

**BENCHMARK INFO**  
 DUPAGE COUNTY, ILLINOIS, 2006 GEODETIC SURVEY MONUMENT  
 BENCHMARK: ARGONNE, PID: MR1257  
 STEEL ROD IN A PVC SLEEVE WITH A LID LOCATED AT THE  
 SOUTHEAST CORNER OF THE INTERSECTION OF WESTGATE ROAD  
 AND LEMONT ROAD.  
 NAVD88 ELEVATION = 754.27

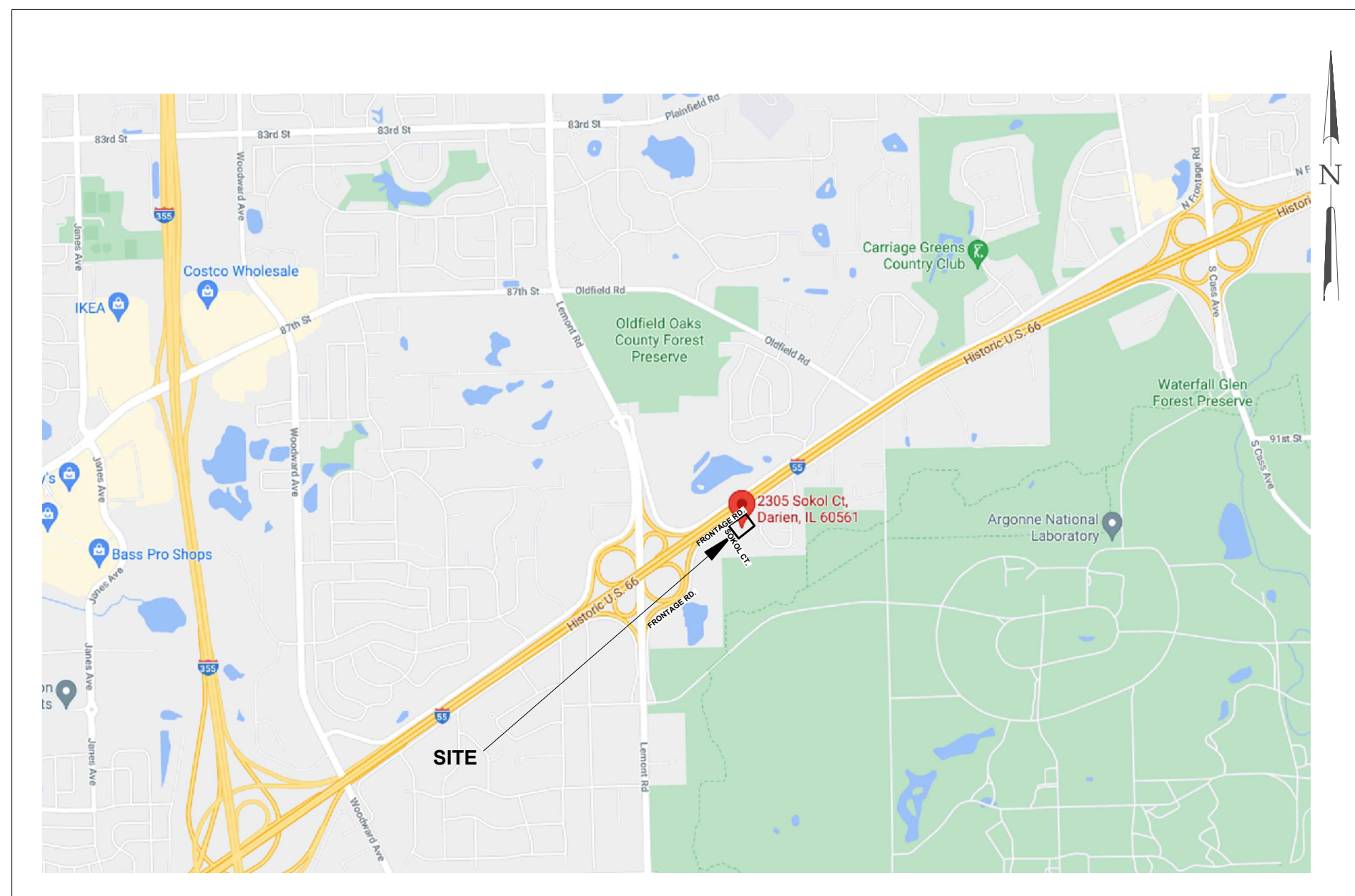
# DARIEN HEIGHTS RESIDENCES SITE IMPROVEMENT PLAN

ATTACHMENT B

**SECTION: 5**  
**TOWNSHIP: 37N**  
**RANGE: 11E**  
**PIN 10-05-404-002,**  
**10-05-404-024**

## 2305 SOKOL CT., DARIEN, DUPAGE COUNTY, IL

**SITE LOCATION MAP**



**AERIAL MAP**



**DRAWING INDEX:**

1. TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
2. EXISTING TOPOGRAPHY
3. DEMOLITION & TREE PRESERVATION PLAN
4. PHASE - I -SOIL EROSION & SEDIMENTATION CONTROL PLAN
5. PHASE - II -SOIL EROSION & SEDIMENTATION CONTROL PLAN
6. SWPPP
7. PROPOSED GRADING & DRAINAGE PLAN - OVERALL SITE
8. PROPOSED UTILITY PLAN - OVERALL SITE
9. GEOMETRIC PLAN
- 9.1 AUTOTURN EXHIBITS
10. CONSTRUCTION NOTES
11. STANDARD DETAILS

**PROJECT NARRATIVE**

**GENERAL:** PROPOSED 4 STORY RESIDENTIAL BUILDING WITH PARKING LOT & BASEMENT INDOOR PARKING.

**AREA SUMMARY:**  
 TOTAL AREA OF SITE: 2.817 ACRES  
 DISTURBED AREA OF SITE: 2.817 ACRES

**SPECIAL PROTECTION AREAS:** NO FLOODPLAIN OR WETLANDS ON OR WITHIN 100' OF SITE.

**UPSTREAM TRIBUTARY:** THERE IS NO UPSTREAM TRIBUTARY AREA FOR THE SITE.

**COMBINED/SEPARATE SEWER AREA INFO:** PROPOSED PROJECT IS LOCATED IN SEPARATE SEWER AREAS.

**DETENTION/VOLUME CONTROL FACILITY:** THERE IS EXISTING DETENTION WHICH WAS INSTALLED AS PART OF THE SUBDIVISION DONE IN LATTER PART OF 1990. ADDITIONAL DETENTION IS PER CITY/COUNTY REQUIREMENTS. RUNOFF VOLUME PCBMP/REDUCTION/VOLUME CONTROL PER CITY/COUNTY REQUIREMENTS.

**SANITARY SEWERS:** NEW SANITARY FROM BUILDING TO CONNECT TO EXISTING SANITARY STUB/LINE ON SITE.

**WATER SERVICE:** NEW WATER SERVICE FOR THE BUILDING TO TIE-INTO EXISTING WATER STUB/LINE ON SITE.

**SOILS/INFILTRATION RATE:** SILTY CLAY

**GROUNDWATER ELEVATION:** SEASONAL HIGH GROUNDWATER TABLE ESTIMATED AT 15" BELOW GRADE, PER GEOTECHNICAL REPORT.

1. I HEREBY CERTIFY THAT THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY WITH RESPECT TO STORMWATER DRAINAGE, AND THAT A SAFE OVERFLOW ROUTE HAS BEEN ESTABLISHED.
2. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PROPOSED IMPROVEMENT IS NOT LOCATED IN FLOOD PROTECTION AREAS BASED ON THE INFORMATION FROM THE FEMA MAPS.



ENGINEER

*Abh. Veer*

09-02-21

DATE

**LEGEND:**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SANITARY SEWER LINE	---	---
WATER LINE	---	---
STORM SEWER LINE	---	---
STORM MANHOLE	○	●
SANITARY MANHOLE	○	●
COMBINED SEWER	---	---
COMBINED MANHOLE	○	●
CATCH BASIN	○	●
INLET	○	●
WATER VALVE VAULT	○	●
WATER VALVE	○	●
GRADE	---	---
DRAINAGE DIVIDE	---	---
CURB & GUTTER	---	---
CLEANOUT	○	●
DOWNSPOUT (ROOF DRAINS)	○	●
WATER B. BOX	○	●
TREE PROTECTION FENCE	---	---
CONSTRUCTION/SILT FENCE	---	---
INLET FILTER BASKET	○	●
TRAFFIC DIRECTION PAVEMENT MARKING	---	---
FIRE HYDRANT	○	●
RETAINING WALL WRAILING	---	---
TOP OF CURB	T/C XXX.XX	T/C XXX.XX
BOTTOM OF CURB	B/C XXX.XX	B/C XXX.XX
TOP OF CURB	T/C XXX.XX	T/C XXX.XX
BOTTOM OF GUTTER	B/G XXX.XX	B/G XXX.XX
WALK	W XXX.XX	W XXX.XX
BOTTOM OF WALK	B/W XXX.XX	B/W XXX.XX
DEPRESSED CURB	D/C XXX.XX	D/C XXX.XX
BOTTOM OF GUTTER	B/G XXX.XX	B/G XXX.XX
MOUNTABLE CURB	M/C XXX.XX	M/C XXX.XX
BOTTOM OF GUTTER	B/G XXX.XX	B/G XXX.XX
TREE	○	●
LANDMARK TREE	○	●

**NOTE**

THIS DEVELOPMENT IS PART OF BURNSIDE'S PRESERVES OF WATERFALL GLEN. ALL PVIOUS OBLIGATIONS OF THIS PARCEL CARRY FORWARD TO THIS NEW DEVELOPMENT. ALL DETENTION BASINS, STORM SEWER LINES, DRAINAGE STRUCTURES, DRAINAGE EASEMENTS, AND SOUND BARRIER BERMS LOCATED IN EASEMENTS ARE PRIVATE AND WILL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO OWN AND MAINTAIN.

**NOTE**

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

*Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:  
 J.U.L.I.E. 1 (800) 892-0123*

**DEVELOPER**

EQUITY TRUST COMPANY CUSTODIAN F/B/O  
 ATTENTION PAUL SWANSON IRA  
 401 E. PROSPECT AVE., SUITE 201,  
 MT. PROSPECT, ILLINOIS 60056  
 PH: 847-670-6710

DATE	ISSUE	REVISIONS
6-14-2021	1	ISSUED FOR PERMIT
6-15-2021	2	REVISED PER CITY COMMENTS
6-22-2021	3	REVISED PER CITY COMMENTS

PROJECT STAFF
PROJECT MANAGER: [Name]
ENGINEER: [Name]
TECHNICIAN: [Name]

**BCI**  
 BONO CONSULTING, INC.  
 CIVIL ENGINEERS  
 PH: (847) 823-3300  
 FAX: (847) 823-3303  
 1018 BUSSE HIGHWAY  
 PARK RIDGE, IL 60068  
 bbono@bonoconsulting.com

**TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP**

**DARIEN HEIGHTS RESIDENCES**  
 2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

PROJECT NUMBER: 21245  
 START DATE: MAY 21, 2021  
 GRAPHIC SCALE: 0  
 SCALE: NTS  
 SHEET NUMBER: 1 OF 11



# PLAT OF SURVEY

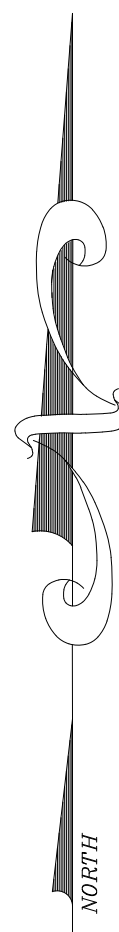
OF

THE PREMISES COMMONLY KNOWN AS:  
2305 SOKOL COURT, DARIEN, IL 60561  
PARCEL AREA = 122,704 S.F. GROSS  
115,216 S.F. NET

PINS: 10-05-404-002  
10-05-404-024

LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, RESUBDIVISION NO. 1; BEING A RESUBDIVISION OF LOT 32 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RECORDED AS DOCUMENT R97-099748, IN THAT PART OF THE SOUTHEAST OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.

LOT 31 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHEAST AND THE SOUTHWEST QUARTERS OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 10, 1997 AS DOCUMENT R97-99748, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.



GRAPHIC SCALE



( IN FEET )

1 inch = ft.

File No. 71-21

F7121.DWG

SOURCE BENCHMARK  
DUPAGE COUNTY, ILLINOIS  
2006 GEODETIC SURVEY MONUMENT  
BENCHMARK: ARGONNE  
PID: MR1257  
STEEL ROD IN A PVC SLEEVE WITH A LID LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF WESTGATE ROAD AND LEMONT ROAD.  
NAVD88 ELEVATION = 754.27

SITE BENCHMARK  
SURVEY CONTRON POINT  
CUT "X" CROSS IN CONCRETE SIDEWALK  
NAVD88 ELEVATION = 755.73

FIELDWORK COMPLETED: 05-10-2021  
CLIENT NAME: Equity Trust Company Custodian  
ADDRESS: 401 E. Prospect Avenue, Suite 201  
Mount Prospect, IL 60056

NOTES:  
PLAT IS VOID if the Impressed Surveyors Seal does not appear.  
Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown hereon; check local ordinances before building.

Compare your description and site markings with this plat AT ONCE report any discrepancies which you may find.

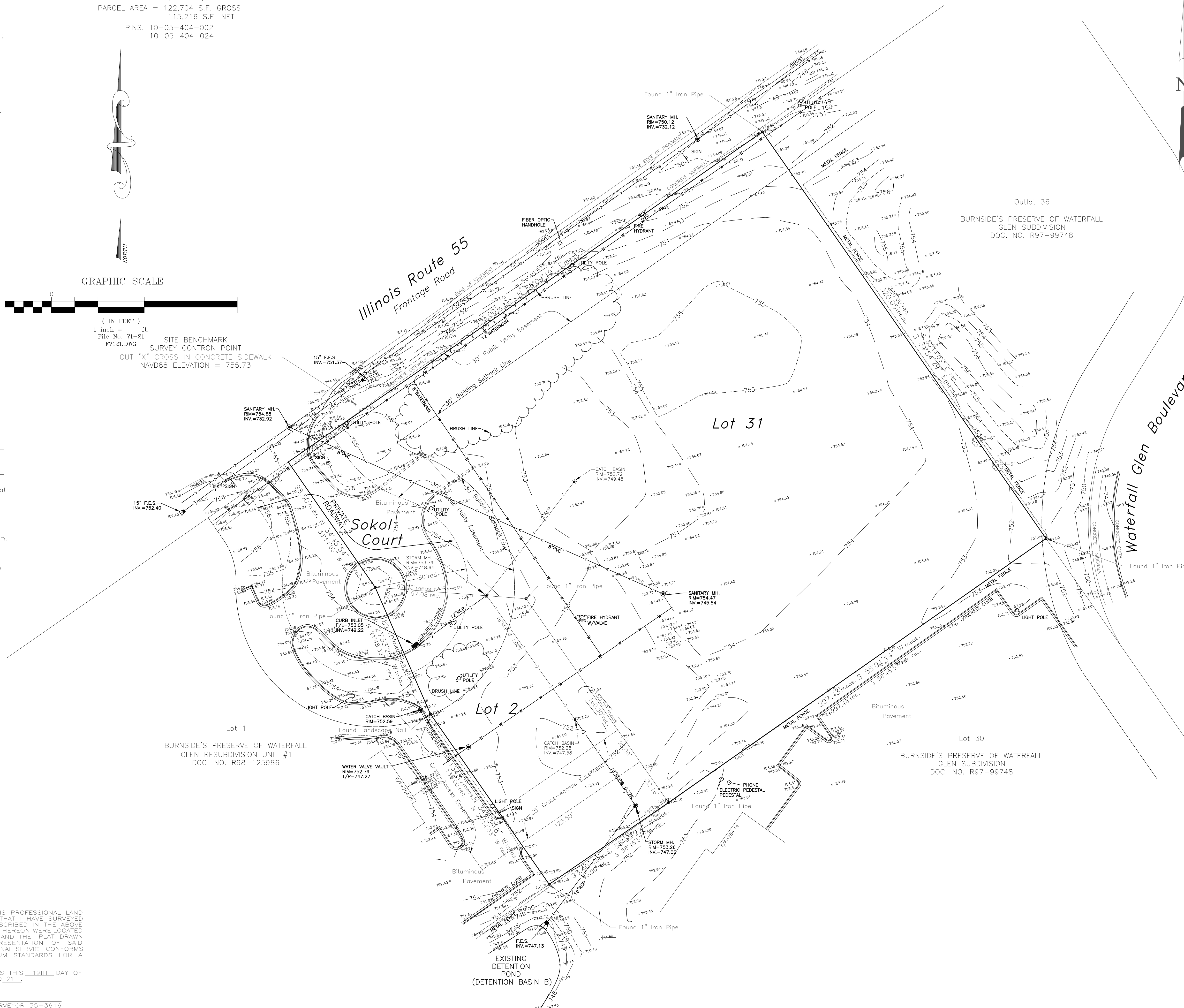
**R.E. ALLEN AND ASSOCIATES, LTD.**  
PROFESSIONAL LAND SURVEYORS  
1015 N. CORPORATE CIRCLE, SUITE C  
GRAYSLAKE, ILLINOIS 60030  
PHONE: 847-223-0914 FAX: 847-223-0980

STATE OF ILLINOIS  
COUNTY OF LAKE S.S.

I, BRYAN J. LEE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND STAKED THE LAND AS DESCRIBED IN THE ABOVE CAPTION. ANY STRUCTURES SHOWN HEREON WERE LOCATED BY ME OR UNDER MY DIRECTION AND THE PLAT DRAWN HEREON IS A CORRECT REPRESENTATION OF SAID SURVEY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT GRAYSLAKE, ILLINOIS THIS 19TH DAY OF MAY, A.D. 2021.

ILLINOIS PROFESSIONAL LAND SURVEYOR 35-3616  
MY LICENSE EXPIRES 11-30-22  
PROFESSIONAL DESIGN FIRM NO. 184-002732



DATE	REVISIONS
6-15-2021	
6-15-2021	
6-15-2021	

ISSUE	PROJECT STAFF
1	B. BOND
2	A. VEDALE
3	W. HUBBARD

PROJECT MANAGER	ENGINEER	TECHNICIAN

**BCI**  
BONO CONSULTING, INC.  
CIVIL ENGINEERS

1018 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: (847) 823-3300  
FAX: (847) 823-3303  
bbono@bonoconsulting.com

**EXISTING TOPOGRAPHY**  
DARIEN HEIGHTS RESIDENCES  
2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

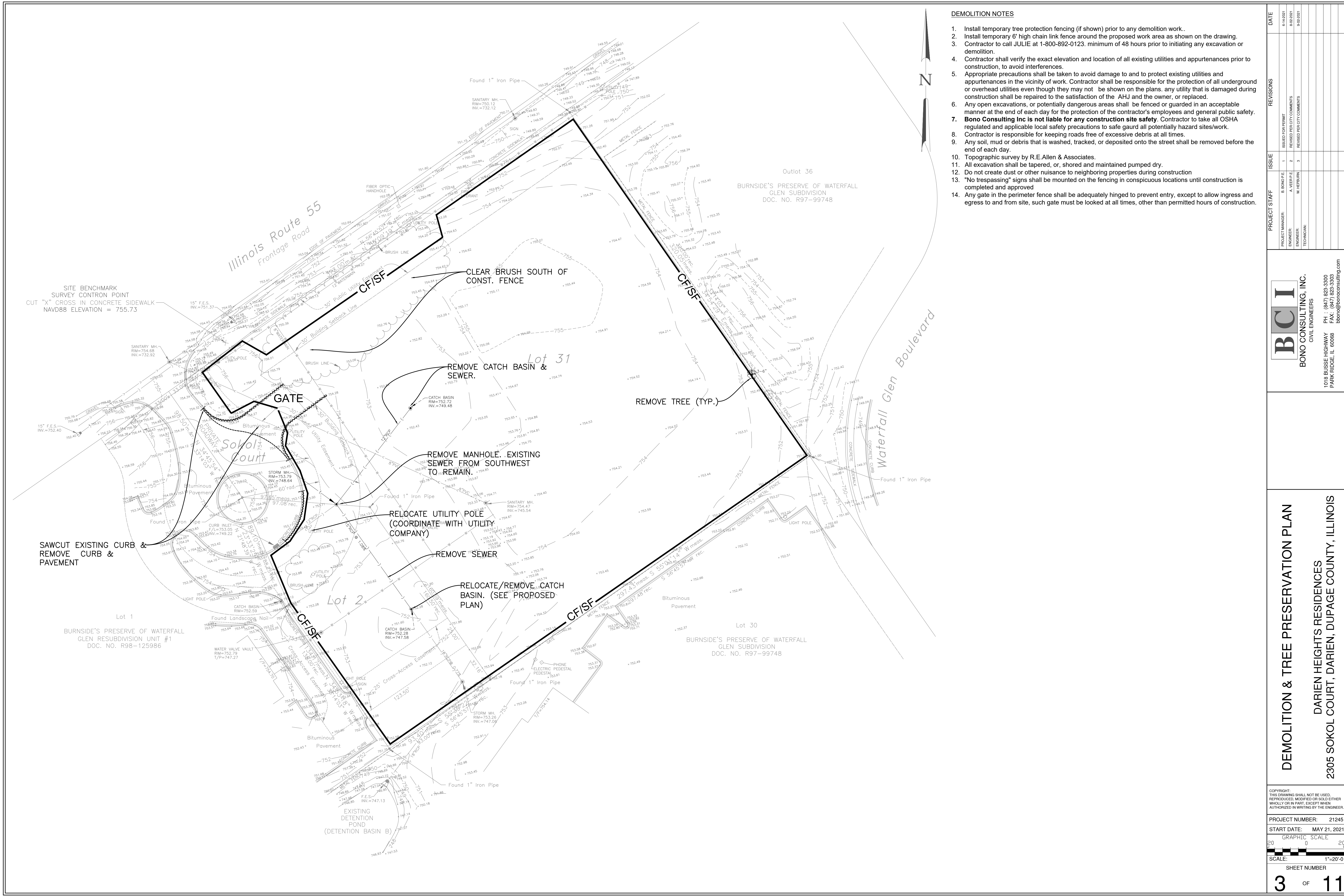
COPYRIGHT: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHERE AUTHORIZED IN WRITING BY THE ENGINEER.

PROJECT NUMBER: 21245  
START DATE: MAY 21, 2021

GRAPHIC SCALE  
30 0 30

SCALE: 1"=30'-0"

SHEET NUMBER  
**2** OF **11**



**DEMOLITION NOTES**

1. Install temporary tree protection fencing (if shown) prior to any demolition work..
2. Install temporary 6' high chain link fence around the proposed work area as shown on the drawing.
3. Contractor to call JULIE at 1-800-892-0123, minimum of 48 hours prior to initiating any excavation or demolition.
4. Contractor shall verify the exact elevation and location of all existing utilities and appurtenances prior to construction, to avoid interferences.
5. Appropriate precautions shall be taken to avoid damage to and to protect existing utilities and appurtenances in the vicinity of work. Contractor shall be responsible for the protection of all underground or overhead utilities even though they may not be shown on the plans. any utility that is damaged during construction shall be repaired to the satisfaction of the AHJ and the owner, or replaced.
6. Any open excavations, or potentially dangerous areas shall be fenced or guarded in an acceptable manner at the end of each day for the protection of the contractor's employees and general public safety.
7. **Bono Consulting Inc is not liable for any construction site safety.** Contractor to take all OSHA regulated and applicable local safety precautions to safe guard all potentially hazard sites/work.
8. Contractor is responsible for keeping roads free of excessive debris at all times.
9. Any soil, mud or debris that is washed, tracked, or deposited onto the street shall be removed before the end of each day.
10. Topographic survey by R.E.Allen & Associates.
11. All excavation shall be tapered, or, shored and maintained pumped dry.
12. Do not create dust or other nuisance to neighboring properties during construction
13. "No trespassing" signs shall be mounted on the fencing in conspicuous locations until construction is completed and approved
14. Any gate in the perimeter fence shall be adequately hinged to prevent entry, except to allow ingress and egress to and from site, such gate must be looked at all times, other than permitted hours of construction.

DATE	ISSUE	PROJECT STAFF	REVISIONS
6-14-2021	1	B. BOND P.E.	ISSUED FOR PERMIT
8-25-2021	2	A. VED P.E.	REVISED PER CITY COMMENTS
9-02-2021	3	W. HEDBURN	REVISED PER CITY COMMENTS

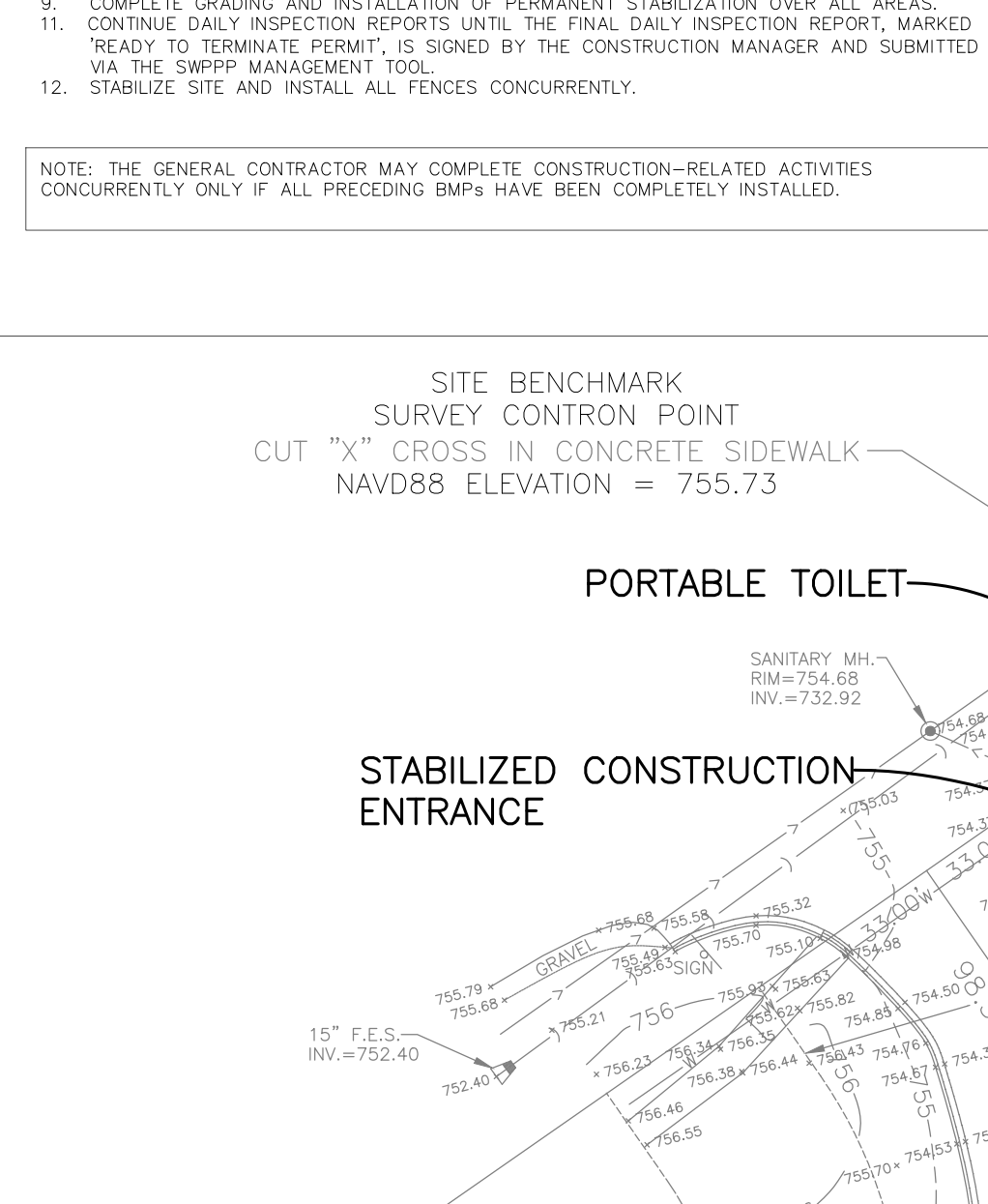
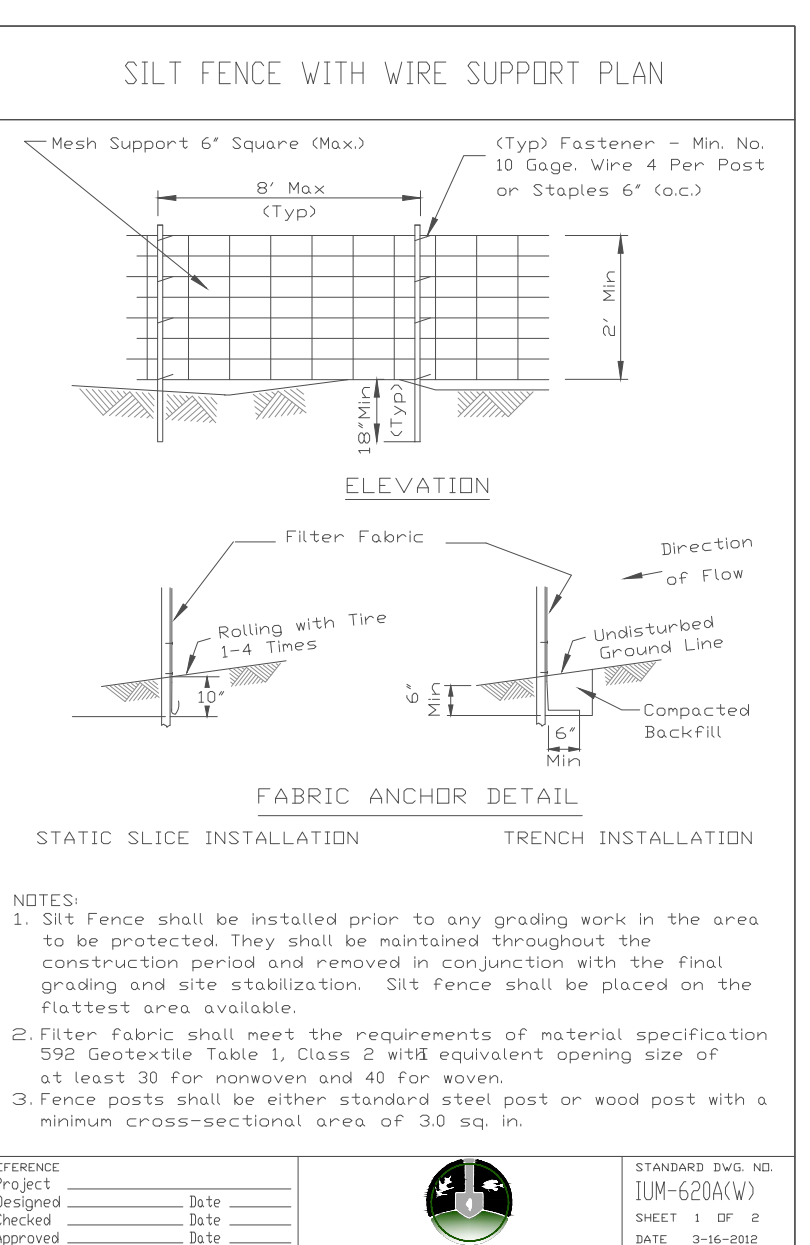
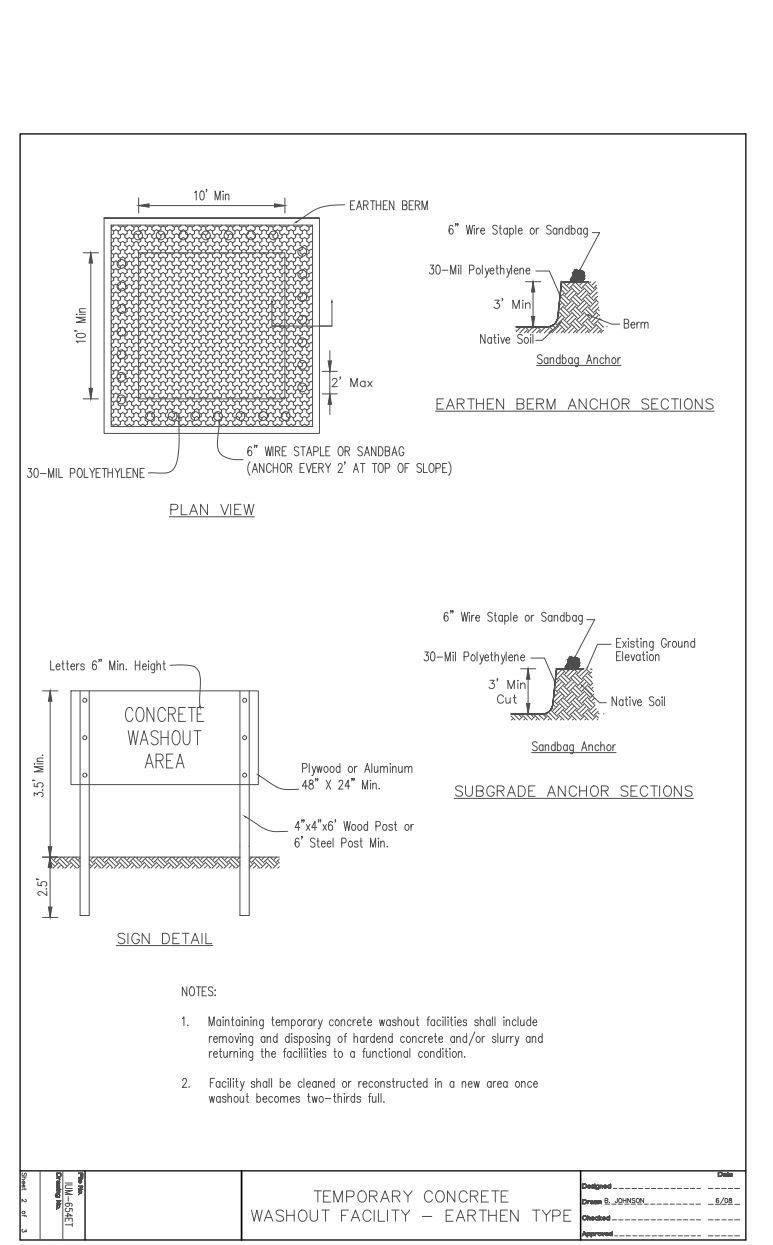
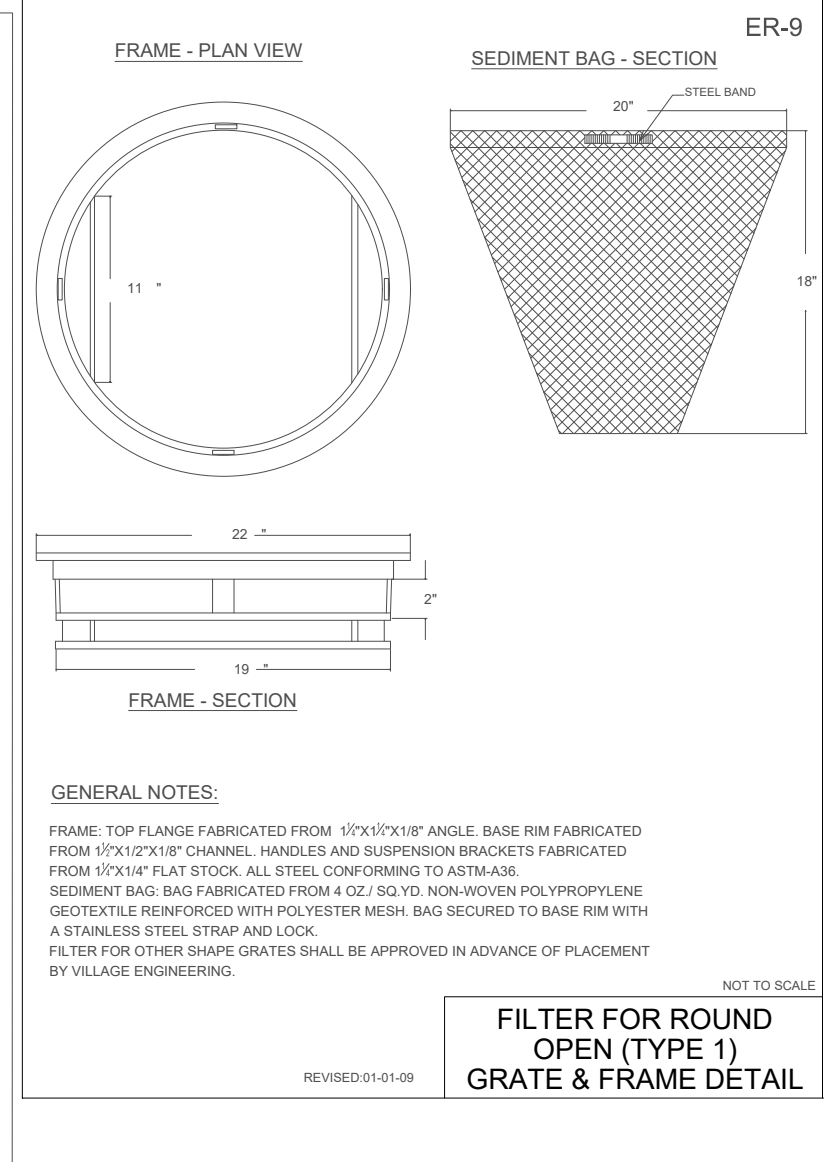
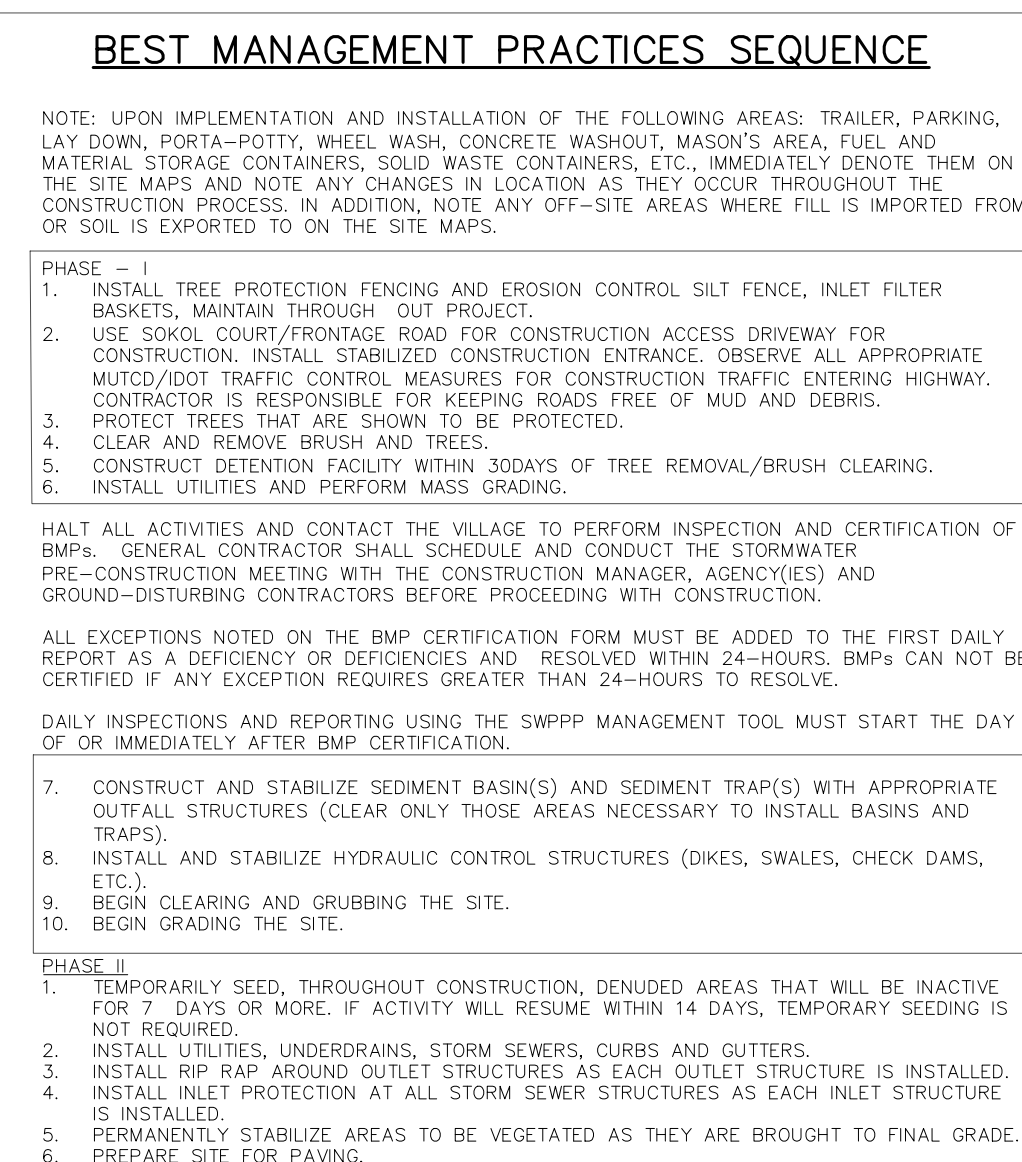
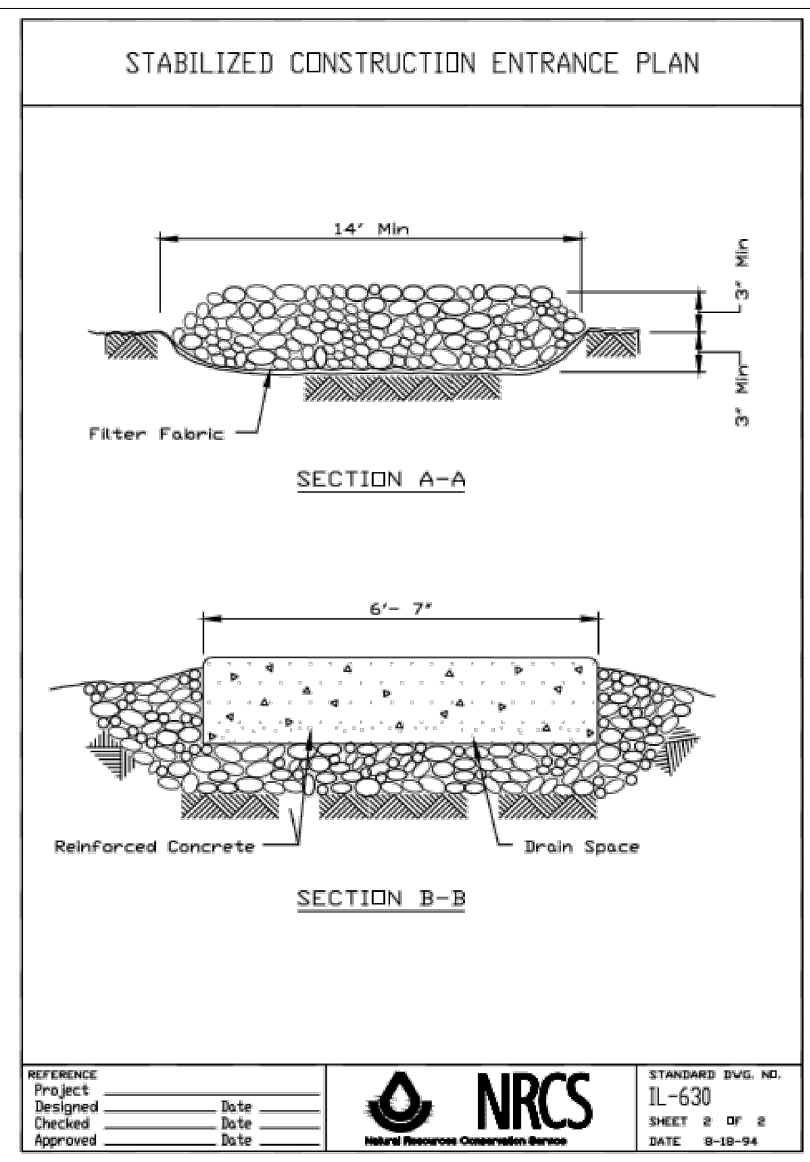
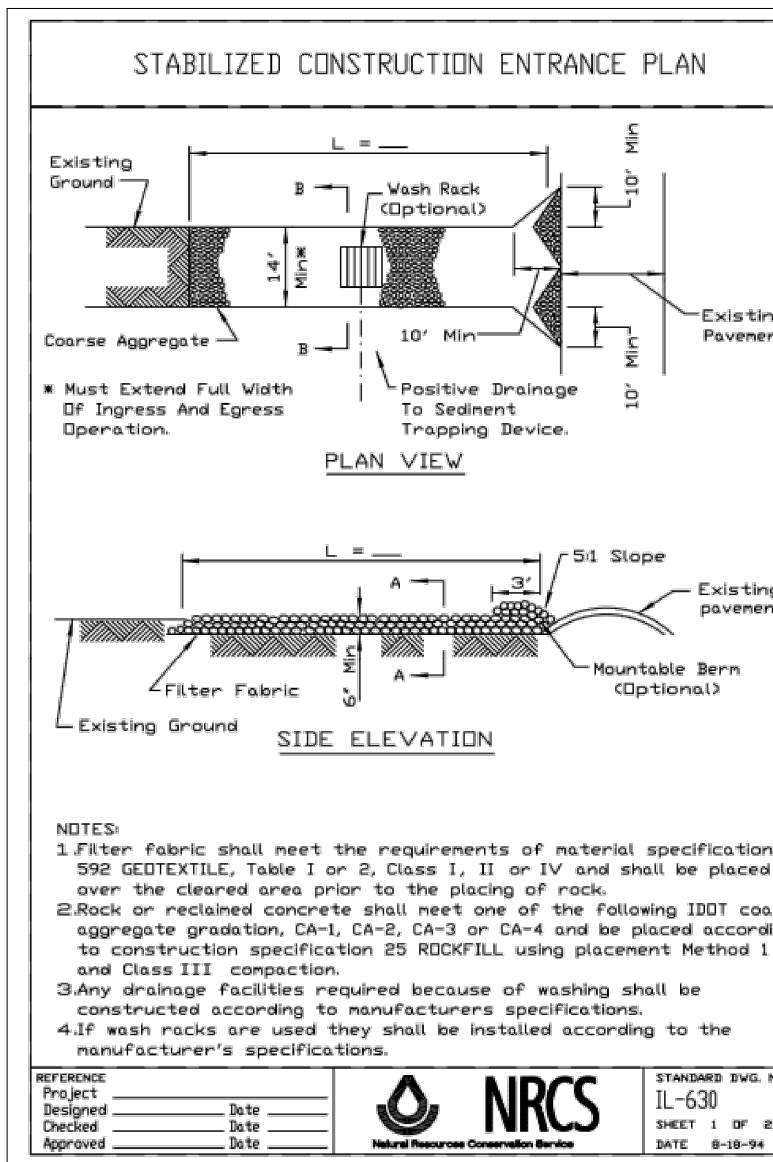
**BCI**  
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 bbono@bonoconsulting.com

**DEMOLITION & TREE PRESERVATION PLAN**  
**DARIEN HEIGHTS RESIDENCES**  
**2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS**

PROJECT NUMBER: 21245  
 START DATE: MAY 21, 2021  
 GRAPHIC SCALE: 1"=20'-0"  
 SCALE: 1"=20'-0"  
 SHEET NUMBER: **3** OF **11**

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### SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN
TEMPORARY CONSTRUCTION EXITS																									
TEMPORARY CONTROL MEASURES																									
SEDIMENT CONTROL BASINS																									
STRIP & STOCKPILE TOPSOIL																									
ROUGH GRADE																									
STORM FACILITIES																									
SITE CONSTRUCTION																									
PERMANENT CONTROL STRUCTURES																									
FOUNDATION / BUILDING CONSTRUCTION																									
FINISH GRADING																									
LANDSCAPING/SEED/FINAL STABILIZATION																									

1) CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.  
2) TIME SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION.

### SEEDING INFORMATION

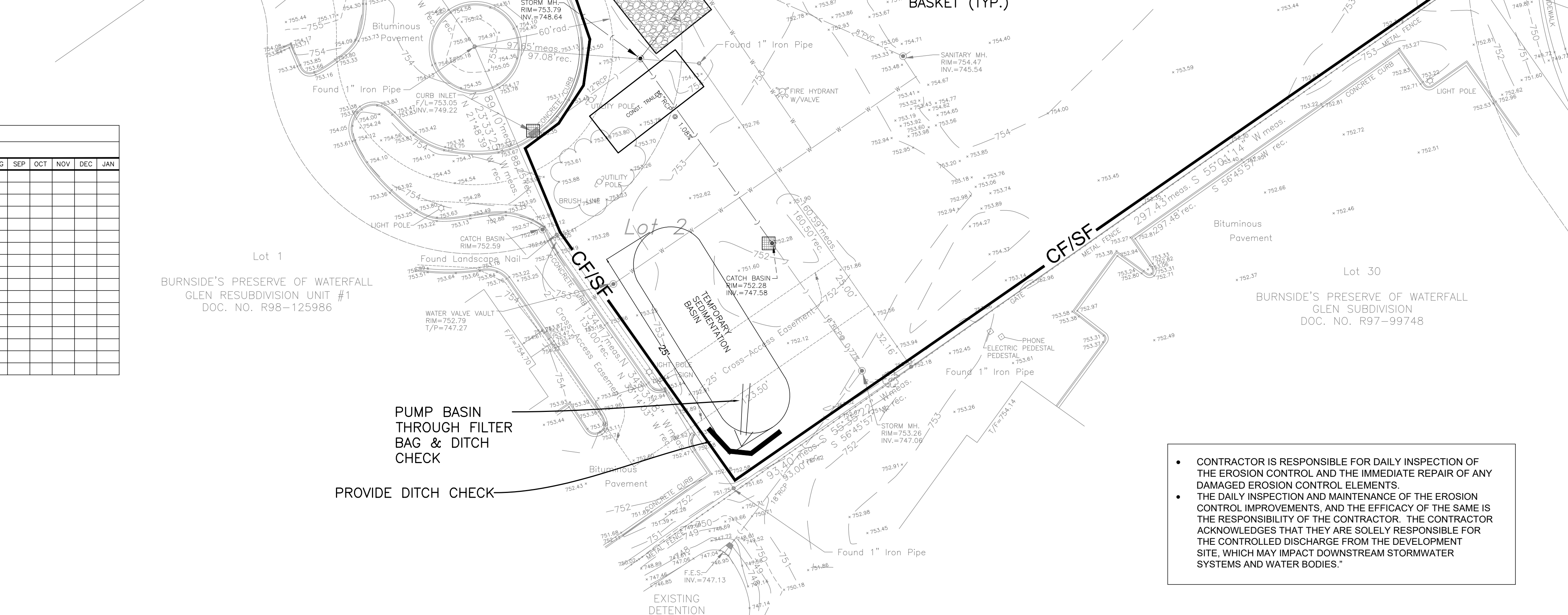
CONTRACTOR TO SEED ALL DISTURBED AREA.

**TURF GRASS SEED MIX:**

FURNISH AND APPLY SUNNY TURF GRASS SEED MIX (TIMOTHY-33.3% / ORCHARDGRASS-33.3% / KENTUCKY BLUEGRASS-33.3%, SEEDING RATE=10 LBS./ACRE AND COMMON OATS=30 LBS./ACRE FOR A TOTAL 100 LBS./ACRE. OVERSEED WITH 10 LBS./ACRE ANNUAL RYE. SEEDING MUST COMMENCE WITHIN 1 WEEK OF THE COMPLETION OF FINAL GRADING.

### Temporary Seeding, Species, Rates, & Dates

Species	lbs./Acres	Seeding Dates																							
		Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.												
Oats	90																								
Cereal Rye	90																								
Winter Wheat	90																								
Winter Mulch	25																								



DATE	REVISIONS	ISSUE	PROJECT STAFF
6-14-2021		1	B. BOND, P.E.
6-15-2021		2	A. VEDALE
6-22-2021		3	M. HUBBARD
9-15-2021			

PROJECT NUMBER: 21245  
START DATE: MAY 21, 2021  
GRAPHIC SCALE: 1" = 20'-0"  
SCALE: 1" = 20'-0"  
SHEET NUMBER: 4 OF 11

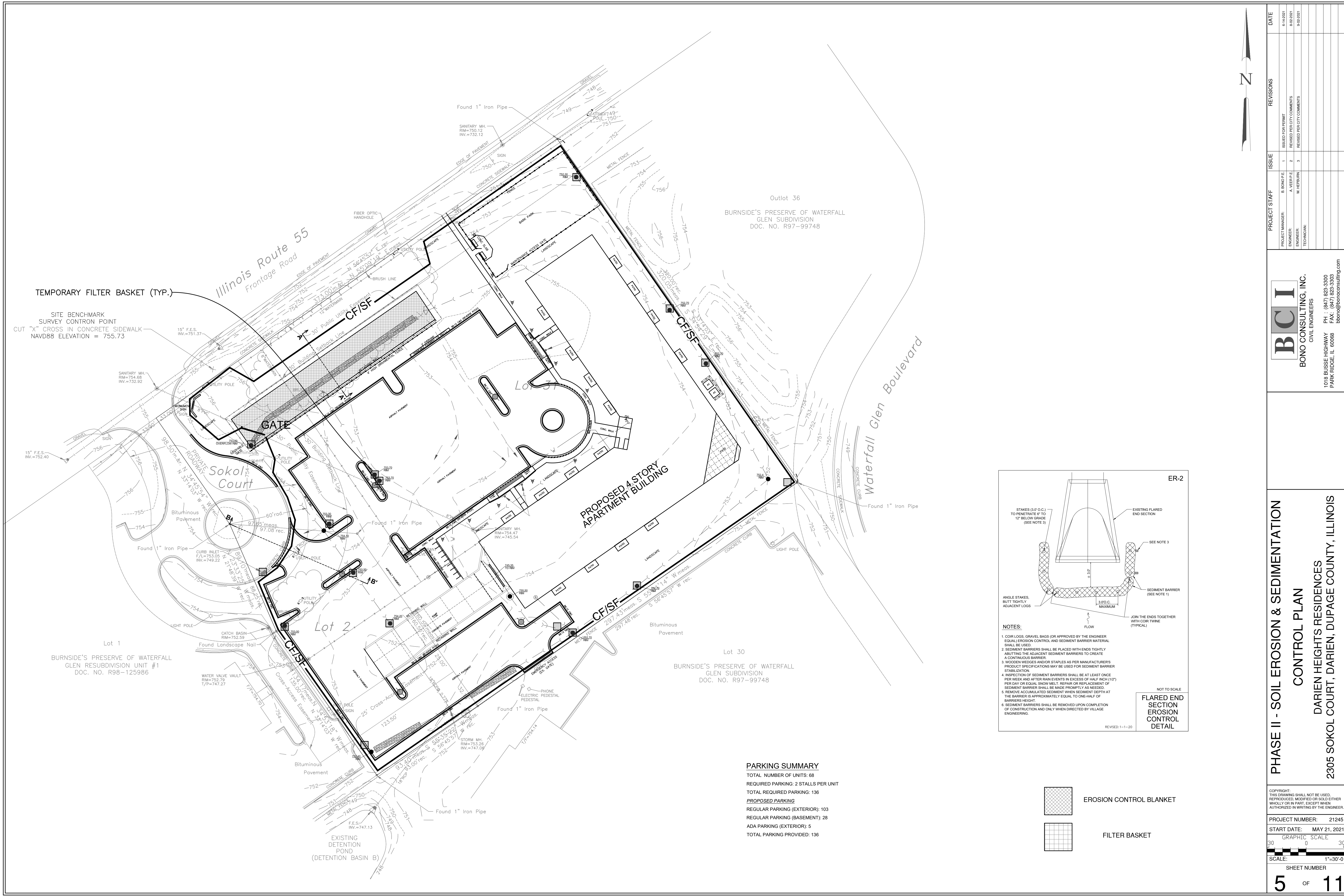
PHASE - I - SOIL EROSION & SEDIMENTATION CONTROL PLAN

DARIEN HEIGHTS RESIDENCES  
2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

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CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTION OF THE EROSION CONTROL AND THE IMMEDIATE REPAIR OF ANY DAMAGED EROSION CONTROL ELEMENTS.  
THE DAILY INSPECTION AND MAINTENANCE OF THE EROSION CONTROL IMPROVEMENTS, AND THE EFFICACY OF THE SAME IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR ACKNOWLEDGES THAT THEY ARE SOLELY RESPONSIBLE FOR THE CONTROLLED DISCHARGE FROM THE DEVELOPMENT SITE, WHICH MAY IMPACT DOWNSTREAM STORMWATER SYSTEMS AND WATER BODIES.



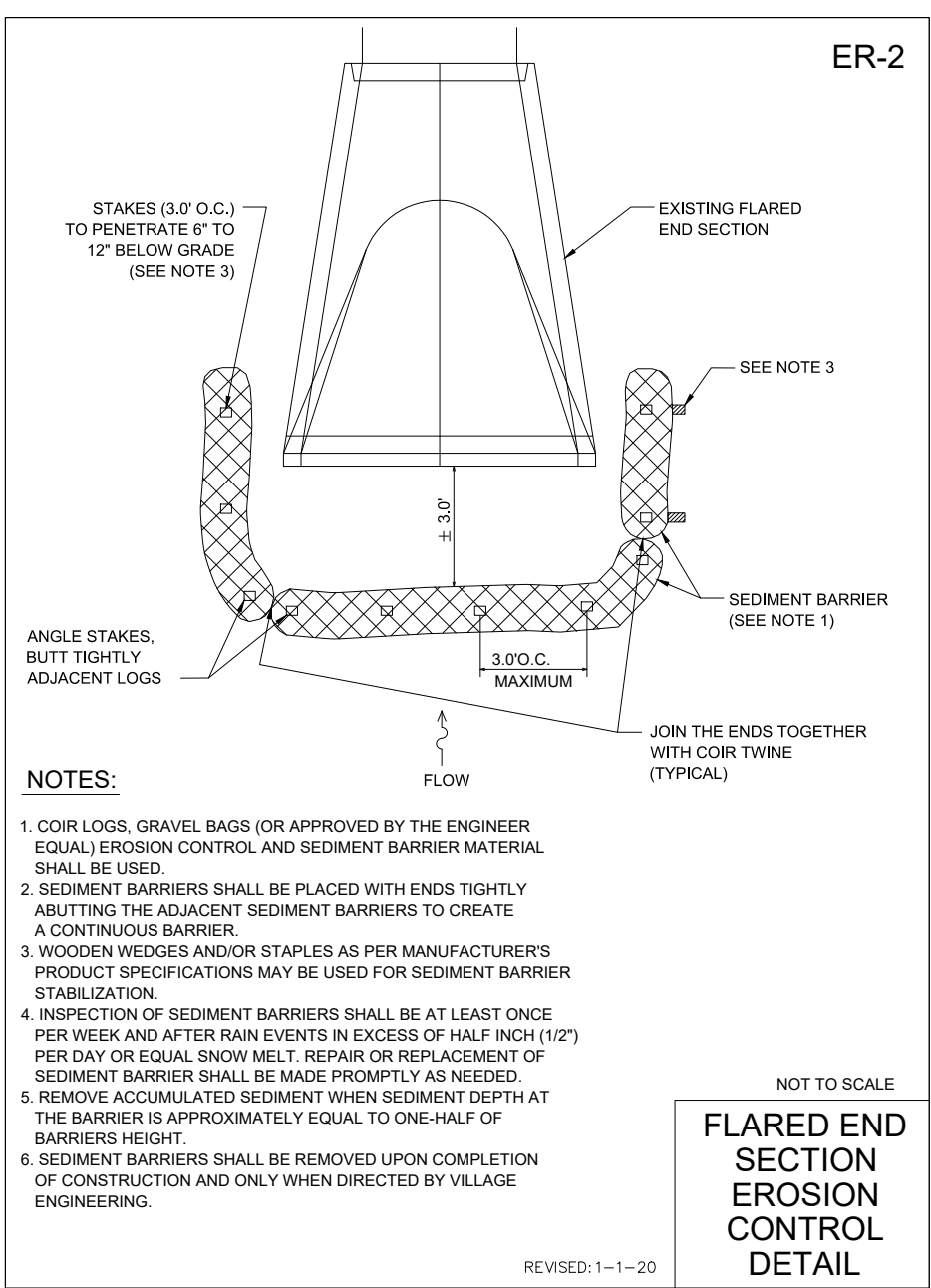


TEMPORARY FILTER BASKET (TYP.)

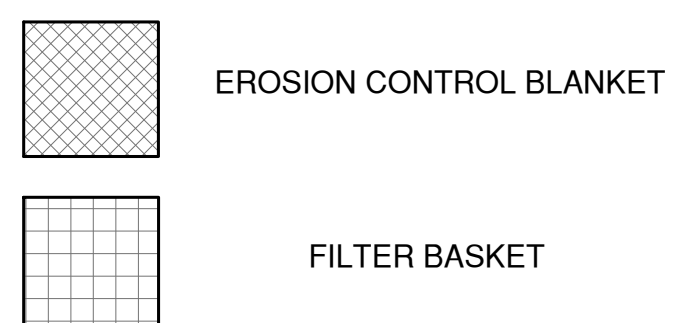
SITE BENCHMARK  
SURVEY CONTRON POINT  
CUT "X" CROSS IN CONCRETE SIDEWALK  
NAVD88 ELEVATION = 755.73

**PARKING SUMMARY**

TOTAL NUMBER OF UNITS: 68  
 REQUIRED PARKING: 2 STALLS PER UNIT  
 TOTAL REQUIRED PARKING: 136  
**PROPOSED PARKING**  
 REGULAR PARKING (EXTERIOR): 103  
 REGULAR PARKING (BASEMENT): 28  
 ADA PARKING (EXTERIOR): 5  
 TOTAL PARKING PROVIDED: 136



- NOTES:**
1. COIR LOGS, GRAVEL BAGS (OR APPROVED BY THE ENGINEER EQUAL) EROSION CONTROL AND SEDIMENT BARRIER MATERIAL SHALL BE USED.
  2. SEDIMENT BARRIERS SHALL BE PLACED WITH ENDS TIGHTLY ADJUTING THE ADJACENT SEDIMENT BARRIERS TO CREATE A CONTINUOUS BARRIER.
  3. WOODEN WEDGES AND/OR STAPLES AS PER MANUFACTURER'S PRODUCT SPECIFICATIONS MAY BE USED FOR SEDIMENT BARRIER STABILIZATION.
  4. INSPECTION OF SEDIMENT BARRIERS SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF INCH (1/2") PER DAY OR EQUAL SNOW MELT. REPAIR OR REPLACEMENT OF SEDIMENT BARRIER SHALL BE MADE PROMPTLY AS NEEDED.
  5. REMOVE ACCUMULATED SEDIMENT WHEN SEDIMENT DEPTH AT THE BARRIER IS APPROXIMATELY EQUAL TO ONE-HALF OF BARRIERS HEIGHT.
  6. SEDIMENT BARRIERS SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN DIRECTED BY VILLAGE ENGINEERING.



DATE	REVISIONS	ISSUE	PROJECT STAFF
6-14-2021		1	B. BOND P.E.
6-15-2021		2	A. VED P.E.
6-22-2021		3	W. HUBBARD
9-02-2021			

**BCI**  
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1018 BUSSE HIGHWAY  
 PARK RIDGE, IL 60068  
 PH: (847) 823-3300  
 FAX: (847) 823-3303  
 bbono@bonoconsulting.com

**PHASE II - SOIL EROSION & SEDIMENTATION  
 CONTROL PLAN**  
 DARIEN HEIGHTS RESIDENCES  
 2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

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PROJECT NUMBER: 21245  
 START DATE: MAY 21, 2021  
 GRAPHIC SCALE: 30 0 30  
 SCALE: 1"=30'-0"  
 SHEET NUMBER  
**5** OF **11**



STORMWATER POLLUTION PREVENTION PLAN

A COPY OF THIS PLAN, ALONG WITH ALL INSPECTION REPORTS, WILL BE KEPT AT THE SITE AT ALL TIMES. THE PERMITEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THE PERMIT COVERAGE EXPIRES OR IS TERMINATED.

SITE DESCRIPTION:

PROJECT NAME AND LOCATION:  
DARIEN HEIGHTS RESIDENCES, SITE IMPROVEMENT PLAN - 22305 SOKOL CT., DARIEN, DUPAGE COUNTY, IL.

PROJECT DESCRIPTION:  
NEW 4 STORY BUILDING WITH PARKING LOT AND UNDERGROUND INDOOR PARKING DEVELOPMENT TO BE CONSTRUCTED ON A VACANT PROPERTY.

TOTAL SITE AREA = 2.817 ACRES

TOTAL AREA DISTURBED = 2.817 ACRES

RUNOFF COEFFICIENT OF SITE AFTER CONSTRUCTION = ??

SOILS: VARIES, PREDOMINATELY SILTY CLAY LOAM

RECEIVING WATERS: --

EXISTING SITE CONDITIONS: --

ADJACENT/OFFSITE AREAS: EXISTING MULTI-FAMILY RESIDENCES TO SOUTH, SOUTHEAST, AND NORTHEAST. HOTEL TO SOUTHWEST. EXISTING DETENTION POND TO SOUTHWEST CORNER OF THE PROPERTY.

REFER TO IMPROVEMENT PLANS FOR PROPOSED MULTI-FAMILY RESIDENCE DEVELOPMENT FOR ADDITIONAL SITE INFORMATION.

EROSION AND SEDIMENT CONTROLS

REFER TO THE IMPROVEMENT PLANS FOR PROPOSED MULTI-FAMILY RESIDENCE DEVELOPMENT, AND THIS SWPPP.

STABILIZATION PRACTICES:

EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE. TEMPORARY SEEDING AND MULCHING SHALL OCCUR WITHIN 7 DAYS FOLLOWING THE COMPLETION OF ANY LAND DISTURBING ACTIVITIES. EROSION CONTROL BLANKETS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE SEEDING OF SLOPES 6:1 OR GREATER.

STRUCTURAL PRACTICES:

INLET FILTERS SHALL BE INSTALLED IN EXISTING DRAINAGE STRUCTURES PRIOR TO ANY GROUND DISTURBING ACTIVITIES. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE ESTABLISHMENT OF PROPOSED GRADES AT THE ENTRANCE LOCATION.

STORM WATER MANAGEMENT

REFER TO THE IMPROVEMENT PLANS FOR PROPOSED MULTI-FAMILY RESIDENCE DEVELOPMENT AND THE STORMWATER MANAGEMENT CALCULATIONS FOR ADDITIONAL INFORMATION

RUNOFF:

THE SITE DRAINS TO THE STORM SEWER LOCATED ON SITE AND DRAINS TO EXISTING DETENTION POND.

VELOCITY DISSIPATION

THE SITE UTILIZES THE STORM SEWER.

WASTE DISPOSAL

ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE SITE FOR DISPOSAL IN PERMITTED DISPOSAL FACILITIES. THE PROJECT SITE WILL BE KEPT CLEAR OF ALL HUMAN AND CONSTRUCTION DEBRIS. NO BUILDING MATERIALS, GAS OR OIL SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE. A SECURELY LIDDED DUMPSTER WILL BE PROVIDED FOR STANDARD SOLID WASTE.

HAZARDOUS WASTE WILL BE DISPOSED OF AS SPECIFIED BY THE CITY OF DARIEN, THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, OR THE MANUFACTURER OF THE MATERIAL, WHICH EVER IS STRICTER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL HAZARDOUS WASTE PRODUCED AS A PART OF THIS CONSTRUCTION PROJECT.

SANITARY WASTE WILL BE COLLECTED IN PORTABLE UNITS AND DRAINED AS SPECIFIED BY THE CITY OF DARIEN.

ANY SPILLED OIL, GAS, OR OTHER CONSTRUCTION MATERIAL WILL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOIL WILL BE DISPOSED OF IN AN APPROVED MANNER AT A LICENSED LANDFILL.

A SINGLE CONCRETE WASHOUT AREA WILL BE DESIGNATED BY THE CONTRACTOR FOR USE DURING THE DURATION OF THE PROJECT. THE WASHOUT AREA WILL BE DUG OUT OR BERMED UP TO CONTAIN ALL WASHOUT MATERIAL. ALL AFFECTED SOILS AND CONCRETE SPOILS WILL BE REMOVED FROM THE SITE UPON COMPLETION OF THE CONCRETE PLACEMENT ACTIVITIES.

OTHER REQUIREMENTS

THE CITY OF DARIEN CODE WILL GOVERN ALL EROSION CONTROL AND STORMWATER MANAGEMENT OPERATIONS.

IF ANY SITE AREA IS TO REMAIN DISTURBED FOR OVER 14 DAYS THEN 7 DAYS AFTER THE LAST DISTURBANCE THE CONTRACTOR MUST INITIATE STABILIZATION MEASURES.

NO FUEL OR OIL WILL BE STORED ON-SITE WITHOUT PROPER CONTAINMENT AND WRITTEN PERMISSION FROM THE CITY OF DARIEN.

THE CONTRACTOR WILL PREVENT OFF-SITE TRACKING OF SEDIMENTS. IF THE STABILIZED CONSTRUCTION ENTRANCE IS NOT SUFFICIENT, FURTHER MEASURES MUST BE IMPLEMENTED. ANY SEDIMENT LEFT ON THE PUBLIC ROADWAY WILL BE CLEANED OFF EVERY NIGHT.

DUST CONTROL, IF DEEMED NECESSARY BY THE CITY ENGINEER, WILL BE DONE BY MEANS OF A WATER TRUCK SPRAYING WATER ON THE SURFACE OF THE SITE.

NON-STORMWATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES WILL OCCUR FROM THIS SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER MAIN AND FIRE HYDRANT FLUSHING.
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED)
- UNCONTAMINATED GROUND AND SURFACE WATER FROM DEWATERING EXCAVATIONS AND DETENTION BASINS
- DUST CONTROL WATER

ALL NON-STORMWATER DISCHARGES WILL BE DIRECTED TO THE EXISTING STORM SEWERS

DEMOLITION AND RECONSTRUCTION SCHEDULE OF CONSTRUCTION

1. INSTALL SILT FENCE AND EROSION CONTROL MEASURES.
2. CONSTRUCT IMPROVEMENTS.
3. COMPLETE RESTORATION.
4. REMOVE TEMPORARY EROSION CONTROL MEASURES.

MAINTENANCE AND INSPECTION PROCEDURES

THE GENERAL CONTRACTOR FOR THIS PROJECT IS RESPONSIBLE FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD AND EFFECTIVE OPERATING CONDITIONS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL REGULAR INSPECTIONS REQUIRED BY THE NPDES GENERAL PERMIT #2 INCLUDING RECORDING AND KEEPING A RECORD OF EACH INSPECTION. THIS PROCESS WILL CONTINUE UNTIL FINAL STABILIZATION IS ACHIEVED AND A NOTICE OF TERMINATION IS RECEIVED BY THE OWNER. INSPECTIONS WILL BE PERFORMED AND RECORDED BY QUALIFIED INDIVIDUALS TRAINED BY THE GENERAL CONTRACTOR AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING

CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.

BASED ON THE RESULTS OF THE INSPECTIONS, MODIFICATIONS NECESSARY SHALL BE IMPLEMENTED WITHIN 7 DAYS OF THE INSPECTION.

ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. ANY NECESSARY REPAIRS WILL BE INITIATED IMMEDIATELY.

SEDIMENT BUILDUP WILL BE REMOVED FROM SILT FENCES WHEN IT HAS REACHED 1/3 THE HEIGHT OF THE FABRIC.

SEDIMENT BUILDUP WILL BE REMOVED FROM OTHER EROSION CONTROLS AS NEEDED TO MAINTAIN STORMWATER FLOW THROUGH THE SITE AND AVOID SEDIMENT FROM BYPASSING THE EROSION CONTROLS.

EROSION CONTROL MEASURES WILL BE REPAIRED, MAINTAINED, OR INCREASED AT THE DIRECTION OF THE LOCAL SOIL AND WATER CONSERVATION DISTRICT, THE CITY OF DARIEN OR THE PARK DISTRICT'S ENGINEER.

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. THE REPORT SHALL SUMMARIZE THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN TO SOLVE ANY PROBLEMS OBSERVED. THE INSPECTION REPORT SHALL BE SIGNED BY A QUALIFIED INDIVIDUAL PER NPDES GENERAL PERMIT NO. 2.

INSPECTION REPORTS SHALL BE RETAINED AS A PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS AFTER FINAL STABILIZATION AND A NOTICE OF DISCONTINUATION HAS BEEN SUBMITTED TO THE DEPARTMENT.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION.

GENERAL CONTRACTOR

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

SUB-CONTRACTOR #1

SUB-CONTRACTORS RESPONSIBILITY

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

USE ADDITIONAL SHEETS FOR ADDITIONAL SUB-CONTRACTORS. EACH SHEET WILL HAVE THE PROJECT NAME AND LOCATION AS DESCRIBED IN THE SITE DESCRIPTION ON THIS SHEET. EACH ADDITIONAL SUB-CONTRACTOR WILL PROVIDE THEIR RESPONSIBILITY, COMPANY NAME, ADDRESS AND PHONE NUMBER, PRINTED NAME AND TITLE, SIGNATURE AND DATE. THIS INFORMATION WILL BE KEPT WITH THIS PLAN.

OWNERS'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION.

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

<b>SWPPP</b>	<b>DARIEN HEIGHTS RESIDENCES</b>	<b>2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS</b>	<b>BCI</b>	<b>BONO CONSULTING, INC.</b>	<b>CIVIL ENGINEERS</b>	PH : (847) 823-3300 FAX : (847) 823-3303 bbono@bonoconsulting.com	1018 BUSSE HIGHWAY PARK RIDGE, IL 60068
COPYRIGHT: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ENGINEER.		PROJECT NUMBER: 21245	START DATE: MAY 21, 2021		GRAPHIC SCALE		30 0 30
SCALE: 1"=30'-0"		SHEET NUMBER		<b>6</b> OF <b>11</b>			

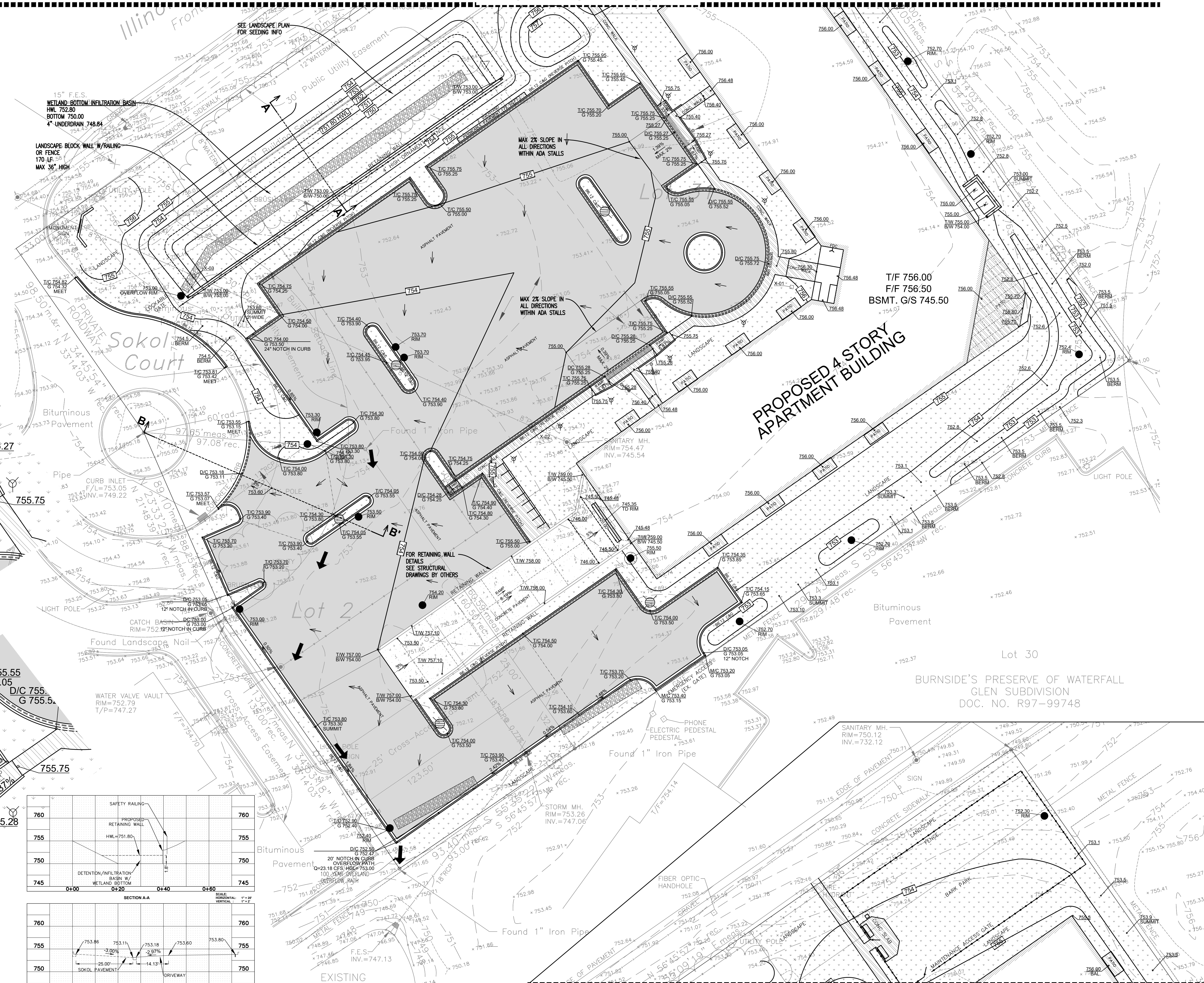
PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER	1	ISSUED FOR PERMIT	6-14-2021
ENGINEER	2	REVISION PER CITY COMMENTS	6-22-2021
ENGINEER	3	REVISION PER CITY COMMENTS	9-2-2021
TECHNICIAN			



MATCH LINE SEE THIS SHEET

GRADING NOTES:

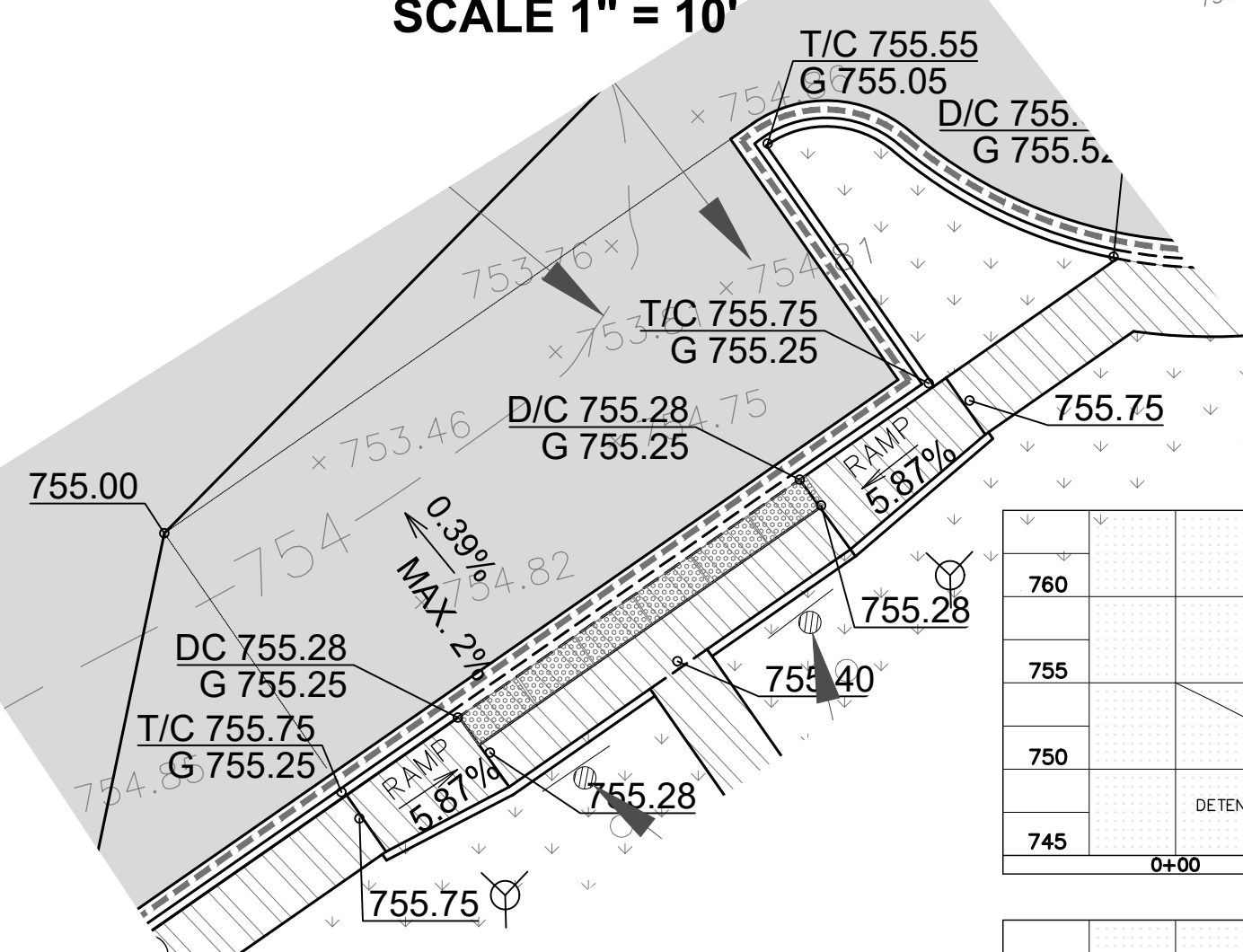
1. RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
2. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
3. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
4. MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
6. THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
9. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY OTHERS.
10. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.



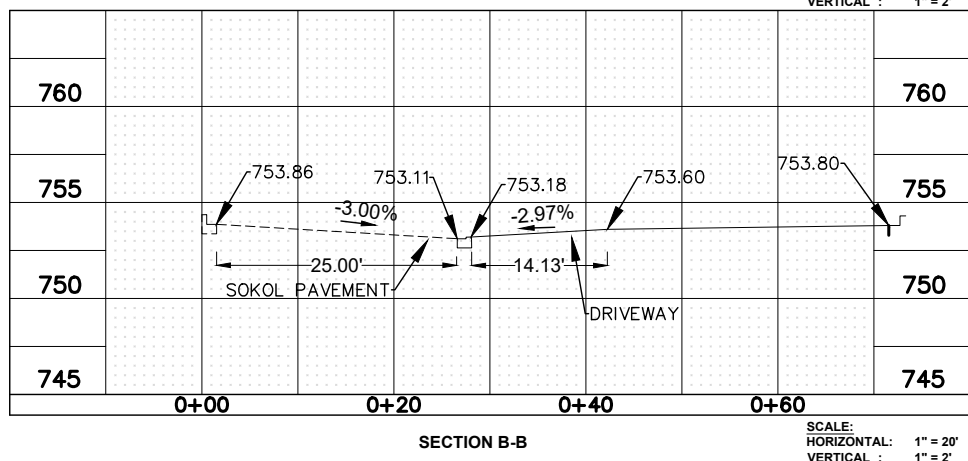
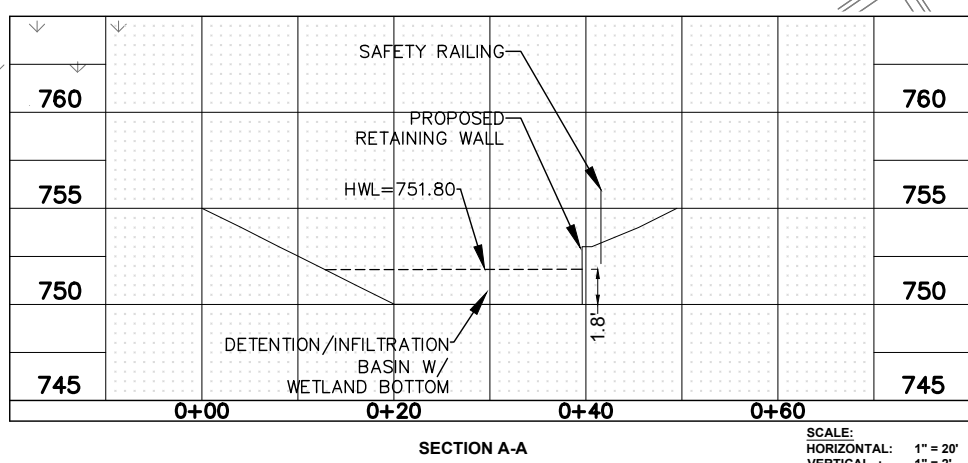
T/F 756.00  
F/F 756.50  
BSMT. G/S 745.50

**PROPOSED 4 STORY APARTMENT BUILDING**

**ADA PARKING STALL  
DETAIL-NORTH  
SCALE 1" = 10'**



**ADA PARKING STALL  
DETAIL-SOUTH  
SCALE 1" = 10'**



EXISTING DETENTION POND (DETENTION BASIN B)

MATCH LINE SEE THIS SHEET

DATE	ISSUE	REVISIONS
6/14/21	ISSUED FOR PERMIT	
6/16/21	REVISED PER CITY COMMENTS	
6/21/21	REVISED PER CITY COMMENTS	

**BCI**  
BONO CONSULTING, INC.  
CIVIL ENGINEERS

1018 BUSSE HIGHWAY PH: (847) 823-3300  
PARK RIDGE, IL 60068 FAX: (847) 823-3303  
bbono@bonoconsulting.com

**PROPOSED GRADING, & DRAINAGE PLAN  
OVERALL SITE**

**DARIEN HEIGHTS RESIDENCES  
2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS**

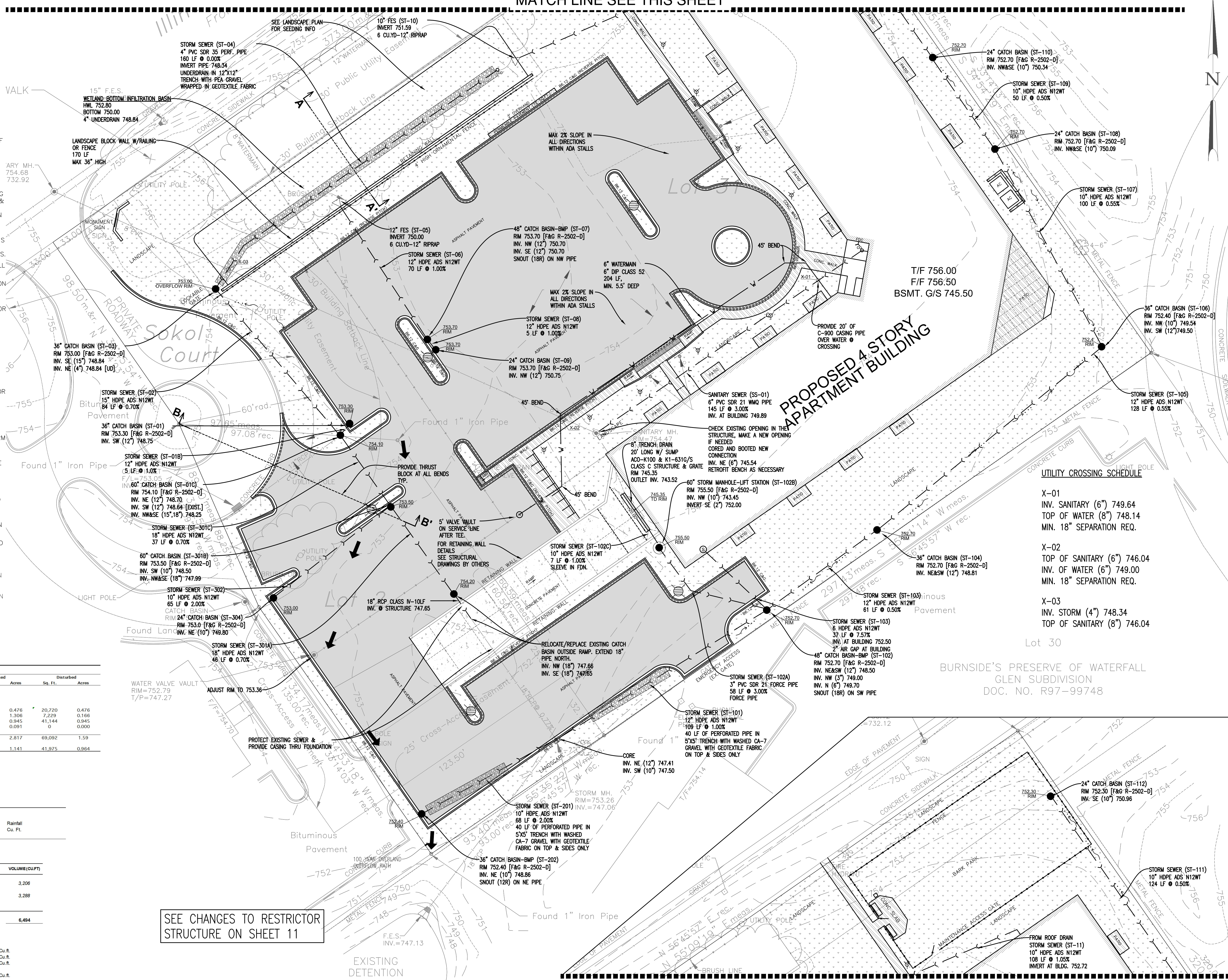
PROJECT NUMBER: 21245  
START DATE: MAY 21, 2021  
GRAPHIC SCALE: 1"=20'-0"  
SCALE: 1"=20'-0"  
SHEET NUMBER: 7 OF 11



**UTILITY NOTES:**

- ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND CROSSINGS PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
- CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
- AT LOCATIONS WHERE WATER MAIN CROSSES BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
- ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE PAVEMENT ELEVATIONS.
- ALL WATER MAIN SHALL BE 5'-6" BELOW FINISHED GRADE TO TOP OF MAINS UNLESS NOTED OTHERWISE.
- ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
- ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER OF MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO FES.
- PROVIDE CONCRETE COLLAR AT ALL NEW STORM STRUCTURE IN PAVEMENT, NOT ADJACENT TO CURB. SEE CONCRETE COLLAR DETAIL ON DETAIL SHEET.
- CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO SANITARY MANHOLES.
- EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJUSTED EXISTING SANITARY MANHOLES.
- SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
- ALL STORM MANHOLES IN PAVEMENT SHALL BE OPEN LID UNLESS OTHERWISE NOTED.
- ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS. IN THE EVENT OF CONFLICTING GUIDELINES, THE MORE RESTRICTIVE SHALL GOVERN.

MATCH LINE SEE THIS SHEET



SEE CHANGES TO RESTRICTOR STRUCTURE ON SHEET 11

2305 Sokol Ct., Darien  
Date: 06.02.21

	Existing		Proposed		Disturbed	
	Sq. Ft.	Acres	Sq. Ft.	Acres	Sq. Ft.	Acres
Site Area	122,704	2.817				
Project/Disturbed Area of Site	111,067	2.550				
Building	0	0.000	20,720	0.476	20,720	0.476
Walks, Play Ground & Conc. Pads	0	0.000	56,880	1.306	7,229	0.166
Access & Parking	1,467	0.034	41,144	0.945	41,144	0.945
Street	4,241	0.097	3,960	0.091	0	0.000
Impervious Area	5,707	0.131	122,704	2.817	69,092	1.59
Pervious Area	116,997	2.686	49,682	1.141	41,975	0.964
Disturbed area of Site	2,550	Ac.				

**BEST MANAGEMENT PRACTICES**

Impervious Area (Net New) 69,092 s.f.

**VOLUME CONTROL BEST MANAGEMENT PRACTICES**

Volume Control Requirements	1.25"	Rainfall
Volume Control Storage Required	7,197	Cu. Ft.

**PROPOSED**

Storage Below - HWL 751.80	(Bottom Portion)		VOLUME (CUFT)
	HEIGHT BETWEEN CONTOURS (FT)	AREA OF CONTOUR (SQ.FT)	
751.80	0.80	3,679	3,206
751.00	1.00	2,898	3,289
<b>Total</b>			<b>6,494</b>

**Infiltration Trench (Two systems)**

40x5x5 Trench	Trench Volume	=	1,000	Cu.ft.
	Void Space-36%	=	360	Cu.ft.
	Storage in Each system	=	360	Cu.ft.
<b>Total Storage in Infiltration System</b>			<b>720</b>	<b>Cu.ft.</b>
<b>Total PCMB Provided =</b>			<b>7,214</b>	<b>Cu. Ft.</b>

**UTILITY CROSSING SCHEDULE**

- X-01  
INV. SANITARY (6") 749.64  
TOP OF WATER (8") 748.14  
MIN. 18" SEPARATION REQ.
- X-02  
TOP OF SANITARY (6") 746.04  
INV. OF WATER (6") 749.00  
MIN. 18" SEPARATION REQ.
- X-03  
INV. STORM (4") 748.34  
TOP OF SANITARY (8") 746.04

**PROPOSED UTILITY PLAN**  
**OVERALL SITE**  
**DARIEN HEIGHTS RESIDENCES**  
**2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS**

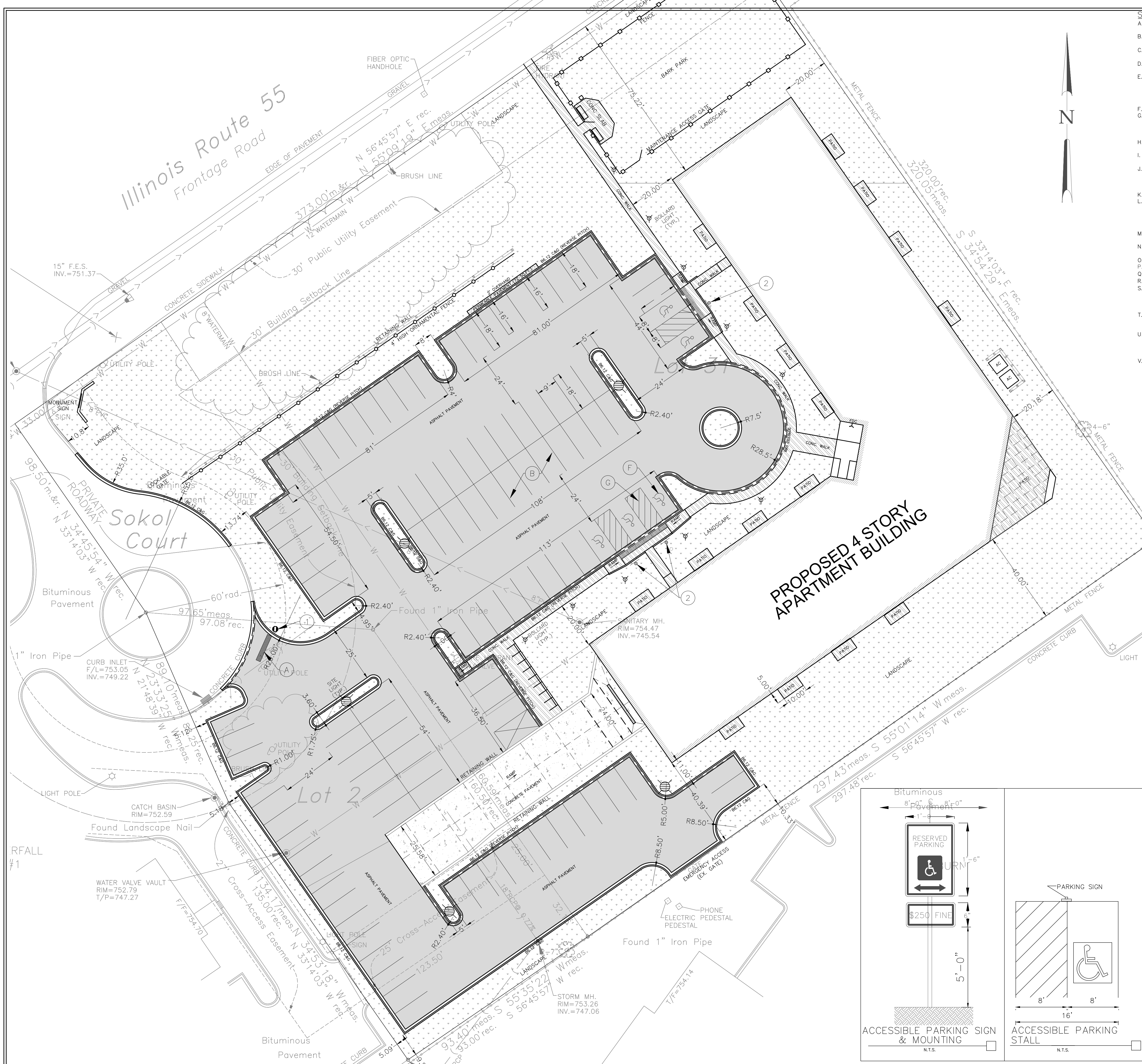
**BCI**  
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1018 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: (847) 823-3300  
FAX: (847) 823-3303  
bbono@bonoconsulting.com

**REVISIONS**

DATE	ISSUE	PROJECT STAFF	REVISIONS
6-14-2021	ISSUED FOR PERMIT	B. BONO P.E.	1
6-29-2021	REVISED PER CITY COMMENTS	A. VERBEKE	2
9-02-2021	REVISED PER CITY COMMENTS	W. HERRIN	3

PROJECT NUMBER: 21245  
START DATE: MAY 21, 2021  
GRAPHIC SCALE: 1"=20'-0"  
SHEET NUMBER: 8 OF 11





**SITE PLAN NOTES:**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY /COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL HEALTHY STAND OF GRASS IS ESTABLISHED OTHERWISE NOTED.
- ALL CURBED RADI ARE TO BE 3' MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED. STRIPED RADI ARE TO BE 5' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB AND RADI ARE BACK OF CURB OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST, THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITION AS PREPARED BY OTHERS, BONO CONSULTING INC. IS NOT LIABLE FOR OMISSIONS OR ERRORS IN SURVEY, CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE REMOVED UNDER PROPOSED BUILDINGS AND ABANDONED ELSEWHERE AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY OTHERS.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
- CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATIONS OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
- TOTAL LAND AREA IS 2.817 +/- ACRES.
- NO WETLANDS WERE PRESENT ON THIS SITE.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."
- MONUMENT AND/OR PYLON SIGNS SHALL BE CONSTRUCTED BY OWNER ASSIGNED CONTRACTOR.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.
- ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE

**PARKING SUMMARY**

TOTAL NUMBER OF UNITS: 68  
 REQUIRED PARKING: 2 STALLS PER UNIT  
 TOTAL REQUIRED PARKING: 136

**PROPOSED PARKING**

REGULAR PARKING (EXTERIOR): 103  
 REGULAR PARKING (BASEMENT): 28  
 ADA PARKING (EXTERIOR): 5  
 TOTAL PARKING PROVIDED: 136

**SIGNAGE LEGEND**

- ① STOP SIGN (R1-1)
- ② ACCESSIBLE PARKING SIGN (R7-8)
- ③ NO PARKING SIGN FIRE LANE (R8-31)
- ④ DO NOT ENTER (R5-1)
- ⑤ PEDESTRIAN CROSSING SIGN
- ⑥ NO OUTLET SIGN
- ⑦ NO PARKING TO CORNER SIGN
- ⑧ NO LEFT TURN DURING 4:00 PM TO 6:00 PM SIGN
- ⑨ PEDESTRIAN CROSSING SIGN

**PAVEMENT MARKING LEGEND**

- Ⓐ 24" WHITE SOLID STOP BAR
- Ⓑ 4" YELLOW SOLID LINE
- Ⓒ 8" SOLID WHITE LINE
- Ⓓ LETTERS & SYMBOLS PAVEMENT MARKINGS
- Ⓔ TRAFFIC FLOW DIRECTIONAL ARROWS
- Ⓕ ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS-SEE DETAIL
- Ⓖ 4" YELLOW DIAGONAL AT 45° SPACED 3' O.C.
- Ⓗ 4" SOLID WHITE LINE

**PAVEMENT LEGEND**

**HEAVY DUTY PAVEMENT (20 YEAR SERVICE LIFE) [NOT USED]**  
 1-1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50  
 2-1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50  
 12" AGGREGATE BASE COURSE CA-6, TYPE B

**STANDARD DUTY PAVEMENT**  
 2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, N50  
 2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50  
 8" AGGREGATE BASE COURSE CA-6, TYPE B

**PERMEABLE PAVEMENT**  
 4" PERMEABLE PAVERS  
 12" AGGREGATE BASE COURSE CA-7 (WASHED)

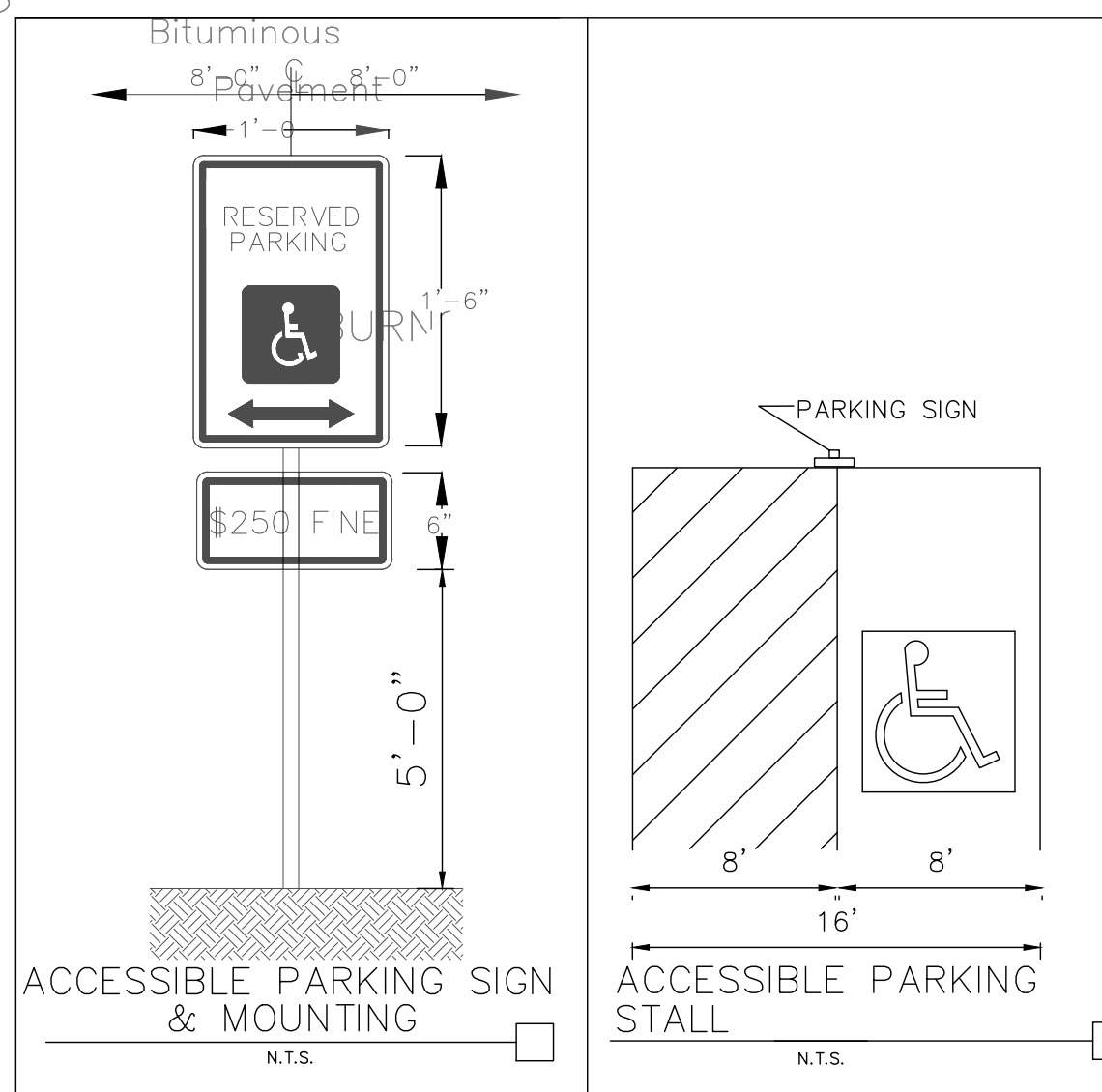
**CONCRETE APRON**  
 8" CONCRETE PAVEMENT (W/6X6 W/1.4 WWF, IF ALLOWED IN ROW)\*  
 4" COMPACTED AGGREGATE BASE CA-6, TYPE B

**CONCRETE PADS - TRASH CORAL & UTILITY PADS**  
 8" CONCRETE PAVEMENT W/6X6 W/1.4 WWF\*  
 4" COMPACTED AGGREGATE BASE CA-6, TYPE B

**SIDEWALKS/PATIO**  
 5" PORTLAND CEMENT CONCRETE (8" PCC THROUGH DRIVEWAYS)  
 4" COMPACTED AGGREGATE BASE COURSE, TYPE B

**DETECTABLE WARNING AND DEPRESSED CURB**  
 REPLACEABLE RED POLYMER COMPOSITE PLATES

\*REFER TO CONCRETE JOINT DETAILS (IF ANY).



DATE	REVISIONS
6-14-2021	
6-23-2021	
6-28-2021	

PROJECT STAFF	ISSUE
B. BOND P.E.	1
A. VED P.E.	2
W. HUBBARD	3

**BCI**  
 BONO CONSULTING, INC.  
 CIVIL ENGINEERS

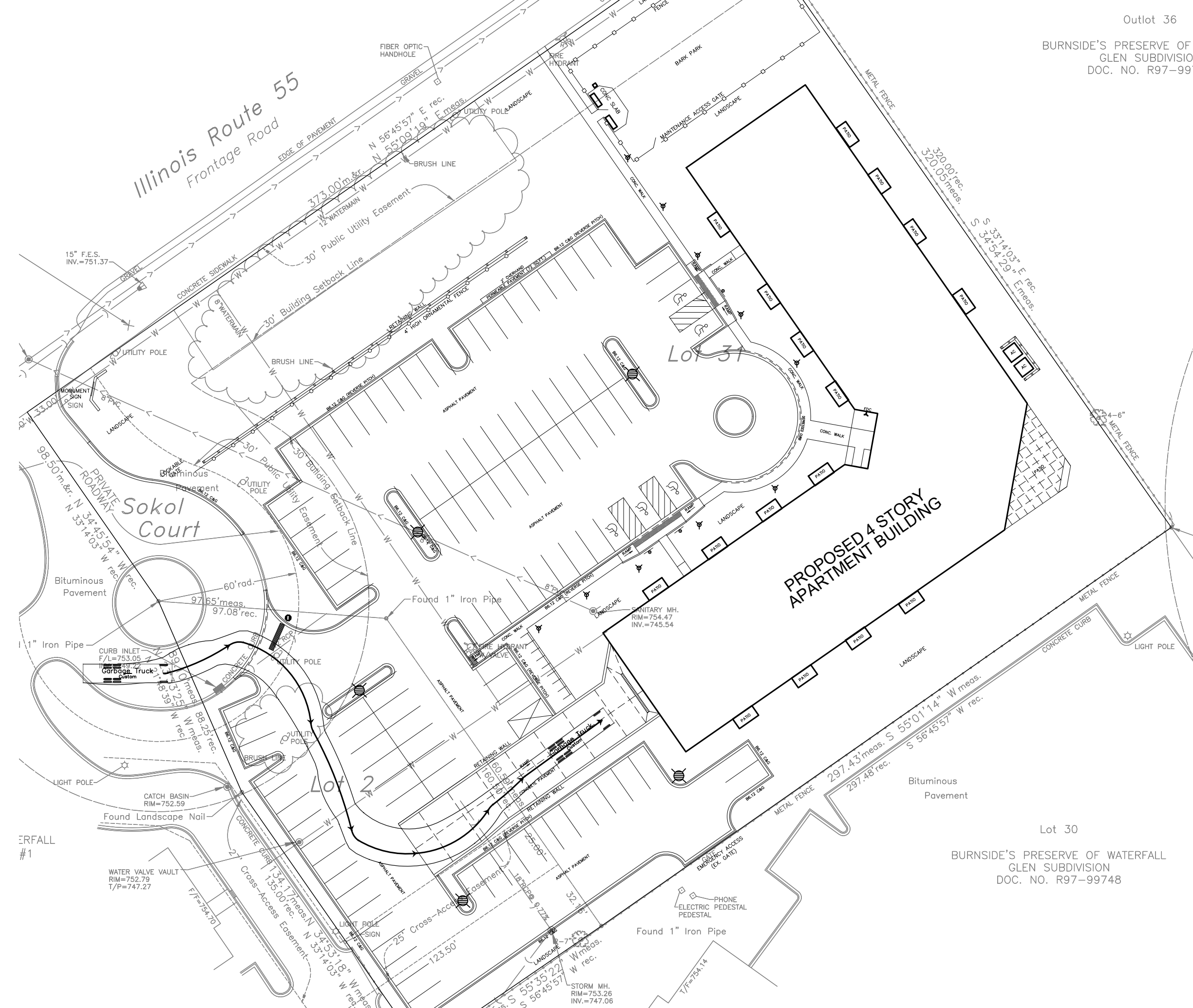
1018 BUSSE HIGHWAY  
 PARK RIDGE, IL 60068  
 PH : (847) 823-3300  
 FAX: (847) 823-3303  
 bbono@bonoconsulting.com

**SITE PLAN & GEOMETRIC PLAN**

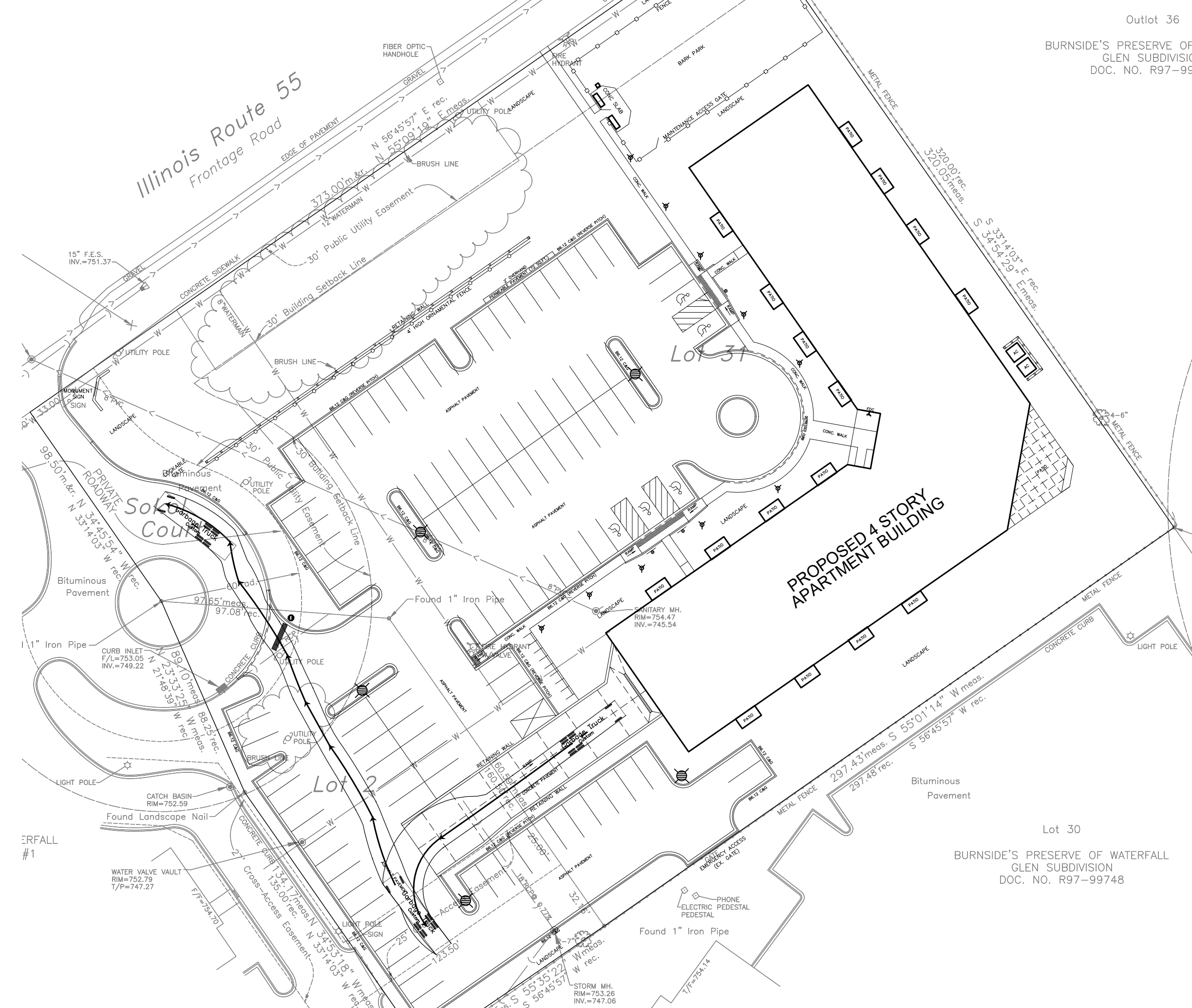
**DARIEN HEIGHTS RESIDENCES**  
 2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

PROJECT NUMBER: 21245  
 START DATE: MAY 21, 2021  
 GRAPHIC SCALE: 20' = 1" (0 to 20)  
 SCALE: 1"=20'-0"  
 SHEET NUMBER: **9** OF **11**

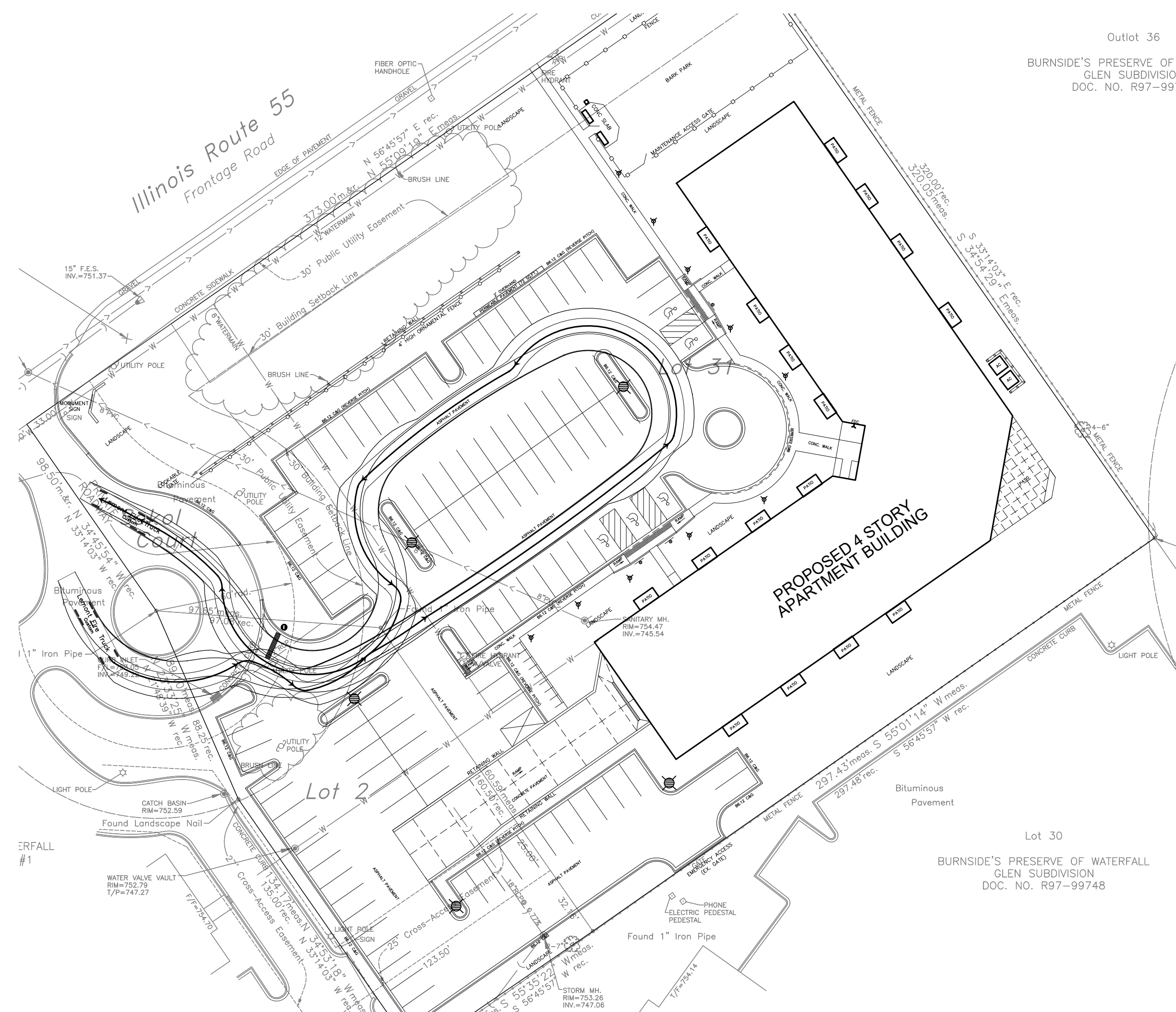




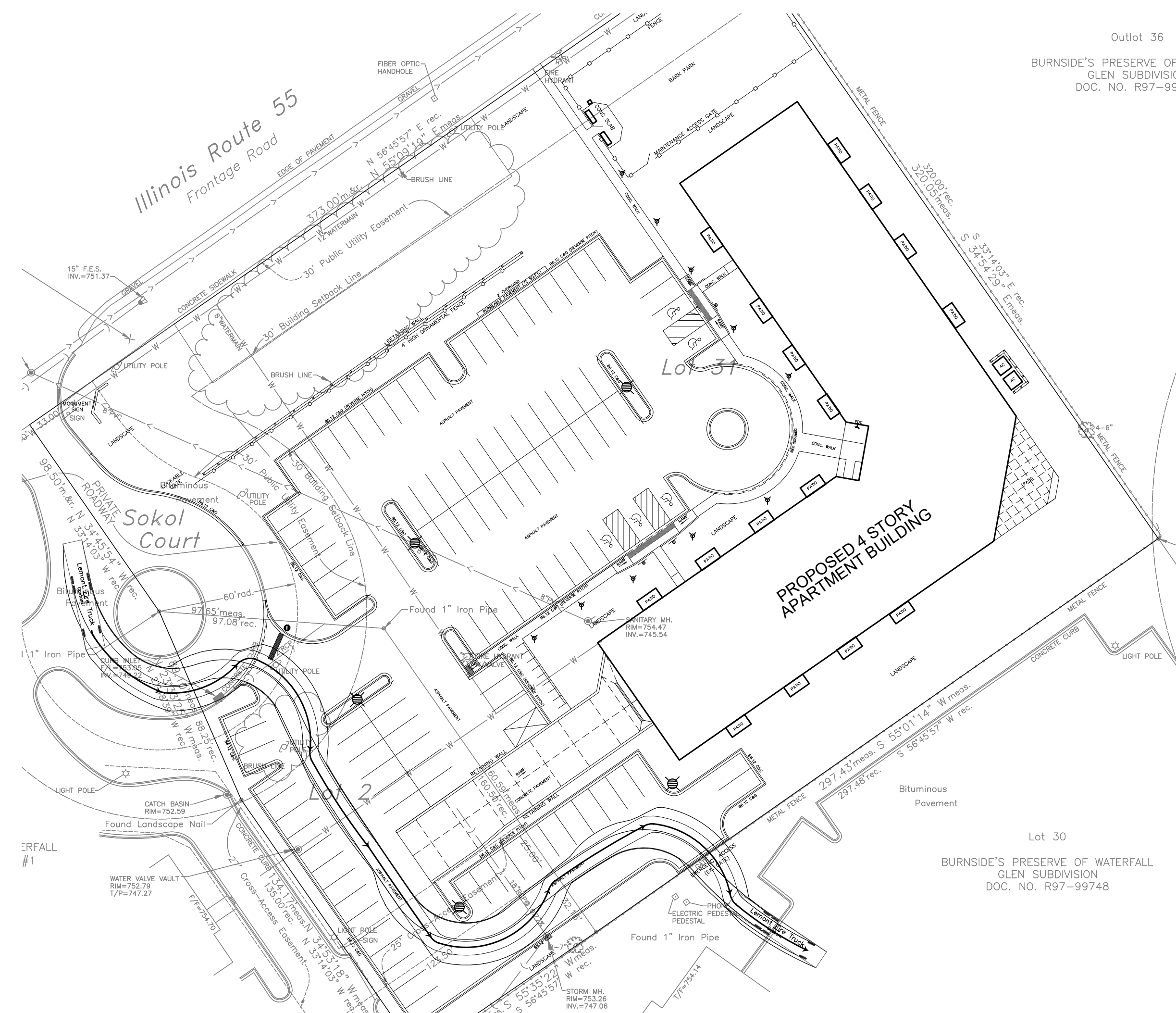
GARBAGE TRUCK TURNING RADIUS - FORWARD



GARBAGE TRUCK TURNING RADIUS - REVERSE



FIRE TRUCK TURNING RADIUS #1



FIRE TRUCK TURNING RADIUS #2

DATE	REVISIONS
6/14/2021	
6/25/2021	
9/2/2021	

PROJECT STAFF	ISSUE	REVISIONS
PROJECT MANAGER	1	ISSUED FOR PERMIT
ENGINEER	2	REVISED PER CITY COMMENTS
TECHNICIAN	3	REVISED PER CITY COMMENTS

**BCI**  
**BONO CONSULTING, INC.**  
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 1018 BUSSE HIGHWAY  
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 FAX : (847) 823-3303  
 bbono@bonoconsulting.com

**AUTOTURN EXHIBITS**  
**DARIEN HEIGHTS RESIDENCES**  
**2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS**

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PROJECT NUMBER: 21245  
 START DATE: MAY 21, 2021  
 GRAPHIC SCALE: 40' = 1" (0 to 40)  
 SCALE: 1"=40'-0"  
 SHEET NUMBER: **9.1** OF **11**



GENERAL CONSTRUCTION NOTES

- 1. The construction shall be under the general inspection of the City engineer and the owner's engineer.
2. All work shall be in accordance with the applicable sections of the following specifications:
a. Illinois Department of Transportation (I.D.O.T.) "Standard Specifications for Road and Bridge Construction" January 1, latest edition.
b. "Standard Specifications for Water and Sewer Main Construction in Illinois" latest edition.
c. "Illinois Recommended Standards for Sewage Works" as published by the I.E.P.A.
d. "Manual on Uniform Traffic Control Devices" (M.U.T.C.D.) latest edition.
e. The Subdivision and Development Codes and Standards of the City of Darien.
f. "Procedures and Standards for Urban Soil Erosion and Sedimentation Control in Illinois" published by the Association of Illinois Soil and Water Conservation Districts.

Where a contradiction occurs with any part of the standard specifications, the most stringent requirement shall take precedence, as determined by the engineer.

The contract documents (Plans and Specifications/General Notes) shall supersede the standard specifications. If there is a conflict between the plans and specifications, the most stringent requirement shall take precedence, as determined by the engineer.

The contractor shall have at least one copy of all applicable specifications as well as one copy of the contract documents (Plans and Specifications) available at the job site at all times that work is in progress.

- 3. Should any discrepancies or conflicts on the plans, quantities or specifications be discovered by the contractor, whether prior to awarding or after the award of the contract, the engineer's attention shall be called to the same before work is begun thereon and so that proper corrections can be made.
4. Contract Documents and Drawings:
A. The engineer's drawings (The Plans) shall be included as part of the contract documents.
B. The contractor is required to review the soils report for the site.
C. All bidders shall carefully examine the drawings and specifications prepared for the work. They shall visit the site of the work and acquaint themselves with all local conditions, codes, and requirements affecting the contract. If awarded the contract, they shall not be allowed extra compensation by reason of any unforeseen difficulties or obstacles which the bidder could have discovered or reasonably anticipated prior to the bidding.
D. Should it appear that the work covered by the contract documents is not sufficiently detailed or explained, an RFI form shall be submitted to the engineer for further drawings or explanations as may be necessary to clarify the point in question prior to the contract award. It is the intention of the contract documents to provide a job complete in every respect. The contractor is responsible for this result and to turn over the project in complete operating condition, irrespective of whether the contract documents cover every individual item in minute detail.
5. The Darien Department of Public Works shall be notified 24 hours in advance to schedule inspections for sidewalk, curb and gutter driveways, aprons, paving, grading, watermain, sewer main and utility services.
6. Work shall not take place without required traffic control devices and barricades in place per the M.U.T.C.D. Any deficiency of safety or traffic control devices shall be just cause to stop the project until such time as the deficiency is corrected.
7. City streets shall not be closed without the written permission of the Darien Department of Engineering and then only after proper notification has been given to the Police and Fire Departments.
8. The contractor shall immediately remove mud, soil or debris deposited on public streets. Failure to keep streets clean shall be just-cause for issuance of a Stop Work Order or citation.
9. Signs located in the public right-of-way must not be removed or damaged. If a sign needs to be moved, notify the Public Works Department
10. Construction materials shall not be stored within the City Right-Of-Way.
11. The owner/contractor shall be responsible for obtaining all required Federal, State, County, I.E.P.A. permits.

The contractor shall, at his own expense, obtain all other permits, licenses, etc., as may be required for the execution of this work, give all necessary notices, pay all fees required, post all bonds, and comply with all laws, ordinances, rules and regulations relating to the work and to the preservation of public health and safety.

All required insurance and/or bonds shall be provided by the contractor as may be required by the permitting agency.

The contractor shall meet all of the requirements of any permits as might be issued for this work by other agencies, and shall pay for at their sole expense any surety or bonds as may be required by the permitting agency.

- 12. The contractor is responsible for having a set of approved engineering plans with the latest revision date on the job site at all times during the construction period.
13. The contractor shall indemnify and save harmless the owner, Bono Consulting Inc., and their officers and employees, the City and their officers, employees, agents, and engineers, and from and against all losses, claims, demands, payments, suits, actions, recoveries, and judgment of every nature and description brought or recovered against them, by reason of any act or omission of said contractor, their agents, subcontractors or employees, in the execution of the work or in the guarding of it.
14. The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered and that the actual location of those which are shown may be different from the location as shown on the plans. The contractor is to verify the location of all utilities prior to the start of work and is responsible for damage to same. The contractor shall call J.U.L.I.E. 1-800-892-0123 and the City public works department for utility locates before excavating.
15. Existing utilities are shown on the plans according to information obtained from utility companies and surveys. The owner and engineer do not guarantee the accuracy or completeness of this information. The contractor shall make their own investigation to determine the existence, nature and location of all utility lines and appurtenances within the limits of the improvement. The contractor shall locate all utilities far enough in advance to avoid all conflicts in grade separation between existing utilities and proposed improvements. If the contractor encounters a conflict between the proposed improvement and existing utility that was not located in advance by the contractor, then the contractor shall at no cost to owner, relocate the proposed improvements and/or utility to avoid the conflict.

The contractor will be required to cooperate with all utility companies involved in connection with the removal, temporary relocation, reconstruction or abandonment by these companies of any and all services or facilities owned or operated by them within the limit of this improvement.

Before doing any work which will damage, disturb or leave unsupported or unprotected any utility lines or appurtenances encountered, the contractor shall notify the respective owner thereof, who will make all arrangements for relocating, adjusting, or otherwise maintaining or abandoning service on lines that fall within the limits of the proposed construction without cost to the contractor, including the removal of all cables, manhole covers and other appurtenances which the owner desires to salvage. After such arrangements have been made, the contractor will proceed with the work as directed by the engineer. All utility lines and appurtenances which are abandoned shall be removed and legally disposed of by the contractor.

No extra compensation will be allowed by the contractor for any expense incurred by complying with these requirements or because of delays, inconvenience or interruptions in their work resulting from the failure of any utility company to remove, relocate, reconstruct or abandon their services. The responsibility for prompt and timely removal, relocation, reconstruction or abandonment of their facilities by all utility companies involved, and the coordination of their own work with that of these companies to the end that work on this improvement is not delayed because of the necessary changes in the existing utilities, public or private, shall rest upon the contractor.

- 16. The flow from any field tiles draining off-site properties shall be maintained. The contractor shall notify the engineer if any such field tiles are encountered and shall show them on a set of as-built plans.
17. All existing utilities or improvements, including walks, curbs, pavements and parkways damaged or removed during construction shall be promptly restored to their respective original condition.
18. All existing pavement or concrete to be removed shall be saw cut along the limits of the proposed removal. Payment for sawing shall be included in the cost of the removal of each item.
19. The contractor is to verify all critical elevations prior to commencing work and if there are any discrepancies, is to notify the engineer immediately. The contractor shall call to the attention of the engineer any errors or discrepancies which may be suspected in the lines and grades which are established by the surveyor, and shall not proceed with the work until any lines and grades which are to be believed to be in error have been verified or corrected by the engineer.
20. No holes are to be left open in the pavement or the parkway over a holiday, weekend, or after 3 p.m. on the day preceding a holiday or weekend.
21. Any bracing, sheeting or special construction methods deemed necessary by the contractor in order to install the proposed improvements shall be considered incidental to the cost of the project. Any additional soils data needed to confirm the contractor's opinions of the subsol conditions shall be done at the contractor's expense. The contractor shall obtain the owner's written authorization to access the site to conduct a supplemental soils investigation.
22. Whenever the performance of work is indicated on the plans, and no item is included in the contract for payment, the work shall be considered incidental to the contract and no additional compensation will be allowed.
23. All items shown to be removed, shall be legally disposed of off-site.
24. All work performed under this contract shall be guaranteed against all defects in materials and workmanship of whatever nature by the contractor and his surety for a minimum period of 12 months from the date of final acceptance of the work by the City, other applicable governmental agencies, and the owner.
25. No work shall be performed on adjacent private property without the written permission of the property owner.

- 26. During construction the contractor and their subcontractors shall remove from the premises, rubbish, waste material and accumulations, and shall keep the premises clean. The contractor shall clean the premises to the satisfaction of the owner, engineer, and City.
27. The contractor shall have appropriate equipment, including street sweepers and end loaders available on-site at all times when equipment or vehicles are using existing public or private pavement. The contractor shall immediately remove any dirt, mud, clay, sediment, concrete, gravel, sand, stones, plant matter, debris, refuse, garbage, etc. deposited on any street, sidewalk or alley by any equipment, vehicles or people associated with this project. The contractor is responsible for complying with all City ordinances including any and all assessments of cost that may result. This work shall not be paid for separately, but shall be included in the cost of the work.
28. All trenching, shoring, and construction work performed shall be in accordance with O.S.H.A. Standards. The contractor shall at all times maintain proper dust control at the site and shall have a watering truck readily available during all working hours.
29. The contractor shall water the entire site whenever the site conditions become unhealthy due to blowing soil or dust. The site shall be watered as many times per day as necessary to maintain a healthy work site as determined by the owner or engineer. Water for non-emergency use shall not be obtained from any fire hydrant, unless the fire hydrant is metered in accordance with City requirements. The cost to furnish dust control shall be incidental to the cost of construction.
30. The contractor must follow the requirements of the City Specification for all pavement openings and repairs.
31. Tree removal permit is required for removal of all trees 10" diameter or greater.
32. An inspection of the top of foundation will be required prior to pouring.
33. A final inspection of grading will be required before placement of any sod.
34. All street openings shall be in accordance with IDOT standards for work within an IDOT R.O.W.
35. All retaining walls greater than 36" high need to be approved by a licensed structural engineer. Retaining wall shop drawings to be submitted by contractor for approval.
36. Construction staking shall be provided by the contractor and shall be included in the contract price. A licensed surveyor must stake all grading, utility and paving work.
37. Upon completion of the project, the contractor or engineer shall submit a sets of as-built engineering plan and a grading certificate. These documents shall be submitted within thirty (30) days of final approval to the City. The price per this work shall be included in contractors fee.

IEPA NOTES:

Sewers crossing water mains shall be laid to meet the following specifications:

- 1. Horizontal Separation:
A. Whenever possible, a water main must be laid at least ten feet horizontally from any existing or proposed drain or sewer line.
B. Should local conditions exist which would prevent a lateral separation of ten feet, a water main may be laid closer than ten feet to a storm or sanitary sewer provided that the water main invert is at least eighteen inches above the crown of the sewer, and is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer.
C. If it is impossible to obtain proper horizontal and vertical separation as described in 1 and 2 above, both the water main and sewer must be constructed of pipe material which would conform to water main standards and be pressure tested to assure water tightness before backfilling.
2. Vertical Separation:
• Whenever water mains cross house sewers, storm drains or sanitary sewers, the water main shall be laid at such an elevation that the invert of the water main is eighteen inches above the crown of the drain or sewer. This vertical separation must be maintained for that portion of the water main located within ten feet horizontally of any sewer or drain crossed. This must be measured as the normal distance from the water main to the drain or sewer.
• Where conditions exist that the minimum vertical separation set forth in 1 above cannot be maintained, or it is necessary for the water main to pass under a sewer or drain, one of the following two measures must be taken:
•A. The water main shall be installed within a PVC carrier pipe and the carrier pipe shall extend on each side of the crossing until the normal distance from the water main to the sewer or drain line is at least ten (10) feet.
•B. The involved sewer or drain shall be constructed of pipe material which would conform to water main standards until the normal distance from the water main to the sewer is at least ten (10) feet.
3. In making such crossings, center a length of water main pipe over the sewer to be crossed so that the joints will be equidistant from the sewer and as remote there from as possible. Where a water main must cross under a sewer, a vertical separation of eighteen inches between the invert of the sewer and the crown of the water main shall be maintained, along with means to support the larger sized sewer lines to prevent their settling and breaking the water main. The horizontal and vertical separation between water service lines and all sanitary sewers, storm sewers, or any drain should be the same as for water mains, as detailed above, except that when minimum horizontal and vertical separation cannot be maintained, water pipe as described under Vertical Separation above, may be used for sewer service lines.

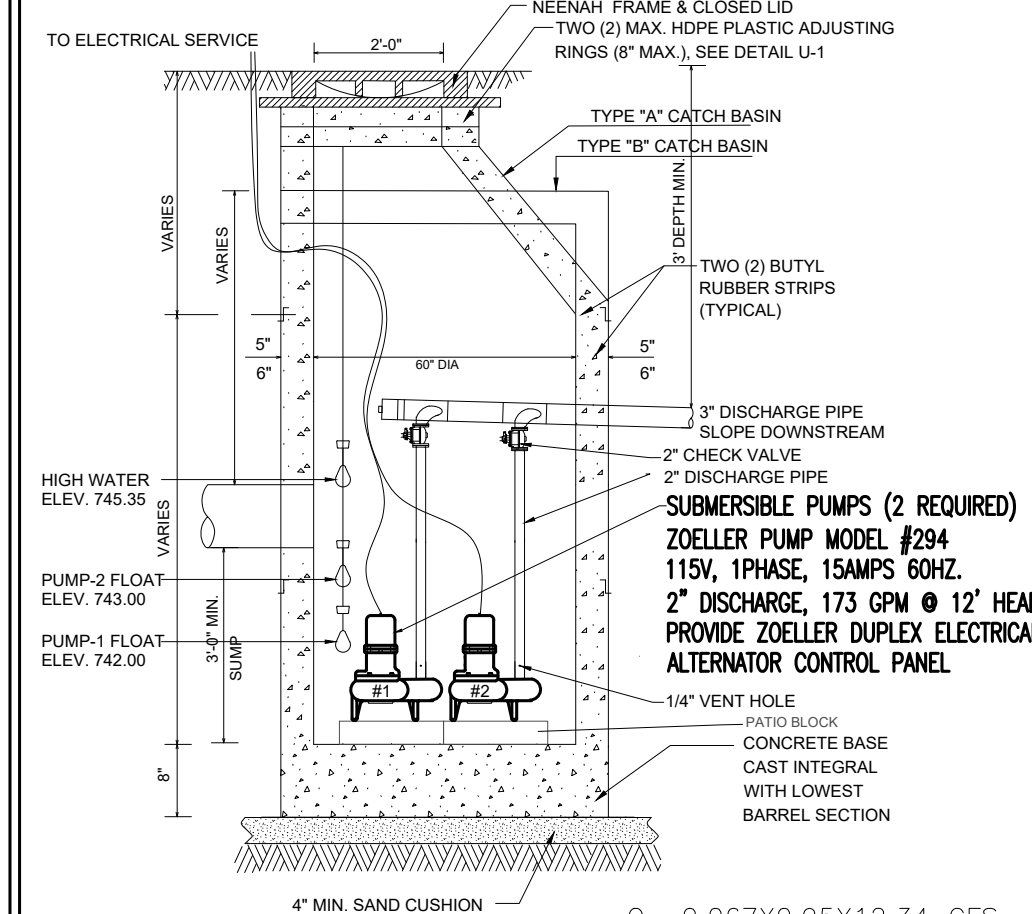
EARTHWORK AND GRADING

- 1. All earthwork shall be done in accordance with the state of Illinois, "Standard Specifications for Road and Bridge Construction," latest edition and "Supplemental Specifications and Recurring Special Provisions," latest edition. Included in this work, but not necessarily limited to the following are: clearing, stripping and stockpiling of topsoil, mass grading and fine grading of the site and roadways, excavation of unsuitable materials and excavation of detention ponds, landscape mound construction, and miscellaneous topsoil spread and seeding.
2. Any earthwork summaries provided by the engineer are intended to be used as a guide for the contractor in determining the scope of the completed project. It is the responsibility of the contractor to determine all material quantities and appraise themselves of all site conditions. The contract price submitted by the contractor shall be considered as lump sum for the complete project. No claims for extra work will be recognized unless ordered in writing by the owner.
3. The initial establishment of erosion control procedures and the placement of erosion control fence, etc. shall be installed by the contractor prior to the start of mass grading.
4. All grading operations are to be supervised and inspected by the owner's engineer or their representative. All testing, inspection, and supervision of soil quality, unsuitable soil removal and its replacement, and other soils related operations shall be entirely the responsibility of the soils engineer. No undercut shall be performed or claims for extra work without authorization by the owner and documentation by the soils engineer.
5. Clearing shall consist of the removal and disposal of all obstructions such as trees, hedges, fences, walls, accumulations of rubbish of whatever nature, and all logs, shrubs, brush, grass, weeds, and other vegetation and stumps. These items shall be preserved whenever they occur within the street right of ways, and within the limits of construction. Trees to be saved shall be identified by the Engineer on the construction plans. All trees, except those designated to be saved, and all stumps shall be cut and legally disposed of. Trees, stumps, and hedges within the limits of construction shall be removed completely. Trees designated to be saved as indicated on the plans, or as directed by the engineer, shall be protected in accordance with the procedures outlined in Article 201.05 of the "Standard Specifications for Road and Bridge Construction."
6. Strip topsoil down to firm subbase, stockpile quantity necessary for landscaping, and remove other materials from the site.
7. Excavation shall consist of the excavation, removal, and satisfactory disposal or placement and compaction of all materials taken from within the site for the construction of embankments, subgrade, subbase, shoulders, intersections, ditches, waterways, entrances, approaches and incidental work, and the removal and satisfactory disposal of unstable and unsuitable materials and their replacement with satisfactory materials where required.
8. After stripping and excavating to the proposed subgrade level, as required, the building and parking areas should be proof-rolled with a loaded, tandem-axle dump truck or similar rubber tired vehicle, loaded with at least 9 tons per axle. Proof-rolling aids in providing a firm base for compaction of fills, and help to delineate soft, loose, or disturbed areas that may exist below subgrade level. Proof-rolling is especially important to help evaluate the surficial stability of existing fill soils that may be left in place below floor slabs and pavements. Soils which are observed to rut or deflect excessively (more than 1 inch) under the moving load should either be scarified and re-compacted with a smooth drum vibratory roller for granular soils, a sheeps foot roller for cohesive soils, or undercut and replaced with properly compacted and documented structural fill. The proof-rolling and undercutting activities should be observed and documented by a representative of the geotechnical engineer and should be performed during a period of dry weather. In addition to proof-rolling, the subgrade soils should be scarified and compacted to at least 90 percent of the Modified Proctor maximum dry density ASTM D 698 for a depth of at least 8 inches below the surface.
9. Where encountered, loose sands and asphalt grindings should be re-compacted with a vibratory roller. Clay subgrade soils can be easily disturbed by construction activities and are sensitive to moisture. Therefore, extra care should be used to avoid disturbing these soils during construction activities. If the soils become unstable during construction, or if near surface soft subgrade soils are encountered, it is recommended that coarse aggregate be placed on the subgrade until a stable base for compaction of fill is achieved. Typically, 12 to 24 inches of course aggregate are required, depending in the consistency of the subgrade, the course aggregate should consists of clean, crushed stone gravel between 1/4 and 3 inches in size. The course aggregate should be spread in a max. of 12-inch layers and consolidated with compaction equipment until it is "locked" in place.
10. Topsoil excavation shall consist of the removal and stockpiling, or placing on fill slopes or placing in mounds, of the uppermost layers of organic soil. Topsoil shall be stockpiled on the areas as shown on the plans or as directed by the engineer.
11. Topsoil spread shall consist of placing a minimum of a four (4) inch layer of topsoil over the unpaved areas within the construction limits.
12. 4" topsoil & sod shall be placed on all disturbed areas within the right of way.
13. Refer to the landscape plans for additional information on ground cover & planting requirements.
14. Embankment shall be placed in accordance with Section 205 of the "Standard Specifications for Road and Bridge Construction." All embankments located within structural fill areas shall be constructed to a minimum 95% of the modified proctor density (ASTM D1557). Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified proctor density (ASTM D1557).
15. Completed grading (finished fine grade) for all proposed improvements shall be within a tolerance of plus or minus one-tenth (0.1) feet of design subgrade elevations.
16. The subgrade for the proposed streets and pavement areas shall be proof-rolled by the contractor in the presence of the City engineer and soils engineer. Any unstable areas encountered shall be removed and replaced as directed by the City engineer and soils engineer. Any unstable areas shall be documented by the soils engineer.
17. It shall be the responsibility of the contractor to remove from the site any and all materials and debris which results from their construction operations at no additional expense to the owner.
18. When in the opinion of the soils engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding specified, the contractor shall obtain approval by the owner and the owner's engineer prior to removing the unsuitable soils and replace the material with granular compacted bedding material as directed by the soils engineer and the City. The depth of the removal and replacement shall be documented by the owner's engineer and witnessed by the contractor.
19. This work, when approved by the owner and owner's engineer, will be measured and paid for at the contract unit price per cubic yard in place for unsuitable soil which price shall include the removal and off-site disposal of unsuitable soil, the additional bedding material, and all labor, materials and equipment required to perform the work as specified.
20. The contractor shall be responsible for hiring and scheduling a qualified testing firm for all soil testing. This shall be included in the cost of work.

CONSTRUCTION NOTES
DARIEN HEIGHTS RESIDENCES
2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS
BCI CIVIL ENGINEERS
BONO CONSULTING, INC.
1018 BUSSE HIGHWAY
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PH : (847) 823-3300
FAX : (847) 823-3303
bbono@bonoconsulting.com
PROJECT NUMBER: 21245
START DATE: MAY 21, 2021
GRAPHIC SCALE 0
SCALE: NTS
SHEET NUMBER 10 OF 11
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NOTE TO HOA/OWNER:  
PUMP WILL NOT WORK IF DISCHARGE LINES ARE COVERED OR FROZEN.  
PUMP SYSTEM WILL NEED ANNUAL MAINTENANCE. A BACKUP GENERATOR OR ALTERNATE POWER SYSTEM IS RECOMMENDED.



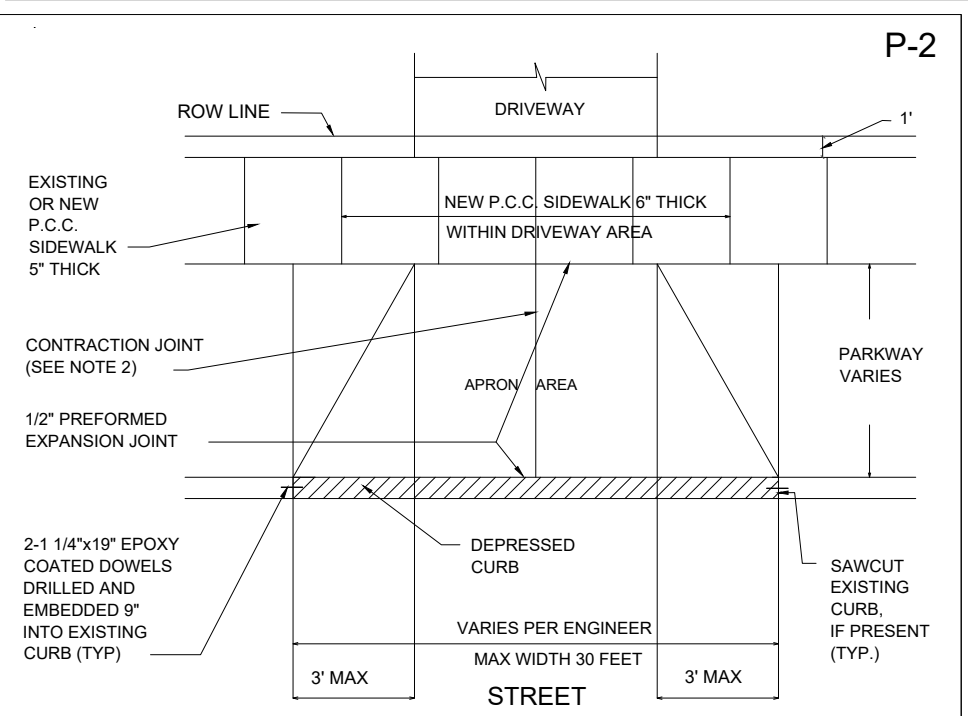
FLARED END-SECTION DIMENSION CHART

PIPE SIZE	WALL	A	B	C	D	E	R	SLOPE
12"	2"	4"	2'-0"	4'-7/8"	6'-7/8"	2'-0"	9"	3/16"
15"	2.25"	5"	2'-3"	5'-10"	6'-11"	2'-4"	11"	3/16"
18"	2.5"	6"	2'-3"	6'-10"	6'-11"	3'-0"	12"	3/16"
21"	2.75"	7"	2'-11"	7'-2"	6'-11"	3'-6"	13"	3/16"
24"	3"	8"	3'-7 1/2"	7'-6"	6'-15 1/2"	4'-0"	14"	3/16"
27"	3.25"	10 1/2"	4'-4"	7'-10"	6'-15 1/2"	4'-4"	14 1/2"	3/16"
30"	3.5"	12"	4'-6"	7'-7 1/2"	6'-15 1/2"	5'-0"	15"	3/16"
33"	3.75"	13"	4'-10 1/2"	8'-2 1/2"	6'-15 1/2"	5'-6"	15 1/2"	3/16"
36"	4"	14"	5'-3"	8'-10 1/2"	6'-15 1/2"	6'-0"	16"	3/16"
42"	4.5"	15"-3/4"	5'-3"	8'-11"	6'-4"	6'-4"	20"	3/16"
48"	5"	16"-0"	6'-0"	8'-2"	7'-0"	7'-0"	22"	3/16"
54"	5.5"	17"-3/4"	5'-5"	8'-11"	6'-4"	7'-4"	24"	2/16"

NOTES:  
1. MANHOLES MUST CONFORM TO ASTM C-478.  
2. MANHOLE SECTIONS TO BE TONGUE AND GROOVED.  
3. NON-PRECAST OPENINGS SHALL BE CORDED, RUBBER BOOTED AND INTERIOR MORTARED AROUND PIPE.  
4. USE ECCENTRIC CONE ONLY.

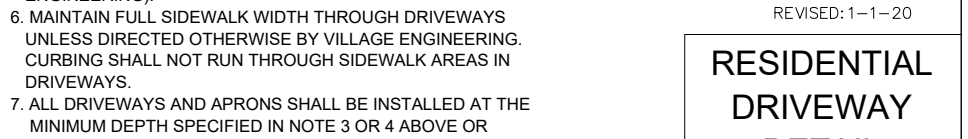
ANIMAL GUARDS BY AGRY DRAIN CORPORATION OR APPROVED EQUAL. 1-800-232-4742

LIFT STATION DETAIL

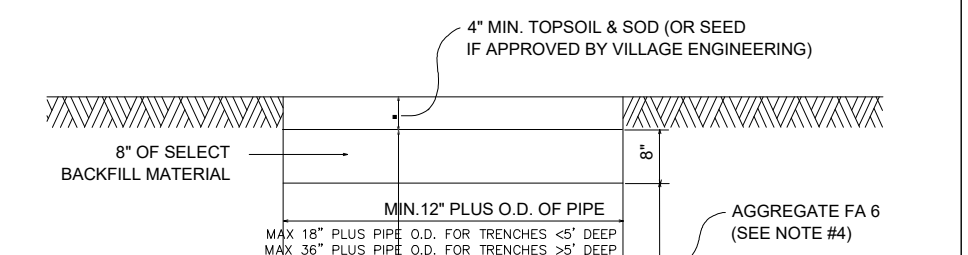


NOTES:  
1. FOR P.C.C. DRIVEWAY OVER AN UNDERGROUND UTILITY TRENCH, PLACE 6"x6"x1/2" W600X9 WELDED WIRE FABRIC AT MID-DEPTH OF THE CONCRETE.  
2. FOR CONCRETE APRON WIDER THAN 16", A CONTRACTION JOINT SHALL BE LOCATED ALONG THE CENTERLINE.  
3. P.C.C. CONCRETE DRIVEWAYS:  
APRON - 8" MIN PORTLAND CEMENT CONCRETE AND 4" MIN (DOT CA 6 CRUSHED STONE) DRIVEWAY  
4" MIN PORTLAND CEMENT CONCRETE AND 4" MIN (DOT CA 6 CRUSHED STONE)  
4. BITUMINOUS DRIVEWAYS:  
APRON - 3" MIN BITUMINOUS CONCRETE SURFACE COURSE AND 4" MIN (DOT CA 6 CRUSHED STONE) DRIVEWAY  
5. 3" MIN BITUMINOUS CONCRETE SURFACE COURSE AND 4" MIN (DOT CA 6 CRUSHED STONE)  
6. BRICK PAVERS AND OTHER ARCHITECTURAL PAVING MATERIALS ARE NOT ALLOWED IN A DRIVEWAY APRON AREA WITHOUT A PERMITTING AND WRITTEN PERMISSION, INCLUDING A HOLD HARMLESS AGREEMENT APPROVED BY VILLAGE ENGINEERING.  
7. ALL DRIVEWAYS AND APRONS SHALL BE INSTALLED AT THE MINIMUM DEPTH SPECIFIED IN NOTE 3 OR A ABOVE OR MATCH EXISTING, WHICHEVER IS GREATER.

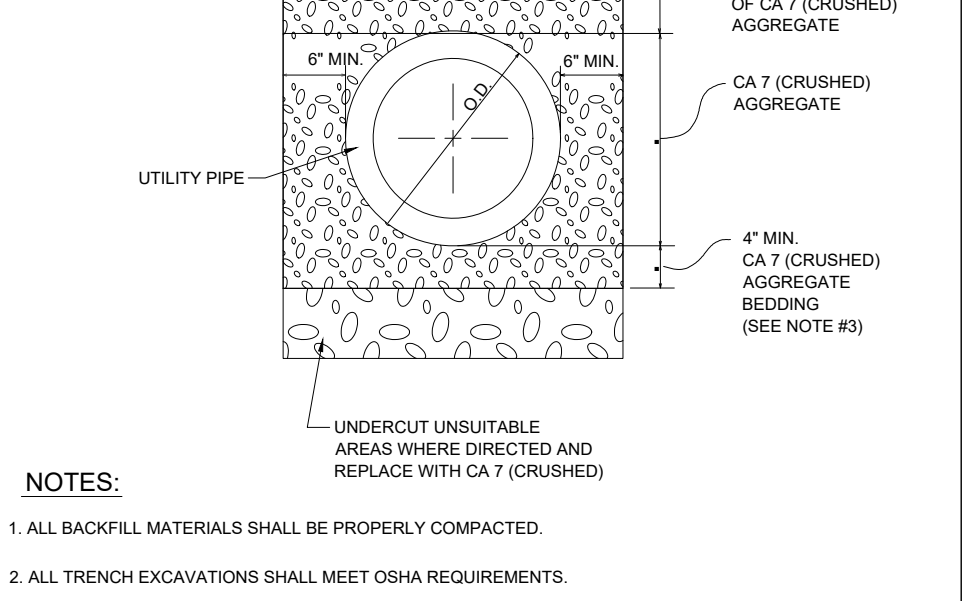
RESIDENTIAL DRIVEWAY DETAIL



PIPE CONNECTION TO STRUCTURE DETAIL

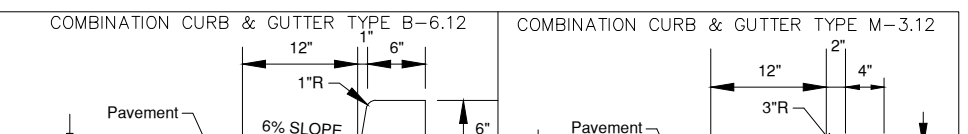


CATCH BASIN DETAIL

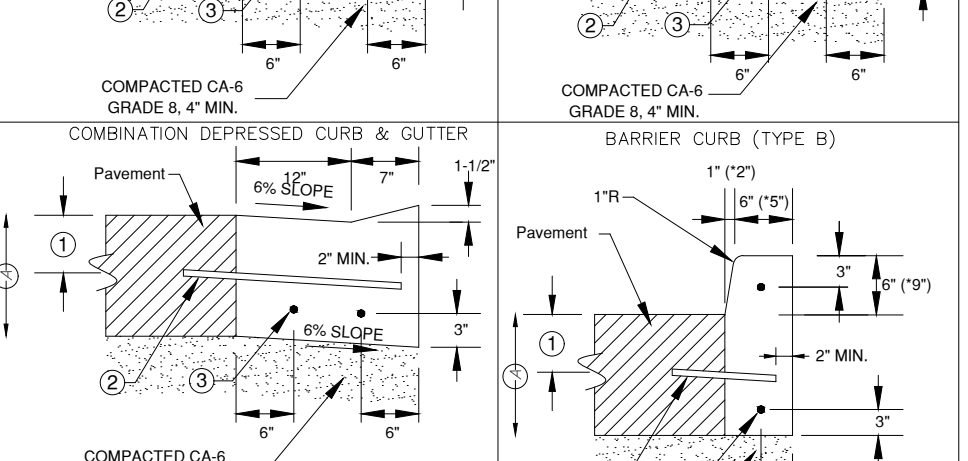


UTILITY TRENCH IN NON-PAVED AREAS DETAIL

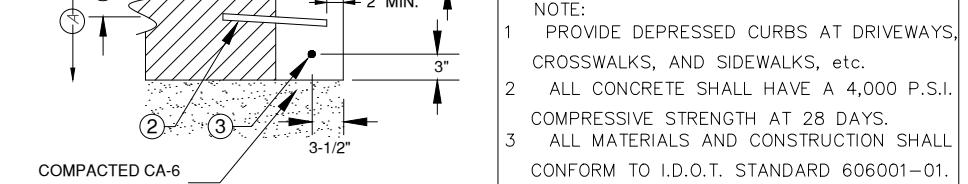
UTILITY TRENCH IN PAVED AREAS DETAIL



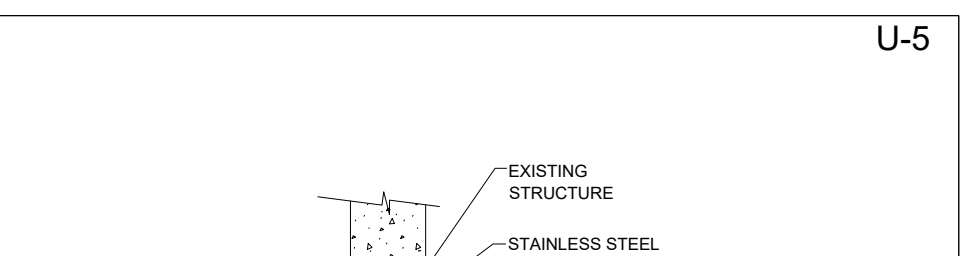
CURB & GUTTER DETAIL



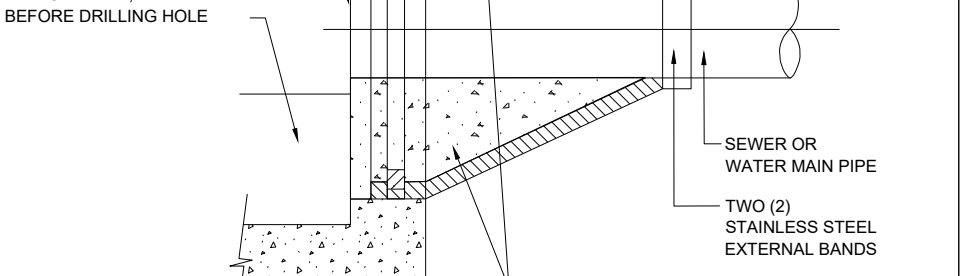
MODIFIED CATCH BASIN TYPE B W/RESTRICTOR



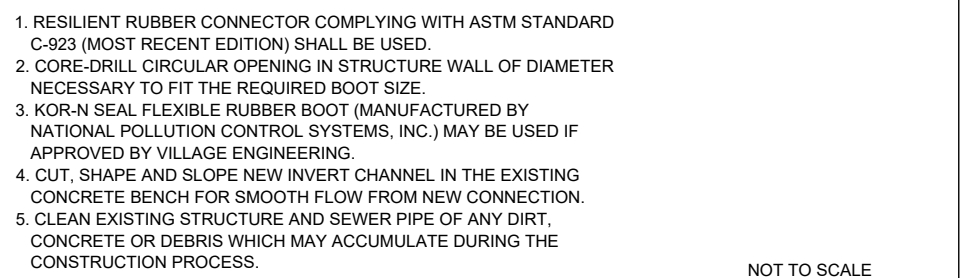
MODIFICATION OF EXISTING RESTRICTOR OUTLET PIPE



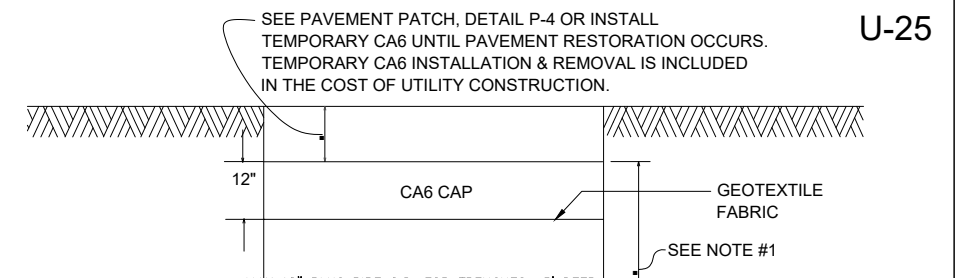
STORM MANHOLE DETAIL



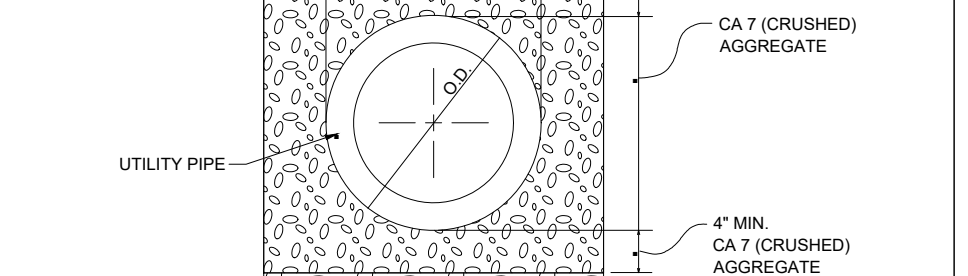
STORM MANHOLE DETAIL



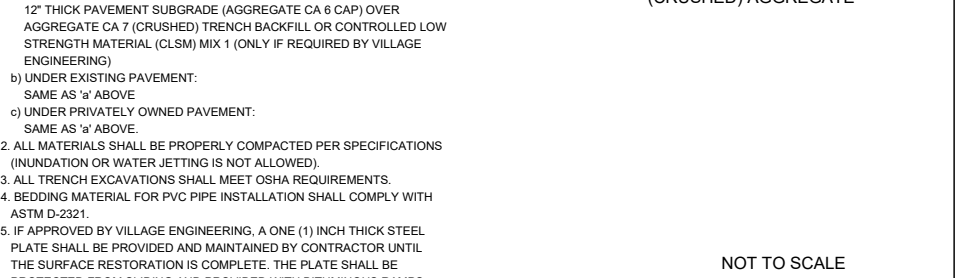
STORM MANHOLE DETAIL



STORM MANHOLE DETAIL



STORM MANHOLE DETAIL



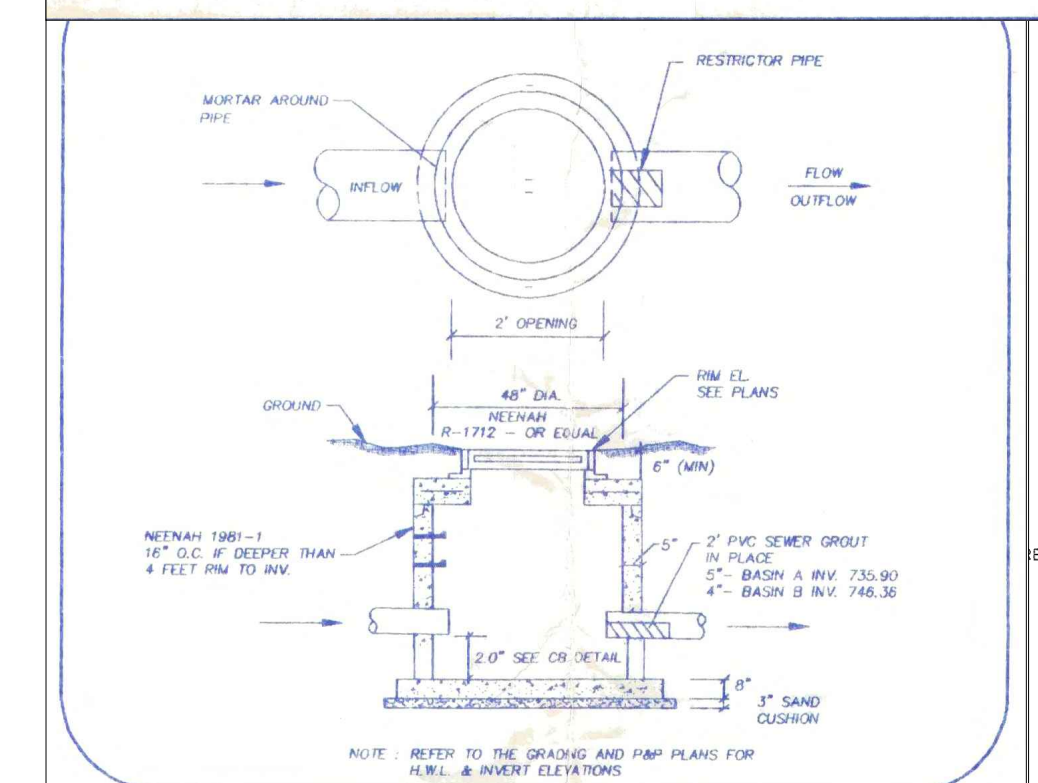
STORM MANHOLE DETAIL

## P&D Consultants

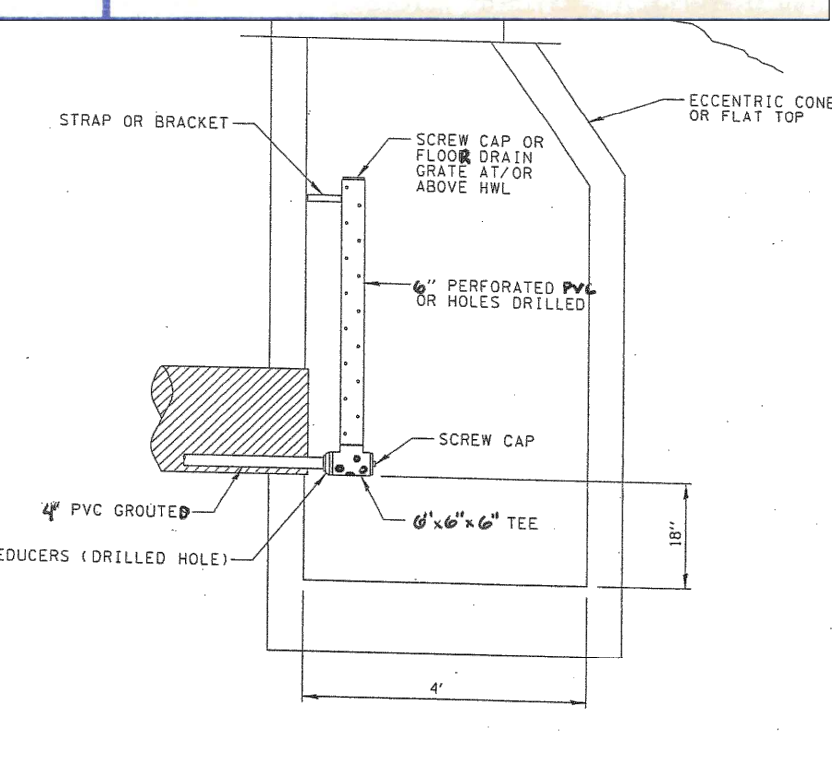
1420 Kensington Road Suite 100  
Oak Brook, IL 60521 708-900-8788

ENGINEERING \* PLANNING  
LANDSCAPE ARCHITECTURE  
TRAFFIC & TRANSPORTATION

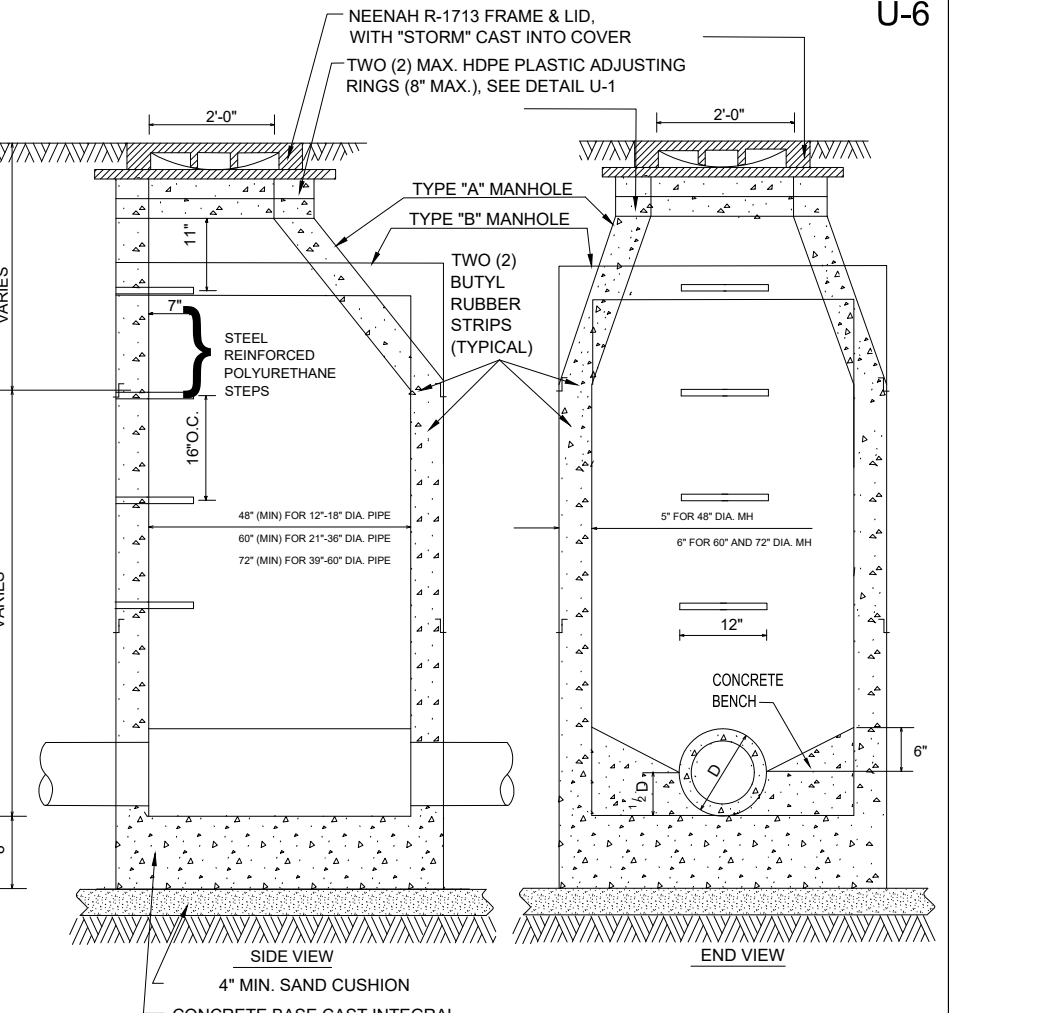
### THE PRESERVE AT WATERFALL GLEN



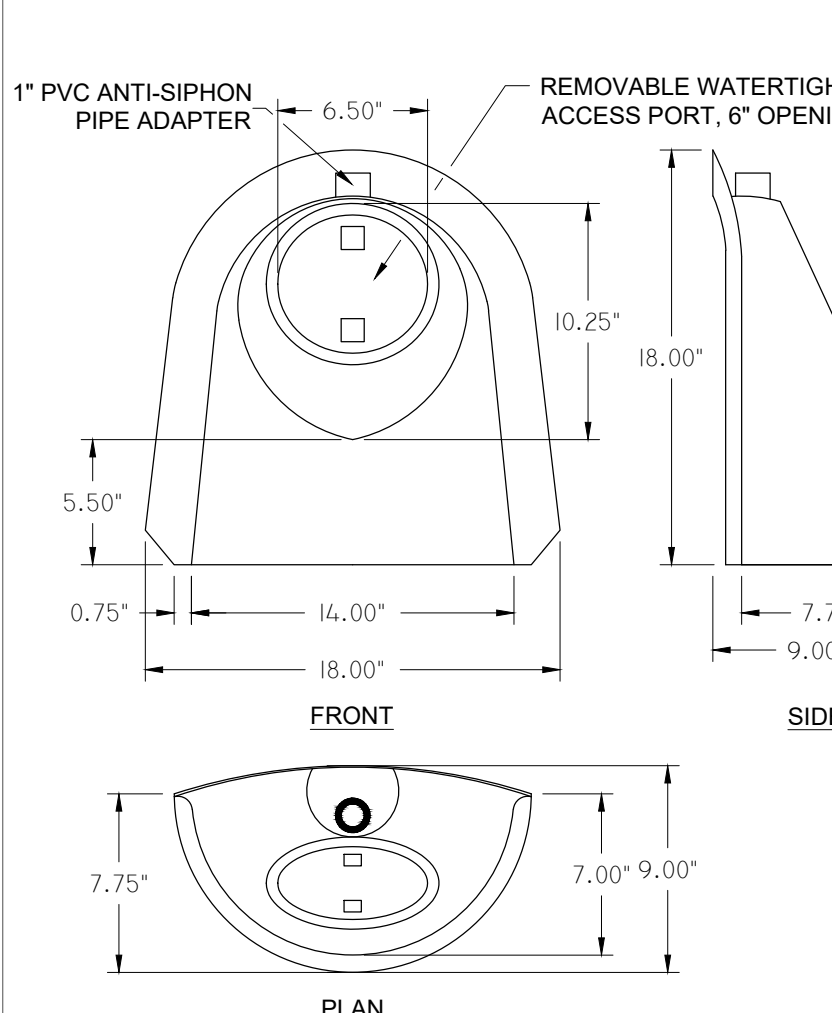
MODIFIED CATCH BASIN TYPE B W/RESTRICTOR



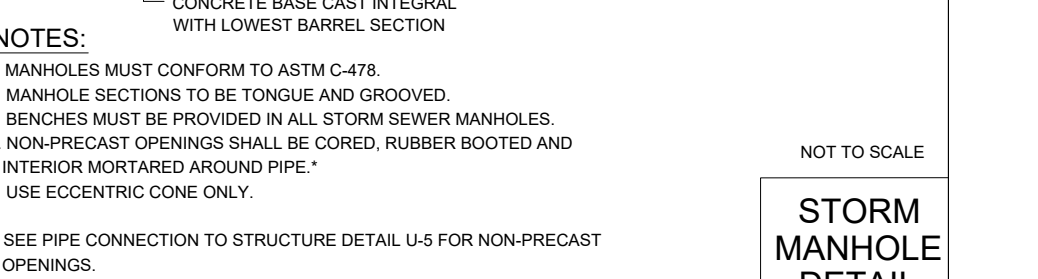
MODIFICATION OF EXISTING RESTRICTOR OUTLET PIPE



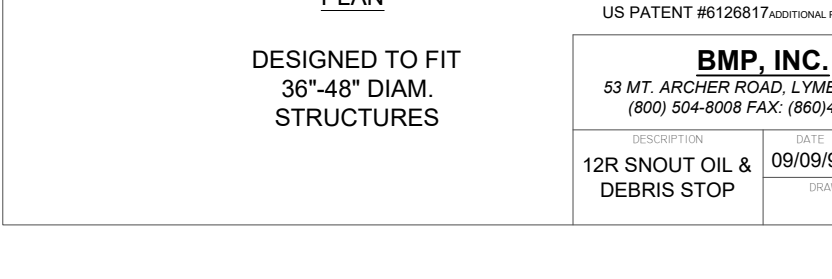
STORM MANHOLE DETAIL



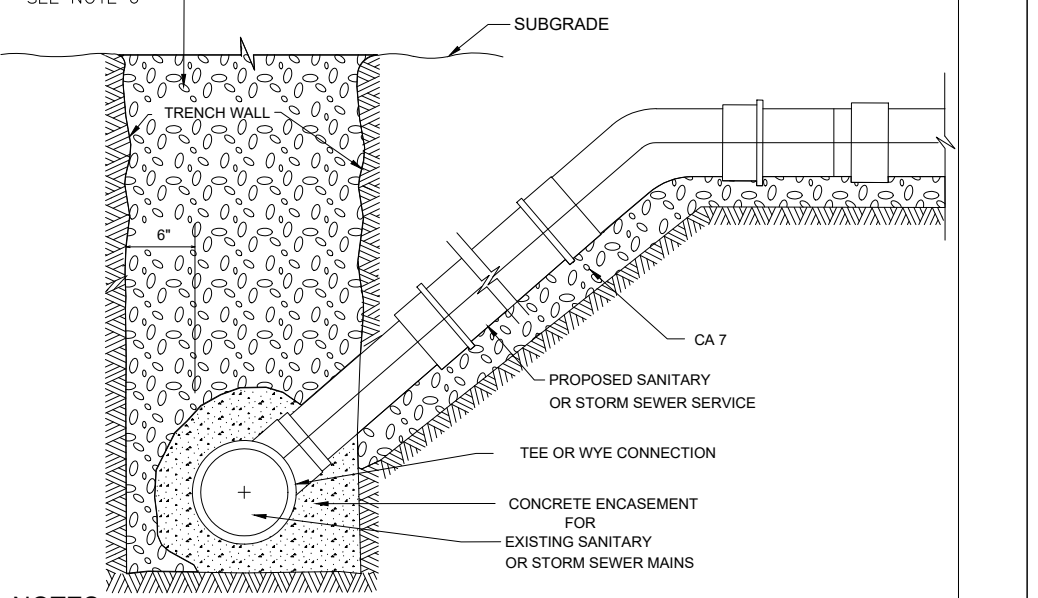
DESIGNED TO FIT 36"-48" DIAM. STRUCTURES



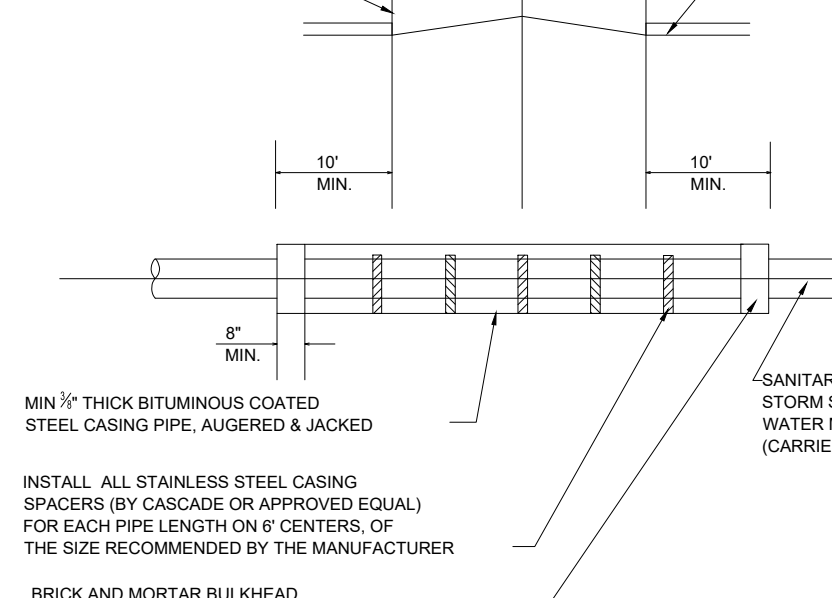
STORM MANHOLE DETAIL



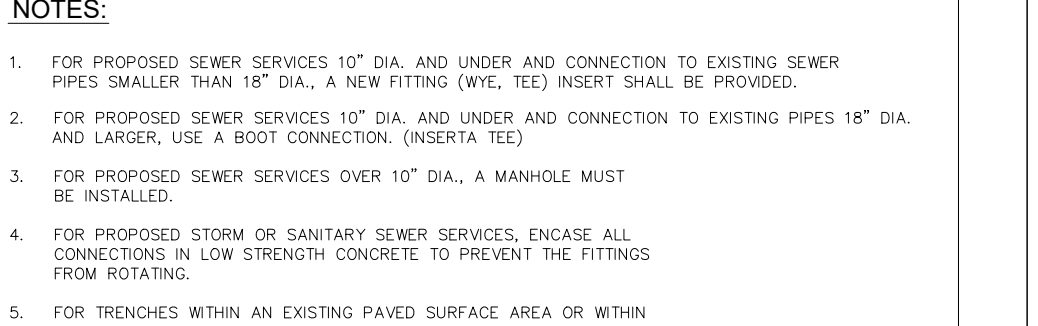
STORM MANHOLE DETAIL



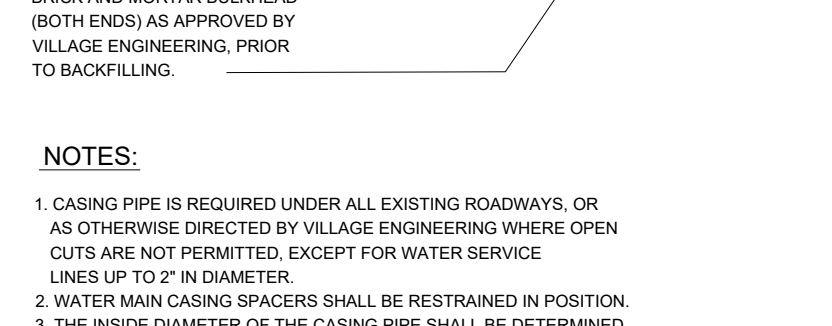
STORM MANHOLE DETAIL



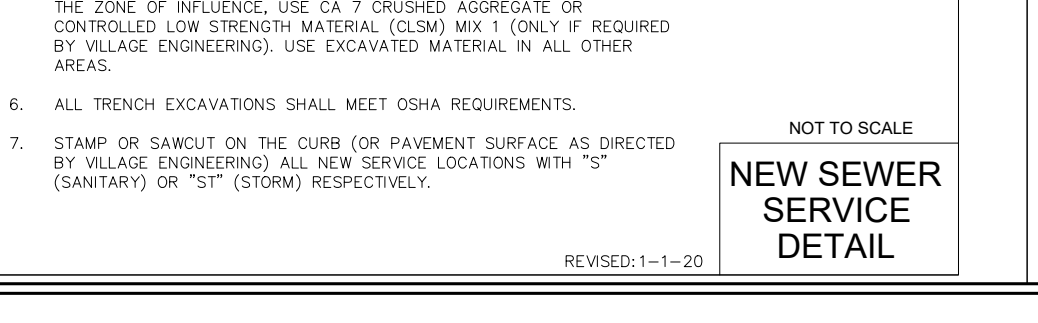
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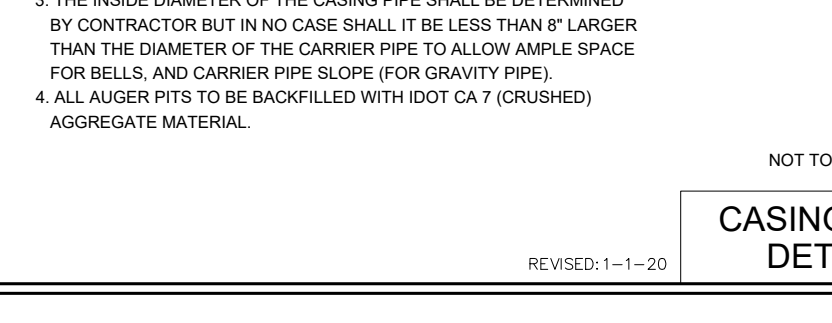
STORM MANHOLE DETAIL



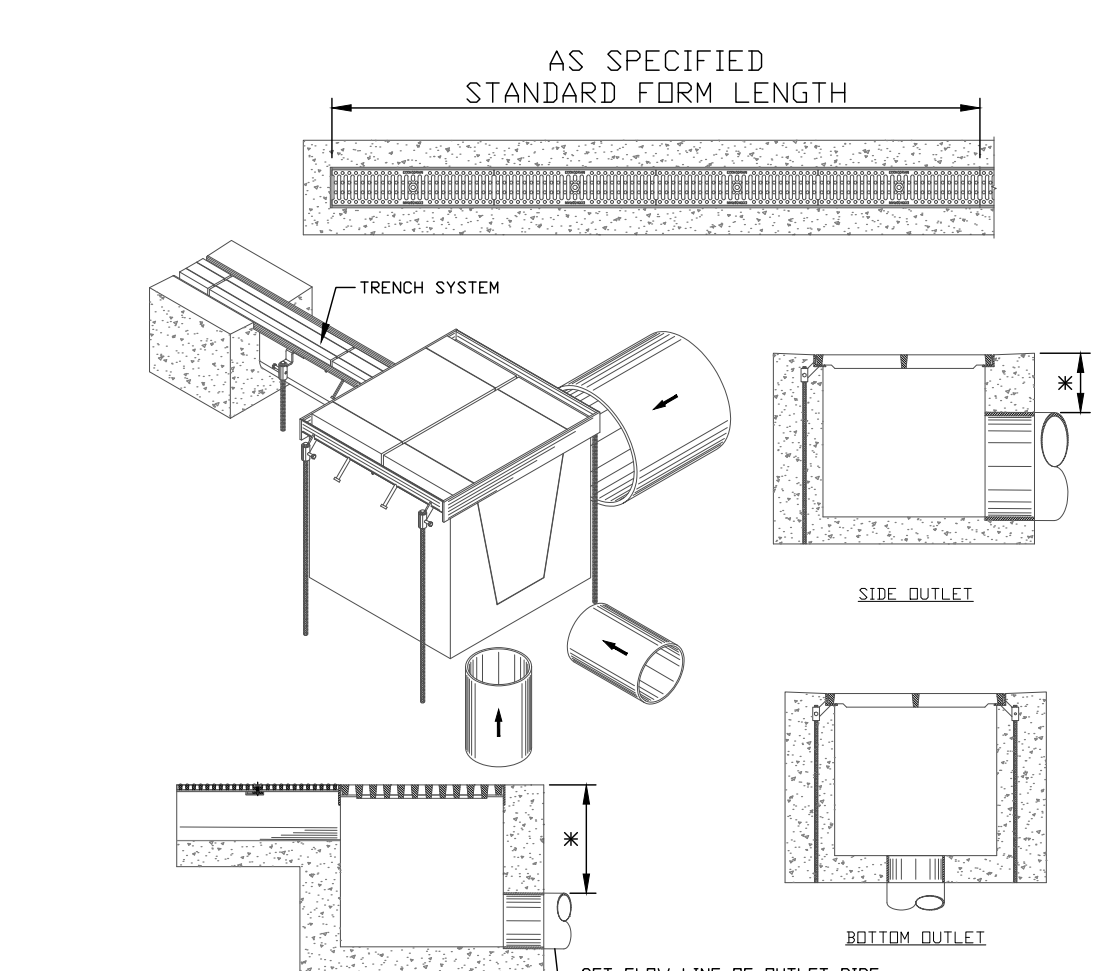
STORM MANHOLE DETAIL



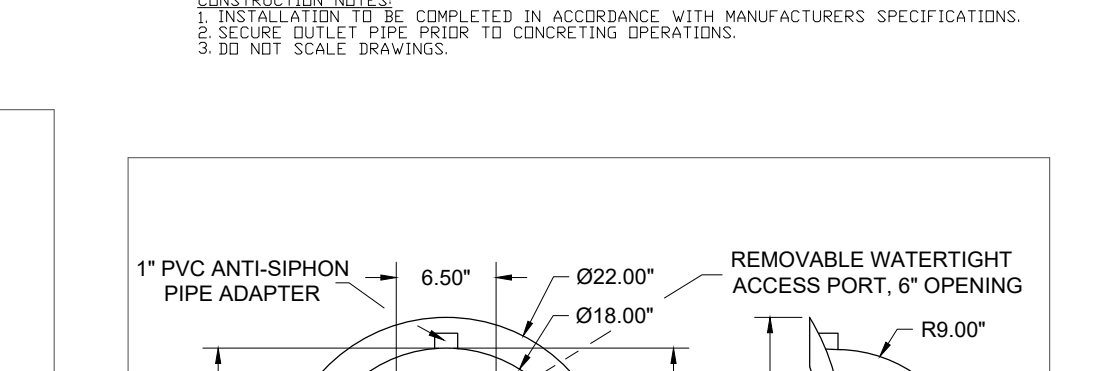
STORM MANHOLE DETAIL



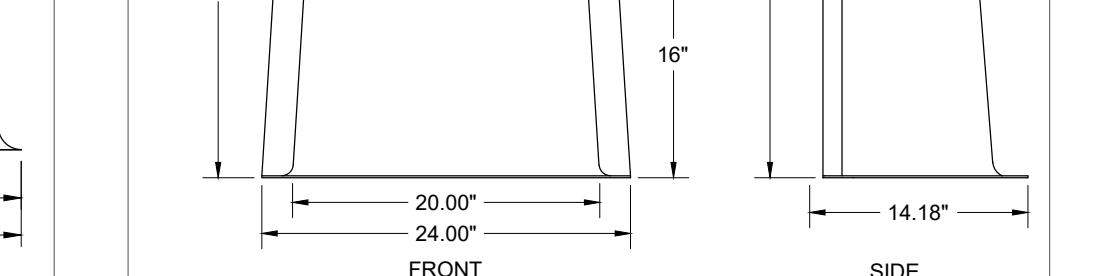
STORM MANHOLE DETAIL



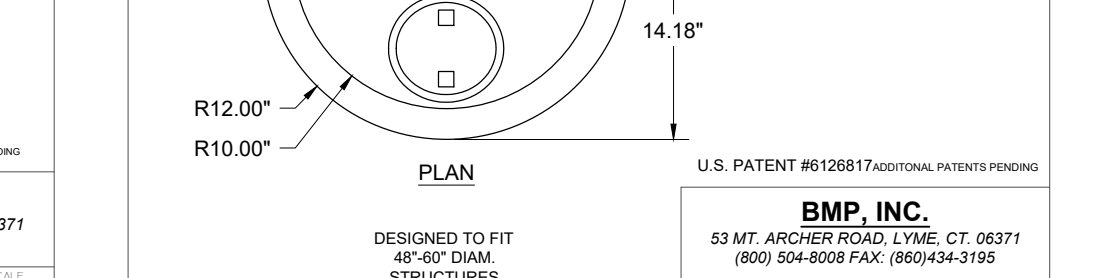
TRENCH SYSTEM



STORM MANHOLE DETAIL



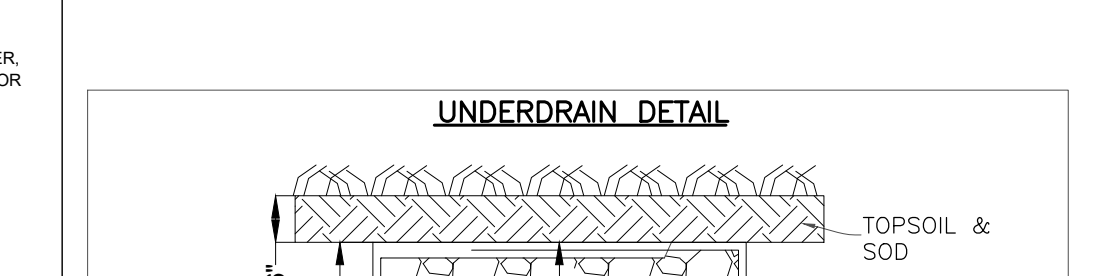
STORM MANHOLE DETAIL



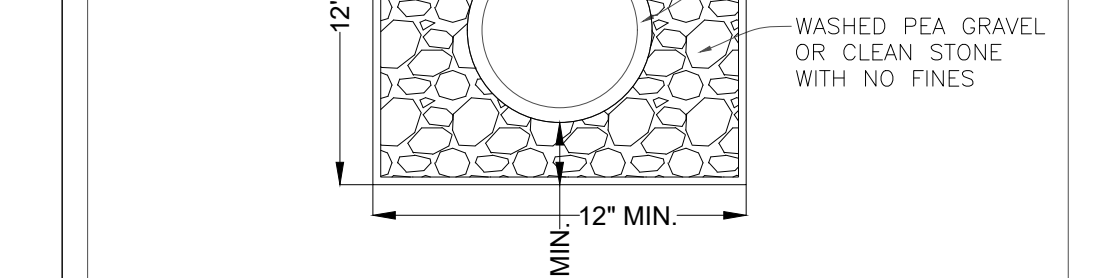
STORM MANHOLE DETAIL



STORM MANHOLE DETAIL



STORM MANHOLE DETAIL



STORM MANHOLE DETAIL

DATE	REVISIONS
8-14-2021	B. BOND PLE
8-26-2021	A. VED PLE
9-02-2021	W. HEDBERG
9-02-2021	REVIEW PER CITY COMMENTS
9-02-2021	REVIEW PER CITY COMMENTS

PROJECT STAFF	ISSUE
PROJECT MANAGER	B. BOND PLE
ENGINEER	A. VED PLE
ENGINEER	W. HEDBERG
TECHNICIAN	

<b>BCI</b> BONO CONSULTING, INC. CIVIL ENGINEERS	PH : (647) 823-3300 FAX : (647) 823-3303 bbono@bonoconsulting.com
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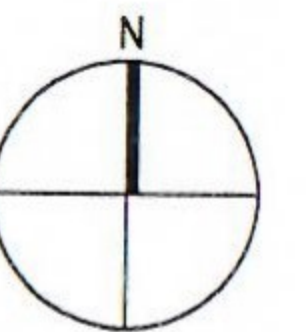
1018 BUSSE HIGHWAY  
PARK RIDGE, IL 60068



PHOTOMETRICS - 20' POLE

Darien Heights Apartments  
Darien, IL

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SCALE:  
AS NOTED

Illinois Route 55  
Frontage Road

SITE PLAN NTS

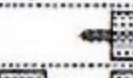

DARIEN HEIGHTS APARTMENTS  
2305 SOKOL CT  
DARIEN, IL

PROPOSED 4 STORY  
APARTMENT BUILDING

Not to Scale



Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
Lot Calculations	Illuminance	Fc	2.75	10.0	0.3	9.17	33.33		5	5	Horizontal

Luminaire Schedule													
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename	BUG Rating
	1	A1	ALED3T150N	SINGLE	16253	16253	1.000	ALED3T150N - RWLED3T150N - RWLED3T150SFN - WP3.4	153.4	153.4	153.4	ALED3T150N - Neutral - RAB02132.	B1-U0-G3
	4	A2	ALED3T150N 2 @ 180	BACK-BACK	16253	32506	1.000	ALED3T150N - RWLED3T150N - RWLED3T150SFN - WP3.4	306.8	1227.2	1227.2	ALED3T150N - Neutral - RAB02132.	B1-U0-G3

5- PS4-11-20D2  
5- BOLT4/11  
5- BCK-S4

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A1	215.042	213.847	20	178.988	0
2	A2	199.509	116.378	20	270	0
2	A2	199.509	119.378	20	90	0
3	A2	304.244	107.699	20	269.978	0
3	A2	304.246	110.699	20	89.978	0
4	A2	273.073	252.425	20	270.337	0
4	A2	273.055	255.425	20	90.337	0
5	A2	384.441	258.78	20	88.878	0
5	A2	384.383	255.78	20	268.878	0
Total Quantity: 9						

**NOTES:**

\* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

\* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

\* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

\* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

\* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

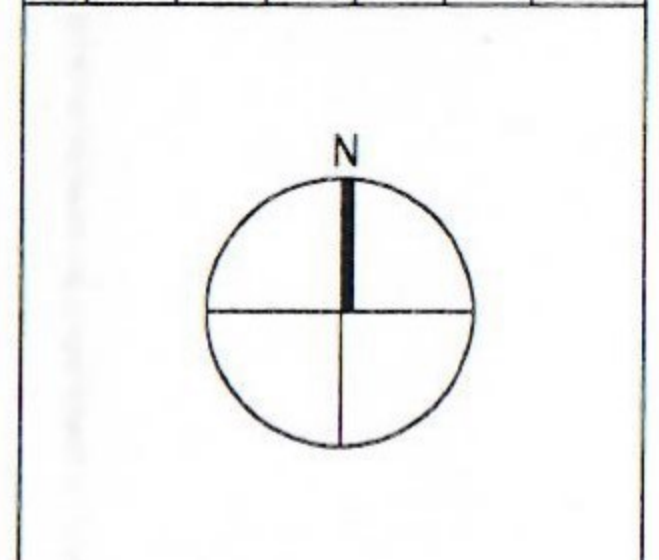
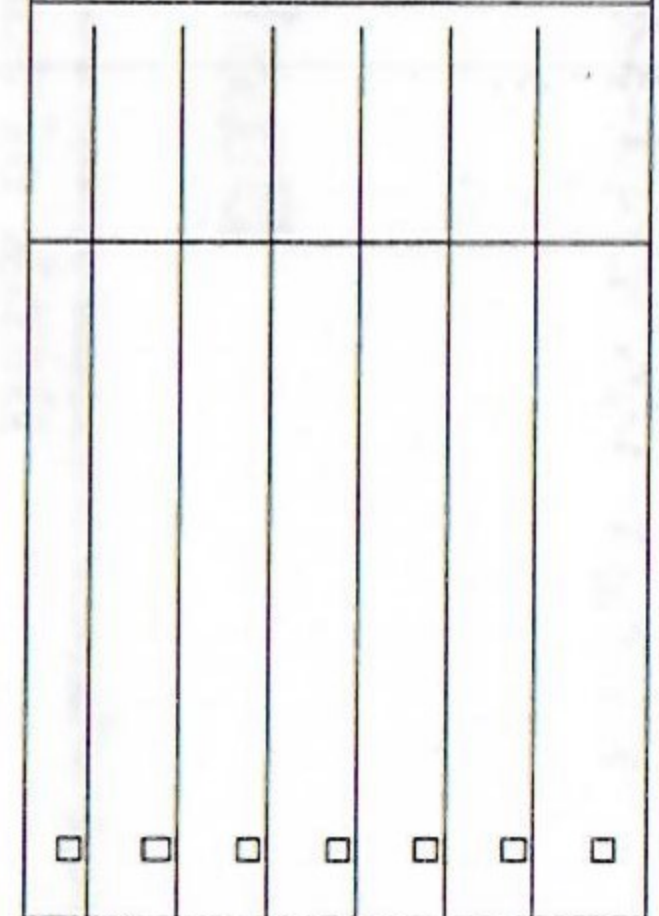
\* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

\* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

\* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

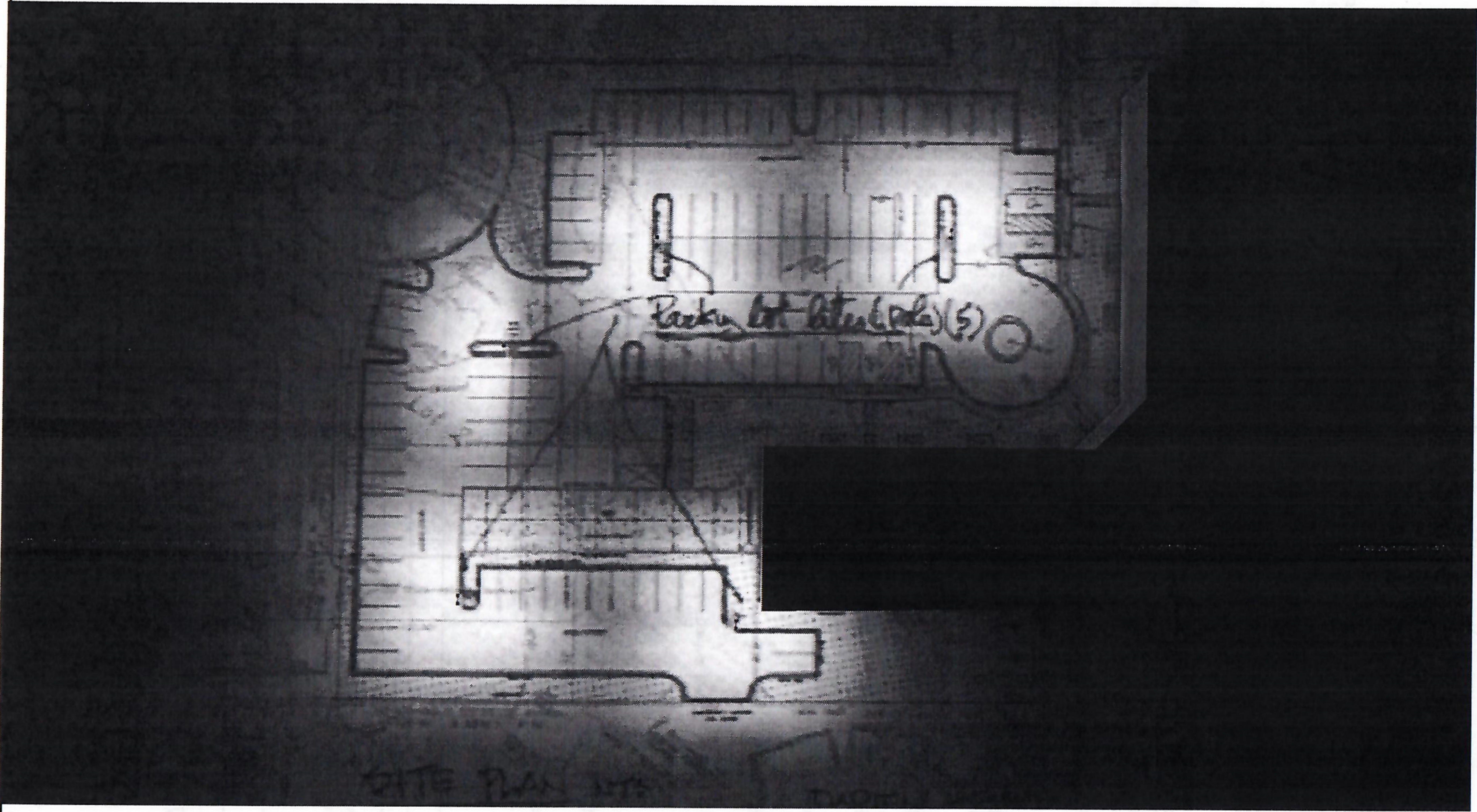
PHOTOMETRICS - 20' POLE

Darien Heights Apartments  
Darien, IL



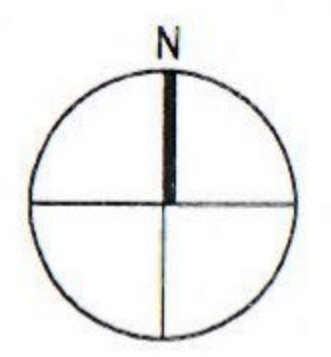
SCALE:  
AS NOTED





PHOTOMETRICS - 20' POLE

Darien Heights Apartments  
Darien, IL

SCALE:  
AS NOTED



Submitted by NW Electrical

**NORTHWEST**  
**ELECTRICAL SUPPLY**

**Job Name:**  
Darien Heights Apartments

**Catalog Number:**  
ALED3T150N

Notes:

**Type:**

NWES21-10250

## ALED3T150N

**RAB**



Color: Bronze

Weight: 36.7 lbs

**Project:**

**Type:**

**Prepared By:**

**Date:**

### Driver Info

Type	Constant Current
120V	1.31A
208V	0.80A
240V	0.69A
277V	0.60A
Input Watts	153.4W

### LED Info

Watts	150W
Color Temp	4000K (Neutral)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	16,253
Efficacy	106 lm/W

## Technical Specifications

### Compliance

#### UL Listed:

Suitable for wet locations

#### DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: PE9166BW

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

#### Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

### Performance

#### Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

### Construction

#### IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

#### Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

#### Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

#### Thermal Management:

Superior thermal management with external "Air-Flow" fins

#### Lens:

Tempered glass lens

### Housing:

Die-cast aluminum housing, lens frame and mounting arm

### IP Rating:

Ingress protection rating of IP66 for dust and water

### Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

### Reflector:

Specular vacuum-metallized polycarbonate



**ALED3T150N****RAB****Technical Specifications (continued)****Construction****Gaskets:**

High-temperature silicone gaskets

**EPA:**

- 1 Fixture: 0.75
- 2 Fixtures at 90°: 1.2
- 2 Fixtures at 180°: 2.4
- 3 Fixtures at 90°: 2.4
- 4 Fixtures at 90°: 1.8

**Finish:**

Formulated for high durability and long-lasting color

**Green Technology:**

Mercury and UV free, RoHS-compliant components.

**LED Characteristics****LEDs:**

Multi-chip, high-output, long-life LEDs

**Color Consistency:**

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

**Color Stability:**

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

**Color Uniformity:**

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

**Electrical****Driver:**

One Driver, Constant Current, Class 2, 2100mA 100-277V, 50-60Hz, Power Factor 99%

**THD:**

7.7% at 120V

**Power Factor:**

99.5% at 120V, 93.5% at 277V

**Surge Protection:**

4kV

**Optical****BUG Rating:**

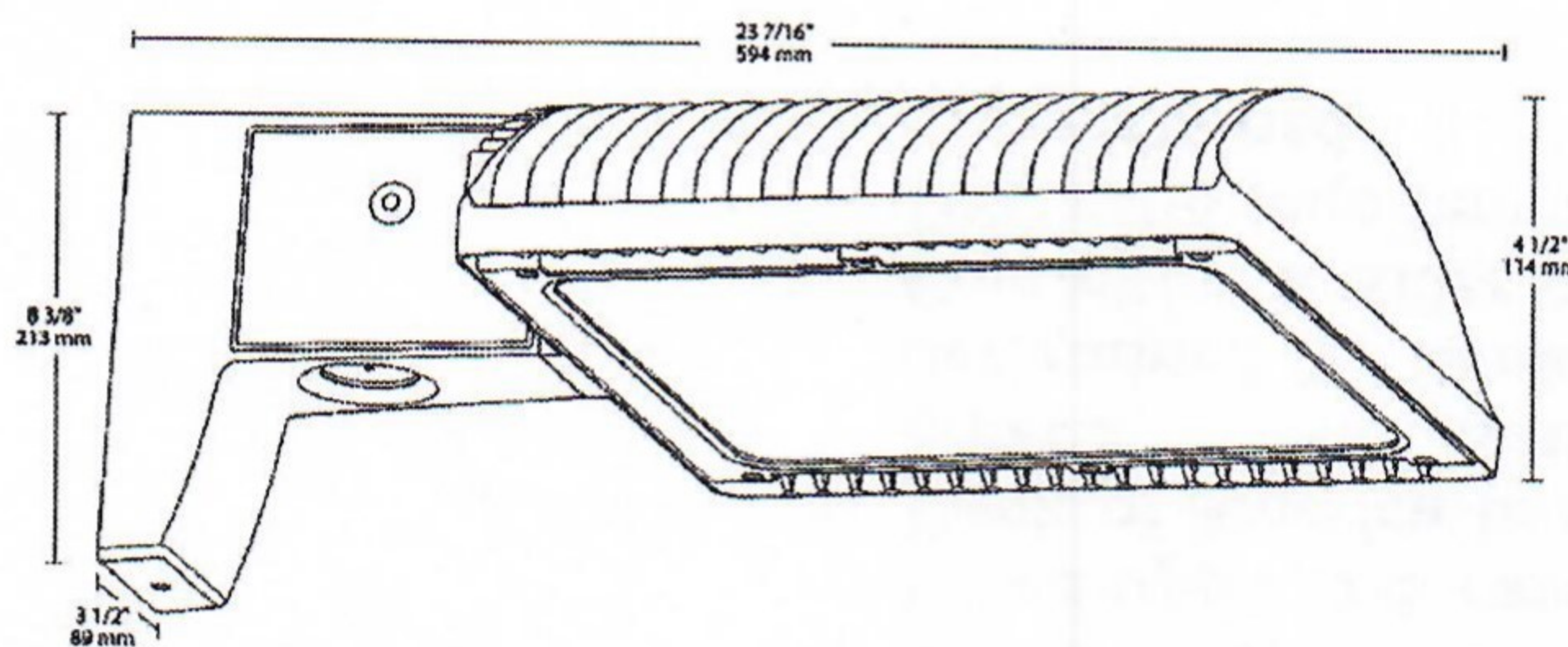
B1 U0 G2

**Other****BAA Compliance:**Click [here](#) for BAA compliance.**Warranty:**RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).**Equivalency:**

Equivalent to 400W Metal Halide

**Buy American Act Compliance:**

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Dimensions****Features**

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty



Submitted by NW Electrical

**NORTHWEST**  
**ELECTRICAL SUPPLY**

**Job Name:**  
Darlen Heights Apartments

**Catalog Number:**  
ALED3T150N

Notes:

**Type:**

NWES21-10250

# ALED3T150N



## Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	3T	150		N				
	4T = Type IV	50 = 50W 78 = 78W	Blank = Pole mount SF = Slipfitter	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze RG = Roadway Gray W = White K = Black	Blank = 120-277V /480 = 480V /BL = Bi-Level Dimming /D10 = 0-10V Dimming /480/D10 = 480V, 0-10V Dimming	Blank = No Option /LC = Lightcloud® Controller /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCS4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant
	3T = Type III	105 = 105W 125 = 125W						
	2T = Type II	150 = 150W						



Submitted by NW Electrical

**NORTHWEST**  
**ELECTRICAL SUPPLY**

**Job Name:**  
Darien Heights Apartments

**Catalog Number:**  
PS4-11-20D2

**Type:**

Notes:

NWES21-10250

## PS4-11-20D2

**RAB**



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 136.7 lbs

**Project:**

**Type:**

**Prepared By:**

**Date:**

### Technical Specifications

**Compliance**

**CSA Listed:**

Suitable for wet locations

**Construction**

**Shaft:**

46,000 p.s.i. minimum yield.

**Hand Holes:**

Reinforced with grounding lug and removable cover

**Base Plates:**

Slotted base plates 36,000 p.s.i.

**Shipping Protection:**

All poles are shipped in individual corrugated cartons to prevent finish damage

**Color:**

Bronze powder coating

**Height:**

20 FT

**Weight:**

137 lbs

**Gauge:**

11

**Wall Thickness:**

1/8"

**Shaft Size:**

4"

**Hand Hole Dimensions:**

3" x 5"

**Bolt Circle:**

8 1/2"

**Base Dimension:**

8"



# 2305 SOKAL COURT CONSOLIDATION

## BEING A CONSOLIDATION OF

THE PREMISES COMMONLY KNOWN AS:  
 2305 SOKOL COURT, DARIEN, IL 60561  
 PARCEL AREA = 122,704 S.F. GROSS  
 115,216 S.F. NET  
 PINS: 10-05-404-002  
 10-05-404-024

**OWNERS CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 THIS IS TO CERTIFY THAT \_\_\_\_\_, ARE THE LEGAL OWNERS OF THE LAND DESCRIBED ON THE ATTACHED PLAT HEREIN, THAT NO PERSON HAS ANY RIGHT, TITLE OR INTEREST IN SAID LAND AND THAT WE HAVE CAUSED THE SAME TO BE SURVEYED AND CONSOLIDATED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED.

DATED AT \_\_\_\_\_, TEXAS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 BY: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

**NOTARY CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED THE ATTACHED PLAT AS HIS OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.  
 GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 NOTARY PUBLIC: \_\_\_\_\_

**MAYORS CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 CHAIRMAN \_\_\_\_\_

**PLAN COMMISSION CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 APPROVED BY THE PLAN COMMISSION OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 MAYOR \_\_\_\_\_

**CERTIFICATE AS TO SPECIAL ASSESSMENTS**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_, CITY TREASURER OF THE CITY OF DARIEN, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.  
 DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 CITY TREASURER \_\_\_\_\_

**COUNTY COUNCIL CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_, CITY CLERK OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE ANNEXED PLAT WAS PRESENTED TO AND BY ORDINANCE DULY APPROVED BY THE CITY COUNCIL OF SAID CITY AT ITS MEETING HELD ON \_\_\_\_\_, 20 \_\_\_\_ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID CITY IN WITNESS WHEREOF I HAVE HERETO SET MY HAND AND SEAL OF THE CITY OF DARIEN, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 CITY CLERK \_\_\_\_\_

**SURVEYOR CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF LAKE )  
 THIS IS TO CERTIFY THAT I, BRYAN J. LEE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3616, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:  
 LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, RESUBDIVISION NO. 1; BEING A RESUBDIVISION OF LOT 32 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RECORDED AS DOCUMENT R97-099748, IN THAT PART OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.  
 LOT 31 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTERS OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 10, 1997 AS DOCUMENT R97-99748, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.  
 AS SHOWN BY THE ANNEXED PLAT WHICH IS CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPILED WITH IN THE PREPARATION OF THIS PLAT AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.  
 THIS IS ALSO TO CERTIFY THAT THE PROPERTY, AS DESCRIBED ON THE ANNEXED PLAT, LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF DARIEN, ILLINOIS.  
 BASED UPON EXAMINATION OF THE F.E.M.A. MAPS, IT HAS BEEN DETERMINED THAT PART OF THE PROPERTY SHOWN HEREON IS SUBJECT TO FLOOD RISK (THE PROPERTY FALLS WITHIN A ZONE "X" AREA) AS PORTRAYED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 17043C0257J, EFFECTIVE DATE: AUGUST 1, 2019.  
 GIVEN UNDER MY HAND AND SEAL AT GRAYSLAKE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_

ILLINOIS PROFESSIONAL LAND SURVEYOR #35-3616  
 MY LICENSE EXPIRES 11-30-22  
 PROFESSIONAL DESIGN FIRM NO. 184-002732

**CITY ENGINEER'S CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_, CITY ENGINEER OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE ANNEXED PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF SAID CITY AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREIN.  
 DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 CITY ENGINEER \_\_\_\_\_

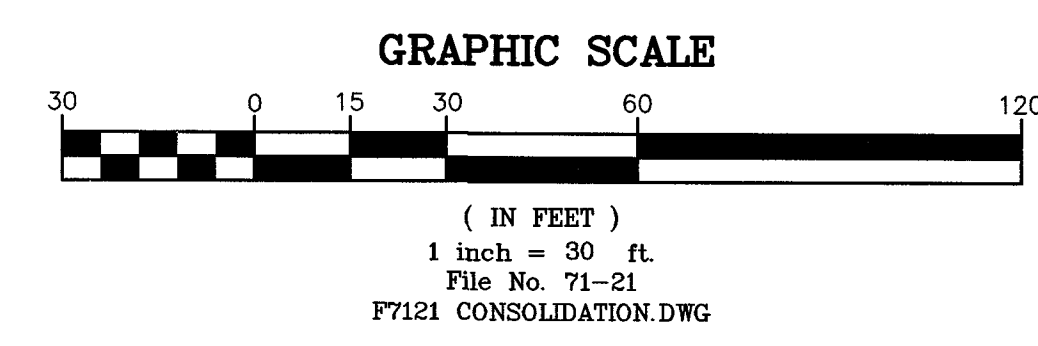
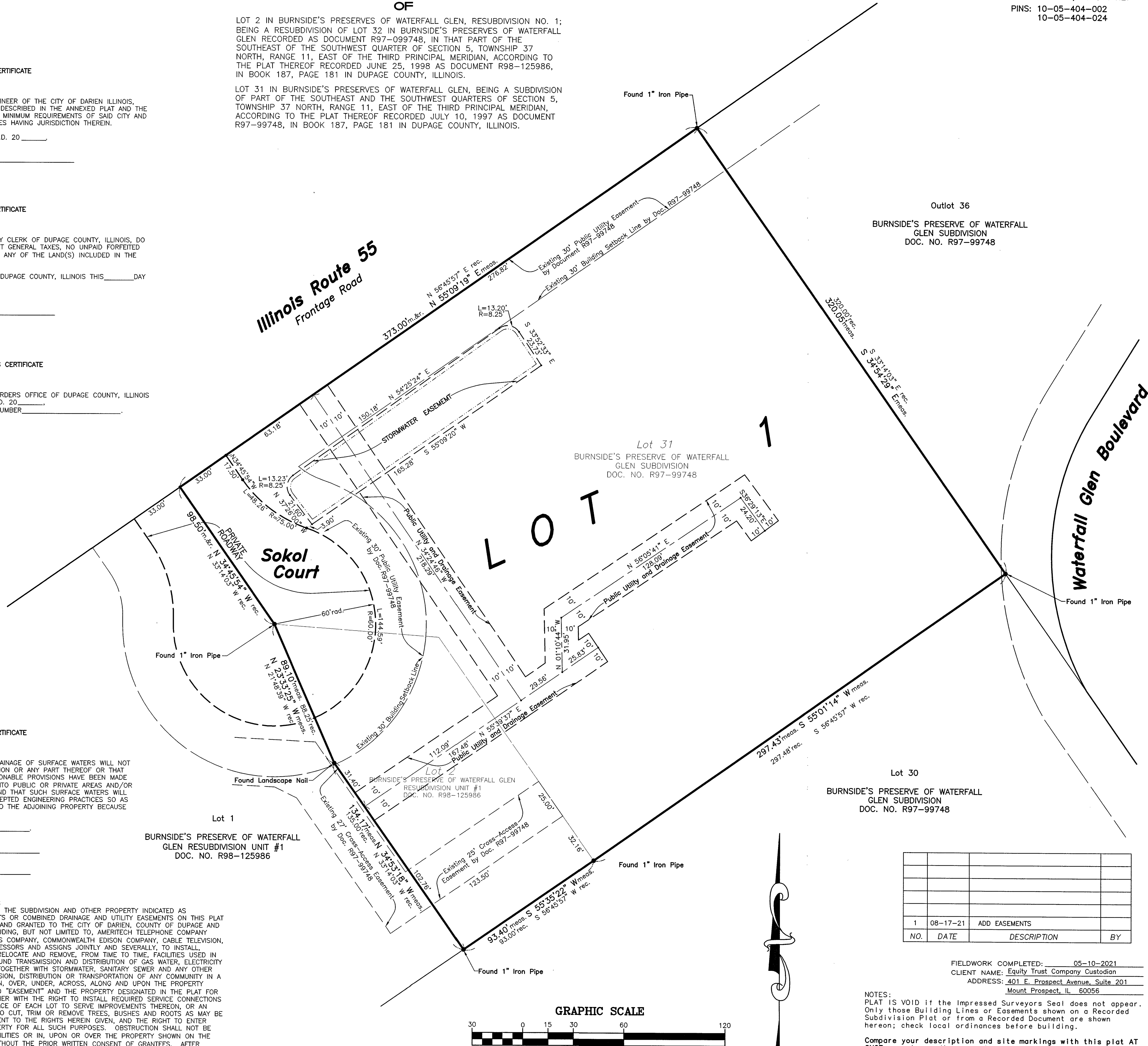
**COUNTY CLERK CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND(S) INCLUDED IN THE ANNEXED PLAT.  
 GIVEN UNDER MY HAND AND SEAL AT WHEATON, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 COUNTY CLERK \_\_\_\_\_

**COUNTY RECORDERS CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 THIS PLAT WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF DUPAGE COUNTY, ILLINOIS ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M AS DOCUMENT NUMBER \_\_\_\_\_  
 RECORDER \_\_\_\_\_

**SURFACE WATER DRAINAGE CERTIFICATE**  
 STATE OF ILLINOIS ) S.S.  
 COUNTY OF DUPAGE )  
 TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL CHANGE, REASONABLE PROVISIONS HAVE BEEN MADE FOR COLLECTION AND DISCHARGE OF SURFACE WATER INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIAL DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.  
 DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_  
 OWNER OR ATTORNEY \_\_\_\_\_  
 ENGINEER \_\_\_\_\_

**UTILITY EASEMENT PROVISIONS**  
 ALL EASEMENTS FOR SERVING THE SUBDIVISION AND OTHER PROPERTY INDICATED AS EASEMENTS, UTILITY EASEMENTS OR COMBINED DRAINAGE AND UTILITY EASEMENTS ON THIS PLAT ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF DARIEN, COUNTY OF DUPAGE AND THE UTILITY COMPANIES INCLUDING, BUT NOT LIMITED TO, AMERITECH TELEPHONE COMPANY (ATT), NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, CABLE TELEVISION, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO INSTALL, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF GAS WATER, ELECTRICITY AND SIGNALS AND SIGNALS, TOGETHER WITH STORMWATER, SANITARY SEWER AND ANY OTHER FACILITIES USED IN TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF ANY COMMUNITY IN A LIQUID OR GASEOUS STATE, IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN ON THE PLAT MARKED "EASEMENT" AND THE PROPERTY DESIGNATED IN THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER AND UNDER THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS THEREON, OR AN ADJACENT LOTS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTION SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN, UPON OR OVER THE PROPERTY SHOWN ON THE PLAT MARKED "EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, RESUBDIVISION NO. 1; BEING A RESUBDIVISION OF LOT 32 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RECORDED AS DOCUMENT R97-099748, IN THAT PART OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN BOOK 187, PAGE 181 IN DUPAGE COUNTY, ILLINOIS.  
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NO.	DATE	DESCRIPTION	BY
1	08-17-21	ADD EASEMENTS	

FIELDWORK COMPLETED: 05-10-2021  
 CLIENT NAME: Equity Trust Company Custodian  
 ADDRESS: 401 E. Prospect Avenue, Suite 201  
 Mount Prospect, IL 60056  
 NOTES:  
 PLAT IS VOID if the Impressed Surveyors Seal does not appear.  
 Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown hereon; check local ordinances before building.  
 Compare your description and site markings with this plat AT ONCE report any discrepancies which you may find.  
**R.E. ALLEN AND ASSOCIATES, LTD.**  
 PROFESSIONAL LAND SURVEYORS  
 1015 N. CORPORATE CIRCLE, SUITE C  
 GRAYSLAKE, ILLINOIS 60030  
 PHONE: 847-223-0914 FAX: 847-223-0980



# Landscape Plan

# 2305 SOKOL COURT

Darien, Illinois

September 2, 2021

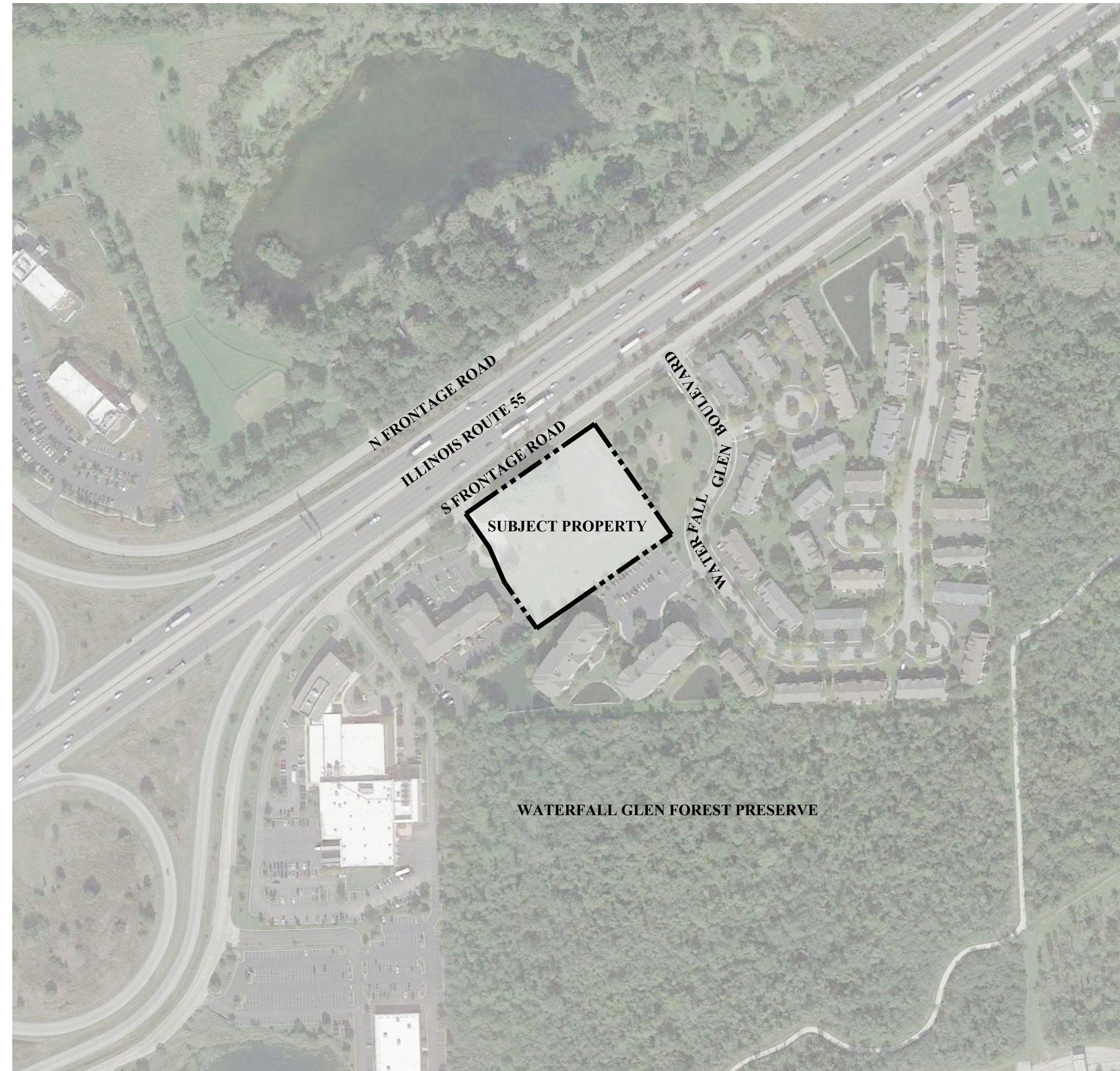
## CONSULTANTS:



LANDSCAPE ARCHITECT:  
GARY R. WEBER ASSOCIATES, INC  
402 W. LIBERTY DRIVE  
WHEATON, ILLINOIS 60187

### ENGINEER:

BONO CONSULTING CIVIL ENGINEERS  
1018 BUSSE HWY  
PARK RIDGE, ILLINOIS 60068



### LOCATION MAP

SCALE: 1"=200'

## INDEX OF SHEETS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
0	COVER SHEET
L1	OVERALL LANDSCAPE PLAN
L2	LANDSCAPE DETAILS
L3	LANDSCAPE DETAILS
L4	LANDSCAPE SPECIFICATIONS





GARY R. WEBER  
ASSOCIATES, INC.  
LAND PLANNING  
BIOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
402 W. LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197

CLIENT:  
PAUL SWANSON  
ASSOCIATES, INC.  
401 E. PROSPECT AVE., SUITE 201  
MT. PROSPECT, IL 60056

ENGINEER:  
BONO CONSULTING  
CIVIL ENGINEERS  
1018 BUSSE HWY  
PARK RIDGE, IL 60068

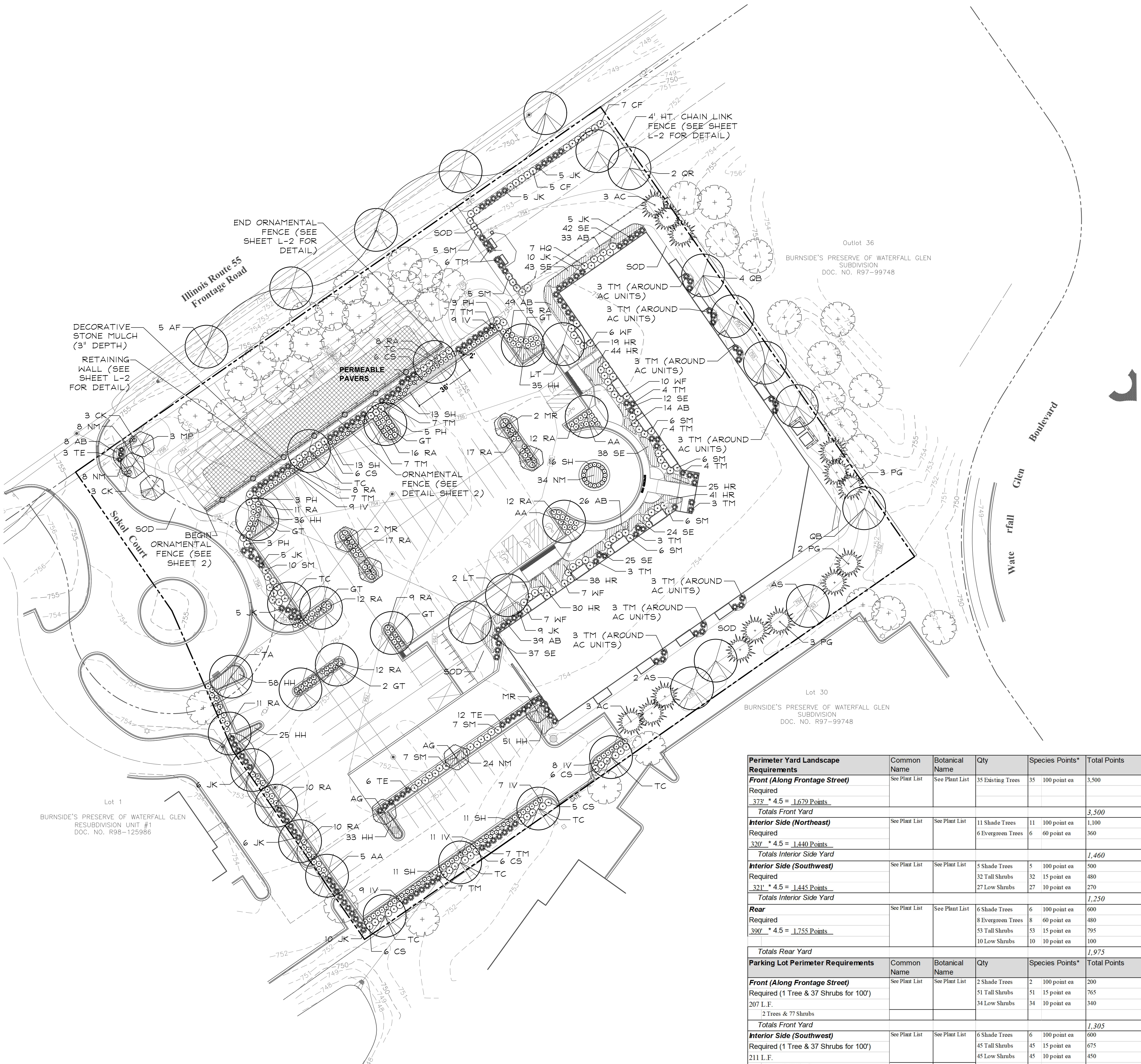
**2305 SOKOL COURT**  
DARIEN, ILLINOIS  
**OVERALL LANDSCAPE PLAN**

**PLANT LIST**

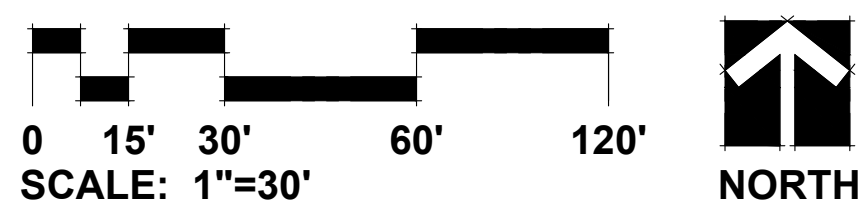
Key	Qty	Botanical/Common Name	Size	Remarks
<b>SHADE TREES</b>				
AA	7	Acer x freemanii 'Jeffers' Red' AUTUMN BLAZE MAPLE	2 1/2' Cal.	
AF	5	Acer x freemanii 'Marmo' MARMO FREEMAN MAPLE	2 1/2' Cal.	
AS	3	Acer x saccharum 'Green Mountain' GREEN MOUNTAIN SUGAR MAPLE	2 1/2' Cal.	
GT	7	Gleditsia triacanthos var. inermis 'Skycole' SKYLINE HONEYLOCUST	2 1/2' Cal.	
LT	3	Liriodendron tulipifera TULIPTREE	2 1/2' Cal.	
QB	5	Quercus bicolor SWAMP WHITE OAK	2 1/2' Cal.	
QR	2	Quercus rubra RED OAK	2 1/2' Cal.	
TC	7	Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN	2 1/2' Cal.	
<b>ORNAMENTAL TREES</b>				
AG	2	Amelanchier x grandiflora APPLE SERVICEBERRY	6' Ht.	Multi-Stem
MP	3	Malus 'Prairifire' PRAIRIFIRE CRABAPPLE	2' Cal.	Tree Form
MR	5	Malus 'Royal Raindrops' ROYAL RAINDROPS CRABAPPLE	6' Ht.	Multi-Stem
<b>EVERGREEN TREES</b>				
AC	6	Abies concolor WHITE FIR	8' Ht.	
PG	8	Picea glauca var. densata BLACK HILLS SPRUCE	8' Ht.	
<b>DECIDUOUS SHRUBS</b>				
CS	35	Cornus sericea 'Bailey' BAILEY'S REDTWIG DOGWOOD	36" Tall	5' O.C.
CF	12	Cornus sericea 'Farrow' ARCTIC FIRE REDTWIG DOGWOOD	24" Tall	3' O.C.
HQ	7	Hydrangea quercifolia 'PEE WEE' PEE WEE OAKLEAF HYDRANGEA	24" Tall	3' O.C.
IV	53	Itea virginica 'Little Henry' LITTLE HENRY VIRGINIA SWEETSPIRE	24" Tall	3' O.C.
PH	14	Physocarpus opulifolius 'Seward' SUMMER WINE NINEBARK	30" Tall	4' O.C.
RA	190	Rhus aromatica 'Gro-low' GRO-LOW SUMAC	24" Wide	3' O.C.
SM	58	Syringa meyeri 'Paladin' DWARF KOREAN LILAC	24" Tall	4' O.C.
WF	30	Weigela florida 'Alexandra' WINE & ROSES WEIGELA	36" Tall	4' O.C.
<b>EVERGREEN SHRUBS</b>				
JK	66	Juniperus chinensis 'Kallays Compact' KALLAYS COMPACT PFITZER JUNIPER	24" Wide	4' O.C.
TE	21	Taxus x media 'Everlow' EVERLOW YEW	24" Wide	4' O.C.
TM	90	Taxus x media 'Densiflora' DENSE YEW	24" Wide	4' O.C.
<b>ORNAMENTAL GRASSES</b>				
CK	6	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30" O.C.
SH	64	Sporobolus heterolepis PRAIRIE DROPSEED	#1	24" O.C.
<b>PERENNIALS</b>				
AB	169	Allium 'Summer Beauty' SUMMER BEAUTY ONION	#1	18" O.C.
HH	238	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
HR	197	Hemerocallis 'Rosy Returns' ROSY RETURNS DAYLILY	#1	18" O.C.
NM	74	Nepeta racemosa 'Walker's Low' WALKER'S LOW CATMINT	#1	18" O.C.
SE	221	Sedum 'Autumn Joy' AUTUMN JOY SEDUM	#1	18" O.C.
<b>MISC. MATERIALS</b>				
68		SHREDDED HARDWOOD MULCH	C.Y.	
6,40		DECORATIVE STONE MULCH	C.Y.	
5,265		SOD	S.Y.	
169		4' ORNAMENTAL FENCE	L.F.	
72		UNLOCK RICHLIFFE PAVERS	S.F.	

**NATIVE SEED QUANTITIES**

Key	Qty.	Description
	0.07 AC.	WET-MESIC PRAIRIE SEED MIX & EROSION CONTROL BLANKET
	0.06 AC.	LOW PROFILE PRAIRIE SEED MIX & EROSION CONTROL BLANKET



Perimeter Yard Landscape Requirements	Common Name	Botanical Name	Qty	Species Points*	Total Points
<b>Front (Along Frontage Street)</b>	See Plant List	See Plant List	35 Existing Trees	35 100 point ea	3,500
Required					
37' * 4.5 = 1,670 Points					
<b>Totals Front Yard</b>					3,500
<b>Interior Side (Northeast)</b>	See Plant List	See Plant List	11 Shade Trees	11 100 point ea	1,100
Required			6 Evergreen Trees	6 60 point ea	360
320' * 4.5 = 1,440 Points					
<b>Totals Interior Side Yard</b>					1,460
<b>Interior Side (Southwest)</b>	See Plant List	See Plant List	5 Shade Trees	5 100 point ea	500
Required			32 Tall Shrubs	32 15 point ea	480
321' * 4.5 = 1,445 Points			27 Low Shrubs	27 10 point ea	270
<b>Totals Interior Side Yard</b>					1,250
<b>Rear</b>	See Plant List	See Plant List	6 Shade Trees	6 100 point ea	600
Required			8 Evergreen Trees	8 60 point ea	480
300' * 4.5 = 1,755 Points			53 Tall Shrubs	53 15 point ea	795
			10 Low Shrubs	10 10 point ea	100
<b>Totals Rear Yard</b>					1,975
<b>Parking Lot Perimeter Requirements</b>	Common Name	Botanical Name	Qty	Species Points*	Total Points
<b>Front (Along Frontage Street)</b>	See Plant List	See Plant List	2 Shade Trees	2 100 point ea	200
Required (1 Tree & 37 Shrubs for 100')			51 Tall Shrubs	51 15 point ea	765
207 L.F.			34 Low Shrubs	34 10 point ea	340
2 Trees & 77 Shrubs					
<b>Totals Front Yard</b>					1,305
<b>Interior Side (Southwest)</b>	See Plant List	See Plant List	6 Shade Trees	6 100 point ea	600
Required (1 Tree & 37 Shrubs for 100')			45 Tall Shrubs	45 15 point ea	675
211 L.F.			45 Low Shrubs	45 10 point ea	450
3 Trees & 78 Shrubs					
<b>Totals Interior Side Yard</b>					1,725
<b>Rear</b>	See Plant List	See Plant List	2 Shade Trees	2 100 point ea	200
Required (1 Tree & 37 Shrubs for 100')			37 Tall Shrubs	37 15 point ea	555
163 L.F.			35 Low Shrubs	35 10 point ea	350
2 Trees & 61 Shrubs					
<b>Totals Rear Yard</b>					1,105



DATE	REVISIONS
09.02.2021	3
07.26.2021	2
07.19.2021	1

DATE: 6.29.2021  
PROJECT NO.: PSW2103  
DRAWN: JLT  
CHECKED: GFB  
SHEET NO.



# NATIVE SEED MIXES

## Wet Meadow Seed Mixture

Lower slopes of basin

Botanical Name	Common Name	lbs / AC
<b>Grasses / Sedges</b>		
<i>Carex bebbii</i>	Bebbs Oval Sedge	0.250
<i>Carex bicknellii</i>	Bicknell's Sedge	0.125
<i>Carex brevior</i>	Plains Oval Sedge	0.250
<i>Carex cristatella</i>	Crested Oval Sedge	0.060
<i>Carex molesta</i>	Field Oval Sedge	0.250
<i>Carex normalis</i>	Spreading Oval Sedge	0.015
<i>Carex scarparia</i>	Pointed Broom Sedge	0.190
<i>Carex stipata</i>	Common Fox Sedge	0.060
<i>Carex vulpinoidea</i>	Brown Fox Sedge	0.250
<i>Elymus virginicus</i>	Virginia Wild Rye	3.000
<i>Glyceria striata</i>	Fowl Manna Grass	0.130
<i>Juncus dudleyi</i>	Dudley's Rush	0.020
<i>Juncus torreyi</i>	Torrey's Rush	0.031
<i>Panicum virgatum</i>	Switch Grass	3.000
<i>Scirpus atrovirens</i>	Dark Green Bulrush	0.060
<i>Scirpus cyperinus</i>	Wool Grass	0.030
<b>Total Grasses / Sedges</b>		<b>7.721</b>

## Wildflowers/Broadleaves

<i>Asclepias incarnata</i>	Swamp Milkweed	0.125
<i>Bidens cernua</i>	Nodding Bur Marigold	0.190
<i>Botanion asteroides</i>	False Aster	0.031
<i>Chamaecrista fasciculata</i>	Partridge pea	0.188
<i>Euthamia graminifolia</i>	Grassleaved Goldenrod	0.300
<i>Eupatorium perfoliatum</i>	Common Boneset	0.015
<i>Helenium autumnale</i>	Sneezeweed	0.063
<i>Iris virginica shrevei</i>	Blue Flag Iris	1.000
<i>Lobelia siphilitica</i>	Great Blue Lobelia	0.031
<i>Mimulus ringens</i>	Monkey Flower	0.031
<i>Symphoricarpon novae-angliae</i>	New England Aster	0.250
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	0.063
<i>Rudbeckia fulgida var. sullivantii</i>	Showy Black-Eyed Susan	0.250
<i>Zizia aurea</i>	Golden Alexanders	0.500
<b>Total Forbs</b>		<b>3.037</b>
<b>Total Sedge Meadow Seed Mix</b>		<b>10.758</b>

## Low Profile Prairie with Flowers Seed Mix

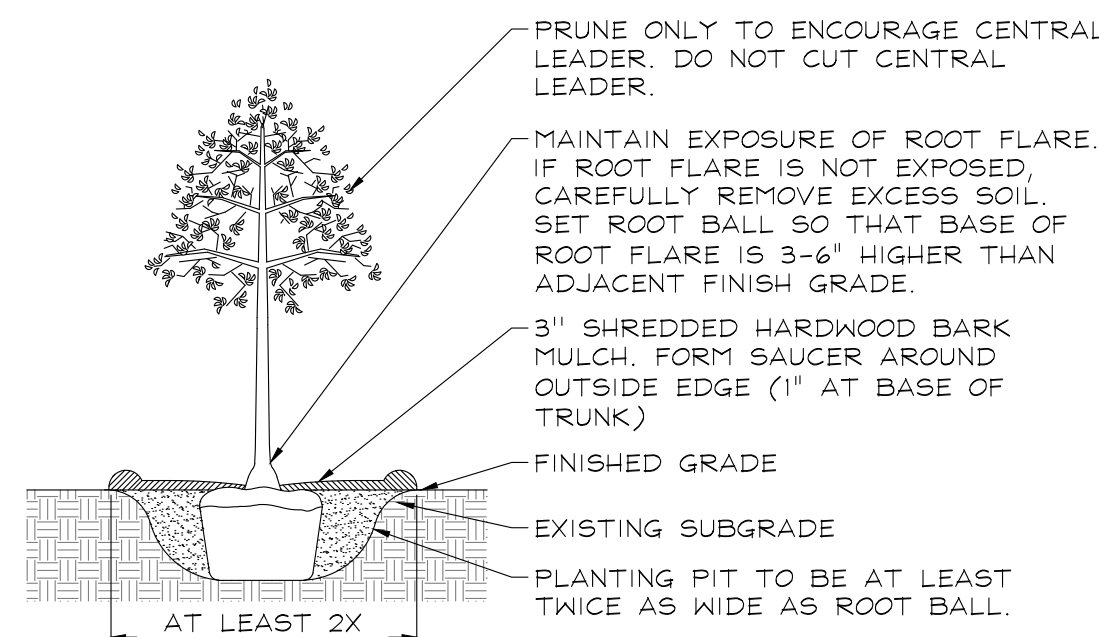
Upper basin slopes

Botanical Name	Common Name	lbs / AC
<b>Grasses</b>		
<i>Bouteloua curtipendula</i>	Side Oats Grama	8.000
<i>Panicum virgatum</i>	Prairie Switch Grass	0.125
<i>Elymus trachycaulus</i>	Slender Wheatgrass	2.000
<i>Elymus canadensis</i>	Prairie Wild Rye	1.000
<i>Schizachyrium scoparium</i>	Little Bluestem	6.000
<b>Total Grasses</b>		<b>17.125</b>

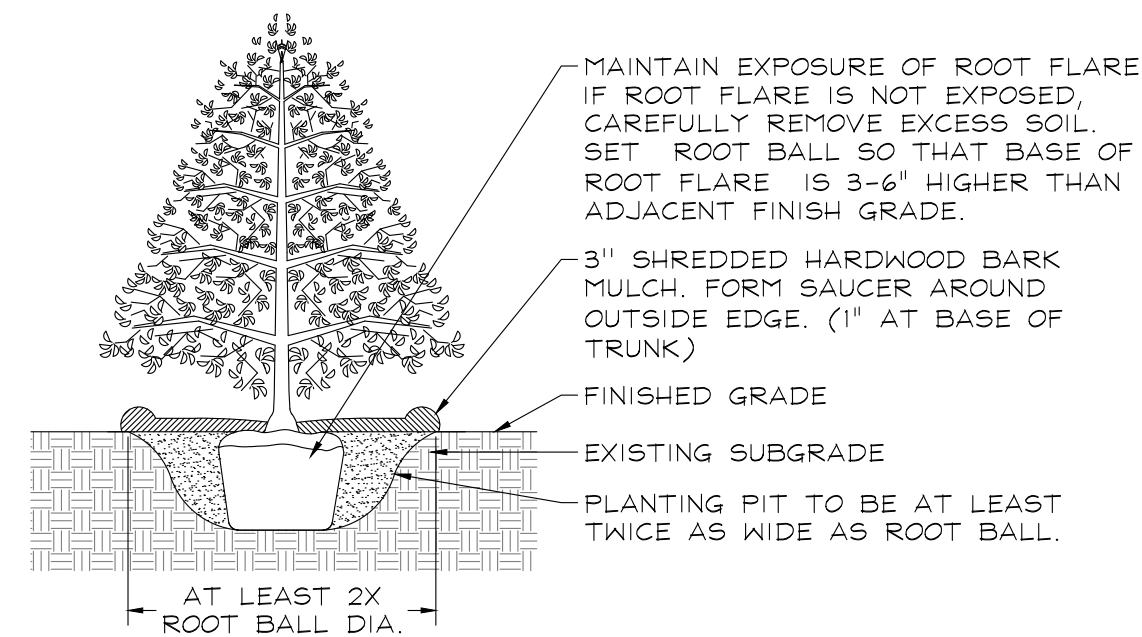
## Wildflowers/Broadleaves

<i>Allium cernuum</i>	Nodding Wild Onion	0.190
<i>Amorpha canescens</i>	Lead Plant	0.125
<i>Asclepias canadensis</i>	Whorled Milkweed	0.063
<i>Asclepias tuberosa</i>	Butterflyweed	0.500
<i>Astragalus canadensis</i>	Canada Milk Vetch	0.063
<i>Coreopsis palmata</i>	Prairie Coreopsis	0.025
<i>Echinacea pallida</i>	Pale Purple Coneflower	1.000
<i>Echinacea purpurea</i>	Purple Coneflower	0.500
<i>Eryngium yuccifolium</i>	Rattlesnake Master	0.125
<i>Lespedeza capitata</i>	Round-Headed Bush Clover	0.125
<i>Liatris aspera</i>	Rough Blazing Star	0.250
<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.188
<i>Monarda fistulosa</i>	Prairie Bergamot	0.063
<i>Parthenium integrifolium</i>	Wild Quinine	0.016
<i>Penstemon digitalis</i>	Foxglove Beard Tongue	0.125
<i>Petalostemum candidum</i>	White Prairie Clover	0.125
<i>Petalostemum purpureum</i>	Purple Prairie Clover	0.156
<i>Potentilla arguta</i>	Prairie Cinquefoil	0.031
<i>Pycnanthemum tenuifolium</i>	Slender Mountain Mint	0.031
<i>Ratibida pinnata</i>	Yellow Coneflower	0.125
<i>Rudbeckia fulgida var. sullivantii</i>	Showy Black-Eyed Susan	0.500
<i>Rudbeckia hirta</i>	Black-Eyed Susan	0.500
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	0.063
<i>Symphoricarpon leave</i>	Smooth Blue Aster	0.063
<i>Tradescantia ohiensis</i>	Common Spiderwort	0.063
<i>Verbena stricta</i>	Hoary Vervain	0.125
<i>Zizia aurea</i>	Golden Alexanders	0.500
<b>Total Forbs</b>		<b>5.640</b>
<b>Total Low Profile Prairie Seed Mix</b>		<b>22.765</b>

# PLANTING DETAILS



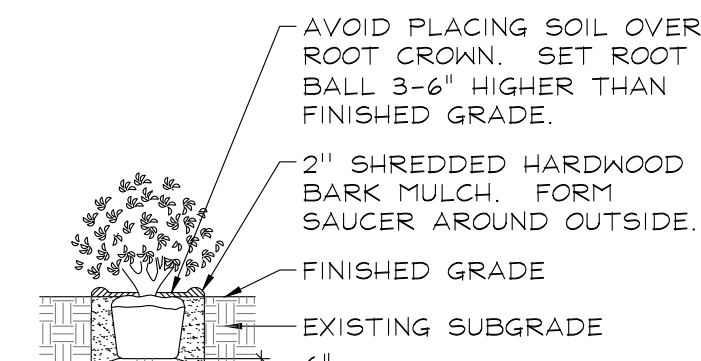
**DECIDUOUS TREES**  
NOT TO SCALE



**EVERGREEN TREES**  
NOT TO SCALE



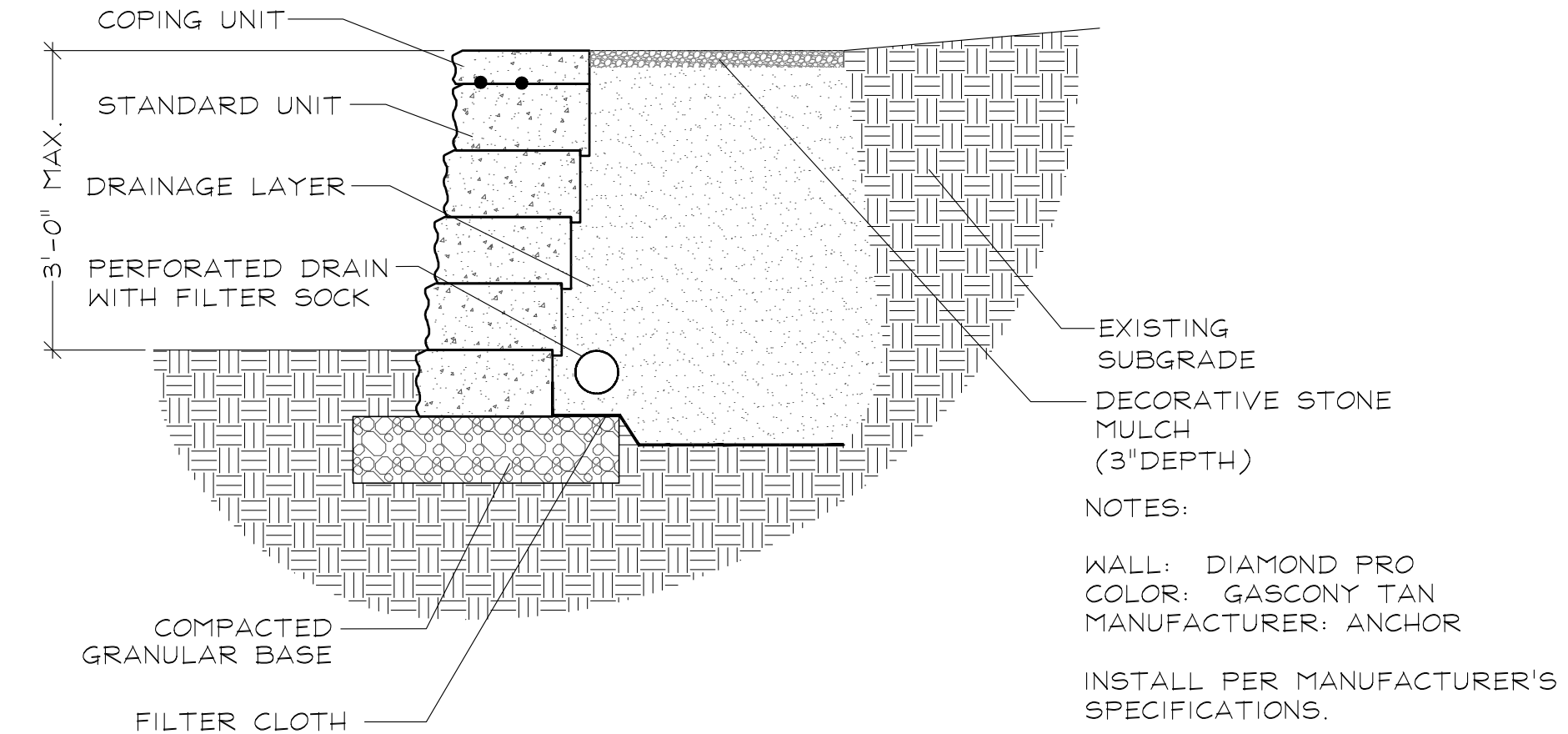
**PERENNIALS AND GROUNDCOVERS**  
NOT TO SCALE



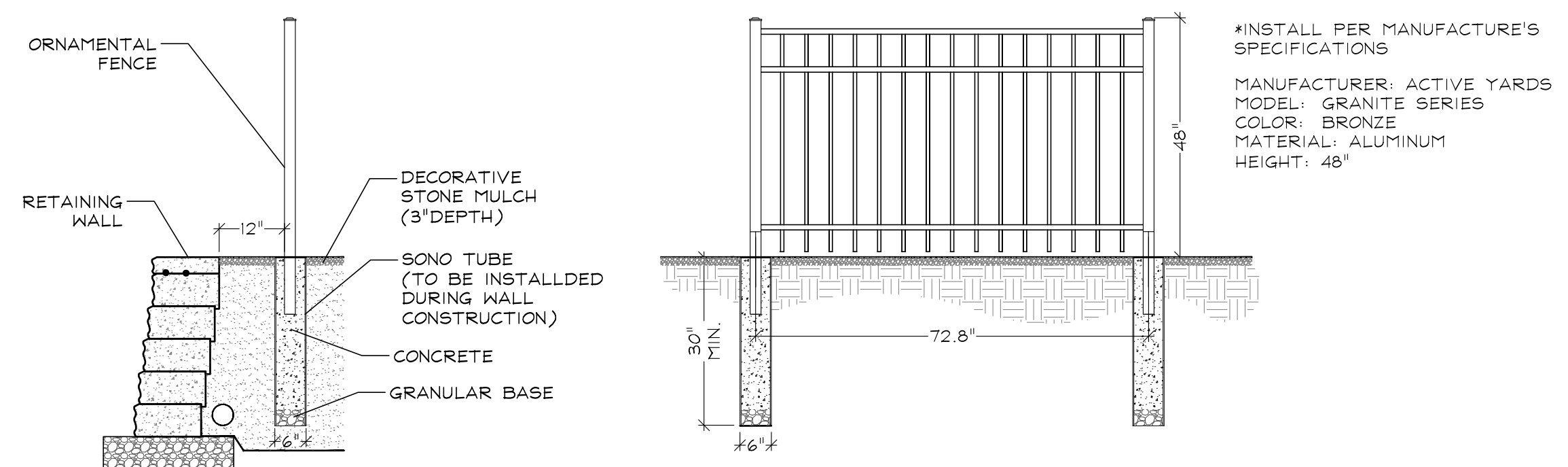
**DECIDUOUS AND EVERGREEN SHRUBS**  
NOT TO SCALE

# GENERAL NOTES

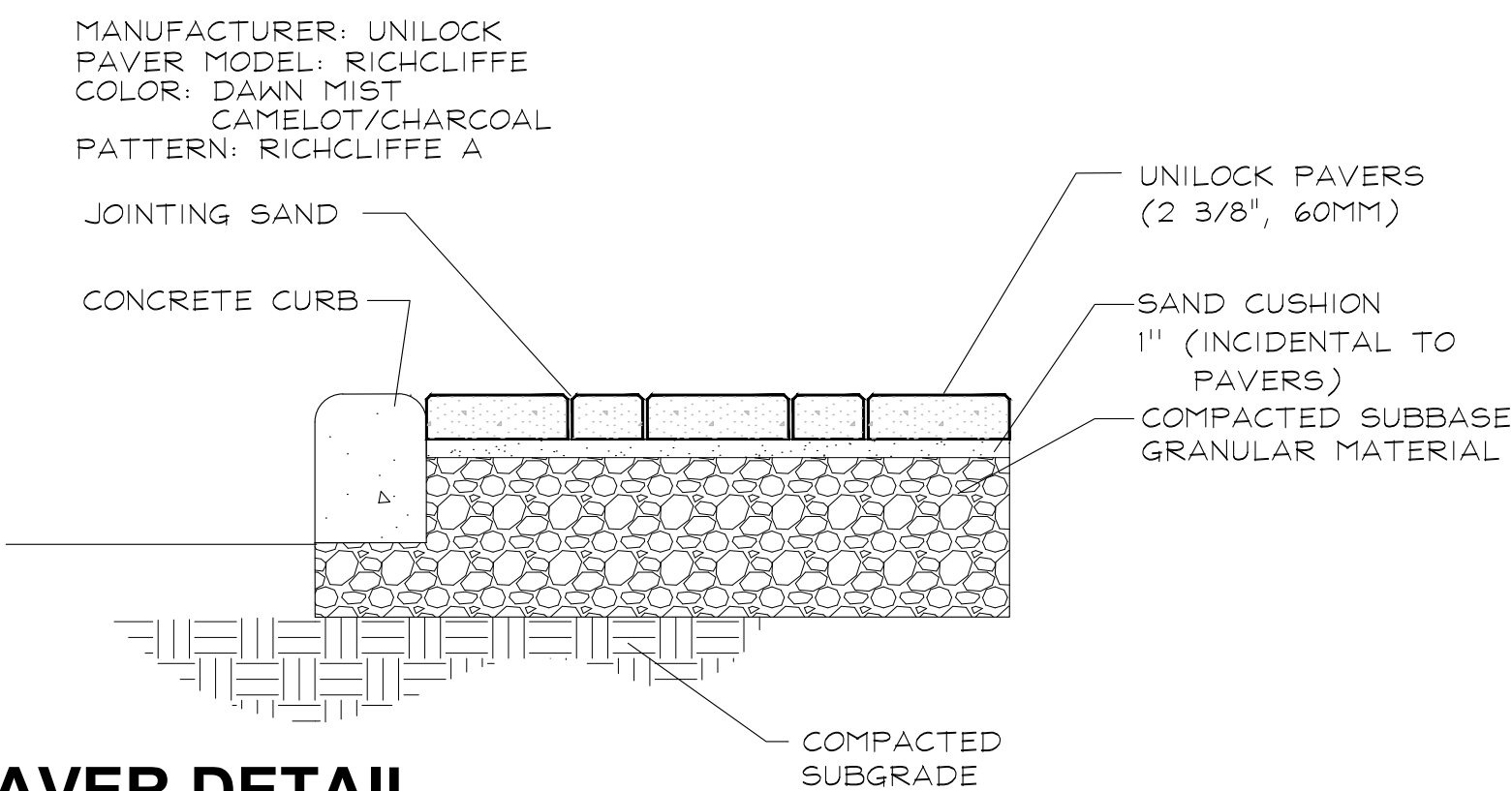
- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



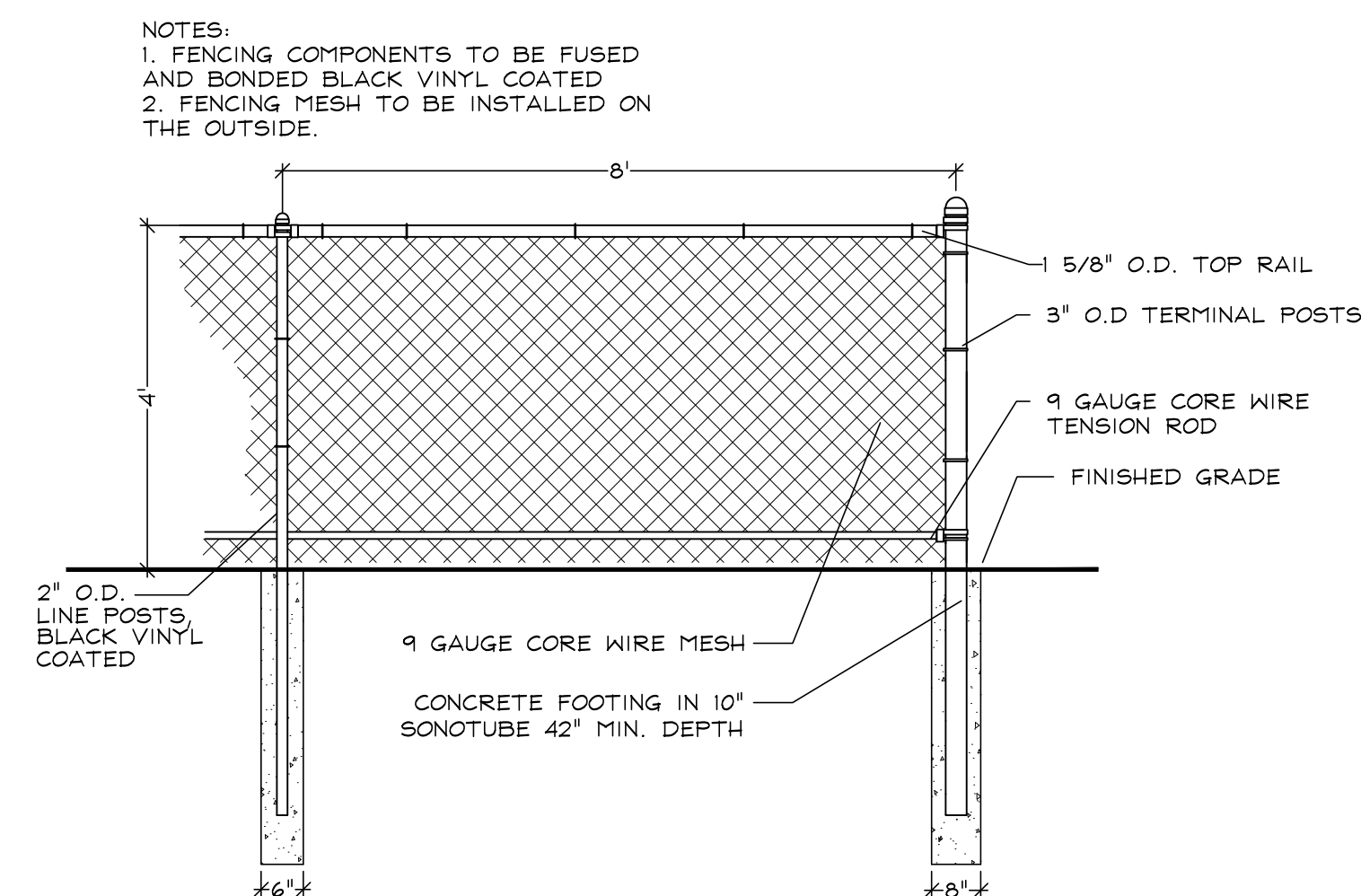
**RETAINING WALL DETAIL**  
SCALE: 1/2"=1'-0"



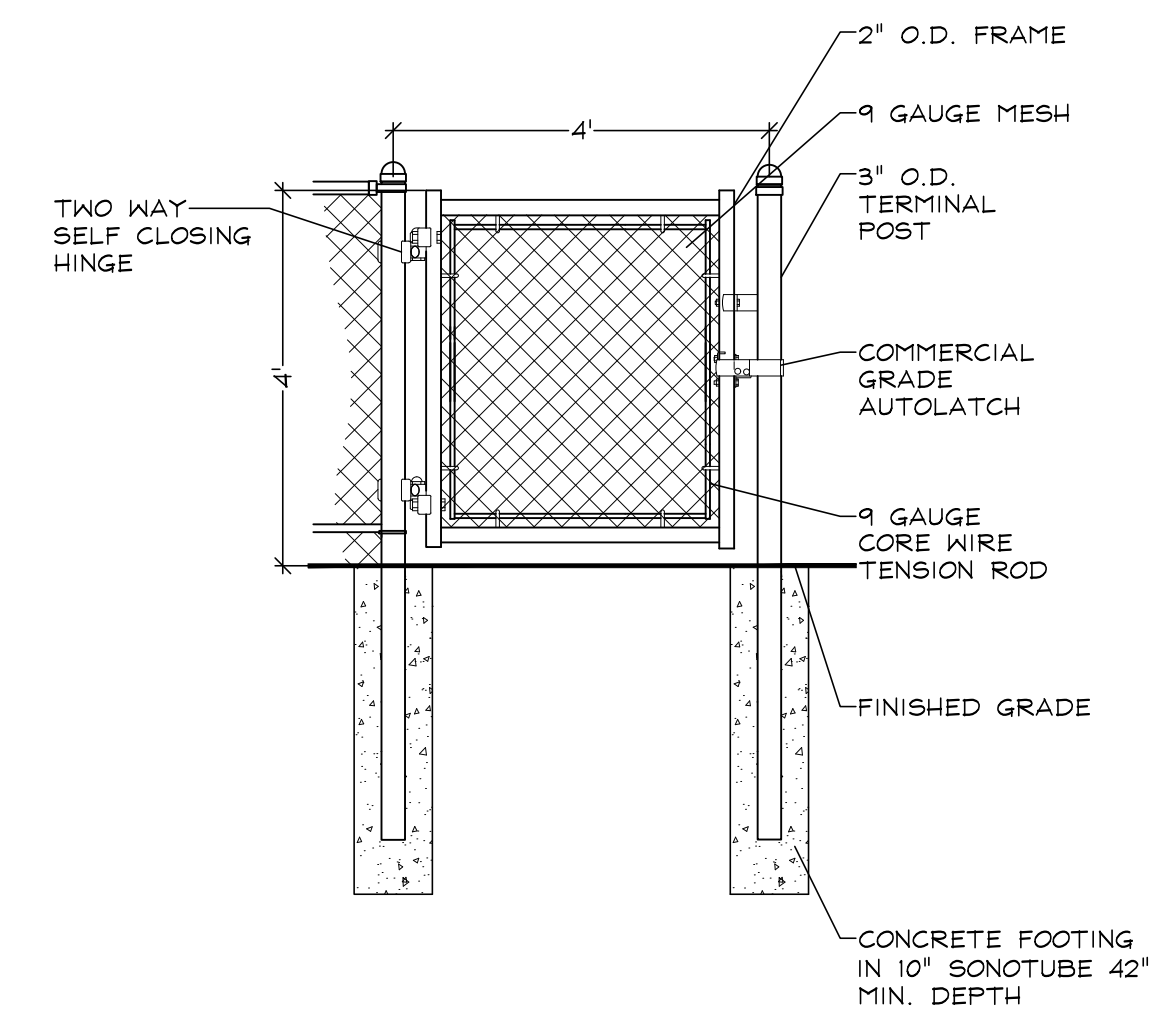
**4' ORNAMENTAL FENCE**  
SCALE: 1/2"=1'-0"



**PERMEABLE PAVER DETAIL**  
NOT TO SCALE



**4' CHAIN LINK FENCE DETAILS**  
SCALE: 1/2"=1'-0"



**GARY R. WEBER ASSOCIATES, INC.**  
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ENGINEER:  
**BONO CONSULTING CIVIL ENGINEERS**  
1018 BUSSE HWY  
PARK RIDGE, IL 60068

**2305 SOKOL COURT**  
DARIEN, ILLINOIS

**LANDSCAPE DETAILS**

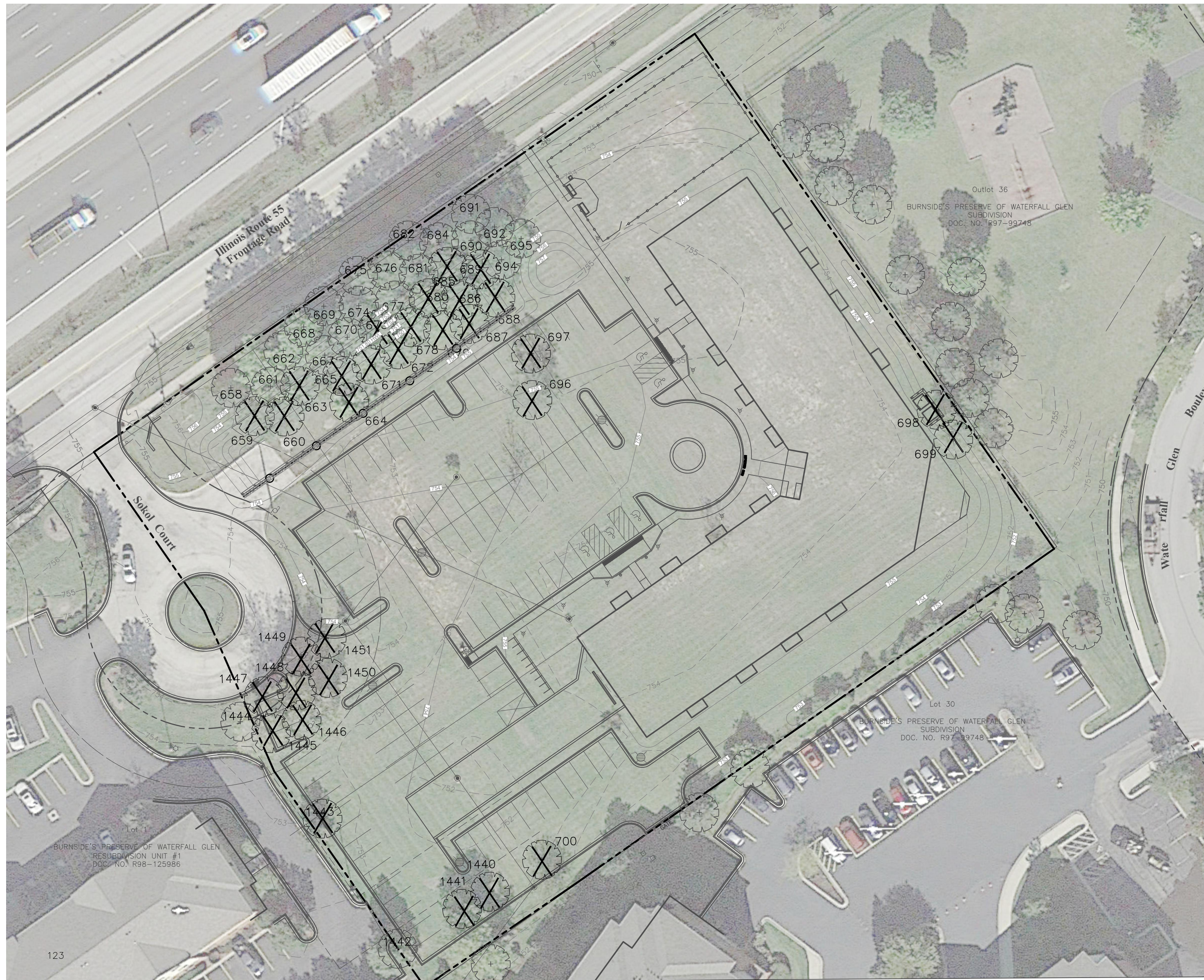
REVISIONS	DATE
3	09.02.2021
2	07.26.2021
1	07.19.2021

DATE: 6.29.2021  
PROJECT NO.: PSW2103  
DRAWN: JLT  
CHECKED: GFB  
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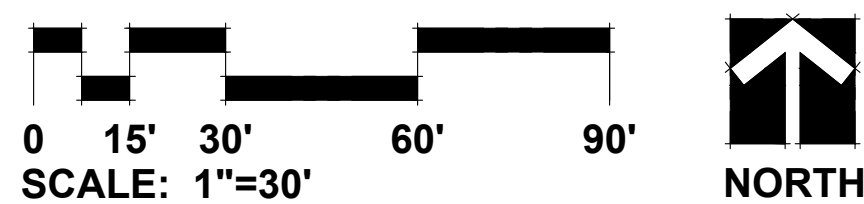


**L-2**



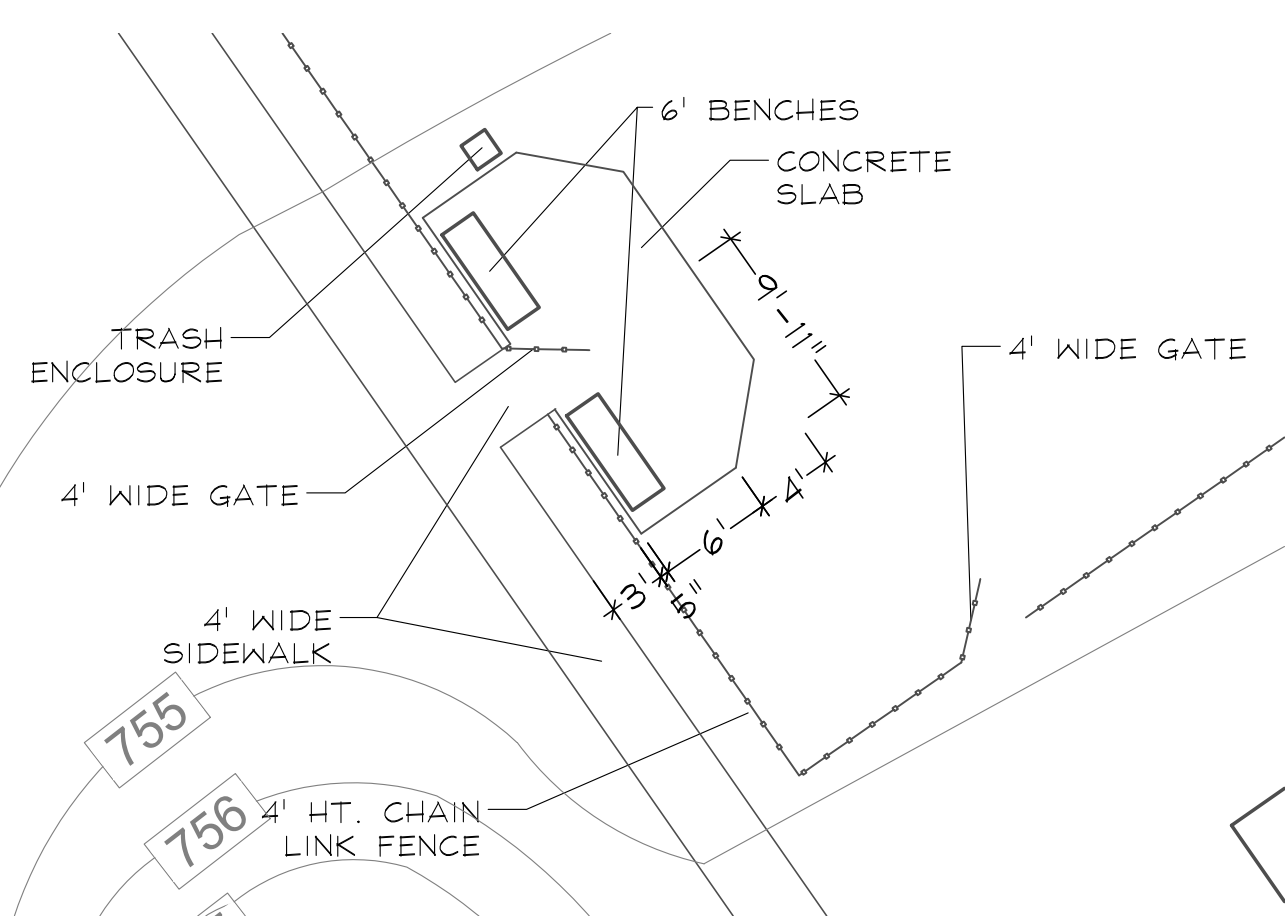


**TREE PRESERVATION PLAN**

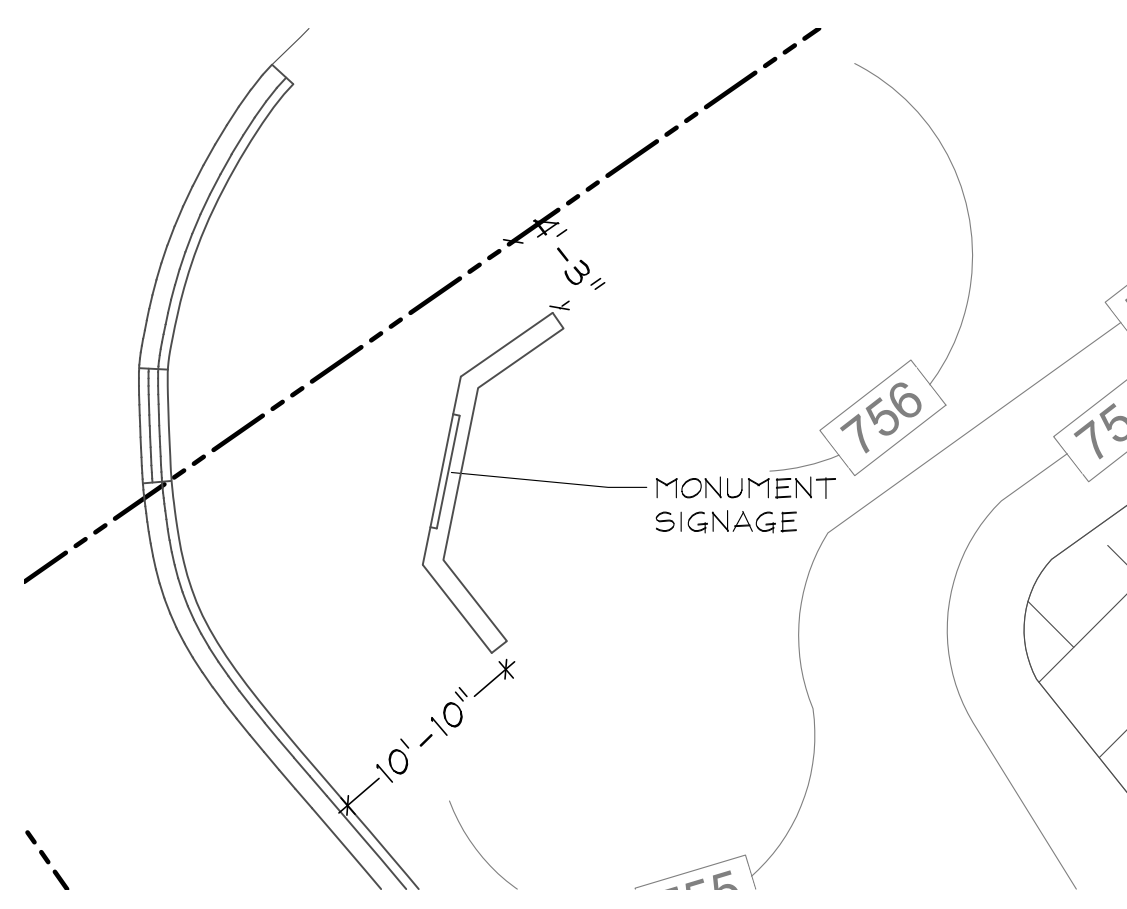


**LEGEND**

- REMOVED TREE
- PRESERVED TREE



**BARK PARK ENTRY PLAN**  
SCALE: 1"=10'

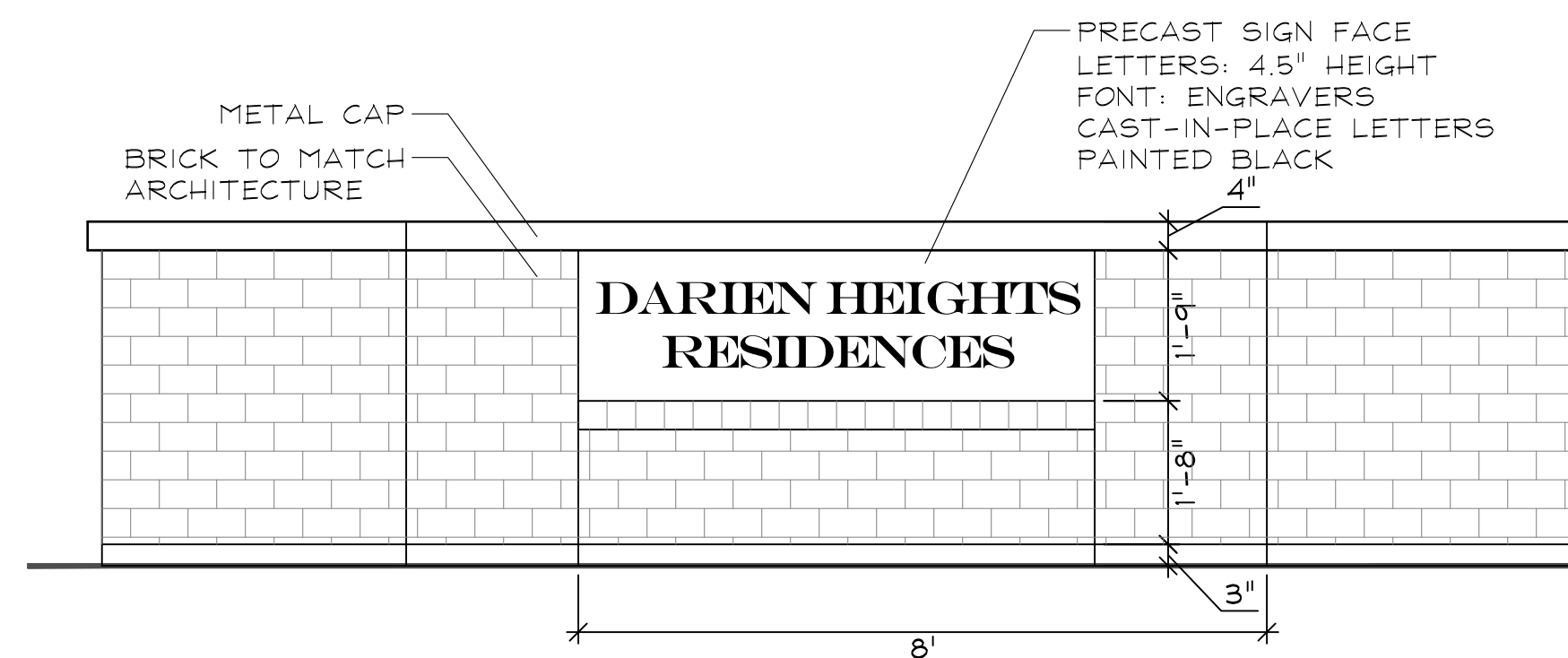


**MONUMENT LAYOUT PLAN**  
SCALE: 1"=10'

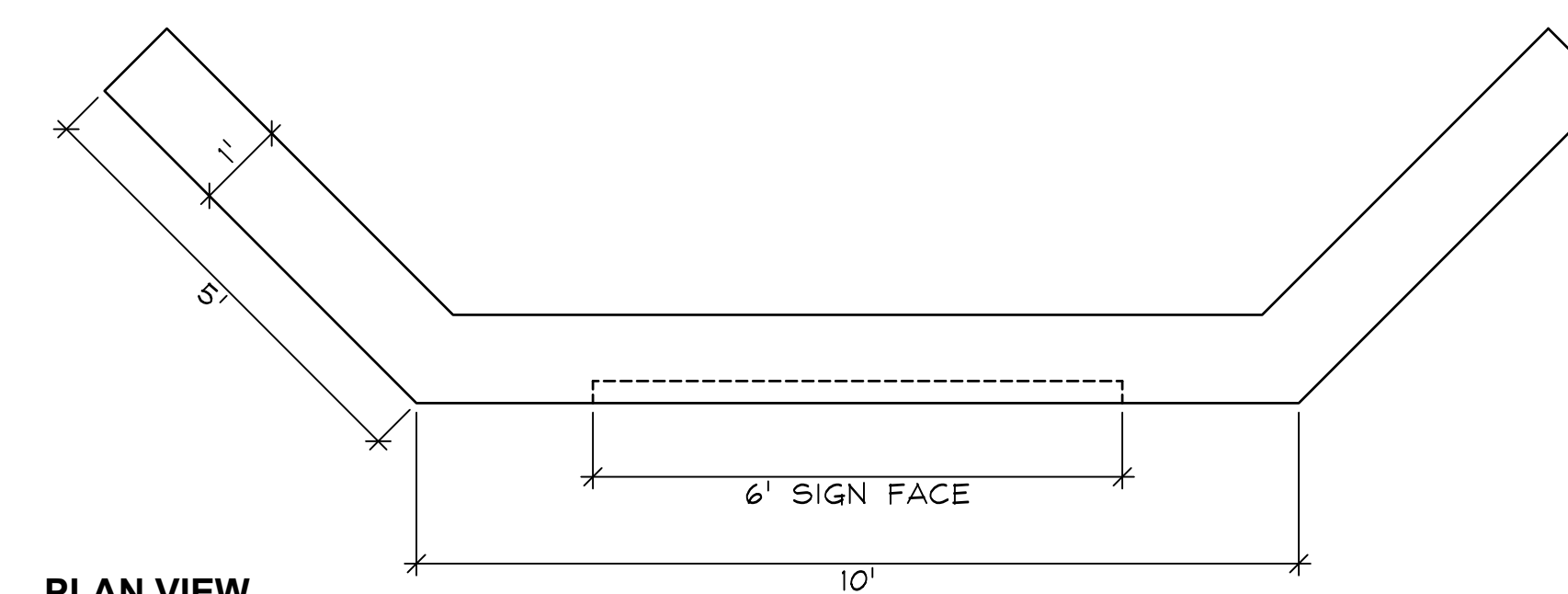
**TREE INVENTORY**

TAG NO.	SCIENTIFIC NAME	COMMON NAME	DBH (inches)	RATING	NOTES	PROPOSED ACTION
658	<i>Robinia pseudoacacia</i>	Black Locust	6, 5	Poor	Split risk	Preserve
659	<i>Robinia pseudoacacia</i>	Black Locust	10	Poor	Leaning	Remove
660	<i>Robinia pseudoacacia</i>	Black Locust	12, 12	Poor	Split risk	Remove
661	<i>Robinia pseudoacacia</i>	Black Locust	12, 8	Poor	Leaning	Preserve
662	<i>Morus rubra</i>	Red Mulberry	30	Fair	Leaning	Preserve
663	<i>Robinia pseudoacacia</i>	Black Locust	11	Fair	Leaning	Remove
664	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Leaning	Remove
665	<i>Robinia pseudoacacia</i>	Black Locust	6	Poor	Dead limbs	Remove
667	<i>Robinia pseudoacacia</i>	Black Locust	8	Poor	Leaning	Preserve
668	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Leaning	Preserve
669	<i>Morus rubra</i>	Red Mulberry	28	Fair	Dead limbs; unbalanced	Preserve
670	<i>Robinia pseudoacacia</i>	Black Locust	8	Poor	Crowded	Preserve
671	<i>Robinia pseudoacacia</i>	Black Locust	8, 5	Poor	Crowded	Remove
672	<i>Robinia pseudoacacia</i>	Black Locust	7	Poor	Crowded	Remove
673	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Leaning	Remove
674	<i>Robinia pseudoacacia</i>	Black Locust	5	Fair	Leaning	Preserve
675	<i>Picea abies</i>	Norway Spruce	22	Poor	Dead limbs; crowded	Preserve
676	<i>Robinia pseudoacacia</i>	Black Locust	10	Good		Preserve
677	<i>Robinia pseudoacacia</i>	Black Locust	9, 5, 4	Poor	Leaning; split risk	Preserve
678	<i>Robinia pseudoacacia</i>	Black Locust	12	Poor	Leaning	Remove
679	<i>Robinia pseudoacacia</i>	Black Locust	8	Fair	Leaning	Remove
680	<i>Robinia pseudoacacia</i>	Black Locust	14	Poor	Leaning	Remove
681	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Crowded	Preserve
682	<i>Picea abies</i>	Norway Spruce	9	Poor	Dead limbs	Preserve
684	<i>Robinia pseudoacacia</i>	Black Locust	14	Fair	Leaning	Preserve
685	<i>Robinia pseudoacacia</i>	Black Locust	10	Fair	Dead limbs	Remove
686	<i>Robinia pseudoacacia</i>	Black Locust	10	Poor	Leaning	Remove
687	<i>Robinia pseudoacacia</i>	Black Locust	11, 9	Poor	Split risk	Remove
688	<i>Robinia pseudoacacia</i>	Black Locust	5	Poor	Trunk damage	Remove
689	<i>Robinia pseudoacacia</i>	Black Locust	10, 5	Poor	Split risk	Remove
690	<i>Robinia pseudoacacia</i>	Black Locust	12, 8	Poor	Split risk	Preserve
691	<i>Picea abies</i>	Norway Spruce	22	Poor	Dead limbs	Preserve
692	<i>Robinia pseudoacacia</i>	Black Locust	10	Poor	Split risk	Preserve
694	<i>Robinia pseudoacacia</i>	Black Locust	10, 9, 6	Poor	Split risk	Preserve
695	<i>Robinia pseudoacacia</i>	Black Locust	10, 10	Poor	Split risk	Preserve
696	<i>Robinia pseudoacacia</i>	Black Locust	5, 5, 5	Poor	Split risk; unbalanced	Remove
697	<i>Robinia pseudoacacia</i>	Black Locust	14	Poor	Split risk; trunk damage	Remove
698	<i>Salix nigra</i>	Black Willow	8, 5, 5	Poor	Split risk	Remove
699	<i>Populus deltoides</i>	Eastern Cottonwood	5, 5, 5	Poor	Split risk	Remove
700	<i>Morus rubra</i>	Red Mulberry	6, 5	Poor	Split risk	Remove
1440	<i>Acer negundo</i>	Box Elder	10	Poor	Dead leader	Remove
1441	<i>Acer negundo</i>	Box Elder	6, 5	Poor	Crowded	Remove
1442	<i>Tilia americana</i>	American Linden	14	Good		Off property
1443	<i>Malus</i>	Crabapple	8	Good		Remove
1444	<i>Populus deltoides</i>	Eastern Cottonwood	9	Poor	Leaning	Off property
1445	<i>Populus deltoides</i>	Eastern Cottonwood	12	Poor	Crowded	Remove
1446	<i>Populus deltoides</i>	Eastern Cottonwood	12, 10	Poor	Split risk	Remove
1447	<i>Populus deltoides</i>	Eastern Cottonwood	8	Poor	Dead leader	Remove
1448	<i>Populus deltoides</i>	Eastern Cottonwood	6	Poor	Leaning	Remove
1449	<i>Populus deltoides</i>	Eastern Cottonwood	8	Poor	Leaning	Remove
1450	<i>Populus deltoides</i>	Eastern Cottonwood	9, 5	Poor	Split risk	Remove
1451	<i>Populus deltoides</i>	Eastern Cottonwood	7	Poor	Crowded	Remove

- TREE INVENTORY: 01/25/2021
- Trees measured at 4.5' above the ground - DBH (diameter Breast Height)
  - All deciduous trees 5" DBH and above tagged. All evergreens 15' in height or greater tagged. Dead trees (greater than 90% dead wood), shrubs, and cedar were not tagged.
  - Health Rating:  
 Good - Less than 20% dead wood and sound structure  
 Fair - 20-60% dead wood, unsound structure, minor signs of disease  
 Poor - 60-90% dead wood, structural damage, heavy signs of disease  
 Dead - Greater than 90% dead wood or dead crown with resprouts only



**MONUMENT ELEVATION**



**PLAN VIEW**  
**MONUMENT DETAILS**  
SCALE: 1/2"=1'-0"

**GRWA**  
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LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan;
2. The provision of post-planting management as specified herein;
3. Any remedial operations necessary in conformance with the plans as specified in this document;
4. Permits which may be required.

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.
- B. Quality Control Procedures:
  1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
  2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
  3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Planting Schedule
 

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting
- B. Maintenance Instruction - Landscape Work
 

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.
- C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.
- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
- E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.
- B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant) and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.

2.2 LAWN SEED MIXTURE

Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified.

- A. Lawn Seed Mixture - 5 lbs./1,000 sq. ft.
  - 50% Kentucky Bluegrass 98/85
  - 15% Cutter Perennial Ryegrass
  - 10% Spartan Hard Fescue
  - 10% Edge Perennial Ryegrass
  - 10% Express Perennial Ryegrass
  - 5% Pennlawn Creeping Red Fescue
- B. Temporary Lawn Seed Mixture - 5 lbs./1,000 sq.ft.
  - 40% Kentucky Bluegrass 98/85
  - 40% Perennial Ryegrass
  - 20% Annual Ryegrass

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material true to name and variety.
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B&B) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (B&B) evergreen trees and containerized shrubs.
- F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.

2.6 EROSION CONTROL

- A. Lawn Seed Areas Erosion Control Blanket: North American Green D575, or equivalent approved equal.

2.7 MULCH

Provide mulch consisting of premium shredded hardwood bark. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

- A. Sodding New Lawns
  1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
  2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
  3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
  4. Lay sod within 24 hours from time of stripping.
  5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
  6. Water sod thoroughly with a fine spray immediately after planting.
- B. Seeding New Lawns
  1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
  2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
  3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
  4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.

5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
6. Sow not less than specified rate.
7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.

C. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

D. Trees and Shrubs

1. Set balled and burlapped (B&B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
3. Mulch pits, trenches and planted areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/regrading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



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## Equity Trust FBO “Paul W Swanson IRA”

*Real Estate Development and Investments*

401 E. PROSPECT AVENUE  
MT. PROSPECT, ILLINOIS 60056

PHONE: 847-670-6710  
FAX: 847-670-6713

August 24, 2021

VIA EMAIL: [jyanke@darienil.gov](mailto:jyanke@darienil.gov)

Jordan Yanke  
Senior Planner  
1702 Plainfield Road  
Darien, IL 60561

**RE: *Development Schedule***

Jordan,

The project is a Single Stage Development. Starting date is October – November 2021, beginning with grading, foundation, and utilities and as you know there is only one use (Rental Apartments) and no public facilities and amenities.

The total construction, building and site work, should take approximately 10 ½ - 11 months, but with the present state of scarcity of some building materials...it could take longer.

Call with any questions.

Best regards

Paul Swanson Authorized Agent  
Equity Trust Company Custodian F/B/O Paul Swanson IRA