shall

*National Resources, Local Relationships*

California | Colorado | Florida | Illinois | Indiana  
Iowa | Kansas | Maryland | Missouri | Texas | Washington | Wisconsin





extend the fence along the northern property line of the subject property so that said fence extends at least ten feet (10') east of said building line.

**The referenced residence to the north is no longer present. Request to amend to defer to the proposed landscape plan.**

In accordance with Section 5A-2-2-3 of the City Code the new design will impact the following items of Special Use Ordinance O-31-85. **Responses will be in bold:**

Decision Criteria (See City Code Section 5A-2-2-3)

- 2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.  
**A significant component of the viability of True North's convenience stores features the sale of Alcohol. Three of the four other gas stations within Darien currently serve alcohol. A copy of True North's alcohol training and enforcement policy is also attached for your benefit. If alcohol is not permitted True North has indicated that the cost to update is not viable. Considering the site is currently a fueling station anticipated impacts would be minimal considering the use is being retained.**
- 2b. The plight of the owner is due to unique circumstances.  
N/A
- 2c. The variation if granted will not alter the essential character of the locality.  
**The intended use as a fueling station will remain.**
- 3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.  
**Regarding landscaping, the physical constraints of the site affect the density of allowable plantings to the updated ordinance. The neighboring property to the north is a detention basin. The east property is along Cass (DuDOT) and is subject to DuDOT provisions. The southern property is an access road for the banquet hall to the west. The west boundary has a fence outlined in the special use ordinance and is bounded by the detention basin. The proposed landscaping would not be visible with the fence in place. What is proposed has more density than the requirements of O-31-85.**
- 3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.  
N/A
- 3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.  
**Regarding landscaping the maximum attainable density is provided on the plan. Additional efforts would have impacts on the engineering design elements of the site**



**and could potentially alter the number of pumps available for use. This in turn would affect the financial feasibility of the project.**

- 3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.  
**With regard to landscaping and the removal of the car wash this design would be an improvement along neighboring properties that would be a benefit.**
- 3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.  
N/A
- 3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.  
**The new aesthetic features of the convenience store, landscaping, and improved stormwater storage would be an improvement to the area. In addition, the removal of the car wash would also benefit with less noise.**
- 3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.  
**It is our position that the proposed variations meet the intent of the Zoning Code.**

We appreciate your time and consideration in reviewing the enclosed documents. Please do not hesitate to contact us with any additional questions or concerns you may have.

Sincerely,

RTM Engineering Consultants, LLC.

A handwritten signature in blue ink, appearing to read 'Chris Palmer', written over a light blue horizontal line.

Christopher J. Palmer, P.E. – Senior Civil Engineer

### Special Use and Variation Criteria

The criteria that the Planning, Zoning and Economic Development Commission and City Council must consider when acting on a request for a Special Use and Variation are included below.

#### Special Use Criteria:

*No special use shall be recommended to the City Council by the Plan Commission, nor approved by the City Council, unless findings of fact have been made on those of the following factors which relate to the special use being sought:*

- 1. That the special use is deemed necessary for the public convenience at the location specified.*
- 2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.*
- 3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
- 4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
- 5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*
- 6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
- 7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
- 8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.*

#### Variation Criteria:

*The City may grant variations based on the finding-of-fact that supports the following criteria outlined below by the City to be the most relevant to the subject property situation.*

- a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.*
- b) The plight of the owner is due to unique circumstances.*
- c) The variation if granted will not alter the essential character of the locality.*
- d) Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.*
- e) Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this*

*title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.*

- f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.*
- g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.*
- h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.*
- i) Net Benefit: The positive impacts to the community outweigh the negative impacts.*
- j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows: to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.*

**CITY OF DARIEN  
DU PAGE COUNTY, ILLINOIS**

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**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE APPROVING A SPECIAL USE AMENDMENT AND  
VARIATIONS FROM THE DARIEN ZONING ORDINANCE**

**(PZC 2024-14: 8226 Cass Avenue, True North Energy, LLC)**

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**ADOPTED BY THE  
MAYOR AND CITY COUNCIL  
OF THE  
CITY OF DARIEN**

**THIS 21<sup>ST</sup> DAY OF APRIL, 2025**

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**Published in pamphlet form by authority of the  
Mayor and City Council of the City of Darien,  
DuPage County, Illinois, this \_\_\_\_\_ day  
of April, 2025.**

**ORDINANCE NO.** \_\_\_\_\_

**AN ORDINANCE APPROVING A SPECIAL USE AMENDMENT AND VARIATIONS FROM THE DARIEN ZONING ORDINANCE**

**(PZC 2024-14: 8226 Cass Avenue, True North Energy, LLC)**

**WHEREAS**, the City of Darien is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution of 1970; and

**WHEREAS**, as a home rule unit of local government, the City may exercise any power and perform any function pertaining to its government except as limited by Article VII, Section 6; and

**WHEREAS**, the property described in Section 1 of this Ordinance (the “Subject Property”) is currently zoned General Business District (B-3); and

**WHEREAS**, the City received a petition requesting a Special Use Amendment for an amendment to the Special Use Permit which previously permitted the construction and operation of an automobile service station, drive-through car wash, and mini-mart, to allow for the demolition of the existing car wash and mini-mart, and the relocation/expansion of the mini-mart, along with variations from the Zoning Ordinance (the “Petition”); and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Darien Zoning Ordinance, a public hearing was conducted by the Planning, Zoning and Economic Commission on March 5, 2025 to consider the Petition; and

**WHEREAS**, based upon the evidence, testimony, and exhibits presented at the March 5, 2025 public hearing, the Planning, Zoning and Economic Commission voted 7-0 to recommend approval of the Petition to the Municipal Services Committee and City Council; and

**ORDINANCE NO.** \_\_\_\_\_

**WHEREAS**, based upon the evidence, testimony, and exhibits presented at the March 5, 2025 Municipal Services Committee meeting, the Committee unanimously recommended approval of the Petition at its meeting on March 24, 2025; and

**WHEREAS**, the City Council has reviewed the findings and recommendations described above and hereby determines to grant the petition subject to the terms, conditions, and limitations described herein below.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS,** as follows:

**SECTION 1: Subject Property.** The property which is the subject of this Ordinance is generally located at 8226 Cass Avenue and legally described as follows (“Subject Property”):

THE EAST 280.0 FEET OF LOT 1 (EXCEPT THE EAST 15 FEET THEREOF) AND ALSO THE EAST 280.0 FEET OF LOT 2, (EXCEPT THAT PART THEREOF LYING EAST OF A LINE DRAWN FROM THE NORTHEAST CORNER OF LOT 2 TO A POINT 15 FEET WEST OF THE SOUTHWEST CORNER OF LOT 2), IN SMART ACRES, BEING A SUBDIVISION OF THE SOUTH ½ OF THE NORTHEAST ¼ OF SECTION 33, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 21, 1947 AS DOCUMENT 532141, IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-33-205-036-0000

**SECTION 2: Special Use Amendment Approved.** The City Council hereby approves an amendment to the special use for the Subject Property to permit the demolition of the existing car wash and mini-mart, and the relocation/expansion of the mini-mart.

**SECTION 3: Variations Approved.** The City Council hereby approves the following variations from the Zoning Ordinance and Sign Code:

**ORDINANCE NO.** \_\_\_\_\_

- A. A variation from Section 5A-8-4-8(B)(2) of the City Zoning Code to allow for parking areas near the northern property line to be located within the 30-foot parking setback.
- B. A variation from Section 5A-10-6 of the City Zoning Code to allow for no landscape islands to be provided in the parking area directly in front of the mini-mart.
- C. A variation from Section 5A-10-5 of the City Zoning Code to allow for less perimeter landscaping than would otherwise be required at the eastern, western, and southern property lines, in lieu of the proposed landscaping.

**SECTION 4: Conditions.** Approval is subject to the following conditions:

- 1. Prior to issuance of a certificate of occupancy, the petitioner shall complete pavement rehabilitation or resurfacing of those portions of the shared access drive that are located on the subject property that are generally in disrepair to the satisfaction of the Director of Community Development.
- 2. The developer/petitioner shall comply with the comments and requirements within the letter from Christopher B. Burke Engineering, LTE dated January 22, 2025.
- 3. Comply with all requirements of the original ordinance, including fencing, but excluding landscaping as amended herein.
- 4. Replace or provide signage to clarify existing right-in and right-out access on Cass Avenue.

**SECTION 5: Superseding Clause.** All code provisions, ordinances, resolutions, rules and orders, or parts thereof, in conflict herewith are, to the extent of such conflict, hereby superseded.

**SECTION 6:** This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law. It is the intent of the corporate authorities of the City of Darien that to the extent that the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supercede state law in that regard within its jurisdiction.

**SECTION 7: Effective Date.** This Ordinance shall be in full force and effect from and after its passage and approval, and shall subsequently be published in pamphlet form as provided by law.



**ORDINANCE NO.** \_\_\_\_\_

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DUPAGE COUNTY,  
ILLINOIS**, this 21<sup>st</sup> day of April, 2025.

**AYES:** \_\_\_\_\_

\_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DUPAGE COUNTY,  
ILLINOIS**, this 21<sup>st</sup> day of April 2025.

\_\_\_\_\_  
JOSEPH A. MARCHESE, MAYOR

**ATTEST:**

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

**APPROVED AS TO FORM:**

\_\_\_\_\_  
CITY ATTORNEY

MOTION NO. \_\_\_\_\_

**AGENDA MEMO**  
**City Council**  
**April 21, 2025**

**ISSUE STATEMENT**

A motion to adopt the [Memorandum of Understanding \(MOU-Exhibit A\)](#) regarding social worker services between Northeast DuPage Family and Youth Services (NEDFYS) and the Darien Police Department.

**BACKUP**

**BACKGROUND/HISTORY**

The Darien Police Department's mission is to provide Darien's residents and visitors with the highest quality services possible and to take the steps necessary to keep Darien a safe city. Police Staff would like to enter into this Memorandum of Understanding (MOU) to mutually promote the mental health and social service needs of Darien residents.

Northeast DuPage Family and Youth Services (NEDFYS) is a community-based organization that provides high quality, accessible mental health, and social services to underserved and diverse residents of DuPage County. NEDFYS works with children, adolescents, adults, and families from diverse backgrounds to promote physical and mental wellness, healthy relationships, and cognitive and social skill development.

NEDFYS provides social workers to police departments in order to enhance service to the community and achieve the following goals:

- Increased access to community-based behavioral health care and domestic violence services
- Reduced need for emergency room transports and hospital police presence
- Expedited response time for mental health calls and facilitate a quicker return to patrol
- Decreased arrests and jail admissions
- Decreased repeat encounters with police
- Improve community relations
- Improved officer, consumer, and community safety

The term of this MOU is May 1, 2025-April 30, 2026. The total cost of services for this contract is not to exceed \$22,500.

**STAFF/COMMITTEE RECOMMENDATION**

The Police Committee recommends approving the plan.

**ALTERNATE CONSIDERATION**

As recommended by the Committee.

**DECISION MODE**

This item will be placed on the April 21, 2025 City Council agenda for formal consideration.

MOTION NO. \_\_\_\_\_

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF  
DARIEN, DU PAGE COUNTY, ILLINOIS, this 21<sup>st</sup> day of April, 2025.**

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_



**Memorandum of Understanding  
Between Northeast DuPage Family and Youth Services (NEDFYS) and  
Darien Police Department**

**Overview**

Northeast DuPage Family and Youth Services (NEDFYS) is a community-based organization that provides high quality, accessible mental health, and social services to underserved and diverse residents of DuPage County. NEDFYS works with children, adolescents, adults, and families from diverse backgrounds to promote physical and mental wellness, healthy relationships, and cognitive and social skill development.

As part of our mission, NEDFYS provides social workers to police departments in order to enhance service to the community and achieve the following goals:

- Increased access to community-based behavioral health care and domestic violence services
- Reduced need for emergency room transports and hospital police presence
- Expedited response time for mental health calls and facilitate a quicker return to patrol
- Decreased arrests and jail admissions
- Decreased repeat encounters with police
- Improve community relations
- Improved officer, consumer, and community safety

The Darien Police Department’s mission is to provide Darien’s residents and visitors with the highest quality services possible and to take the steps necessary to keep Darien a safe city. Together, the Parties enter into this Memorandum of Understanding (MOU) to mutually promote the mental health and social services needs of Darien residents.

**Term of MOU**

The term of this MOU is May 1, 2025-April 30, 2026.

**Cost for Services**

The total cost for services for this contract is not to exceed **\$22,500**

## **Staffing**

NEDFYS will provide the Darien Police Department with a social worker for up to 12 hours/week for the term of the contract. Selection of the social worker will be done in collaboration with the PD to ensure the most appropriate fit.

Position requirements:

- Master's degree and partial or full licensure (LPC, LSW, LCSW, LCPC, LMFT) maintained for the duration of employment;
- 3+ years of experience working with high-risk adolescents and families
- 3+ years of experience with mental health crisis intervention
- Experience with domestic violence victims/Certified Domestic Violence Professional (CDVP) 40-hour training a plus
- Ability to partner effectively and work cooperatively with law enforcement personnel in a police setting
- Excellent oral and written communication skills
- Flexible, organized, and resourceful
- Knowledge of trauma treatment modalities

NEDFYS will provide at least one master's level intern (up to 8 hours per week) to support the social worker. Interns are supervised by fully licensed clinicians and can provide services such as short-term counseling, crisis stabilization, case management, and safety planning.

### **NEDFYS Roles and Responsibilities:**

Under this MOU, NEDFYS agrees to provide the following:

- Follow-up on police referrals for mental health emergencies and ongoing resident needs
- On-site response to mental health crisis situations once active scene is secured
- Case management and immediate linkage to community resources
- Short-term counseling sessions to achieve crisis stabilization
- Suicide and mental health assessments
- Assistance with DCFS calls
- Assistance with issues related to homelessness, food insecurity, and other basic needs
- 24/7 on-call coverage for social service emergencies; remote and in-person responses as needed\*
- “Walk in” services for community residents during designated office hours
- Domestic violence counseling, safety planning and resource linkage
- Extended case management for residents with complex and ongoing needs
- Home visits for targeted residents (accompanied by police officers)
- Outreach and training for community residents, city officials, and police department staff
- Participation in roll calls and regular ride alongs with officers
- Open communication and collaboration with referring officers
- Participation in city, department, and community meetings and events to promote the police social work program
- Must successfully pass a comprehensive criminal background check, including a fingerprint inquiry
- Take CJIS yearly test to comply with CJIS
- Must adhere to all police department policies, including but not limited to: Workplace Violence Prevention, Workplace Harassment Prevention, and the Drug and Alcohol-Free Workplace Policy

NEDFYS will provide the police social worker with a laptop computer and basic office supplies.

### **\*24/7 On-Call System**

The 24/7 on-call system can be used, subject to the availability of the social worker, for urgent mental health or other related community emergencies that fall outside of the normal working hours of the social worker. Normal working hours for the social worker are agreed upon by NEDFYS and the police department.

These services are available, subject to the social worker’s availability, at the rate of \$50/hour and include direct services such as phone/remote consultations, on-scene response, and travel time to/from the scene. Indirect services in follow-up to a crisis response such as gathering collateral information, documentation time, and supervisor consultation are billed at the regular hourly rate for the police social worker.

### **PD Role and Responsibilities**

Under this MOU, the Police Department agrees to provide the following:

- Office and meeting space in the police department to perform administrative and client service functions
- Police reports and other documentation needed to facilitate proper incident follow-up
- Assigned staff member to serve as the main point of contact for the social worker and serve as the liaison between the social worker, patrol, and administration
- Access to officers and staff and ensure officers are trained to work with the social worker and provide necessary support for joint interventions
- Regular and open communication for case follow-ups, community outreach, and to report on program effectiveness
- Intermittent use of office equipment as needed to perform duties (copy, scan, etc.)

### **Liability Insurance**

NEDFYS maintains insurance which covers its personnel and liability for providing identified services. NEDFYS will provide a certificate of insurance in a form acceptable to the City.

### **Modification of Agreement**

The terms of this agreement may be amended or modified in writing and signed by both parties.

### **Termination of Agreement**

Either party may terminate this agreement providing 60 days' written notice to the other party.

### **Invoicing and Payment for Services**

NEDFYS will provide the City of Darien with an invoice for allowable costs under this contract on or before the 10th of each month.

Allowable costs under this agreement include:

- Salary for assigned social worker
- Fringe benefit allocation for assigned social worker
- Indirect costs billed at 10% of monthly expenses (payroll services, liability insurance, workmen's compensation, accounting services, electronic health record, fiscal/administrative costs).

Payment to NEDFYS shall be made pursuant to the Illinois Prompt Payment Act (50 ILCS 505) either via electronic funds transfer or by check. If by check, payment should be sent to the following address:

Northeast DuPage Family and Youth Services  
777 Army Trail Blvd, Flr. 2  
Addison, IL 60101  
Attn: Shannon Hartnett

The signing of this MOU is not a formal undertaking. It implies that the signatories will strive to reach, to the best of their ability, the objectives stated in the MOU.

\_\_\_\_\_  
City of Darien

\_\_\_\_\_  
Shannon Hartnett  
Executive Director  
NEDFYS

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date



## Kane County Sheriff's Office



37W755 IL Rt 38 • St Charles, IL 60175  
Tel: (630) 232-6840 • Fax: (630) 513-6984  
[www.KaneSheriff.com](http://www.KaneSheriff.com)

Ron Hain, Sheriff

Amy Johnson, Undersheriff

April 4<sup>th</sup>, 2025

To whom it may concern,

It is with great enthusiasm and confidence that I recommend Sabrina Shirley for a position within your agency. I had the distinct pleasure of working closely with Sabrina during her internship with our social work program at the Kane County Sheriff's Office, and I believe that she would be an outstanding addition to your team.

From the moment Sabrina started her internship, it was clear she was passionate about making a meaningful difference. She brought both a deep commitment to social work and an innate ability to connect with people, qualities that are so valuable in the sensitive work we do. She approached every situation with empathy, professionalism, and a deep understanding of the complexities of the justice system. Sabrina's competency in handling challenging situations with composure and insight will help her thrive in your department. She has effectively handled challenging situations with patience, tact, and a calm demeanor, excelling in conflict resolution and de-escalation, especially in tense or emotional circumstances.

Beyond her impressive skills and knowledge, Sabrina is an incredibly kind and genuine person. Her ability to make people feel heard and valued, even in difficult times, is an invaluable asset in any setting, particularly in law enforcement. Sabrina's positive attitude and enthusiasm are contagious, and she naturally builds strong, trusting relationships with both colleagues and clients.

In short, Sabrina brings a combination of skills, compassion, and professionalism that will make a meaningful impact in your department and the community. It has been a privilege to work with her, and I wholeheartedly recommend her. Please feel free to contact me if you need further information.

Sincerely,

**Desi (Desiree) Avitia, LCSW, CDVP**

**Social Worker #2030**

*Certified Clinical Trauma Professional (CCTP)*

*Office: 630-444-3374 Cell: 224-523-5318 Email: [avitiadesiree@kanecountyil.gov](mailto:avitiadesiree@kanecountyil.gov)*

**AGENDA MEMO**  
**City Council**  
**April 21, 2025**

**ISSUE STATEMENT**

Approval of an ordinance authorizing the sale or disposal of surplus property.

**ORDINANCE**

**BACKGROUND/HISTORY**

Staff is requesting that the following property be declared as surplus property and auctioned using an on-line auction service, GovDeals.com, or disposed of:

ITEM	EXPLANATION
1. (1) 410X HP Toner Cartridge - Black	No longer needed
2. (1) 410X HP Toner Cartridge - Magenta	No longer needed.
3. (1) Microline 590 Printer (HTEPS044P1) - PW	No longer needed
4. (1) HP Keyboard ((BAUDR0JVBZ3CFZ) - PW	No longer needed
5. (1) Makita Cordless Driver Drill (6092D) with the battery charger - PW	No longer needed
6. (8) Can lights – PW	No longer needed
7. (1) Hot Wheels Bicycle (SN#DJMB004662)	No longer needed
8. (1) Kent 1800 Abyss Bicycle (SN#AH21D020087)	No longer needed
9. (1) Kent 10 Speed Bicycle (no serial #)	No longer needed
10. (1) Genesis GS 29 Bicycle (SN#GS32926WMA)	No longer needed
11. (1) Trek Navigator 200 Bicycle (SN#TTK3ED1165)	No longer needed
12. (1) Magna Bicycle (SN#DJHD167919)	No longer needed
13. (1) Diamondback Bicycle (SN#02J0026347	No longer needed
14. (1) Northwoods Springdale Bicycle (GC080114908)	No longer needed
15. (1) Spector Bicycle (SN#6240407438)	No longer needed
16. (1) Roadmaster Bicycle (SN#FS10G22539)	No longer needed
17. (1) Mongoose Bicycle (SN#FSD21L398)	No longer needed
18. (1) Huffy Rockcreek Bicycle (SN#HTM23C06853)	No longer needed
19. (1) Kent Terra 2.0 Bicycle (SN#XD160705493)	No longer needed
20. (1) Asus Computer Monitor (Serial#K9LMTF109642)	No longer works
21. (1) 2018 Ford Explorer D11 (Vin#1FM5K8AR2JGC74557)	No longer works
22. (1) 2018 Ford Explorer D1 (Vin#1FM5K8AR2JGC74560)	No longer needed
23. (1) 2018 Ford Explorer D5 (Vin#1FM5K8AR0JGC74556)	No longer needed
24. (6) Dodge Durango rear seats	No longer needed
25. (9) Dodge Durango rear cargo compartments	Not needed

Staff recommends the above be declared surplus property and disposed of or auctioned using GovDeals.com.

**ALTERNATE CONSIDERATION**

As recommended.

**DECISION MODE**

This item will be placed on the April 21, 2025 City Council Agenda for formal approval.

**CITY OF DARIEN**

**DU PAGE COUNTY, ILLINOIS**

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**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AUTHORIZING THE SALE  
OF PERSONAL PROPERTY  
OWNED BY THE CITY OF DARIEN**

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**ADOPTED BY THE**

**MAYOR AND CITY COUNCIL**

**OF THE**

**CITY OF DARIEN**

**THIS 21<sup>st</sup> DAY OF APRIL, 2025**

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**Published in pamphlet form by authority  
of the Mayor and City Council of the City  
of Darien, DuPage County, Illinois, this  
\_\_\_\_\_ day of April, 2025.**

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AUTHORIZING THE SALE  
OF PERSONAL PROPERTY  
OWNED BY THE CITY OF DARIEN**

WHEREAS, in the opinion of at least three fourths of the corporate authorities of the City of Darien, it is no longer necessary or useful, or for the best interests of the City of Darien, to retain ownership of the personal property hereinafter described; and

WHEREAS, it has been determined by the Mayor and City Council of the City of Darien to sell said personal property at a Public Auction or dispose of said property.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

**SECTION 1:** The Mayor and City Council of the City of Darien find that the following described personal property, now owned by the City of Darien, is no longer necessary or useful to the City of Darien and the best interests of the City of Darien will be served by auctioning it using GovDeals.com or disposing of said property.

<b>ITEM</b>	<b>EXPLANATION</b>
1. (1) 410X HP Toner Cartridge - Black	No longer needed
2. (1) 410X HP Toner Cartridge - Magenta	No longer needed.
3. (1) Microline 590 Printer (HTEPS044P1) - PW	No longer needed
4. (1) HP Keyboard ((BAUDR0JVBZ3CFZ) - PW	No longer needed
5. (1) Makita Cordless Driver Drill (6092D) with the battery charger - PW	No longer needed
6. (8) Can lights – PW	No longer needed
7. (1) Hot Wheels Bicycle (SN#DJMB004662)	No longer needed
8. (1) Kent 1800 Abyss Bicycle (SN#AH21D020087)	No longer needed
9. (1) Kent 10 Speed Bicycle (no serial #)	No longer needed
10. (1) Genesis GS 29 Bicycle (SN#GS32926WMA)	No longer needed

**ORDINANCE NO.** \_\_\_\_\_

11. (1) Trek Navigator 200 Bicycle (SN#TTK3ED1165)	No longer needed
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19. (1) Kent Terra 2.0 Bicycle (SN#XD160705493)	No longer needed
20. (1) Asus Computer Monitor (Serial#K9LMTF109642)	No longer works
21. (1) 2018 Ford Explorer D11 (Vin#1FM5K8AR2JGC74557)	No longer works
22. (1) 2018 Ford Explorer D1 (Vin#1FM5K8AR2JGC74560)	No longer needed
23. (1) 2018 Ford Explorer D5 (Vin#1FM5K8AR0JGC74556)	No longer needed
24. (6) Dodge Durango rear seats	No longer needed
25. (9) Dodge Durango rear cargo compartments	Not needed

**SECTION 2:** The City Administrator is hereby authorized and directed to sell the aforementioned personal property, now owned by the City of Darien. Items will be auctioned using GovDeals.com or disposing of said property.

**SECTION 3:** This Ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such Ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent that the terms of this Ordinance should be inconsistent with any non-preemptive state law, that this Ordinance shall supersede state law in that regard within its jurisdiction.

**SECTION 4:** This Ordinance shall be in full force and effect from and after its passage and

**ORDINANCE NO.** \_\_\_\_\_

approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 21<sup>st</sup> day of April, 2025.

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 21<sup>st</sup> day of April, 2025.

\_\_\_\_\_  
JOSEPH A. MARCHESE, MAYOR

**ATTEST:**

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

**APPROVED AS TO FORM:**

\_\_\_\_\_  
CITY ATTORNEY

**AGENDA MEMO**  
**CITY COUNCIL MEETING**  
**APRIL 21, 2025**

**ISSUE STATEMENT**

Consideration of an ordinance amending Section 3-3-7-5(C) of the City Code to expand the number of Class E liquor licenses from four (4) to five (5).

**ORDINANCE**

**BACKGROUND**

*Class E Licenses*

True North Energy, LLC (“True North”) has submitted a request to expand the number of Class E licenses, which allow for the retail sale of prepackaged beer and wine for off-premise consumption, from four (4) to five (5) (see [Attachment “A”](#)). True North previously applied for a Class E liquor license for the Shell gas station located at 8226 S. Cass Avenue, which could not be processed due to the City having already issued the maximum number of licenses per the ordinance. If this ordinance is adopted increasing the number of Class E licenses, a subsequent application for 8226 S. Cass Avenue will be made by True North.

True North Energy, LLC has also submitted a petition (PZC2024-14) to remodel the existing gas station site, with a proposal to remove the existing drive-through carwash and construct an architecturally enhanced mini-mart, along with various drainage and site improvements – which has been placed on the consent calendar for this meeting following unanimous recommendations for approval of the petition from the Planning, Zoning and Economic Development Commission and the Municipal Services Committee.

**ANALYSIS**

Section 3-3-7-5(C) of the City Code establishes a maximum of four (4) Class E licenses (see [Attachment “B”](#)). This category of liquor license authorizes the sale at retail of beer and wine in original package only but not for consumption on the premises of sale. Prepackaged food must also be sold and no seats for consumption of food on the premises may be present. All four current Class E licenses are held by gas stations in the City (see [Attachment “C”](#)).

As recently as the year 2020, five (5) Class E licenses were allowed. On August 3, 2020, the City Council approved an ordinance increasing the number of Class A licenses (to include the sale of spirits) from ten (10) to eleven (11), to allow Darien Pantry to upgrade from a Class E license to a Class A license (to include the sale of spirits), and also reduce the number of Class E licenses to four (4).

Mayor Marchese as Liquor Commissioner supports the request, and has reviewed True North’s business practices and training procedures to ensure there will be no impact to the public health, safety, and welfare.

**ATTACHMENTS**

- A. Letter requesting amendment of Section 3-3-7-5(C) of the City Code
- B. Description of liquor license classes



C. List of liquor licenses currently issued by class

**COMMITTEE RECOMMENDATION**

There were no requirements for committee recommendations on these items.

**ALTERNATE CONSIDERATIONS**

As directed by City Council.

**DECISION MODE**

This item will be placed on the April 21, 2025 City Council agenda for consideration.

MEMO

**LYDEN, CHAPPELL & DEWHIRST, LTD.**

ATTORNEYS AT LAW  
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 Lambertville, Michigan 48144  
 (419) 867-8900  
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Other Locations:  
 1041 S. Reynolds Rd.  
 Toledo, OH 43615

Patricia G. Lyden\*  
 Erik G. Chappell\*  
 Peter A. Dewhirst\*  
 Amy M. Waskowiak\*  
 Julie A. Douglas\*  
 Lacey L. Riley\*  
 David K. Kaiser\*  
 \*Also Admitted in Ohio

February 10, 2025

Maria Gonzalez  
 City of Darien  
 City Clerk's Office  
 1702 Plainfield Road  
 Darien, Illinois 60561

Re: 8226 South Cass Avenue, Darien, IL 60561

Dear Ms. Gonzalez:

We represent True North Energy, LLC ("True North") which was founded in 1999. True North is a family-run company and values the hard work and dedication of its team members and is one of the largest Shell Branded Wholesalers in the country. True North has an ever-growing footprint with stores primarily located in Ohio, Illinois, Wisconsin and Michigan. True North operates with the highest level of integrity by being honest and fair, embraces diversity by respecting the rights and dignity of all people, provides for the health and safety of their guests.

We understand the importance of complying with all relevant laws and regulations regarding the sale and service of alcohol.

True North owns the above property and is in the process of purchasing the assets and business at the property from Marjen, Inc. True North will continue to operate the Shell station located at the above Premises. True North currently operates 183 sites with liquor licenses in Ohio, Michigan, Wisconsin and Illinois.

Store operations will include strict protocol for employees to check photo ID before any attempted purchase, thus denying those who are underage or do not have photo ID the right to purchase alcohol and tobacco products.

All customers will be asked to show photo ID before making a purchase. If a customer does not have photo ID or is underage, the purchase will be rejected, and the individual will be asked to leave the premises immediately. Should the employee get pushback, the police will be notified immediately.

Employee training will include mandatory participation in online courses and seminars that stress the importance of safety measures regarding underage drinking and substance and alcohol abuse. All employees will learn how to verify a license and when to deny a sale.

True North is requesting City Council to amend Section 3-3-7-5 of the City Code to increase the number of licenses allowed so True North would be able to obtain an E License in order to sell beer and wine at the Premises and would appreciate it if you would consider submitting their request to Council for approval of obtaining a liquor license.

Thank you for your time and attention to this matter. Please do not hesitate to contact me if you require any additional information or documentation.

Sincerely,

Lyden, Chappell & Dewhirst, Ltd.

A handwritten signature in black ink, appearing to read 'Patricia G. Lyden', written in a cursive style.

Patricia G. Lyden

**3-3-7: CLASSIFICATION OF LICENSES AND FEES:****3-3-7-1: CLASS A LICENSE:**

(A) A Class A license shall authorize sale at retail of alcoholic liquor in the original package but not for consumption on the premises of sale. Provided, however, that the Commissioner may authorize the licensed premises to offer liquor samples without charge to invitees as part of a promotional or advertising program. The granting of permission to give away such liquor samples shall be within the sole discretion of the Commissioner who shall be petitioned in writing to allow such a promotional or advertising activity at least three (3) days prior to the date upon which such activity is proposed to take place. It shall be unlawful for such an advertising or promotional activity to take place without the prior permission of the Commissioner.

(B) It shall be unlawful for any person to sell or offer for sale at retail any alcoholic liquor in the original package but not for consumption on the premises of sale in the City between one minute past twelve o'clock (12:01) A.M. and seven o'clock (7:00) A.M.

(C) The number of Class A licenses shall be ten (10).

(D) The annual fee for a Class A license shall be one thousand five hundred dollars (\$1,500.00). (Ord. 0-39-94, 9-19-1994; amd. Ord. 0-12-16, 4-4-2016; Ord. 0-03-17, 4-3-2017; Ord. 0-16-20, 8-3-2020; Ord. O-16-22, 8-1-2022)

**3-3-7-2: CLASS B LICENSE:**

(A) The Class B license shall authorize the sale at retail and serving of alcoholic liquor at a banquet hall or similar facility (where the predominant purpose of the premises is the holding of private or limited parties or events) only for consumption on the premises of the sale, provided such sale and serving is accessory to the main purpose of operating a banquet hall or similar facility on the premises. (Ord. 0-39-94, 9-19-1994)

(B) It shall be unlawful for any person to sell or offer for sale at retail and it shall be unlawful to serve alcoholic liquor on the premises of such facility in the City between two o'clock (2:00) A.M. and eleven o'clock (11:00) A.M., except on Sundays when it shall be unlawful for any person to sell or offer for sale at retail and to serve alcoholic liquor on the premises of sale in the City between two o'clock (2:00) A.M. and twelve o'clock (12:00) noon. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve. (Ord. 0-19-03, 4-21-2003)

(C) The annual fee for a Class B license shall be two thousand dollars (\$2,000.00).

(D) The number of Class B licenses shall be one (1). (Ord. 0-39-94, 9-19-1994)

**3-3-7-3: CLASS C LICENSE:**

(A) A Class C license shall authorize the sale at retail and serving of alcoholic liquor for a country club (public/semipublic/private) only for consumption on the premises of the sale, provided such sale and serving is accessory to the main purpose of operating a country club on the premises. Serving of alcoholic liquor at a counter or bar shall be allowed under a Class C license to seated customers only. (Ord. 0-39-94, 9-19-1994)

(B) It shall be unlawful for any person to sell or offer for sale at retail and it shall be unlawful to serve alcoholic liquor in the City between one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except on Sundays when it shall be unlawful to sell or offer for sale at retail and to serve alcoholic liquor in the City between one o'clock (1:00) A.M. and ten o'clock (10:00) A.M. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve. (Ord. 0-24-14, 7-7-2014)

(C) The annual fee for a Class C license shall be two thousand dollars (\$2,000.00).

(D) The number of Class C licenses shall be one (1).

(E) Live music shall be permitted. Such music may be provided by a band, musical group or an individual playing an instrument. No person providing such music shall be under the age of eighteen (18). Such music shall be for the dancing or listening pleasure of patrons only. (Ord. 0-39-94, 9-19-1994)

**3-3-7-4: CLASS D LICENSE:**

(A) A Class D license shall authorize the sale at retail and serving of alcoholic liquor at a counter or bar and at tables, provided such operation is carried on in conjunction with a restaurant operation serving a menu offering complete meals. The bar service or service at tables where a full menu is not available shall take place in a separate room from the full menu restaurant operation. (Ord. 0-39-94, 9-19-1994)

(B) It shall be unlawful for any person to sell or offer for sale alcoholic liquor in conjunction with a Class D liquor license between one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except on Saturdays and Sundays when it shall be unlawful for anyone to sell or offer for sale alcoholic liquor under a Class D liquor license between the hours of two o'clock (2:00) A.M. and ten o'clock (10:00) A.M. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve. (Ord. 0-16-13, 8-5-2013)

(C) Live music shall be permitted. Such music may be provided by a band, musical group or an individual playing an instrument. No person providing such music shall be under the age of eighteen (18). Such music shall be for the dancing or listening pleasure of patrons only. (Ord. 0-39-94, 9-19-1994)

(D) The number of Class D licenses shall be ten (10). (Ord. 0-05-17, 4-3-2017; amd. Ord. O-06-21, 5-3-2021)

(E) The annual fee for a Class D license shall be two thousand dollars (\$2,000.00). (Ord. 0-39-94, 9-19-1994)

**3-3-7-5: CLASS E LICENSE:**

(A) A Class E license shall authorize the sale at retail of beer and wine in original package only but not for consumption on the premises of sale. Such license shall be authorized only at such location where prepackaged food is also sold and only in such locations where there are no seats for consumption of food on the premises. (Ord. 0-18-09, 6-15-2009)

(B) It shall be unlawful for any person to sell or offer for sale at retail any beer or wine in the original package but not for consumption on the premises of sale in the City between one minute past twelve o'clock (12:01) A.M. and seven o'clock (7:00) A.M., except on Sundays when it shall be unlawful for anyone to sell or offer for sale any beer or wine at retail in the original package but not for consumption on the premises of sale between the hours of one minute past twelve o'clock (12:01) A.M. and nine o'clock (9:00) A.M. (Ord. 0-41-08, 11-17-2008)

(C) The number of Class E licenses shall be four (4). (Ord. 0-07-12, 2-21-2012; amd. Ord. 0-16-20, 8-3-2020)

(D) The annual fee for a Class E license shall be one thousand five hundred dollars (\$1,500.00). (Ord. 0-39-94, 9-19-1994)

### **3-3-7-6: CLASS F LICENSE:**

(A) A Class F license shall only authorize the sale at retail of beer and wine for consumption at tables on the premises of sale provided such sale and serving is accessory to the main purpose of serving food on the premises or on a carryout basis. Beer shall be sold only by the glass or pitcher. Wine shall be sold only by glass or carafe.

(B) The serving of beer or wine for consumption while seated at a counter or bar shall not be permitted under a Class F license.

(C) Delivery of beer or wine by the license holder or his employees with carryout orders shall not be permitted under a Class F license.

(D) It shall be unlawful for any person to sell or offer for sale beer or wine in conjunction with a Class F liquor license between one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except on Sundays when it shall be unlawful for anyone to sell or offer for sale beer or wine under a Class F liquor license between the hours of one o'clock (1:00) A.M. and twelve o'clock (12:00) noon. The Commissioner may extend the hours for lawful sale and service of beer and wine on special occasions such as New Year's Eve.

(E) A Class F liquor license, where issued, shall be for an establishment which caters principally to elementary aged schoolchildren and their families. Entertainment in the form of theatrical or musical presentations directed toward children and their families shall be permitted within such an establishment. The use of automatic amusement devices shall be allowed at such an establishment to the extent that they are otherwise permitted by the ordinances of the City.

(F) The number of Class F licenses shall be one (1).

(G) The annual fee for a Class F license shall be one thousand five hundred dollars (\$1,500.00). (Ord. 0-39-94, 9-19-1994)

### **3-3-7-7: CLASS G LICENSE:**

(A) A Class G license shall authorize the sale at retail of alcoholic liquor in the original package for consumption off the premises and for consumption on the premises of sale. (Ord. 0-39-94, 9-19-1994)

(B) It shall be unlawful for any person to sell or offer for sale at retail in the City between one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except on Saturdays when it shall be unlawful for any person to sell or offer for sale at retail or serve for consumption on the premises in the City between two o'clock (2:00) A.M. and eleven o'clock (11:00) A.M. and on Sundays when it shall be unlawful for any person to sell or offer for sale at retail or serve for consumption on the premises in the City between two o'clock (2:00) A.M. and eleven o'clock (11:00) A.M. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve. (Ord. 0-22-14, 7-7-2014)

(C) The number of Class G licenses shall be one (1).

(D) The annual fee for a Class G license shall be two thousand dollars (\$2,000.00). (Ord. 0-39-94, 9-19-1994)

### **3-3-7-8: CLASS H LICENSE:**

(A) A Class H license shall authorize the sale at retail of alcoholic liquor for consumption on the premises and the sale at retail of beer and wine in original package but not for consumption on the premises of sale, provided such sale and serving is accessory to the main purpose of the sale of food on a carryout basis.

(B) It shall be unlawful for any person to sell or offer for sale at retail in the City between one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except on Sundays when it shall be unlawful for any person to sell or offer for sale at retail or serve for consumption on the premises in the City between one o'clock (1:00) A.M. and twelve o'clock (12:00) noon. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve. (Ord. 0-39-94, 9-19-1994)

(C) The number of Class H licenses shall be two (2). (Ord. 0-12-17, 7-17-2017)

(D) The annual fee for a Class H license shall be two thousand five hundred dollars (\$2,500.00). (Ord. 0-39-94, 9-19-1994)

### **3-3-7-9: CLASS I LICENSE:**

(A) A Class I license shall authorize the sale at retail of alcoholic liquor for consumption on the premises, provided such sale and serving is accessory to the main purpose of operating an approved amusement premises for which all permits have been previously granted by the City Council. (Ord. 0-39-94, 9-19-1994)

(B) It shall be unlawful for any person to sell or offer to sell at retail or serve for consumption on the premises alcoholic liquor in the City between one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except on Saturdays when it shall be unlawful for any person to sell or offer for sale at retail or serve for consumption on the premises in the City between two o'clock (2:00) A.M. and eleven o'clock (11:00) A.M., and on Sundays when it shall be unlawful for any person to sell or offer for sale at retail or serve for consumption on the premises in the City between two o'clock (2:00) A.M. and twelve o'clock (12:00) noon. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve. (Ord. 0-41-08, 11-17-2008)

(C) The number of Class I licenses shall be one (1).

(D) The annual fee for a Class I license shall be two thousand five hundred dollars (\$2,500.00). (Ord. 0-39-94, 9-19-1994)

### **3-3-7-10: CLASS J LICENSE:**

Temporary license, daily fee.

(A) A Class J license shall authorize the sale at retail of alcoholic liquor for consumption only at the location and on the specified dates designated for the special event in the license. Such temporary liquor licenses may be granted to organizations and clubs such as, but not limited to, veterans' organizations, educational, fraternal, political, civic, religious or other nonprofit organizations.

(B) A Class J license shall be granted on a day to day basis, but not to exceed three (3) consecutive days. The Class J license shall authorize the sale of alcoholic liquor for consumption only at the location until twelve o'clock (12:00) midnight on Friday and Saturday and until nine o'clock (9:00) P.M. on Sunday. An applicant for a temporary liquor license must submit with the application proof satisfactory to the Commissioner that the applicant shall provide dramshop liability insurance in the maximum limits. (Ord. 0-27-16, 8-1-2016)

(C) The fee for a Class J license shall be fifty dollars (\$50.00) per day. (Ord. 0-39-94, 9-19-1994)

### **3-3-7-11: CLASS K LICENSE:**

(A) A Class K license shall authorize the sale at retail of beer and wine for consumption on the premises of sale or at tables, provided such sale and serving is accessory to the main purpose of serving food on the premises or on a carryout basis.

(B) It shall be unlawful for any person to sell or offer for sale beer or wine in conjunction with a Class K liquor license between one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except Sundays when it shall be unlawful for anyone to sell or offer for sale beer or wine under a Class K liquor license between the hours of one o'clock (1:00) A.M. and twelve o'clock (12:00) noon. The Commissioner may extend the hours for lawful sale and service of beer and wine on special occasions such as New Year's Eve.

(C) The number of Class K licenses shall be four (4).

(D) The annual fee for a Class K license shall be one thousand five hundred dollars (\$1,500.00). (Ord. 0-39-94, 9-19-1994; amd. Ord. 0-24-16, 7-18-2016; Ord. 0-27-19, 11-4-2019; Ord. 0-10-20, 6-15-2020; Ord. 0-17-22, 9-6-2022)

### **3-3-7-12: CLASS L LICENSE:**

(Rep. by Ord. 0-37-12, 10-15-2012)

### **3-3-7-13: CLASS M LICENSE:**

(A) A Class M license shall authorize the sale at retail and serving of alcoholic liquor at a counter or bar and at tables in premises operated by a nonprofit organization for members of the organization, their guests, and public patrons. The sale and consumption of alcoholic liquor shall be limited to the premises.

(B) It shall be unlawful for any person to sell or offer for sale alcoholic liquor in conjunction with a Class M liquor license between eleven o'clock (11:00) P.M. and eleven o'clock (11:00) A.M. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve.

(C) The number of Class M licenses shall be one. (Ord. 0-12-18, 5-7-2018)

(D) The annual fee for a Class M license shall be one thousand dollars (\$1,000.00).

(E) All proceeds and profits made pursuant to the operation of a business activity under this license shall be for a lawful nonprofit organization. No officer or owner of any licensee under this section shall individually receive any remuneration or compensation from the business activities pursuant to this license. (Ord. 0-26-13, 10-7-2013)

### **3-3-7-14: CLASS N LICENSE:**

(A) A Class N license shall authorize the on premises consumption and retail sale of craft beer where the premises is that of a brewing facility. For the purposes of this subsection, "brewing facility" is defined as a place in which the primary business is the manufacturing, packaging, distribution, sale and storage of craft beer produced on the premises in compliance with Federal and State laws. The following regulations shall apply to the Class N license:

1. No more than a total of fifty thousand (50,000) gallons of beer shall be sold at retail in growlers, cans and/or bottles for off premises consumption per year.

2. All growlers, cans and beers sold at retail for off premises consumption must be properly sealed.

3. Retail sales for off premises consumption and on premises consumption shall be limited to the retail portion of the licensed premises; except, however, on premises consumption may be allowed in other areas of the licensed premises during supervised tours and private events. The retail portion of the licensed premises shall not exceed three thousand (3,000) square feet.

4. Product sampling shall be permitted in accordance with State law, at no charge.

5. Patrons under twenty one (21) years of age shall be allowed on the premises when accompanied by a person twenty one (21) years of age or older; except, however, classes and seminars on alcoholic related subjects shall only be open to patrons twenty one (21) years and older.

6. Live entertainment is restricted to the indoor retail portion of the premises; except, however, live entertainment may be permitted in other indoor areas of the licensed premises during private events. (Ord. 0-34-14, 11-3-2014)

(B) It shall only be lawful to sell at retail or offer for sale at retail craft beer in conjunction with a Class N liquor license for off premises and/or on premises consumption between twelve o'clock (12:00) noon and eleven o'clock (11:00) P.M., Sunday through Saturday. Except, however, private events shall not be restricted to the above hours. For private events it shall be unlawful to sell or serve craft beer between the hours of one o'clock (1:00) A.M. and eleven o'clock (11:00) A.M., except on Saturdays and Sundays when it shall be unlawful for anyone to sell or serve craft beer between the hours of two o'clock (2:00) A.M. and ten o'clock (10:00)

A.M. The Commissioner may extend the hours of lawful sale or service of craft beer on special occasions such as New Year's Eve. (Ord. 0-16-16, 5-16-2016)

(C) The number of Class N licenses shall be one.

(D) The annual fee for a Class N license shall be two thousand dollars (\$2,000.00). (Ord. 0-34-14, 11-3-2014)

**3-3-7-15: CLASS O LICENSE:**

(A) A Class O license shall authorize the sale at retail and serving of alcoholic liquor at a counter or bar and at tables, provided such operation is carried on in conjunction with a restaurant operation serving a menu offering complete meals. The bar service or service at tables where a full menu is not available shall take place in a separate room from the full menu restaurant operation.

(B) It shall be unlawful for any person to sell or offer for sale alcoholic liquor in conjunction with a Class O liquor license between one o'clock (1:00) A.M. and seven o'clock (7:00) A.M., except on Saturdays and Sundays when it shall be unlawful for anyone to sell or offer for sale alcoholic liquor under a Class O liquor license between the hours of two o'clock (2:00) A.M. and seven o'clock (7:00) A.M. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve.

(C) Live music shall be permitted. Such music may be provided by a band, musical group or an individual playing an instrument. No person providing such music shall be under the age of eighteen (18). Such music shall be for the dancing or listening pleasure of patrons only.

(D) The number of Class O licenses shall be one.

(E) The annual fee for a Class O license shall be two thousand five hundred dollars (\$2,500.00). (Ord. 0-21-15, 6-15-2015)

**3-3-7-16: CLASS P LICENSE:**

(A) A Class P license shall authorize the sale at retail of alcoholic liquor for consumption on the premises and the sale at retail of beer and wine in original package but not for consumption on the premises of sale, provided such sale and serving is accessory to the main purpose of the sale of food on a carryout basis.

(B) It shall be unlawful for any person to sell or offer for sale at retail in the City between one o'clock (1:00) A.M. and eight o'clock (8:00) A.M. The Commissioner may extend the hours for lawful sale and service of alcoholic liquor on special occasions such as New Year's Eve.

(C) The number of Class P licenses shall be two (2).

(D) The annual fee for a Class P license shall be two thousand five hundred dollars (\$2,500.00). (Ord. 0-12-17, 7-17-2017; amd. Ord. O-15-22, 8-1-2022)

**3-3-7-17: CLASS Q LICENSE:**

(A) A Class Q license shall authorize sale at retail wine in the original package but not for consumption on the premises of sale where the premises is a gift shop operated by a not-for-profit religious organization and for the benefit of said religious organization. Provided, however, that the Liquor Commissioner may authorize the licensed premises to offer wine tastings at up to four (4) special events per year. The granting of permission to hold such wine tastings shall be within the sole discretion of the Commissioner who shall be petitioned in writing to allow such a wine tasting at least three (3) days prior to the date upon which the wine tasting is proposed to take place. It shall be unlawful for a wine tasting to take place without the prior permission of the Commissioner.

(B) It shall be unlawful for any person to sell or offer to sell at retail any wine in the original package but not for consumption on the premises of sale in the City between one minute past twelve o'clock (12:01) A.M. and seven o'clock (7:00) A.M.

(C) The number of Class Q licenses shall be one (1).

(D) The annual fee for a Class Q license shall be one thousand five hundred dollars (\$1,500.00). (Ord. 0-28-19, 11-4-2019)



Class License	License Number	Business Name	Street #	Street Name	Amount
<b>A</b>					
	A-1	Brookhaven Marketplace	7516	Cass Avenue, Suite 30	\$1,500.00
	A-10	Walgreens #06176	8300	Lemont Road	\$1,500.00
	A-11	Darien Tobacco Wine & Liquor	7516	Cass Avenue, #5A	\$1,500.00
	A-2	Darien Pantry	737	Plainfield Road, Ste 5	\$1,500.00
	A-3	Jewel Food Store #0123	7335	Cass Avenue	\$1,500.00
	A-5	Osco Drug Store #0123	7329-7335	Cass Avenue	\$1,500.00
	A-6	Aldi, Inc #80	2251	75th Street	\$1,500.00
	A-7	Darien Liquor	8125	Cass Avenue	\$1,500.00
	A-8	Walmart #2215	2189	75th Street	\$1,500.00
	A-9	Walgreens #09033	7516	Cass Avenue	\$1,500.00
<b>B</b>					
	B-1	Alpine Banquets & Catering LLC	8230	Cass Avenue	\$2,000.00
<b>C</b>					
	C-1	Carriage Way West, Inc.	8700	Carriage Green Drive	\$2,000.00
<b>D</b>					
	D-1	Tai San Chef	2813	83rd Street	\$2,000.00
	D-10	Blueberry Hill Café	7430	Route 83	\$2,000.00
	D-13	Jam N Jelly Café	7511	Lemont Rd, #200	\$2,000.00
	D-2	Patio Restaurant of Darien, Inc.	7440	Kingery Highway	\$2,000.00
	D-3	Aodake	2129	75th Street	\$2,000.00
	D-4	TGI Friday's Inc., #2670	2201	75th Street	\$2,000.00
	D-5	Al Chile Mexican Grill, Inc.	8123	Cass Avenue	\$2,000.00
	D-6	Mi Hacienda	2601	75th Street	\$2,000.00
	D-7	Old Vilnius Café	2601	75th Street, Unit B	\$2,000.00



Class License	License Number	Business Name	Street #	Street Name	Amount
	D-8	Chiba Japanese Restaurant	7533	Cass Ave	\$2,000.00
	D-9	Dotty's	7516	Cass Avenue, #24	\$2,000.00
<b>E</b>					
	E-2	Speedway #5344	8301	Lemont Road	\$1,500.00
	E-5	Circle K #4706713	8975	Lemont Road	\$1,500.00
	E-6	Speedway #7765	7502	Cass Ave	\$1,500.00
	E-7	Speedway #1425	10250	Lemont Road	\$1,500.00
<b>F</b>					
	F-1	Chuck E. Cheese	7409	Cass Avenue	\$1,500.00
<b>G</b>					
	G-1	Dry Dock	1125	North Frontage Road	\$2,000.00
<b>H</b>					
	H-1	Home Run Inn Corp.	7521	Lemont Road	\$2,500.00
	H-3	Café Smilga	2819	83rd Street	\$2,500.00
<b>I</b>					
	I-1	Q Bar	8109-8115	Cass Avenue	\$2,500.00
<b>K</b>					
	K-3	Buona	7417	Cass Avenue	\$1,500.00
	K-4	Brooster's	1010	Plainfield Road	\$1,500.00
	K-5	Stella's Place	2415	75th Street, Unit C2	\$1,500.00
	K-6	Tony & Tinas Deli, LLC	8133	Cass Ave	\$1,500.00
<b>M</b>					
	M-1	VFW	801	Plainfield Road, Ste 12	\$1,000.00
<b>N</b>					
	N-1	Miskatonic Brewing Company	1000	N. Frontage Rd, Unit C	\$2,000.00
<b>O</b>					
	O-1	Chuck's Southern Comforts Café and Banquets, Inc.	8025	Cass Avenue	\$2,500.00

Class License	License Number	Business Name	Street #	Street Name	Amount
P					
	P-1	Zazzo's Pizza and Catering	7360	Route 83	\$2,500.00
	P-2	Fry the Coop	2019	75th Street	\$2,500.00

**CITY OF DARIEN  
DU PAGE COUNTY, ILLINOIS**

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**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING SECTION  
3-3-7-5(C) CLASS E LICENSE  
OF THE DARIEN CITY CODE**

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**ADOPTED BY THE  
MAYOR AND CITY COUNCIL  
OF THE  
CITY OF DARIEN**

**THIS 21<sup>st</sup> DAY OF APRIL, 2025**

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**Published in pamphlet form by authority of  
the Mayor and City Council of the City of  
Darien, DuPage County, Illinois, and this  
\_\_\_\_ day of January, 2025.**

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING  
SECTION 3-3-7-5(C) CLASS E LICENSE  
OF THE DARIEN CITY CODE**

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:**

**SECTION 1:** Section 3-3-7-5(C) “Class E License”, as amended is hereby amended to increase the number of Class E licenses from four (4) to five (5), to read as follows:

**3-3-7-5: CLASS E LICENSE:**

(C) The number of Class E licenses shall be five (5).

**SECTION 2: Home Rule.** This ordinance and each of its terms shall be the effective legislative act of a home rule municipality without regard to whether such ordinance should (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law, or (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the City of Darien that to the extent of the terms of this ordinance should be inconsistent with any non-preemptive state law, that this ordinance shall supersede state law in that regard within its jurisdiction.

**SECTION 3: Effective Date.** This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

**ORDINANCE NO.** \_\_\_\_\_

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 21<sup>st</sup> day of April, 2025.

**AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 21<sup>st</sup> day of April, 2025.

\_\_\_\_\_  
**JOSEPH A. MARCHESE, MAYOR**

**ATTEST:**

\_\_\_\_\_  
**JOANNE E. RAGONA, CITY CLERK**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
**CITY ATTORNEY**

## CITY OF DARIEN

### RULES FOR COMPLIANCE WITH PUBLIC COMMENT REQUIREMENTS OF THE ILLINOIS OPEN MEETINGS ACT

#### I. PURPOSE OF RULES.

The purpose of these Rules is to comply with the requirement of Section 2.06 of the Illinois Open Meetings Act that a public comment section be provided at each meeting subject to the Open Meetings Act.

#### II. DEFINITION OF “PUBLIC BODY” or “BODY.”

For purposes of these Rules, the term “Public Body” or “Body” shall mean the City Council, any Committee of the City Council, and any Board and Commission established by the City Council.

#### III. RULES GOVERNING PUBLIC COMMENT.

A. Unless otherwise allowed by a majority vote of the Body, the public comment periods shall be as follows:

1. For the City Council, as set forth on the attached **Agenda template**.
2. For Council committees and advisory committees, at the conclusion of the meeting immediately before adjournment. At the direction of the Body, the floor may be opened for public comment in conjunction with specific agenda items.

B. Individuals seeking to make public comment to the Body shall be formally recognized by the Chair.

C. Individuals addressing the Body shall identify themselves by name, but need not provide their home address.

D. Individuals addressing the Body shall do so by addressing their comments to the Body

itself and shall not turn to address the audience.

E. Public comment time shall be limited to three (3) minutes per person.

F. An individual will be allowed a second opportunity to address the Body only after all other interested persons have addressed the Body and only upon the majority vote of the Body.

G. In the case of a special meeting, public comment will be limited to subject matters germane to the agenda of the special meeting.

#### **IV. PUBLIC HEARING REQUIREMENTS.**

Additional public comments periods will be allowed as required by law in the case of public hearing, subject to the same time constraints.

**Approved by a Motion on November 17, 2014**

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### **Policy establishing guidelines pertaining to the adoption of a requested ceremonial document, proclamation, and/or resolution supporting the activities or endeavors of the requestor**

#### **I. Purpose**

The purpose of this policy is to establish guidelines for the issuance of ceremonial documents, proclamations, and supporting resolutions by the City of Darien. These documents are strictly honorary and do not carry any legislative or legal significance. The issuance of ceremonial documents, proclamations and supporting resolutions recognize and celebrate significant achievements, milestones, and events within the City of Darien.

#### **II. Policy**

It is the policy of the City Council to consider requests for ceremonial documents, proclamations, and supporting resolutions only when:

1. such issuance positively and directly impacts the Darien community, pertain to a Darien event, person, organization, or cause with local implications
2. such issuance proclaims certain events or causes when such proclamations pertain to a Darien event, person, organization, or cause with direct local implications at determined by the city.
  - a. Examples of acceptable recognition include, but is not limited to:

- Matters of public awareness about an issue for a community organization.
  - Arts, cultural or historical occasions.
  - A commemoration of a specific accomplishment, time, period, or event that impacts Darien residents.
  - Recognizing the diverse cultures in Darien
  - Recognition of action/service above and beyond the call of duty
  - Recognition of extraordinary action or achievement.
- b. Examples of unacceptable recognition include, but is not limited to:
- Events or organizations with no direct relationship to or location within the corporate limits of the City of Darien
  - Campaigns for events contrary to Darien's policy or the wellbeing of its businesses or residents
  - Political, religious or foreign issues not within the immediate responsibility or sphere of influence of the City as determined by the City.
  - Anything that may suggest an official city position on a matter under consideration by the city

All requests for a ceremonial document, proclamation, or a supporting resolution shall be submitted to the Mayor.

**Approved by Resolution No. R-57-24 on June 3, 2024**