

**CITY OF DARIEN
PLANNING AND ZONING COMMISSION**

Wednesday, April 3, 2024

7:00 PM

City Hall Council Chambers

1702 Plainfield Road

AGENDA

- 1) Call to Order
- 2) Roll Call
- 3) Regular Meeting – New Business
 - a. **PZC2024-02 (PAGE 7)**
2941, 2963, and 2985 87TH Street – Woodland Glen Development
Petitioner requests final approval for a Planned Unit Development (PUD) and Final Plat of Subdivision. The petition specifically requests final approval for a 17-lot subdivision with 34 total dwelling units, or 17 two-family dwellings (i.e. duplexes). Property is comprised of 7.34 acres.
- 4) Regular Meeting – Old Business (NONE)
- 5) Staff Updates & Correspondence
- 6) Approval of Minutes February 7, 2024
- 7) Next Meeting April 17, 2024
- 8) Public Comments [On Any Topic Related to Planning and Zoning]
- 9) Adjournment

MINUTES CITY OF DARIEN
PLANNING & ZONING COMMISSION MEETING

Wednesday, February 7, 2024

PRESENT: Bryan Gay, Shari Gillespie, Hilda Gonzalez, Chris Green, Chris Jackson, Jonathan Johnson, Julie Kasproicz

ABSENT: Robert Erickson, Lou Mallers - Chairperson

OTHER: Jordan Yanke – City Planner

Mr. Jordan Yanke, City Planner called the meeting to order at 7:00 p.m. at the Darien City Hall, Council Chambers, 1702 Plainfield Road, Darien, Illinois. Mr. Yanke declared a quorum present and called on Commissioner Bryan Gay to step in as Acting Chairperson in Chairperson Lou Maller’s absence.

Commissioner Gillespie made a motion, seconded by Commissioner Gonzalez, to appoint Commissioner Gay as Acting Chairperson. Upon voice vote, THE MOTION CARRIED unanimously, and Commissioner Gay stepped in as Acting Chairperson.

Mr. Yanke reported that a Commissioner would be recusing himself from Commission discussion and voting on the public hearing petition on the agenda. Commissioner Chris Jackson stood up and formally recused himself and sat down in the public seating area of the Council Chambers.

Regular Meeting – New Business

- a. Public Hearing – PZC2024-01 – 7409 Cass Avenue – Indvestia Darien LLC – Petition from Indvestia Darien LLC for a special use request pursuant to Section 5A-8-3-4 of the zoning ordinance, plat of resubdivision, and variations as deemed necessary. The petition specifically requests to allow for the construction of a quick service drive-through eating establishment offering retail food or drink items for consumption. The Property is located within the B-2 Community Shopping Center Business District.**

Mr. Jordan Yanke, City Planner reported that the subject property is a special use request, more commonly known as the location of Jewel-Osco, Chuck E Cheese and Concentra, specifically located behind Taco Bell and Buona Beef. He noted that there are a number of parcels in this case, and that the petitioner is the owner of the Southern half of the overall center where the subject property is located. Mr. Yanke reported that the subject property is located off the Northeastern corner of 75th Street and Cass Avenue, and further reported that the petitioner took ownership control of the area last year.

Mr. Yanke reported that the proposal is for a 1,000 square foot new construct building with a special use request for a drive-through in the B-2 district. He reported that the applicant does not have an end user at this time but intends to use the space as a quick-service food establishment with a drive-through. Mr. Yanke further reported that the subject property will require a resubdivision with new lot lines to subdivide the existing parcels.

Mr. Yanke reported that there are variances with the application request and noted that there is a stacking space requirement with the code, that being a 15 stacking space requirement, while the proposal has 7 stacking spaces. He further noted that there will be minimum parking variance as well and setback variations for the proposed new lot line.

Acting Chairperson Bryan Gay swore in the audience members wishing to present public testimony.

The petitioner and petitioner representative, Vick Mehta and Chris Jackson, respectively, were present.

Mr. Vick Mehta introduced himself as the owner of Investia Capital, a local real estate investment firm primarily focused on retail shopping centers. Mr. Mehta reported that his firm purchased the subject property in May of 2023.

Mr. Chris Jackson introduced himself as the owner of CJ Architects, a Darien-based architecture firm that has worked with the petitioner for several years.

Commissioner Sharie Gillespie questioned if the storefront will be facing 75th Street.

Mr. Jackson stated that the intention is to have the drive-through stacking spaces on the back side of the building and the storefront facing 75th Street.

Commissioner Jonathan Johnson questioned where the drive-through would be if pulling into the lot from 75th Street.

Mr. Jackson stated there are 3 ingress/egress points along 75th Street, 2 of which would take one to the East side of the drive-through entrance. He stated one would travel West and would have the option of exiting onto 75th Street or Cass Avenue.

Acting Chairperson Bryan Gay questioned if the item in figure 2 was a call-box from the middle of the aisle facing South.

Mr. Jackson confirmed that the item is an order box.

Acting Chairperson Gay questioned if the expectation is to have customers enter the site from the West entrance and follow through around the drive-through.

Mr. Jackson stated one can enter the lot from Cass Avenue and make a right into the drive-through entrance or can enter the lot from 75th Street and make a left into the drive-through

entrance. He stated that there are enough stacking spaces to have an order be taken and cars can move through systematically.

Commissioner Johnson questioned how far off 75th Street the building will be.

Mr. Jackson stated the building will be about 47.5' with the ask being a 2.5' encroachment and 50' is the setback.

Commissioner Hilda Gonzalez questioned if the restaurant will be placed behind Buona Beef.

Mr. Jackson stated it will be between Taco Bell and Concentra, more prominent on 75th Street.

There was some conversation regarding the specific placement of the proposed building.

Commissioner Gonzalez questioned if the drive-through would have an enter/exit on the same side one would enter Buona Beef.

Mr. Jackson stated that there is an ingress/egress off Cass Avenue.

There was some conversation regarding entering and exiting the Buona Beef area.

Acting Chairperson Gay questioned if the petitioner had control over the islands in Zone 8 per traffic study and suggested there be proper signage for clear direction to the drive-through.

There was some conversation clarifying the location of Zone 8 and the use of signage in that area.

Commissioner Julie Kasprovicz questioned if there was intention to receive a liquor license.

Mr. Vick Mehta stated there is no intention to have indoor seating in the building, it will strictly be a drive-through and a walk-up window for summertime.

Acting Chairperson Gay opened the meeting to anyone wishing to present public comment.

Mr. Charlie Tucker questioned whether studies had been conducted as pertaining to anticipated traffic levels daily.

Mr. Yanke stated there was a traffic memo submitted and reported that the trip generation on a weekday morning would be 36 and, in the evening, would be 15. He noted an overall internal capture ranged from 11-27% for weekday peak hours, only adding 4 trips and 1 trip during weekday a.m. and p.m. peak hours, respectively.

Mr. Jackson clarified that the net traffic added to already existing traffic in that location would be 5.

Mr. Anthony Ramos stated that he lived in the Hinsbrook area. He stated it is exciting to see some economic development in the area and to see more people contributing to the local economy and bringing more people to Darien. He further stated that he has lived in the area for about 10 years and is excited to see a development fulfill that part of the lot.

There was no one else wishing to present public comment.

Acting Chairperson Gay turned it back to the Commission for comment.

Commissioner Kasprovicz questioned if there should be concern as to what will occupy the proposed building.

Mr. Yanke stated that the subject property is only proposed as an eating establishment with drive-through and that the Commission could condition the case to only allow that type of use, meaning it could not change to other underlying uses unless petitioned for through public hearing.

Acting Chairperson Gay questioned whether there would be outdoor seating at the proposed establishment.

Mr. Mehta stated there is intention to set up picnic tables during summertime.

There was some conversation surrounding the use of the outdoor space and parking spaces.

There was further conversation pertaining to conditions of the proposed petition.

Commissioner Gonzalez made a motion, and it was seconded by Commissioner Johnson to approve – PZC2024-01 – 7409 Cass Avenue – Indvestia Darien LLC – Petition from Indvestia Darien LLC for a special use request pursuant to Section 5A-8-3-4 of the zoning ordinance, plat of resubdivision, and variations as deemed necessary. The petition specifically requests to allow for the construction of a quick service drive-through eating establishment offering retail food or drink items for consumption. The Property is located within the B-2 Community Shopping Center Business District with the following conditions:

- 1. Proper signage is placed for customers to enter and exit the establishment.**
- 2. The building shall only be used as an eating establishment in conjunction with drive-through facility.**

Upon roll call vote the MOTION CARRIED 7-0.

Mr. Yanke reported that the petition would be forwarded to the Municipal Services Committee on February 26, 2024 at 6:00 p.m.

Staff Updates & Correspondence

Mr. Yanke reported that the autobody shop to fulfill the vacant CVS lot has withdrawn their plans.

Approval of Minutes

Commissioner Kasprovicz made a motion, and it was seconded by Commissioner Jackson to approve the November 15, 2023 and the December 6, 2023 Regular Meeting Minutes.

Upon roll call vote, THE MOTION CARRIED 7-0.

Next Meeting

Mr. Yanke that the next meeting is to be announced at a future date.

Public Comments (On Any Topic Related to Planning and Zoning)

There was no one in the audience wishing to present public comment.

Adjournment

With no further business before the Commission, Commissioner Gillespie made a motion, and it was seconded by Commissioner Kasprovicz. Upon voice vote, THE MOTION CARRIED unanimously, and the meeting adjourned at 7:40 p.m.

Respectfully Submitted:

Approved:

X

Jessica Plzak
Secretary

X

Lou Mallers
Chairperson

AGENDA MEMO
PLANNING AND ZONING COMMISSION
APRIL 3, 2024

CASE

PZC2024-02

Woodland Glen Development, LLC (2941, 2963, & 2985 87TH ST)
Final Planned Unit Development (PUD) and Final Plat of
Subdivision

ISSUE STATEMENT

Petitioner requests final approval for a Planned Unit Development (PUD) and Final Plat of Subdivision. The petition specifically requests final approval for a 17-lot subdivision with 34 total dwelling units, or 17 two-family dwellings (i.e. duplexes). Property is comprised of 7.34 acres.

The City Council granted preliminary approval for this petition on November 20, 2023. Per zoning ordinance standards, a Planned Unit Development (PUD) must also receive final approval, and *if the final plan and other supporting data are in substantial conformity with the preliminary plan, the Plan Commission shall approve it.*

Applicable Regulations: City Code Section 5A-7-3, R-3 District Standards
City Code Section 5A-3, PUD Regulations
City Code Section 5B, Subdivision Regulations

GENERAL INFORMATION

Petitioner: Woodland Glen Development, LLC
Property Owner: Julian Saybor & Maria Sciullo
Property Location: 2941, 2963, & 2985 87TH Street
PIN Number(s): 10-06-200-004, 10-06-200-005, & 10-06-200-006
Existing Zoning: Single-Family Residence District (R-1)
Proposed Zoning: Multi-Family Residence District (R-3)
Existing Land Use: Single-Family Residential
Proposed Land Use: Two-Family Dwellings (i.e. Duplexes)
Comprehensive Plan: Low Density Residential (Existing);
Medium Density Residential (Future)

Key Development Area #9: This key area can include commercial development if cohesive in nature. It also presents opportunity for further residential development either through infill or subdivision.

Surrounding Zoning & Uses

North: Single-Family Residence District (R-2); Single-Family Residential
East: Single-Family Residence District (R-1); Single-Family Residential
South: R-2 Single Family (Unincorporated); Single-Family Residential
West: R-2 Single Family (Unincorporated); Single-Family Residential

Petition Site Acreage: 7.34 Acres

Floodplain: According to the DuPage County Parcel Viewer System, there is no floodplain on the subject site.

Natural Features: According to the DuPage County Parcel Viewer System, there is a small area of wetland in the far southeastern portion of the site.

Transportation: The petition site gains access from 87TH Street with two (2) proposed ingress/egress cuts for Woodland Lane.

PETITIONER DOCUMENTS (ATTACHED TO MEMO)

- 1) APPLICATION
- 2) COVER LETTER & NARRATIVE
- 3) FINAL DEVELOPMENT PLAN
- 4) FINAL PLAT
- 5) LANDSCAPE PLAN
- 6) FLOOR PLAN & RENDERING
- 7) DEVELOPMENT SCHEDULE

CITY STAFF DOCUMENTS (ATTACHED TO MEMO)

- 8) AERIAL & STREET IMAGES
- 9) CITY ENGINEER LETTER

PLANNING OVERVIEW/DISCUSSION

The petition site is located on the south side of 87TH Street, west of Lemont Road and on the edge of the City’s jurisdictional boundary. The site totals 7.34 acres and is comprised of three (3) parcels. There are existing dwellings on the parcels that would be demolished along with other structures if the proposal is approved. The proposal is to develop the site as a 17-lot subdivision containing 17 two-family dwellings (i.e. duplexes), meaning 34 total units. The zoning ordinance defines the proposed dwellings as follows:

- DWELLING, TWO-FAMILY: A detached building or structure containing two (2) dwelling units only, designed for and occupied by two (2) families.*
- DUPLEX: See definition of Dwelling, Two-Family.*

On November 20, 2023, the City Council granted preliminary approval for this petition. The preliminary process included a zoning application for a rezone, preliminary Planned Unit Development (PUD), preliminary plat, and variations/waivers from the subdivision and zoning regulations. The zoning change is from Single Family Residence District (R-1) to Multi-Family Residence District (R-3). The variations/waivers that were granted as part of the preliminary approval are listed below:

- *Subdivision Regulation Section 5B-1-7(B)(6) – Variation Request*
 - o This section provides for a 66’ right-of-way and 30’ pavement width. The proposed plan shows Woodland Lane with a 50’ right-of-way and 27’ road width.
- *Subdivision Regulation Section 5B-1-8(G)(1) – Variation Request*
 - o This section provides for a 150’ curve radius on Minor Streets. The proposed plan shows a 53.5’ radius for Woodland Lane.
- *Zoning Section 5A-7-3-5(A) – Waiver request to minimum lot size requirement.*
 - o Waiver request to reduce the minimum lot size for two-family dwellings in the R-3 District from 20,000 square feet to 10,000 square feet. The proposal does meet gross residential density requirements.
- *Zoning Section 5A-7-3-6(A) – Waiver request to minimum setback requirements.*
 - o Waiver request to modify/reduce the minimum front yard and rear yard setbacks from the required 30’ to 25’ and 18’, respectively.
- *Zoning Section 5A-3-3-8 – Waiver request to open space standard.*
 - o Waiver request to reduce the required percentage of common open space from 25%

- of the total gross area to 20%.
- *Zoning Section 5A-3-3-9(B) – Waiver request to yards and spaces.*
 - o Waiver request to eliminate the following PUD stipulation: “Buildings of more than 24' in height shall provide a setback from any property line of not less than equal to the height of such buildings.”

In reference to the minimum setback waiver request, a condition was stipulated in the preliminary approval ordinance. This condition is spelled out below and the resulting front and rear yard setbacks for each lot are also listed:

CONDITION: Applicant revise the preliminary plan in regards to the location of duplexes on Lots 1, 2, 3, 9, 10, and 11. The structures on said lots shall be shifted 2' towards Woodland Lane, resulting in a front yard setback of 23' and rear yard setback of 20' for each lot/duplex. Note the following specified front and rear yard setback for each lot as a result of this condition:

	<u>Front Yard Setback</u>	<u>Rear Yard Setback</u>
Lot 1:	23'	20'
Lot 2:	23'	20'
Lot 3:	23'	20'
Lot 4:	25'	18'
Lot 5:	25'	18'
Lot 6:	25'	18'
Lot 7:	25'	18'
Lot 8:	25'	18'
Lot 9:	23'	20'
Lot 10:	23'	20'
Lot 11:	23'	20'
Lot 12:	25'	18'
Lot 13:	25'	18'
Lot 14:	25'	18'
Lot 15:	25'	18'
Lot 16:	25'	18'
Lot 17:	25'	18'

Staff Review Comments

Staff has reviewed the submittal documents. Included with this memo is a letter from the City Engineer (dated March 13, 2024). The letter includes comments for the applicant to consider/address. It is recommended a condition requiring compliance with the review comments be included with a final approval.

The City’s traffic consultant reviewed the traffic memo submitted during the preliminary planning process and accepted the findings contained within the report. As referenced in the City Engineer Letter, the applicant will be subject to permitting and approval by DuPage County Public Works for the sanitary sewer/lift station and DuPage County Department of Transportation (DuDOT) for the new roadway cuts off 87TH Street allowing ingress/egress into the subdivision.

Finally, the applicant has fulfilled the other conditions that were specified as part of the preliminary approval. For access to the full set of preliminary plans and the approval ordinance please refer to the City website and access the City Council meeting packet for the November 20, 2023 meeting. This can be found under Reference Desk > Agendas and Minutes > City Council.

DECISION MODE

The Planning and Zoning Commission will consider this item at its meeting on April 3, 2024.

MEETING SCHEDULE

Planning and Zoning Commission	April 3, 2024
Municipal Services Committee	TBD
City Council	TBD



ZONING APPLICATION

RECEIVED

SEP 14 2023
Community Development
City of Darien

CITY OF DARIEN
1702 Plainfield Road, Darien, IL 60561
www.darien.il.us 630-852-5000

CONTACT INFORMATION

<u>Woodland Glen Development, LLC</u> Applicant's Name	<u>Maria Sciallo</u> Owner's Name
<u>6432 Joliet Rd., Ste. B, Countryside, IL 60525</u> Address, City, State, Zip Code	<u>502 Redondo Dr., Unit 408, Downers Grove, IL 60516</u> Address, City, State, Zip Code
<u>(708) 482-0860</u> Telephone	<u>(630) 541-7446</u> Telephone
<u>don.stevens@donvenhomes.com</u> Email	 Email

PROPERTY INFORMATION

<u>2963-2985 W. 87th S⁷ th Street, Darien, IL 60561</u> Property address	<u>10-06-200-004/ 005</u> PIN Number(s)
<u>R-1 Current</u> Zoning District	<u>Single Family Residence</u> Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

REQUEST

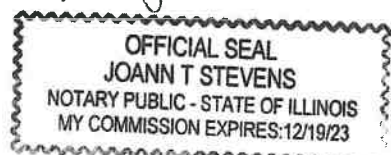
Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

Rezoning from Darien R-1 Single Family Residential to Darien R-3 Special Use PUD including Plat of Subdivision, Variation/Waiver Approval for 34 duplex attached single family residences on 17 lots served with public sanitary sewer and watermain. Variations from R-3 and PUD zoning. Preliminary/Final Plat Approval.

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that Donald A. Stevens is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.

Given under my hand and seal, this 8 day of September 2023.

Joann T. Stevens
Notary Public



For office use only	
Date Received:	09/14/2023
Case Number:	P2C2024-02
Fee Paid:	\$425.00
Hearing Date:	04/03/24

MEETING

CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien:

Staff Use Only
Case No: PZC2024-02
Date Received: 02/26/24
Fee Paid: \$425.00
Check No: 1016
Hearing Date: 04/03/24

PETITIONER INFORMATION

Woodland Glen Development, LLC

Petitioner's Name
Donald A. Stevens

Contact Name
6432 Joliet Rd, ste B, Countryside, IL 60525

Address, City, State, Zip Code
(708) 482-0860

Phone #
(708) 482-0872

Fax #
don.stevens@donvenhomes.com

Email

MEETING

Maria Sciullo as Trustee of the Maria Sciullo Trust dated 3/20/1997

Owner's Name
502 Redondo Drive, Unit 408, Downers Grove, IL 60516

Address, City, State, Zip Code
(630) 541-7446

Phone #
office@claesandclaes.com

Email

PROPERTY INFORMATION

2963-2985 W. 87th St., Darien, IL 60561

Property address
10-06-200-004/-005

PIN(s)
Provide legal description on a separate sheet and attach, such as the plat of survey.

4.59 acres

Acreage
R-1 (current)

Zoning

REQUEST

Woodland Glen

PUD Name
Brief description of the proposed development:
Total 7.34 acres development consisting of 34 duplex attached single family homes on 17 lots, served by public sanitary, sewer and water main located in the City of Darien, IL.

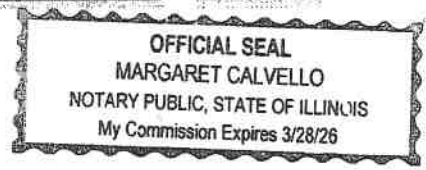
Preliminary PUD PUD Amendment
 Final PUD

I, Maria Sciullo, do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Signature: Maria Sciullo

Subscribed and sworn to before this 22nd day of February, 2024

Notary Public: Margaret Calvello



CITY OF DARIEN, ILLINOIS, Community Development Department

Plat of Subdivision petition to the Mayor and City Council of the City of Darien:

Staff Use Only
Case No: PZC2024-02
Date Received: 02/26/24
Fee Paid: \$425.00
Check No: 1016
Posting Date: 04/03/24

PETITIONER INFORMATION

Woodland Glen Development, LLC
 Petitioner's Name
 Donald A. Stevens
 Contact Name
 6432 Joliet Road, Ste B., Countryside, IL 60525
 Address, City, State, Zip Code
 708-482-0860
 Phone #
 708-482-0872
 Fax #
 don.stevens@donvenhomes.com
 Email

NEETING
 Maria Sciallo, as Trustee of the
 Maria Sciallo Trust dated
 Owner's Name 3/20/1997
 502 Redondo Drive, Unit 408, Downers Grove, IL 60516
 Address, City, State, Zip Code
 630-541-7446
 Phone #
 office@claesandclaes.com
 Email

PROPERTY INFORMATION

2963-2985 W. 87th St., Darien, IL 60561
 Property address
 10-06-200-004/-005
 PIN(s)

4.59 acres
 Acreage
 R-1 current
 Zoning

REQUEST

Check the following: Preliminary Plat Final Plat

Woodland Glen
 Subdivision Name
 Number of Lots: 17
 Right-of-way (in miles): 0.1725 miles

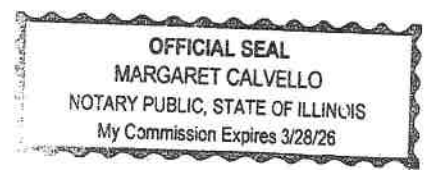
Minimum Lot Size: 100' x 108'
 Average Lot Size: 12,106 s.f.
 Public or other
 open space: 66,808 s.f.
 Public ROW 47,157 s.f.

I, Maria Sciallo do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Maria Sciallo
 Signature

Subscribed and sworn to before this 2nd day of February, 2024

Margaret Calvello
 Notary Public





ZONING APPLICATION

RECEIVED

SEP 14 2023

Community Development
City of Darien

CITY OF DARIEN

7802 Plainfield Road, Darien, IL 60561
www.darienil.us 630-852-5000

CONTACT INFORMATION

Woodland Glen Development, LLC
Applicant's Name Donald A. Stevens

Julian Saybor
Owner's Name

6432 Joliet Rd., Ste.B, Countryside IL
Address, City, State, Zip Code 60525

2941 W. 87th St., Darien IL 60561
Address, City, State, Zip Code

(708) 482-0860

(630) 910-7000

Telephone

Telephone

don.stevens@donvenhomes.com

Email

Email

PROPERTY INFORMATION

2941 W. 87th St., Darien IL 60561
Property address

10-06-200-006
PIN Number(s)

R-1 (current)
Zoning District

Single Family Residence
Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

REQUEST

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

Rezoning from Darien R-1 Single Family residential to Darien R-3 Special Use PUD

including Plat of Subdivision, Variation/Waiver Approval for 34 duplex attached

single family residences on 17 lots served with public sanitary, sewer and water main.

Variations from R-3 and PUD zoning. Preliminary/Final Plat Approval.

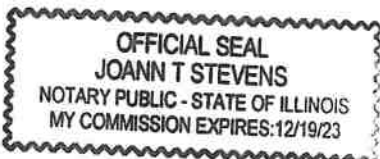
As Notary Public, in and for DuPage County in Illinois, I do hereby certify that Donald A. Stevens is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.

Given under my hand and seal, this 8 day of September 2023

Joann T. Stevens
Notary Public

For office use only	
Date Received:	09/14/2023
Case Number:	PZC2024-02
Fee Paid:	\$425.00
Hearing Date:	09/03/24

MEETING



CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien:

Staff Use Only	
Case No.:	PZC2024-02
Date Received:	03/14/24
Fee Paid:	\$425.00
Check No.:	1016
Date:	04/03/24

MEETING

PETITIONER INFORMATION

Woodland Glen Development, LLC
Petitioner's Name

Julian Saybor
Owner's Name

Donald A. Stevens
Contact Name

2941 W. 87th Street, Darien, IL 60561
Address, City, State, Zip Code

6432 Joliet Rd., Ste B, Countryside, IL 60525
Address, City, State, Zip Code

(630) 910-7000
Phone #

(708) 482-0872
Phone #

Email

(708) 482-0872

Fax #

don.stevens@donvenhomes.com
Email

PROPERTY INFORMATION

2941 W. 87th Street, Darien, IL 60561
Property address

2.75 acres
Acreage

10-06-200-006
PIN(s)

R-1 (current)
Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

Woodland Glen
PUD Name

- Preliminary PUD
- Final PUD
- PUD Amendment

Brief description of the proposed development:

Total 7.34 acre development consisting of 34 duplex attached single family homes on 17 lots, served by public sanitary, sewer and watermain located in the City of Darien, IL.

I, Julian Saybor, do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

[Signature]
Signature

Subscribed and sworn to before this 13th day of MARCH, 2024

[Signature]
Notary Public



CITY OF DARIEN, ILLINOIS, Community Development Department

Plat of Subdivision petition to the Mayor and City Council of the City of Darien:

Staff Use Only	
Case No.:	PZC2024-02
Date Received:	03/14/24
Fee Paid:	\$425.00
Check No.:	1016
Hearing Date:	04/03/24

MEETING

PETITIONER INFORMATION

Woodland Glen Development, LLC
 Petitioner's Name

Donald A. Stevens
 Contact Name

6432 Joliet Rd., Ste. B, Countryside, IL 60525
 Address, City, State, Zip Code

(708) 482-0860
 Phone #

(708) 482-0872
 Fax #

don.stevens@donvenhomes.com
 Email

Julian Saybor
 Owner's Name

2941 W. 87th St., Darien, IL 60561
 Address, City, State, Zip Code

630-910-7000
 Phone #

Email

PROPERTY INFORMATION

2941 W. 87th St., Darien, IL 60561
 Property address

10-06-200-006
 PIN(s)

2.75 acres
 Acreage

R-1 (current)
 Zoning

REQUEST

Check the following: Preliminary Plat Final Plat

Woodland Glen
 Subdivision Name

Number of Lots: 17

Right-of-way (in miles): 0.1725 miles

Minimum Lot Size: 100' x 108'

Average Lot Size: 12,106 s.f.

Public or other open space: 66,808 s.f.

Public ROW : 47,157 s.f.

I, Julian Saybor do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Signature: [Signature]

Subscribed and sworn to before this 13th day of MARCH, 2024

Eileen B. Luzzo
 Notary Public



ATTACHMENT (2): COVER LETTER & NARRATIVE

Woodland Glen Residential Development
87th Street – ¼ Mile West of Lemont Road
Darien, Illinois

The proposed Woodland Glen residential development will consist of 34 duplex single family homes, with 2 homes on each of the 17 residential lots. The proposed site will be located directly on the south side of 87th Street, approximately ¼ mile west of Lemont Road.

Woodland Glen will be an upscale, maintenance free residential community, featuring larger ranch style homes with full basements, featuring both “look out” and “walk out” option.

The proposed site for Woodland Glen is on 7.34 acres of land, currently consists of 3 separate parcels owned by 2 different individuals. The property is currently zoned R-1 single family residential, and contains 2 older single family homes. The current homes are served by well and septic systems.

The existing homes on the properties are scheduled for demolition prior to the Woodland Glen site improvements being started. The Woodland Glen development will be rezoned as an R-3 PUD residential community, with utilities served by the City of Darien for public water and DuPage County for sanitary sewers. All utility improvements required for Woodland Glen will be installed by the developer.

The existing uses on 87th Street and Lemont Road contains mixed uses, including commercial, multi-family residential and some residential properties, the majority of residential homes do not face 87th Street. Accordingly, the Woodland Glen development will not adversely impact the essential character of the 87th Street, and will be a positive addition to the corridor.

There will be no adverse effects on the adjoining properties, with open side yards between the groupings of homes allowing for the free flow of light and air through the development and the adjoining properties. The development will have a negligible increase of traffic on 87th Street, and allows for the free movement of all police and fire equipment. Working with Darien Staff, the development provides for proper ingress and egress for the development off of 87th Street .

The proposed ranch homes at Woodland Glen, with “walk out” or “look out” basements, are perfectly suited for this site, as the land slopes increasingly to the south, away from 87th Street, so drainage will not be an issue or negatively impact the area. The trend of development along major signalized roadways like 87th Street in this area is towards either commercial development, or higher density multi-family developments. Woodland Glen will therefore offer the best transitional residential zoning from the much higher densities likely to come from the Woodridge zoning areas immediately to the west. The Woodland Glen development will help stabilize and increase the remaining property values in Darien along 87th Street.

The Woodland Glen development will have the highest quality architectural design, blending this transitional residential area into the neighboring community. The proposed landscaping will provide a positive environment to the homeowners in the development, and the neighboring community. All utilities will be approved by the City of Darien and DuPage County, providing a

benefit to the future homeowners, but also for the future development of the 87th Street corridor in Darien.

The Woodland Glen development will be a positive addition to the City of Darien, and offers the best transitional residential density along the 87th Street corridor in Darien.

The Woodland Glen development will conform to all Darien codes and regulations, except those where the City of Darien will be granting a variance or change from its Zoning Code.

1. Permitted reduction to the required right of way width for minor streets to fifty (50) feet from the sixty-six (66) feet as established in Title 5B, Chapter 1, Section 5B-1-7(b)6.
2. Permitted reduction to the required pavement width for minor streets to twenty seven (27) feet from thirty (30) feet as established in Title 5B, Chapter 1, Section 5B-1-7(B)6.
3. Permitted reduction to a minimum lot size of 10,000 square feet, in lieu of the 20,000 square foot R-3 Zoning requirement, is met under PUD regulations, Title 5A, Chapter 3, Section 5A-3-3-4(A). The maximum R-3 residential zoning units per gross residential acre is 7.0, while the Woodland Glen development is only at 4.63 units per gross acre as proposed.
4. Permitted reductions to the minimum Front and Rear yard setbacks to twenty-five feet (25') and eighteen feet (18') from thirty (30) feet established in R-3 Zoning, is considered met under PUD Regulations, Title 5A, Chapter 3, Section 5A-3-3-9(A): *“Required yard or setbacks ... may receive up to fifty percent (50%) of the standards set forth in the underlying zoning districts ...”*
5. Permitted reduction to common open space to twenty percent (20%) from twenty-five percent (25%) established in PUD Regulations, Title 5A, Chapter 3, Section 5A-3-3-8, which states: *“This requirement may be partially or totally waived by the City Council whenever a substantial amount of the land of the planned unit development is proposed for development as single-family residential units.”*
6. Permitted elimination of PUD Regulation, Title 5A, Chapter 3, Section 5A-3-3-9(B) which states: *“Buildings of more that twenty-four feet (24') in height shall provide a setback from any property line not less than equal to the height of such building.”* The required yards shall meet the applicable Sections of the R-3 Zoning requirement, PUD Regulations and/or as noted in 4 above.
7. Permitted reduction to the required horizontal roadway centerline curve radius for minor streets to fifty-three and one half feet (53.5') from one hundred fifty feet (150') as established in Title 5B, Chapter 1, Section 5B-1-8(G)1(a).

GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROLINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

V3 COMPANIES, LTD.
7325 JAMES AVENUE
WOODRIDGE, IL 60517

COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.

3. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.

4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.

5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREES TO HOLD HARMLESS V3 COMPANIES, LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTIVE WITHIN AND UNDER THE DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTORS' PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING SIGNS TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE DOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."

8. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREOF SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:

- a. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS PREPARED BY DOT, LATEST EDITION.
- b. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
- c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA LATEST EDITION.
- d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE CITY OF DARIEN.
- e. THE NATIONAL ELECTRIC CODE.
- f. THE ILLINOIS ACCESSIBILITY CODE.
- g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITE WORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

9. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.

10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTORS OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRP LINE OF TREES UNLESS OTHERWISE INDICATED.

11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.

12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HISHER OPERATIONS AFBUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE CITY OF DARIEN MUNICIPAL CODE AND IDOT REQUIREMENTS.

13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.

14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.

15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.

16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.

17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "JULIE" AT 800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.

18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WOULD REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.

19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.

21. ALL CURB RADI REFER TO BACK OF CURB.

22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.

23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR DOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.

24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.

25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.

26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.

27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.

28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.

30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.

31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNERS SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.

33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITIES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE CITY OF DARIEN AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.

34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.

35. PRIOR TO DEMOLITION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.

38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.

39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE CITY STANDARDS.

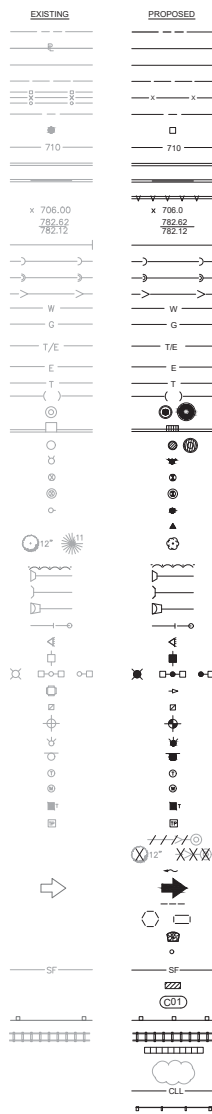
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR Dewatering ANY EXCAVATION OR ANY dewatering REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.

41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTORS OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.

42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.

43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HISHER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

LEGEND



ABBREVIATIONS

DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION
ARC LENGTH	A	GATE VALVE IN VALVE BOX	GVVB
BACK TO BACK OF CURB	B-B	GATE VALVE IN VALVE VAULT	GVBV
BACK OF CURB	B/C	HANDICAP	HDCP
BUILDING	BLDG	HIGH DENSITY POLYETHYLENE PIPE	HDPE
BENCHMARK	BM	HEADWALL	HDW
BOTTOM OF PIPE	BP	HORIZONTAL	HOR
BUTTERFLY VALVE IN VALVE VAULT	BVV	HIGH POINT	HP
CURB AND GUTTER	C & G	HIGH WATER LEVEL	HWL
CATCH BASIN	C	INVERT ELEVATION	IE
CENTERLINE	CL	INLET	IN
CLOSED LID	CD	LINEAL FEET	LF
CLEAN OUT	CO	LOW POINT OR LIGHT POLE	LP
DUCTILE IRON PIPE	DIP	LEFT	L
DIAMETER	DIA	MATCH EXISTING	ME
DUCTILE IRON WATER MAIN	DIWM	MANHOLE	MH
DRAWING	DWG	MONITORING WELL	MW
EAST OR ELECTRIC OR EDGE	E	NORTH	N
EXPANSION JOINT	EJ	NOT IN CONTRACT / NOT INCLUDED	NIC
ELEVATION	ELEV	NORMAL WATER LEVEL	NWL
EDGE OF PAVEMENT	EOP	ON CENTER	OC
EXISTING	EX	OPEN LID	OL
FRAME & CLOSED LID	F & CL	POINT OF CURVATURE	PC
FRAME & GRATE	F & G	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE	PCC
FRAME & OPEN LID	F & O	PROFILE GRADE LINE	PGL
FLARED END SECTION	FE	POINT OF INTERSECTION	PI
FACE TO FACE OF CURB	F-F	PROPERTY LINE	PL
FINISHED FLOOR	FF	POWER POLE	PP
FINISHED GRADE	FG	POINT OF REVERSE CURVATURE	PRC
FIRE HYDRANT	FH	POINT OF TANGENCY	PT
FLOW LINE	FL	PUBLIC UTILITY EASEMENT	PUE
GAS LINE	G	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE	PVC
GATE VALVE IN VALVE BOX	GVVB	POINT OF VERTICAL INTERSECTION	PVI
GATE VALVE IN VALVE VAULT	GVBV	POINT OF VERTICAL TANGENCY	PVT
HANDICAP	HDCP	RADIUS OR RIGHT	R
HIGH DENSITY POLYETHYLENE PIPE	HDPE	REINFORCED CONCRETE PIPE	RCP
HEADWALL	HDW	RIGHT OF WAY	ROW
HORIZONTAL	HOR	SLOPE OR SOUTH	S
HIGH POINT	HP	SANITARY	SAN
HIGH WATER LEVEL	HWL	SILTATION FENCE	SF
INVERT ELEVATION	IE	SANITARY FORCE MAIN	SFM
INLET	IN	SHEET	SHT
LINEAL FEET	LF	SUBMERGED HEADWALL	SHW
LOW POINT OR LIGHT POLE	LP	SANITARY MANHOLE	SMH
LEFT	L	STATION	STA
MATCH EXISTING	ME	STORM STRUCTURE OR STORM SEWER	STM
MANHOLE	MH	STORM MANHOLE	STMH
MONITORING WELL	MW	TANGENT LENGTH OR TELEPHONE	T
NORTH	N	TYPICAL	TY
NOT IN CONTRACT / NOT INCLUDED	NIC	TOP OF CURB	TOC
NORMAL WATER LEVEL	NWL	TOP OF PIPE	TOP
ON CENTER	OC	TOP OF WALL	TW
OPEN LID	OL	TYPE	TYPE
POINT OF CURVATURE	PC	UTILITY CROSSING	UT
PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE	PCC	UTILITY CROSSING LABEL	UTL
PROFILE GRADE LINE	PGL	GUARDRAIL	UR
POINT OF INTERSECTION	PI	RAILROAD TRACKS	URR
PROPERTY LINE	PL	RETAINING WALL	URW
POWER POLE	PP	REVISION DELINEATION	URVD
POINT OF REVERSE CURVATURE	PRC	CONSTRUCTION LIMIT LINE	URWL
POINT OF TANGENCY	PT	TREE PROTECTION FENCE	URWF
PUBLIC UTILITY EASEMENT	PUE		
POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE	PVC		
POINT OF VERTICAL INTERSECTION	PVI		
POINT OF VERTICAL TANGENCY	PVT		
RADIUS OR RIGHT	R		
REINFORCED CONCRETE PIPE	RCP		
RIGHT OF WAY	ROW		
SLOPE OR SOUTH	S		
SANITARY	SAN		
SILTATION FENCE	SF		
SANITARY FORCE MAIN	SFM		
SHEET	SHT		
SUBMERGED HEADWALL	SHW		
SANITARY MANHOLE	SMH		
STATION	STA		
STORM STRUCTURE OR STORM SEWER	STM		
STORM MANHOLE	STMH		
TANGENT LENGTH OR TELEPHONE	T		
TYPICAL	TY		
TOP OF CURB	TOC		
TOP OF PIPE	TOP		
TOP OF WALL	TW		
TYPE	TYPE		
UTILITY CROSSING	UT		
UTILITY CROSSING LABEL	UTL		
GUARDRAIL	UR		
RAILROAD TRACKS	URR		
RETAINING WALL	URW		
REVISION DELINEATION	URVD		
CONSTRUCTION LIMIT LINE	URWL		
TREE PROTECTION FENCE	URWF		

NO.	DATE	DESCRIPTION

PROJECT NO.	DATE	ISSUE DATE
220945	02-28-2024	

NO.	DATE	DESCRIPTION

ILLINOIS
WOODLAND GLEN - DARIEN
DRAWING NO. 1.0

SPECIFICATIONS

EARTHWORK

- THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE OPERATIONS REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION. BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE. ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED, AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
- THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
- EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
- ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE UNDESIGNED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
- COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A ±1% TOLERANCE OF DESIGN SUBGRADE.
- THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
- BORROW PIT LOCATIONS SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.

SANITARY SEWER

- SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
 - POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D2241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.
 - DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "SEWER".
- ALL SANITARY SEWER SHALL BE TESTED FOR LEAKAGE AND DEFLECTION IN ACCORDANCE WITH SECTION 31-1.12 AND 31-1.13 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
- ALL SANITARY MANHOLES SHALL BE TESTED FOR WATER TIGHTNESS IN ACCORDANCE WITH ASTM C995 OR ASTM C1244.
- CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. IF THE LOCAL JURISDICTION HAS MORE STRINGENT TESTING REQUIREMENTS THE CONTRACTOR SHALL ADHERE TO THE MORE STRINGENT REQUIREMENTS. THE COST SHALL BE INCIDENTAL TO THE CONTRACT.

WATERMAIN DISTRIBUTION SYSTEM

- WATER MAIN SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIAL AS SPECIFIED ON THE PLANS:
 - DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.51, AWWA C-151 WITH CEMENT LINING CONFORMING TO ANSI A21.4, AWWA C-154 AND PUSH-ON JOINTS CONFORMING TO ANSI A21.11, AWWA C-111. FITTINGS SHALL COMPLY WITH ANSI A21.10, AWWA C-110. ALL DUCTILE IRON PIPE SHALL BE WRAPPED IN POLYETHYLENE IN ACCORDANCE WITH AWWA C105.
 - POLYVINYL CHLORIDE PIPE, PVC CONFORMING TO ASTM C-900, WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.
 - WATER SERVICE LINES SHALL BE CONSTRUCTED OF CLASS K COPPER.

- MINIMUM COVER OVER WATER MAIN SHALL BE 5' - 6" FROM FINISHED GRADE TO TOP OF PIPE.
- VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VAULTS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "WATER".
- THRUST BLOCCING OR RESTRAINED JOINTS SHALL BE INSTALLED ON WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC. AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. COST OF SAME SHALL BE INCIDENTAL TO THE UNIT PRICE FOR PIPE INSTALLED.
- WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY OR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
- ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.

STORM SEWER

- STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
 - REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH DOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-381, UNLESS OTHERWISE NOTED.
 - POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.
 - HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3330 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
 - DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM".


IEPA CROSSING REQUIREMENTS

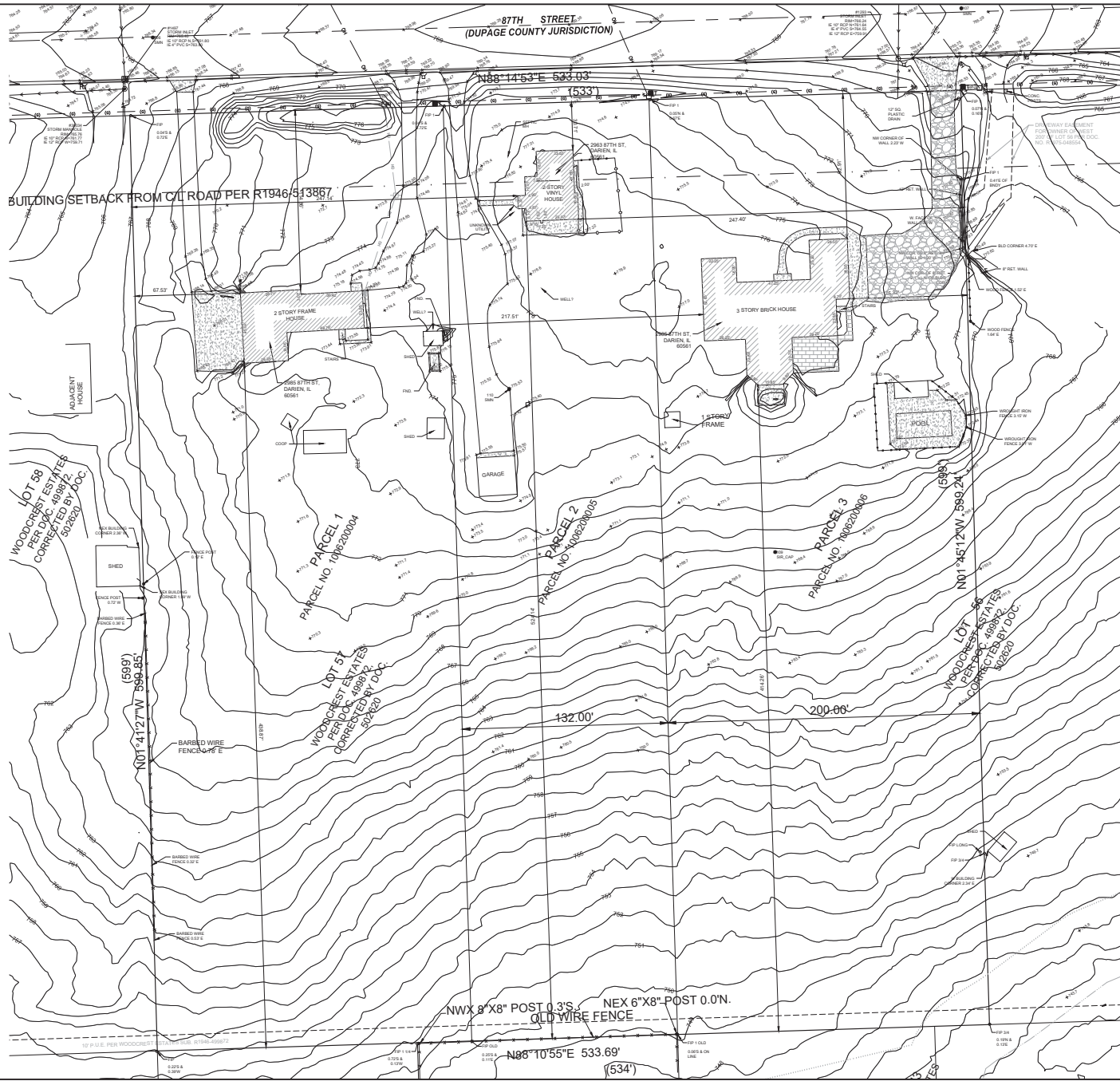
- CROSSING SEPARATION:
 - WATERMANS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.
 - WATERMANS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
 - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET.
 - THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER, AND
 - THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
 - BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- VERTICAL SEPARATION:
 - A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMANS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
 - BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN:
 - IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
 - THE WATERMAIN PASSES UNDER A SEWER DRAIN.
 - A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.

D. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

PAVING

- BASE COURSE SHALL BE AGGREGATE BASE COURSE, CONFORMING TO DOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- SURFACE COURSE AND BINDER COURSE SHALL BE HOT MIX ASPHALT (HMA) CONFORMING TO DOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).
- CURB & GUTTER AND SIDEWALK SHALL BE CLASS SI PORTLAND CEMENT CONCRETE CONFORMING TO DOT STANDARD SPECIFICATIONS.
- SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
- AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE DOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEN AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.
- SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 9' CENTERS AND 3" INCH PREMOULDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR, ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IAC) REQUIREMENTS, UNLESS OTHERWISE NOTED.
- TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH DOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
- ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

SPECIFICATIONS	PROJECT NO.	220945	WG2
	DATE	02-28-2024	
REVISIONS	NO.	DATE	DESCRIPTION
WOODLAND GLEN - DARIEN	DESIGNED BY	SAK	
	CHECKED BY	JAK	
ILLINOIS	DRAWN BY		
	DATE		
			
7324 Jones Avenue Woodridge, IL 60517 800.774.8700 phone www.wg2.com			
DRAWING NO. 1.1			



- NOTES**
- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROLS SHOWN ON THE DRAWINGS WERE OBTAINED FROM SURVEYS PREPARED BY:
V3 COMPANIES OF ILLINOIS LTD.
7355 JAMES AVENUE
WOODRIDGE, IL 60517
COPIES OF THE SURVEYS ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
 - ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
 - CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.

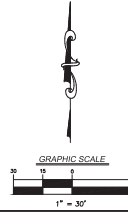
REVISIONS		NO.	DATE	DESCRIPTION

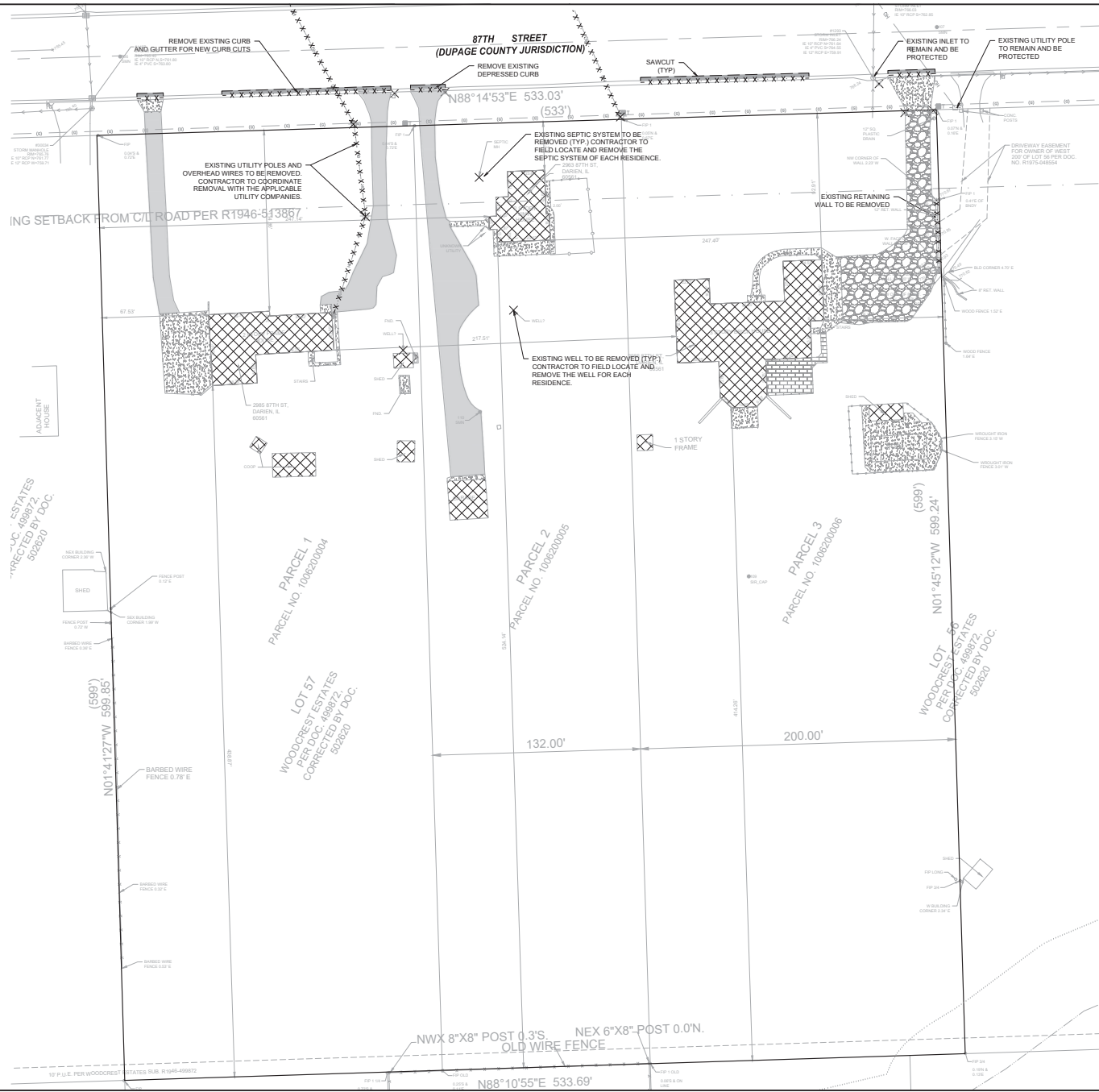
PROJECT NO.	220845.WG2
PROJECT MANAGER	SAK
DESIGNED BY	JAK
DRAWN BY	WRS

ORIGINAL ISSUE DATE:	02-28-2024
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EXISTING CONDITIONS PLAN	ILLINOIS
WOODLAND GLEN - DARIEN	
DARIEN	

1324 James Avenue Woodridge, IL 60517 800.724.8000 phone www.v3co.com	DRAWING NO.
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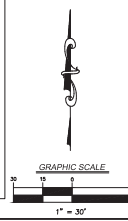
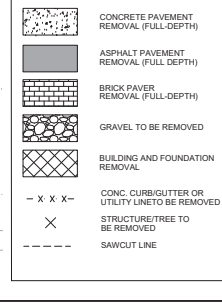




DEMOLITION PLAN

1. THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
 - UTILITIES
 - CONSTRUCTION DEBRIS
2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
3. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
4. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNERS REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
8. EXISTING UTILITIES WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
9. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
10. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
12. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND SOIL FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINISH LINES AND GRADICES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE DOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
16. SEND LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
17. EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
18. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

DEMOLITION LEGEND



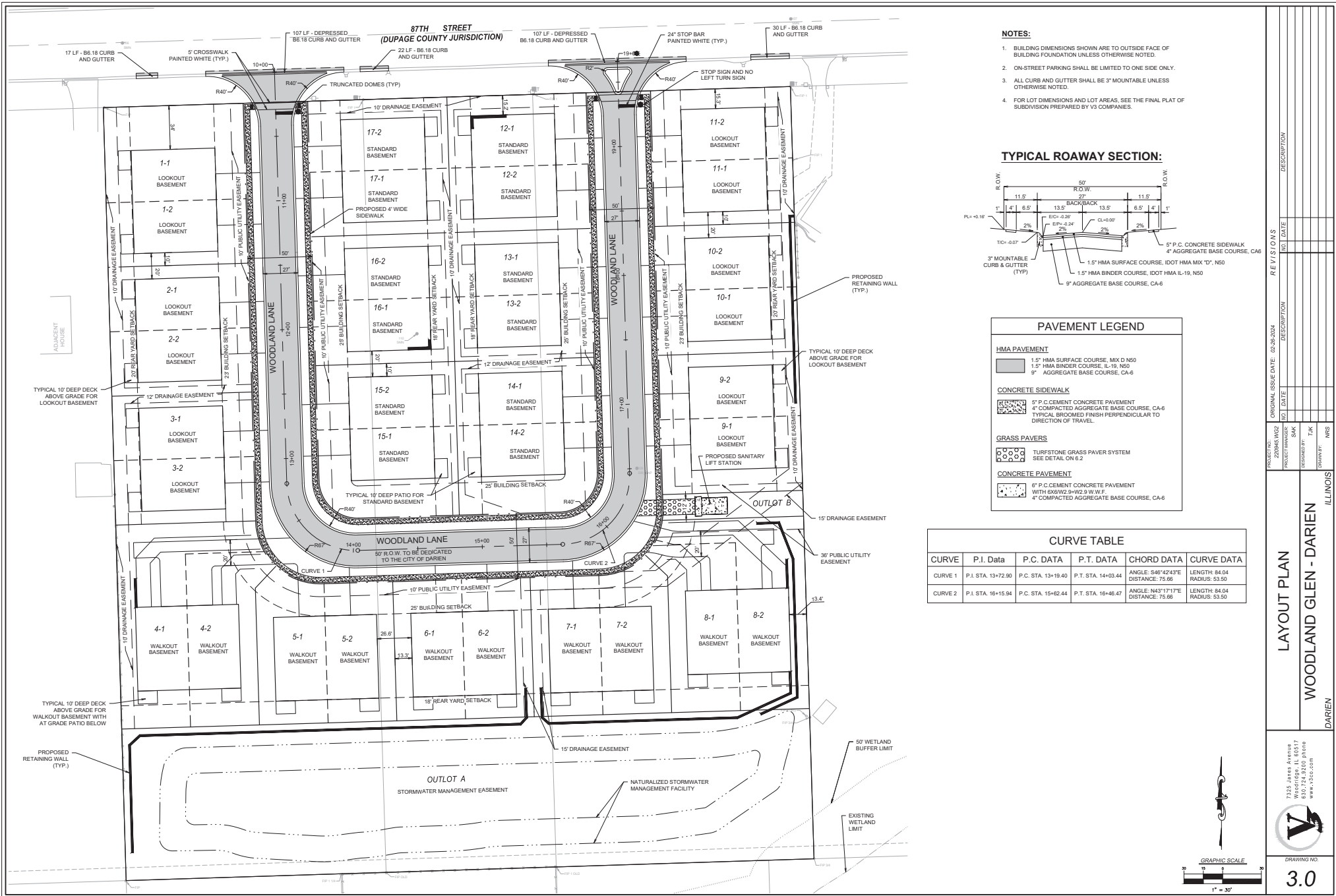
REVISIONS		DESCRIPTION
NO.	DATE	

PROJECT NO.	220845	WOZ	PROJECT MANAGER	SAK	DESIGNED BY				
ORIGINAL ISSUE DATE:	02-28-2024								

DEMOLITION PLAN		WOODLAND GLEN - DARIEN		ILLINOIS	

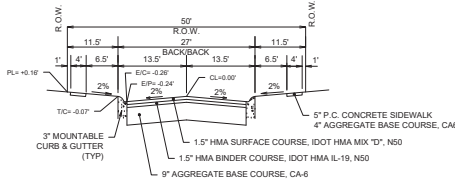
1324 Jones Avenue Woodfield, IL 60517 800.724.8900 phone www.vtc.com		DRAWING NO.	2.1

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- NOTES:**
- BUILDING DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
 - ON-STREET PARKING SHALL BE LIMITED TO ONE SIDE ONLY.
 - ALL CURBS AND GUTTER SHALL BE 3" MOUNTABLE UNLESS OTHERWISE NOTED.
 - FOR LOT DIMENSIONS AND LOT AREAS, SEE THE FINAL PLAT OF SUBDIVISION PREPARED BY V3 COMPANIES.

TYPICAL ROAWAY SECTION:



PAVEMENT LEGEND

HMA PAVEMENT

- 1.5" HMA SURFACE COURSE, MIX D N50
- 1.5" HMA BINDER COURSE, IL-19, N60
- 9" AGGREGATE BASE COURSE, CA-6

CONCRETE SIDEWALK

- 5" P.C. CEMENT CONCRETE PAVEMENT
- 4" COMPACTED AGGREGATE BASE COURSE, CA-6
- TYPICAL BROOMED FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.

GRASS PAVERS

- TURFSTONE GRASS PAVER SYSTEM
- SEE DETAIL ON B-2

CONCRETE PAVEMENT

- 6" P.C. CEMENT CONCRETE PAVEMENT
- WITH 60%#2 SH#2 3" W.W.F.
- 4" COMPACTED AGGREGATE BASE COURSE, CA-6

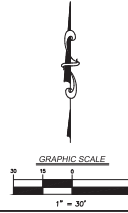
CURVE TABLE

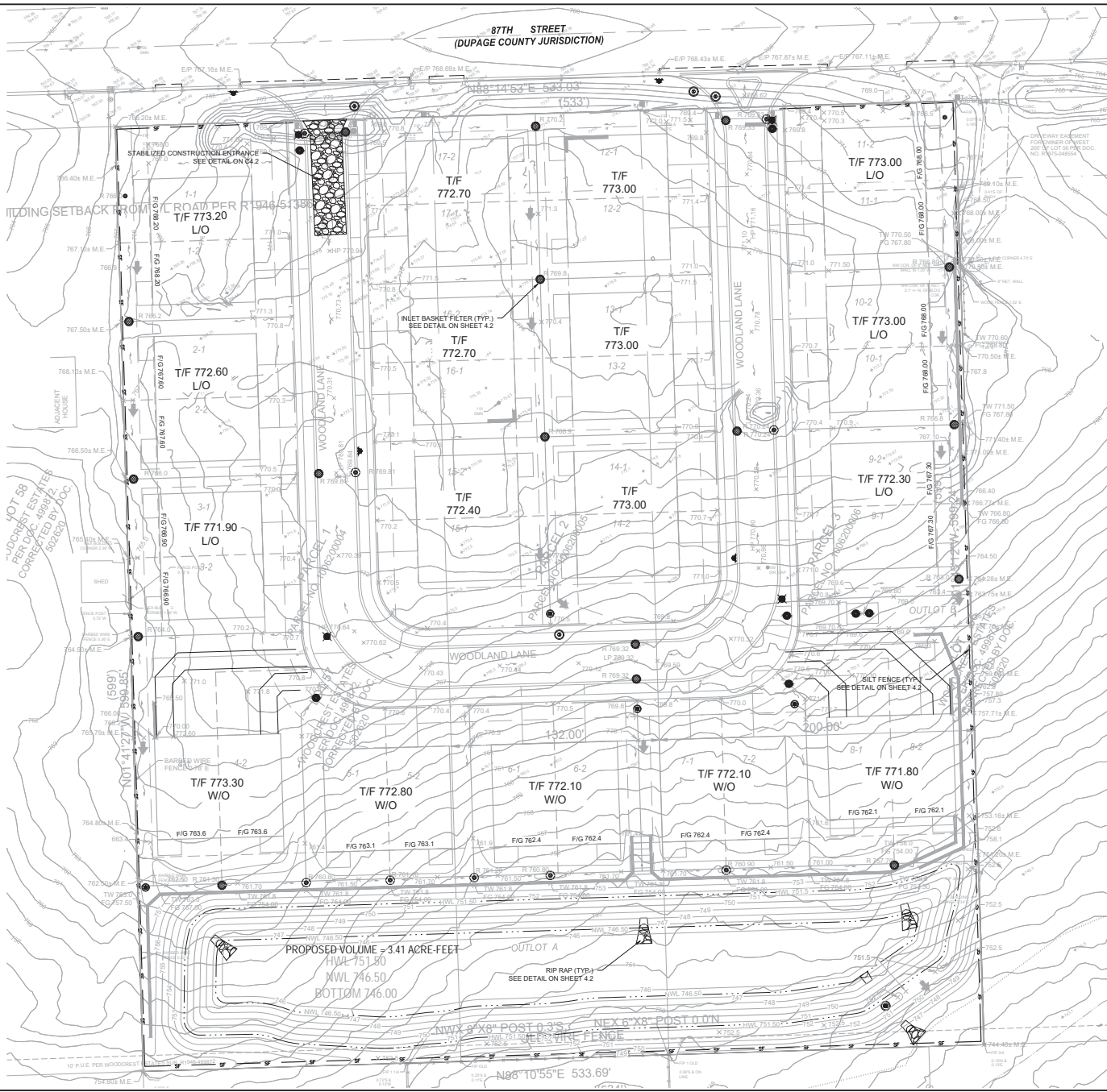
CURVE	P.I. DATA	P.C. DATA	P.T. DATA	CHORD DATA	CURVE DATA
CURVE 1	P.I. STA. 13+72.50	P.C. STA. 13+19.40	P.T. STA. 14+03.44	ANGLE: S46°42'43"E DISTANCE: 75.66	LENGTH: 84.04 RADIUS: 53.50
CURVE 2	P.I. STA. 16+15.94	P.C. STA. 15+62.44	P.T. STA. 16+46.47	ANGLE: N43°17'17"E DISTANCE: 75.66	LENGTH: 84.04 RADIUS: 53.50

ORIGINAL ISSUE DATE: 02-28-2024
 PROJECT NO: 220845.WG2
 PROJECT MANAGER: SHK
 REVIEWED BY: JAK
 DRAWN BY: NRS

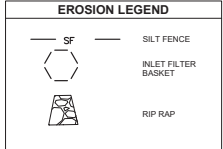
LAYOUT PLAN
WOODLAND GLEN - DARIEN
 DARIEN ILLINOIS

DRAWING NO:
3.0





- EROSION CONTROL NOTES:**
1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
 2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
 3. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL OPEN LID STRUCTURES. SEE INLET PROTECTION DETAIL ON SHEET 4.2.
 4. EROSION CONTROL BLANKET (HOLLAMX ERONET S150 OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF SWALES WHERE NOTED.
 5. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.
 6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY VS COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE ILEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS.



REVISIONS		NO.	DATE	DESCRIPTION

PROJECT NO.	220845.WG2
PROJECT MANAGER	SAK
DESIGNED BY	TJK
DRAWN BY	WRS

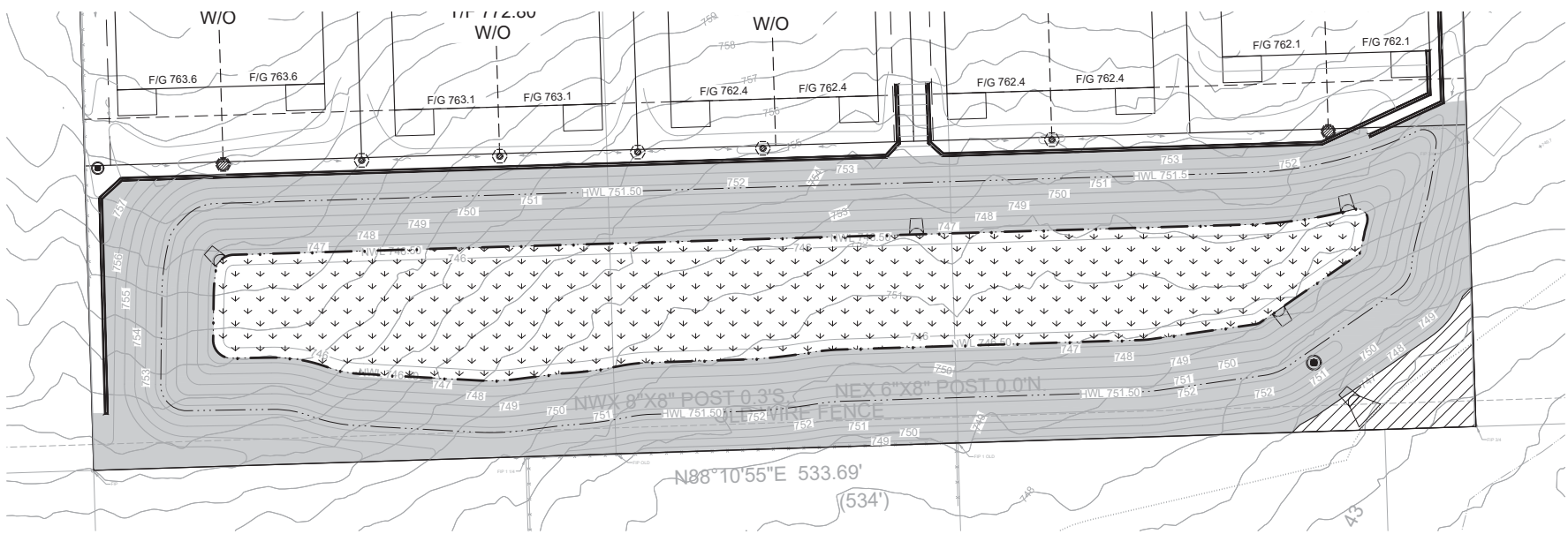
ORIGINAL ISSUE DATE:	02-28-2024
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EROSION CONTROL PLAN	
WOODLAND GLEN - DARIEN	
DARIEN ILLINOIS	

1324 Jones Avenue Wood Dale, IL 60517 800.724.8700 phone www.vsc.com	
DRAWING NO.	4.1



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PLANTING LEGEND	
SHORELINE PLUGS	
	LENGTH = 932 LF
EMERGENT PLUG MIX	
	AREA = 0.44 AC
MESIC PRAIRIE SEED MIX	
	AREA = 0.82 AC
SEDGE MEADOW SEED MIX	
	AREA = 0.04 AC



PROJECT NO. 220845.WG2	ORIGINAL ISSUE DATE: 02-28-2024	REVISIONS
	DATE	NO. DATE DESCRIPTION
PROJECT MANAGER	DATE	NO. DATE DESCRIPTION
DESIGNED BY	DATE	NO. DATE DESCRIPTION
CHECKED BY	DATE	NO. DATE DESCRIPTION
DRAWN BY	DATE	NO. DATE DESCRIPTION
ILLINOIS		
DETENTION BASIN PLANTING PLAN		
WOODLAND GLEN - DARIEN		
DARIEN		
1324 Jones Avenue Wood Dale, IL 60517 800.724.8800 Phone www.rtc.com		
DRAWING NO.		
4.3		

FOR CONTINUATION SEE SHEET 5.1

FOR CONTINUATION
SEE SHEET 5.1

FOR CONTINUATION
SEE SHEET 5.1

NOTES:

1. ALL GRAVITY SANITARY SEWER MAIN TO BE 8" PVC UNLESS OTHERWISE NOTED.
2. ALL WATER MAIN TO BE 8" DUCTILE IRON UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 8" DUCTILE IRON UNLESS OTHERWISE NOTED.
3. WATER SERVICE LINES TO BE MINIMUM 1.5" TYPE K COPPER AND SHALL TERMINATE AT A SHUTOFF VALVE AND BOX TO BE LOCATED IN THE PARKWAY.
4. THE SUMP DRAINS FOR BUILDINGS 1 THROUGH 3 AND 9 THROUGH 17 SHALL BE CONNECTED TO THE STORM SEWER. BUILDINGS 4 THROUGH 8 SHALL DAYLIGHT TO THE DETENTION BASIN.

STRUCTURE	DESCRIPTION	INVERT
FES 1-1	12" FES	746.50 (18" NW)
FES 2-1	15" FES	746.50 (18" N)
FES 3-1	12" FES	746.27 (12" NW)
FES 3-2	12" FES	746.50 (12" SE)
FES 4-1	12" FES	746.50 (12" N)

UTILITY CROSSINGS

- 1003 EX. 12" ST BP 759.43s (V.I.F.)
PR. 12" WM T/P 756.80
- 1004 EX. 12" ST BP 759.83s (V.I.F.)
PR. 12" WM T/P 756.54
- 1005 EX. 12" ST BP 759.85s (V.I.F.)
PR. 12" WM T/P 757.45
- 1006 PR. 4" SAN FM BP 762.07
PR. 12" WM T/P 760.57
- 1007 EX. 10" ST BP 761.71s (V.I.F.)
PR. 12" WM T/P 760.21
- 1008 EX. 10" ST BP 754.64s (V.I.F.)
PR. 8" SAN T/P 754.10
- 1009 PR. 8" SAN T/P 754.36
PR. 8" SAN BP 753.64
EX. GAS LINE TO BE FIELD VERIFIED.
NOTIFY ENGINEER IF THERE IS A CONFLICT
- 1010 PR. 8" SAN T/P 753.59
PR. 8" SAN BP 752.87
EX. GAS LINE TO BE FIELD VERIFIED.
NOTIFY ENGINEER IF THERE IS A CONFLICT
- 1011 EX. 21" ST BP 753.23s (V.I.F.)
PR. 8" SAN T/P 752.78
- 1012 PR. 12" ST BP 764.12
PR. 8" WM T/P 762.52
- 1013 PR. 12" ST BP 766.63
PR. 8" SAN T/P 761.16
- 1014 PR. 18" ST BP 762.16
PR. 8" WM T/P 760.66
- 1015 PR. 24" ST BP 761.85
PR. 8" SAN T/P 759.43
- 1016 PR. 12" ST BP 765.27
PR. 8" WM T/P 763.77
- 1017 PR. 12" ST BP 764.42
PR. 8" WM T/P 762.92

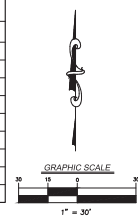
STORM STRUCTURE TABLE

STRUCTURE	DESCRIPTION	RIM	INVERT IN	INVERT OUT
AD 1-1	8" Inline Drain	RIM: 761.10	757.25 (8" E)	757.25 (8" W)
AD 1-2	8" Inline Drain	RIM: 761.20	757.80 (8" E)	757.80 (8" W)
AD 1-3	8" Inline Drain	RIM: 760.80	758.30 (8" W)	758.30 (8" W)
AD 4-1	8" Inline Drain	RIM: 760.90	758.40 (8" E)	758.40 (8" E)
ST 1-1	4" MH (Closed)	RIM: 763.30	759.20 (18" N) 755.65 (12" E)	747.00 (18" SE)
ST 1-2	4" MH (Open)	RIM: 764.15	760.00 (12" N)	760.00 (18" S)
ST 1-3	4" MH (Open)	RIM: 766.14	762.00 (12" N) 762.00 (12" E)	766.00 (12" W)
ST 1-4	4" MH (Open)	RIM: 766.57	762.50 (12" N)	762.50 (12" S)
ST 1-5	2" Inlet	RIM: 768.19	763.00 (12" S)	763.00 (12" S)
ST 1-6	4" Catch Basin	RIM: 769.81	766.00 (12" E)	766.00 (12" W)
ST 1-7	2" Inlet	RIM: 768.81	766.10 (12" W)	766.10 (12" W)
ST 1-8	4" MH (Open)	RIM: 761.50	756.15 (12" E)	756.15 (12" W)
ST 1-9	2" Inlet	RIM: 769.80	756.70 (8" E)	756.70 (12" W)
ST 2-1	4" MH (Closed)	RIM: 769.70	762.00 (18" N) 757.89 (15" E)	757.89 (18" S)
ST 2-2	4" Catch Basin	RIM: 769.32	762.15 (18" N)	762.15 (18" S)
ST 2-3	4" MH (Open)	RIM: 769.32	762.29 (18" W)	762.29 (18" S)
ST 2-4	4" MH (Closed)	RIM: 770.86	762.51 (18" N)	762.51 (18" E)
ST 2-5	4" MH (Open)	RIM: 768.90	762.94 (15" N) 764.90 (12" E)	762.94 (18" S)
ST 2-6	4" MH (Open)	RIM: 769.80	763.28 (12" N)	763.28 (15" S)
ST 2-7	4" MH (Open)	RIM: 770.26	763.75 (12" W) 764.05 (12" E)	763.75 (12" S)
ST 2-8	4" Catch Basin	RIM: 768.93	764.33 (12" W)	764.33 (12" E)
ST 2-9	2" Inlet	RIM: 768.93	764.45 (12" E)	764.45 (12" E)
ST 2-10	4" MH (Closed)	RIM: 771.09	758.37 (12" NE)	758.37 (15" W)
ST 2-11	4" MH (Open)	RIM: 763.00	759.00 (12" N)	759.00 (12" SW)
ST 2-12	4" MH (Open)	RIM: 767.43	761.56 (12" N)	761.56 (12" S)
ST 2-13	4" MH (Open)	RIM: 768.26	762.12 (12" N)	762.04 (12" S)
ST 2-14	2" Inlet	RIM: 766.74	762.50 (12" S)	762.50 (12" S)
ST 2-15	4" Catch Basin	RIM: 770.24	765.48 (12" E)	765.48 (12" W)
ST 2-16	2" Inlet	RIM: 770.24	765.91 (12" W)	765.91 (12" W)
ST 2-17	4" Catch Basin	RIM: 769.33	764.63 (12" E)	764.63 (12" W)
ST 2-18	2" Inlet	RIM: 769.33	764.75 (12" W)	764.75 (12" W)
ST 3-1	4" RESTRICTOR MANHOLE SEE DETAIL ON CS-1	RIM: 752.10	746.38 (12" NW)	746.38 (12" SE)
ST 4-1	4" MH (Open)	RIM: 757.70	754.70 (8" W)	749.00 (12" S)

WATER STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE DESCRIPTION	FINISHED GRADE
FH - 1	FIRE HYDRANT	FG=762.36 ± M.E.
FH - 2	FIRE HYDRANT	FG=765.89 ± M.E.
FH - 3	FIRE HYDRANT	FG=763.37 ± M.E.
FH - 4	FIRE HYDRANT	FG=767.44
FH - 5	FIRE HYDRANT	FG=769.08
FH - 6	FIRE HYDRANT	FG=762.64 ± M.E.
FH - 7	FIRE HYDRANT	FG=758.13 ± M.E.
FH - 8	FIRE HYDRANT	FG=770.02
FH - 9	FIRE HYDRANT	FG=770.93

STRUCTURE NAME	STRUCTURE DESCRIPTION	RIM GRADE
VV - 1	12" GATE VALVE IN 9" DIA. VAULT	RIM=762.43 ± M.E.
VV - 2	12" GATE VALVE IN 9" DIA. VAULT	RIM=764.80 ± M.E.
VV - 3	12" GATE VALVE IN 9" DIA. VAULT	RIM=768.69
VV - 4	8" GATE VALVE IN 4" DIA. VAULT	RIM=768.66
VV - 5	8" GATE VALVE IN 4" DIA. VAULT	RIM=770.38
VV - 6	8" GATE VALVE IN 4" DIA. VAULT	RIM=768.93



REVISIONS

NO.	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 02-28-2024

PROJECT NO: 220945.WG2

PROJECT MANAGER: SAH

DESIGNED BY: JAK

DRAWN BY: NRS

ILLINOIS

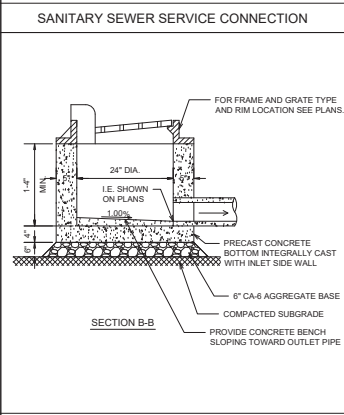
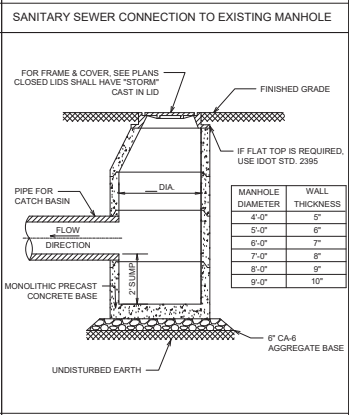
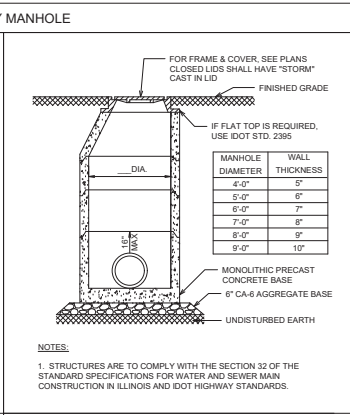
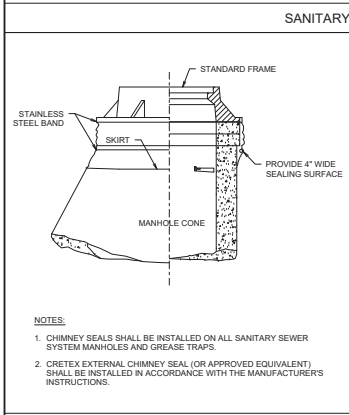
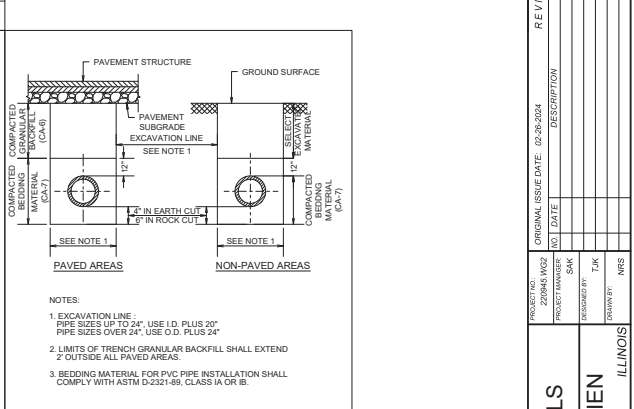
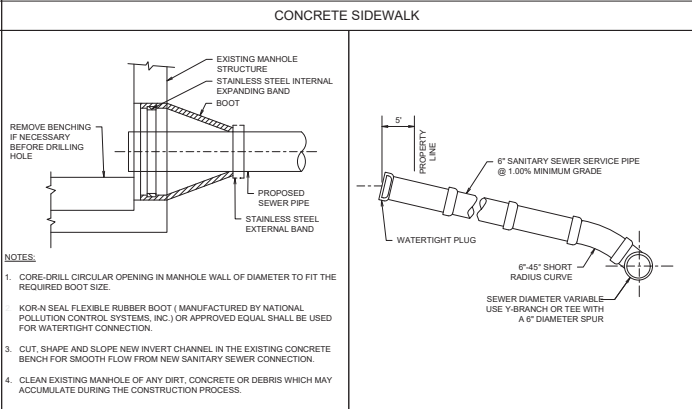
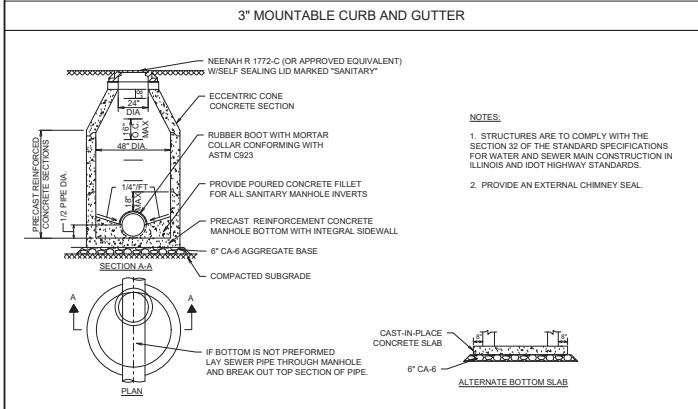
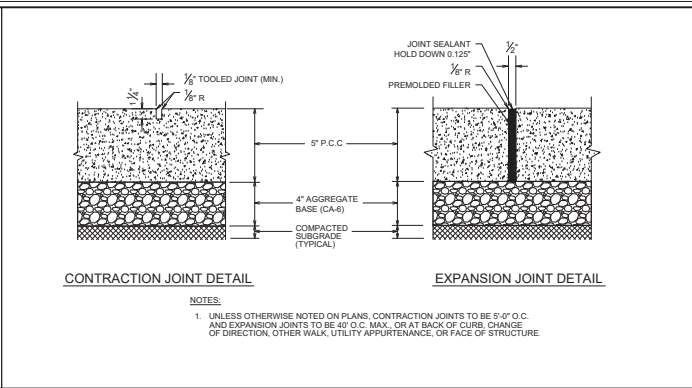
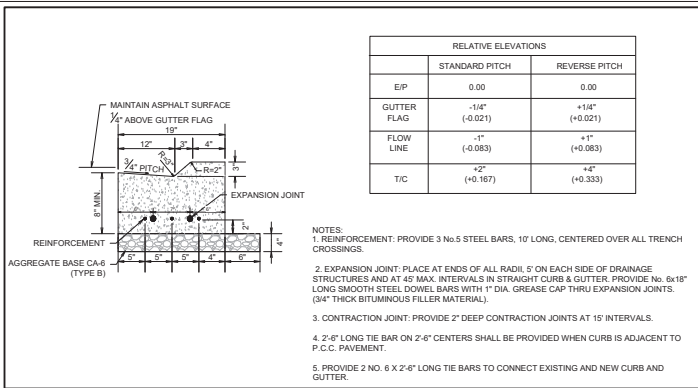
UTILITY PLAN

WOODLAND GLEN - DARIEN

DARIEN

1324 Jones Avenue
Woodfield, IL 60517
800.724.8900 phone
www.rvc.com

DRAWING NO: 5.0



EXTERNAL CHIMNEY SEAL

STORM MANHOLE

CATCH BASIN

2' DIAMETER INLET

REVISIONS

NO.	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 02-28-2024

PROJECT NO: 220945.WG2

PROJECT MANAGER: SHK

DESIGNED BY: JAK

DRAWN BY: NRS

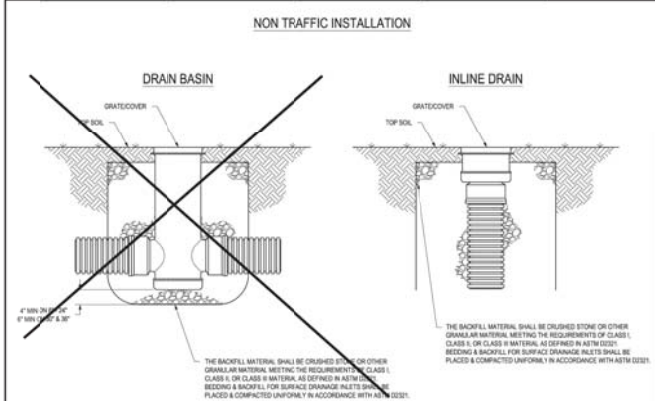
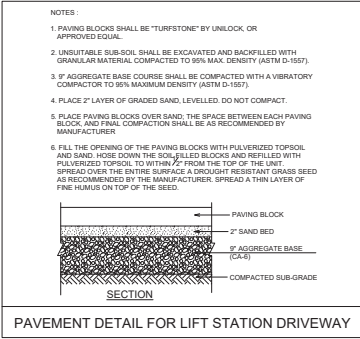
CONSTRUCTION DETAILS

WOODLAND GLEN - DARIEN

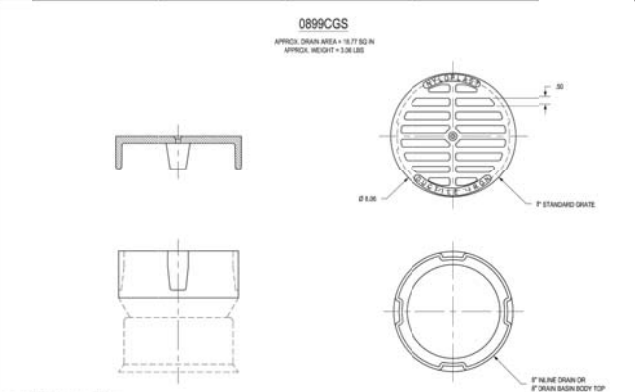
ILLINOIS

1324 Jones Avenue
 Wood Dale, IL 60517
 800.724.8900 phone
 www.rvc.com

DRAWING NO: 6.0

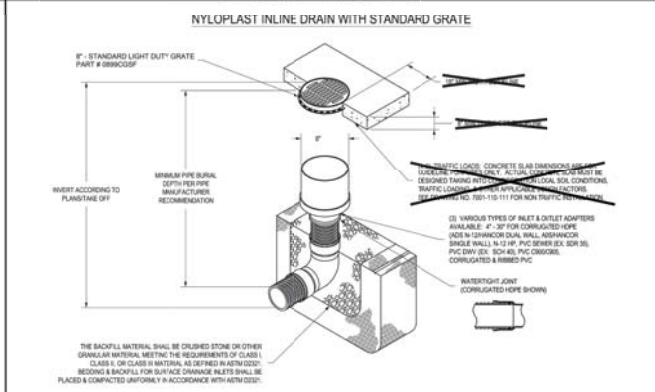


DESIGNED BY: CJA	DATE: 03-04-10	PROJECT NO: 100-110-111	SHEET NO: 4	SCALE: 1/8\"/>
REVIEWED BY: MMS	DATE: 03-15-10	TITLE: DRAIN BASIN & INLINE DRAIN	DWG NO: 100-110-111	REV: 7



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DESIGNED BY: CJA	DATE: 03-04-10	MATERIAL: DUCTILE IRON	PROJECT NO: 100-110-111	SHEET NO: 14	SHEET 1 OF 1	DWG NO: 100-110-111	REV: C
REVIEWED BY: MMS	DATE: 03-15-10	TITLE: 14\"/>					



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DESIGNED BY: SEC	DATE: 1-23-08	MATERIAL: DUCTILE IRON	PROJECT NO: 100-110-111	SHEET NO: 14	SHEET 1 OF 1	DWG NO: 100-110-111	REV: 7
REVIEWED BY: MMS	DATE: 03-15-10	TITLE: 14\"/>					

REVISIONS

NO.	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 02-26-2024

PROJECT APPROVED BY: [Signature]

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: [Date]

SCALE: [Scale]

SHEET NO: [Sheet No]

TITLE: [Title]

DRAWING NO: [Drawing No]

CONSTRUCTION DETAILS

WOODLAND GLEN - DARIEN

DARIEN, ILLINOIS

7325 Avenue America
Wood Dale, IL 60191
630.774.9200 phone
www.v3inc.com

6.2

FINAL PLAT OF SUBDIVISION OF WOODLAND GLEN - DARIEN

UPON RECORDING, MAIL TO:
CITY OF DARIEN
1702 PLAINFIELD ROAD,
DARIEN, ILLINOIS 60561

PIN NUMBERS:
10-06-200-004
10-06-200-006
10-06-200-006

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATED FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES, AND HEREBY ALSO RESERVES AND GRANTS EASEMENTS FOR PUBLIC USE AND FOR THE INSTALLATION OF VARIOUS PUBLIC UTILITIES AS DESIGNATED AND/OR AS STATED IN THE UTILITY EASEMENT PROVISIONS STATED HEREON.

ALSO, THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE PROPERTY DESCRIBED HEREON LIES WITHIN:

DARIEN SCHOOL DISTRICT _____
HIGH SCHOOL DISTRICT _____
COLLEGE OF DUPAGE DISTRICT 502 _____

DATED AT _____, THIS _____ DAY OF _____, A.D., 20____.

BY: _____ ATTEST: _____
TITLE: _____ TITLE: _____

NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 20____.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATED FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES, AND HEREBY ALSO RESERVES AND GRANTS EASEMENTS FOR PUBLIC USE AND FOR THE INSTALLATION OF VARIOUS PUBLIC UTILITIES AS DESIGNATED AND/OR AS STATED IN THE UTILITY EASEMENT PROVISIONS STATED HEREON.

ALSO, THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE PROPERTY DESCRIBED HEREON LIES WITHIN:

DARIEN SCHOOL DISTRICT _____
HIGH SCHOOL DISTRICT _____
COLLEGE OF DUPAGE DISTRICT 502 _____

DATED AT _____, THIS _____ DAY OF _____, A.D., 20____.

BY: _____ ATTEST: _____
TITLE: _____ TITLE: _____

NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 20____.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, A.D., 20____.

OWNER OR ATTORNEY _____

STEVEN KRANENBORG, P.E.
ILLINOIS REGISTERED PROFESSIONAL ENGINEER

CITY ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, CITY ENGINEER OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE ANNEXED PLAT AND THE PLANS AND SPECIFICATIONS THEREFOR MEET THE MINIMUM REQUIREMENTS OF SAID CITY AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREON.

_____ DAY OF _____, A.D., 20____.

BY: _____ CITY ENGINEER

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT _____, THIS DAY OF _____, 20____.

_____ COUNTY CLERK

COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY

OF _____, A.D., 20____ AT _____ O'CLOCK _____ M. AS

DOCUMENT NUMBER _____

_____ COUNTY RECORDER

PUBLIC UTILITY EASEMENT PROVISIONS

ALL EASEMENTS INDICATED AS PUBLIC UTILITY EASEMENTS ("P.U.E.") ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE CITY OF DARIEN AND TO ANY ENTITY OPERATING UNDER FRANCHISE FROM THE CITY INCLUDING, BUT NOT LIMITED TO, ILLINOIS BELL TELEPHONE COMPANY, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, A CABLE TELEVISION OR COMMUNICATIONS COMPANY AND THEIR SUCCESSORS AND ASSIGNS FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS TRANSMISSION DISTRIBUTION AND COLLECTION SYSTEMS AND ALL NECESSARY LINES, NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. LOCATION OF UTILITY INSTALLATIONS WITHIN THE EASEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF DARIEN AS TO DESIGN AND LOCATION. ALL INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF DARIEN.

DRAINAGE EASEMENT PROVISIONS

ALL EASEMENTS INDICATED AS DRAINAGE EASEMENTS (D.E.) ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE CITY OF DARIEN AND THEIR SUCCESSORS AND ASSIGNS FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE COLLECTION SYSTEMS AND ALL NECESSARY LINES, NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. LOCATION OF UTILITY INSTALLATIONS WITHIN THE EASEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF DARIEN AS TO DESIGN AND LOCATION. ALL INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF DARIEN.

STORMWATER CONTROL EASEMENT PROVISIONS

A STORMWATER CONTROL EASEMENT IS HEREBY RESERVED FOR AND GRANTED IN THE CITY OF DARIEN ("CITY") FOR ALL AREAS HEREON PLATTED AND DESIGNATED AS "STORMWATER CONTROL EASEMENT" FOR A STORMWATER CONTROL FACILITY TO BE MAINTAINED BY THE OWNER OF SAID FACILITY IN ACCORDANCE WITH CITY ORDINANCES AND APPROVED ENGINEERING PLANS. NO ENCROACHMENT OF ANY KIND SHALL BE ALLOWED WITHIN SAID EASEMENT UNLESS THE CITY HAS DETERMINED THAT SAID ENCROACHMENT SHALL NOT INTERFERE WITH THE PROPER FUNCTIONING OF SUCH FACILITY, SUCH AS GARDENS, SHRUBS AND OTHER LANDSCAPING MATERIAL.

THE CITY SHALL HAVE THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY TIME FOR THE PURPOSES OF ACCESS TO AND INSPECTION OF THE STORMWATER CONTROL FACILITIES LOCATED WITHIN SAID EASEMENT. IF, UPON INSPECTION CITY DISCOVERS THAT THE OWNER HEREOF ("OWNER") HAS FAILED TO MAINTAIN SAID FACILITIES, CITY SHALL NOTIFY OWNER OF ITS FINDINGS AND OTHER SHALL MAKE REQUIRED REPAIRS WITHIN 15 DAYS AFTER CITY'S NOTICE IF SUCH REPAIRS ARE NOT CAPABLE OF BEING COMPLETED WITHIN 15 DAYS, OWNER SHALL HAVE AS LONG AS IS REASONABLY NECESSARY TO COMPLETE SUCH REPAIRS, PROVIDED THAT CITY HAS GIVEN ITS APPROVAL.

IN THE EVENT THAT THE OWNER HAS NOT RESPONDED TO CITY'S NOTICE, THEN CITY MAY CAUSE SUCH REPAIRS TO BE MADE AND BILL OWNER FOR ALL COSTS THEREOF, AND SHALL HAVE RIGHT TO CUT, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS WITHIN THE AREAS DESIGNATED "STORMWATER CONTROL EASEMENT" WHICH INTERFERE WITH THE CONSTRUCTION, INSTALLATION, RECONSTRUCTION, REPAIR, REMOVAL, REPLACEMENT, MAINTENANCE AND OPERATION OF SAID FACILITIES AND STRUCTURES. FOLLOWING ANY WORK TO BE PERFORMED BY THE CITY IN EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE CITY SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING, BUT NOT LIMITED TO, THE LAWN OR SHRUBBERY, PROVIDED, HOWEVER, THAT SAID CITY SHALL BE OBLIGATED FOLLOWING SUCH MAINTENANCE WORK TO BACKFILL AND MOUND ANY TRENCH CREATED SO AS TO RETAIN SURFACE DRAINAGE, TO COLD PATCH ANY ASPHALT OR CONCRETE SURFACE, TO REMOVE ALL EXCESS DEBRIS AND SOIL, AND TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PERMISSION TO RECORD

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189, HEREBY DESIGNATE _____ TO RECORD THIS PLAT OF WOODLAND GLEN - DARIEN, IL WITH THE DUPAGE COUNTY RECORDER OF DEEDS AND REGISTRAR OF TITLE. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER CHAPTER 109, SECTION 2 OF THE ILLINOIS REVISED STATUTES.

THIS _____ TH DAY OF _____, A.D., 20____.



CHRISTOPHER D. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189
MY LICENSE EXPIRES ON NOVEMBER 30, 2024.
VO COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.
cdbartosz@vco.com

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189 HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1, LOT 57 (EXCEPT THE EAST 132 FEET THEREOF) IN WOODCREST ESTATES, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND ALL OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 12, 1946 AS DOCUMENT 49872 AND CORRECTION PLAT RECORDED JULY 22, 1946 AS DOCUMENT 50280 AND CERTIFICATE OF CORRECTION FILED JANUARY 9, 1947 AS DOCUMENT 51387, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2, THE EAST 132 FEET OF LOT 57 IN WOODCREST ESTATES, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND ALL OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 12, 1946 AS DOCUMENT 49872 AND CORRECTED BY CERTIFICATE OF CORRECTION RECORDED JULY 22, 1946 AS DOCUMENT 50280, AND BY CERTIFICATE OF CORRECTION RECORDED JANUARY 9, 1947 AS DOCUMENT 51387, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3, THE WEST 200 FEET OF LOT 58 IN WOODCREST ESTATES, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND ALL OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 12, 1946 AS DOCUMENT 49872 AND CORRECTED BY CERTIFICATE OF CORRECTION RECORDED JULY 22, 1946 AS DOCUMENT 50280, AND BY CERTIFICATE OF CORRECTION RECORDED JANUARY 9, 1947 AS DOCUMENT 51387, IN DUPAGE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF A MUNICIPALITY WHICH HAS AUTHORIZED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. PERMANENT MONUMENTS WILL BE SET AT ALL LOT CORNERS, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED.

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED AREA IS IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF DARIEN CITY, DUPAGE COUNTY, ILLINOIS (COMMUNITY PLAN NO. 17043C0207J) EFFECTIVE DATE 08/01/2018.

DATED THIS _____ DAY OF _____, A.D., 20____.



CHRISTOPHER D. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189
MY LICENSE EXPIRES ON NOVEMBER 30, 2024.
VO COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.
cdbartosz@vco.com

SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED LETTER OF CREDIT IS POSTED FOR THE COMPLETION OF THE IMPROVEMENT COVERING SANITARY SEWAGE SYSTEM AND/OR SEWER LINES AND DOMESTIC WATER SUPPLY SYSTEM AND/OR DISTRIBUTION LINES UNDER MY JURISDICTION BASED ON APPROVED ENGINEERS' PLAN AND SPECIFICATIONS PREPARED BY A REGISTERED ENGINEER.

DATED THIS _____ DAY OF _____, A.D., 20____.

COUNTY SUPERINTENDENT OF PUBLIC WORKS DEPT.

CITY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, CITY CLERK OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE ANNEXED PLAT WAS PRESENTED TO AND BY RESOLUTION DULY APPROVED BY THE CITY COUNCIL OF SAID CITY AT ITS MEETING HELD ON _____, 20____, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID CITY.

IN WITNESS WHEREOF I HAVE HERETO SET MY HAND AND THE SEAL OF THE CITY OF DARIEN, ILLINOIS, THIS _____ DAY OF _____, A.D., 20____.

BY: _____ CITY CLERK

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, CITY TREASURER OF THE CITY OF DARIEN, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OF ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

_____ DAY OF _____, A.D., 20____.

_____ CITY TREASURER

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

APPROVED BY THE PLAN COMMISSION OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS THIS _____ DAY OF _____, A.D., 20____.

BY: _____ CHAIRMAN

V Engineers 7325 Janes Avenue, Suite 100
Scientists Woodridge, IL 60517
Surveyors 630.724.9200 voice
630.724.0364 fax
v3co.com

PREPARED FOR:
WOODLAND GLEN DEVELOPMENT, LLC
8432 JOLIET ROAD, SUITE B
COUNTRY VILLE, IL 60525
708-482-0860

		REVISIONS			
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

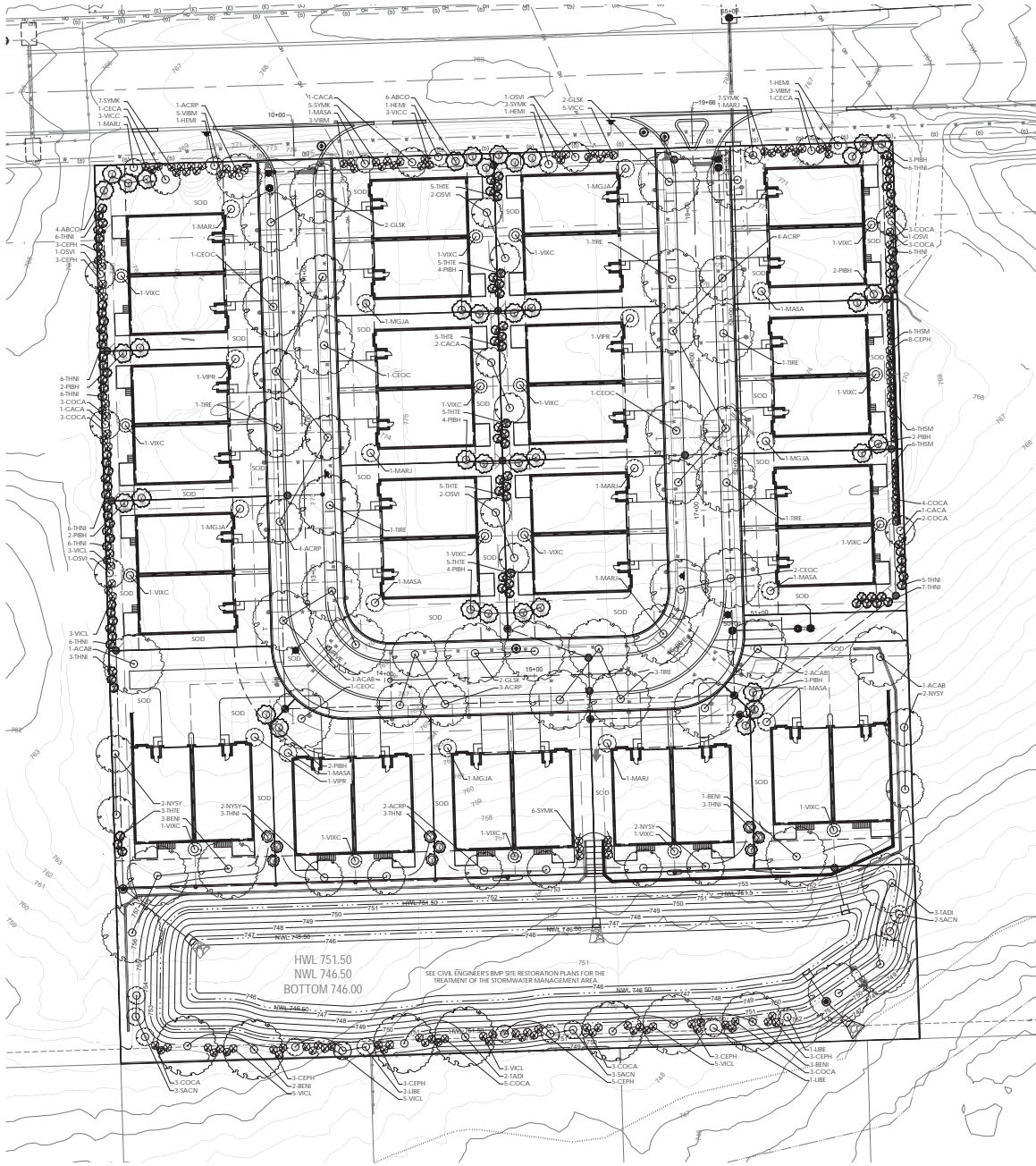
FINAL PLAT OF SUBDIVISION

WOODLAND GLEN - DARIEN, IL

DRAFTING COMPLETED: 02-06-24 DRAWN BY: SPK PROJECT MANAGER: CDB SHEET NO. _____
FIELD WORK COMPLETED: N/A CHECKED BY: CDB SCALE: 1" = 40'

Project No: 220945.WG2
Group No: VP04.1
2 of 2

N:\2022\220945\220945.WG2-Accounting & Survey Only\Drawings\ACAD\SVY\VP04.1\FNL220945.WG2_20240205.dwg



A LANDSCAPE PLAN
SCALE: 1" = 30'

PLANT LEGEND

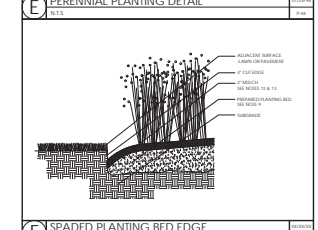
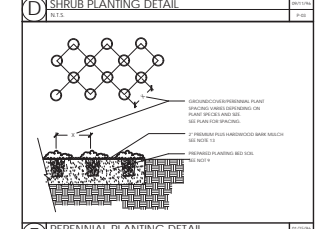
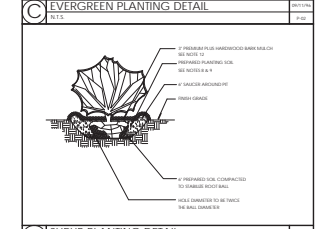
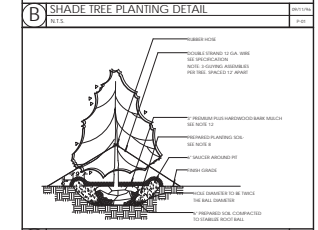
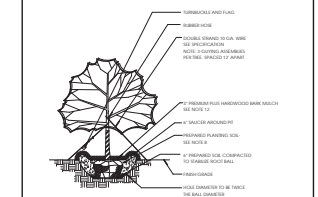
QTY	KEY	BOTANICAL NAME / COMMON NAME	INSTALLED	MATURE
			SIZE	HEIGHT
Shade trees				
7	ACAB	Aster laevis 'Jefferson'	7' cal	40-55 30-40
14	ACRP	Aster laevis 'Jefferson'	7' cal	40-55 30-40
1	BEH	Betula nigra	7' cal	40-55 30-40
1	CACA	Cornus canadensis	7' cal	30-35 30-35
4	CEOC	Cercis canadensis	7' cal	40-45 30-40
4	GLK	Quercus macrocarpa	7' cal	45-50 30-40
7	OSV	Osage orange	7' cal	25-30 30-35
8	NTRY	Nyssa sylvatica	7' cal	30-35 30-35
5	TAC	Taxodium distichum	7' cal	30-35 30-40
4	TRE	Tilia americana 'Redmond'	7' cal	30-35 30-40
Evergreen trees				
10	ABCO	Abies concolor	6" m	30-50 30-40
28	PRH	Picea canadensis	6" m	30-40 30-40
73	TNR	Thuja occidentalis 'Nigra'	6" m	30-30 10-15
18	SDM	Sciadopitys verticillata	6" m	8-12 3-4
33	TRH	Thuja occidentalis 'Savina'	6" m	10-15 6-10
Ornamental trees				
2	CECA	Cercis canadensis	6" m	30-30 30-30
4	HEM	Hemlock-miscellaneous	6" m	15-20 10-15
1	ISE	Illex verticillata	6" m	9-12 9-12
1	MGJA	Magnolia grandiflora	2" cal	10-15 9-12
7	MARJ	Morus nigra	6" m	12-15 8-12
4	MASA	Morus nigra	2" cal	6-8 8-12
8	SACH	Saxifraga oppositifolia	6" m	9-12 6-8
3	VPR	Viburnum prunifolium	3" m	10-15 9-12
Deciduous shrubs				
31	CEPH	Cephaelis occidentalis	3" m	5-12 4-8
32	COCA	Cornus canadensis	4" m	4-9 6-12
28	EMK	Empetrum nigrum	4" m	4-9 5-7
17	VWC	Viburnum cuneatum	4" m	8-10 10-12
14	WCIC	Wickstroemia caryophyllata	3" m	3-4 3-4
11	VBM	Viburnum acerifolium	3" m	5-7 4-8
24	VWCL	Viburnum acerifolium 'Walden'	4" m	8-10 9-10

LANDSCAPE NOTES:

- Material quantities are shown only for the convenience of the Contractor. The Contractor is responsible for verification of all materials and supplies in sufficient quantity to complete the job per plan.
- All work shall conform to American Nursery & Landscape Association 2004 edition of the American Standard for Nursery Stock, State of Illinois Horticultural Standard, and local municipal regulations.
- All plant material installation shall be as detailed on these Drawings.
- All pruning work shall be performed only with hand pruners.
- All deciduous plant material shall be pruned to remove 1/4 interior branches, dead branches and broken branches. Pruning shall complement the plant's natural form. Absolutely no top pruning is allowed, except for hedges as noted on the Drawing. Any plant that is top pruned is subject to rejection by the Landscape Architect and/or Owner.
- Evergreen trees and shrubs shall be pruned of dead and broken branches and as directed by the Landscape Architect and/or Owner.
- The Landscape Architect and/or Owner reserves the right to inspect trees and shrubs either at the place of growth or at the site prior to planting for compliance with requirements of variety, size and quality.
- Provide pre-mixed planting mixture for use around the balls and roots of the plants consisting of 8 parts topsoil to 1 part One Step soil amendment as available from Midwest Trading or approved equal.
- Planting beds shall be prepared with a 2" depth of mushroom compost and a 1" depth of catched clay filled to an overall depth of 6"-9".
- Prior to mulching, all individual trees, shrub beds and groundcover areas shall be treated with a pre-emergent herbicide, such as Snop-Shop. All areas shall be free from weeds prior to herbicide application.
- Guying of trees shall be at the option of the Landscape Contractor. However, all trees shall be guyed straight through final inspection and warranty. When guying of trees is deemed necessary to insure proper planting and positioning of the tree, it should be done immediately after burl wrapping and staking operations and prior to acceptance.
- All shrub beds and individual existing and proposed trees shall be mulched to a depth of 3" with Premium Plus Hardwood Bark Mulch as available from Midwest Trading or approved equal.
- All perennial, groundcover and annual planting beds shall be mulched to a depth of 2" with Premium Plus Hardwood Bark Mulch as available from Midwest Trading or approved equal.
- Water trees, shrubs and groundcover beds within the first 12 hours of initial planting. Continue watering weekly or as needed until the end of the maintenance period.
- All Lawn areas shall be set with irrigation. Sod shall be Kentucky Bluegrass and is required in all areas as noted on the Drawing. Sod shall be laid edge to edge, with tight butted, staggered joints to prevent shrinkage. Sod shall be carefully placed to ensure that it is neither stretched nor overlapped. Immediately after placing, sod shall be pressed firmly into contact with soil bed by tamping or rolling, to eliminate air pockets.
- Contractor shall maintain all planting under the contracted work for 45 days after acceptance for substantial completion.
- Maintenance operators shall include mowing, edging, pruning, cultivating, weeding, reseeding, fertilizing, application of pesticides, frequent and application of fertilizer as needed to insure proper establishment of planting and trees.
- Contractor shall provide a one year warranty on all plant material included in the contract. One year warranty shall commence as of acceptance for substantial completion.

GENERAL NOTES:

- Contractor is responsible for verification of underground utility lines and is responsible for any damage occurring as a product of his work.
- Contractor shall maintain clear and open access to the vehicular and pedestrian entrances to and from the property during all periods of work.
- Contractor is responsible for verification of all existing conditions in the field prior to bidding and construction and shall notify the Landscape Architect and/or Owner of any variances.
- Contractor is responsible for acquisition of and payment for all permits, fees and inspections necessary for the proper execution of the work and for compliance with all codes applicable to this work.
- Contractor shall protect the property and is directly responsible for all damages caused by his work and for daily removal of all trash and debris from the work area to the satisfaction of the Landscape Architect and/or the Owner.



8337 Nashua Drive
Indianapolis, Indiana 46260
P-330.761.8450
info@lafindesigngroup.com

prepared for:
Donven Homes
6432 Joliet Road
Countryside, Illinois 60625

project:
Woodland Glen
Residential Development
87th Street
Darien, Illinois

sheet title:
Landscape Plan

project #: 2935

issue date: 02/20/24

checked by: KLL

drafted by: KLL

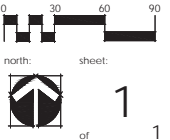
file: 2835-2024-02-20_cld

plot: ET

revisions:

no.	date	description	by
1	02/22/24	per Utility Department	KLL

scale: 1" = 30'-0"

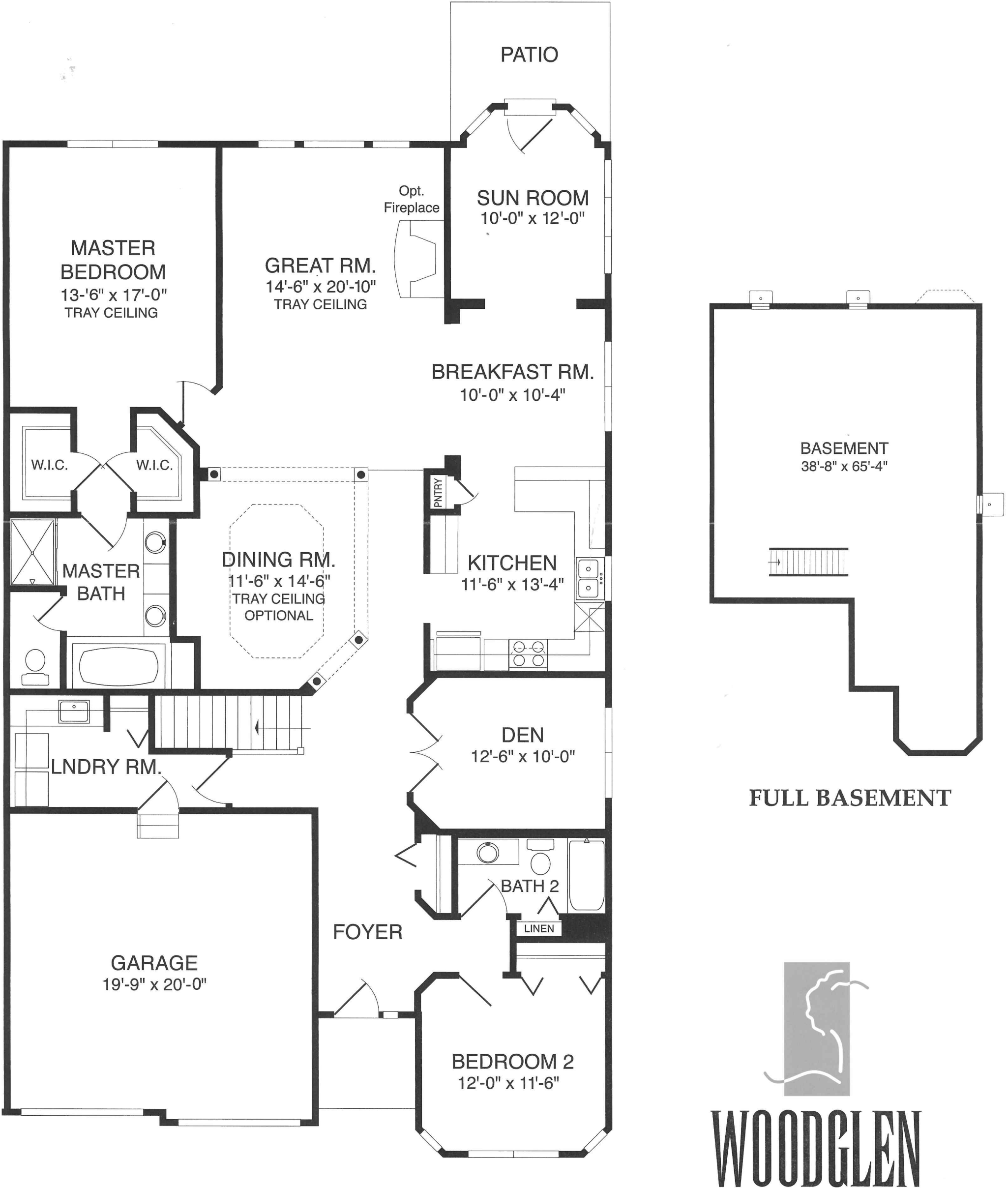


ATTACHMENT (6): FLOOR PLAN & RENDERING

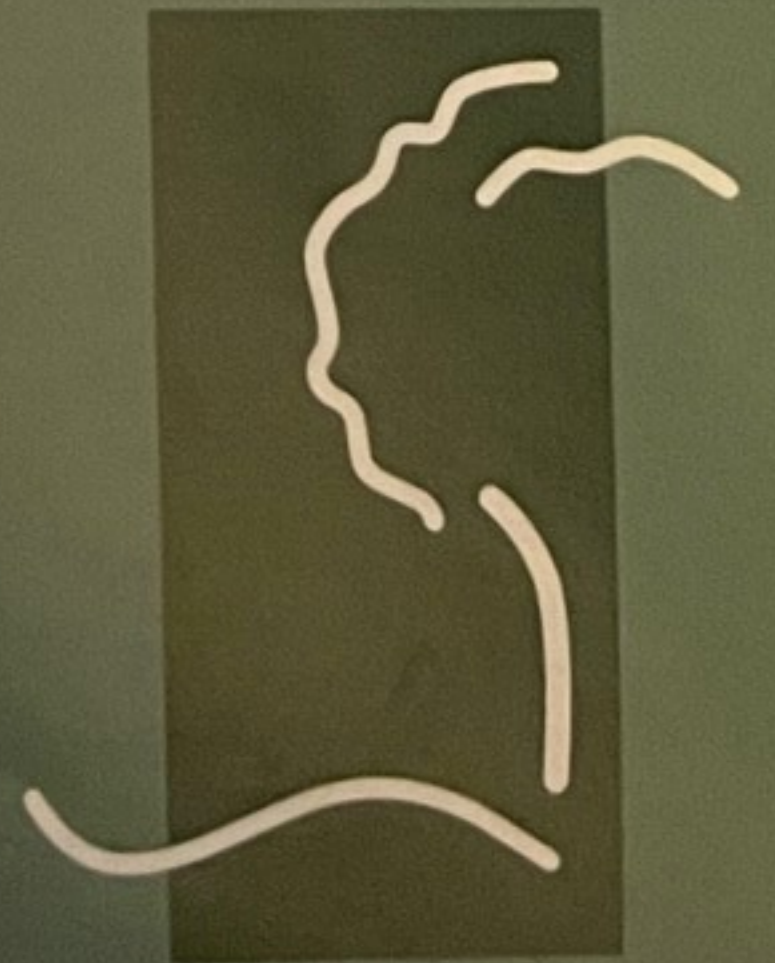
THE BERKSHIRE

2,200 Sq. Ft.

A luxurious single level ranch home featuring 2 bedrooms plus den and corner sun room with french door to exterior patio or deck • 2 full baths • nine-foot ceilings spacious great room with tray ceiling • formal dining room with elegant columns and tray ceiling • gourmet kitchen including peninsula breakfast bar open to bright breakfast room • master bedroom suite with tray ceiling, 2 walk-in closets and luxurious master bath • large 1st floor laundry room with closet • 2-car garage • full basement • exterior patio or deck



THE BERKSHIRE



WOODGLEN

ATTACHMENT (7): DEVELOPMENT SCHEDULE

WOODLAND GLEN

87th Street - Darien, IL

SITE DEVELOPMENT SCHEDULE

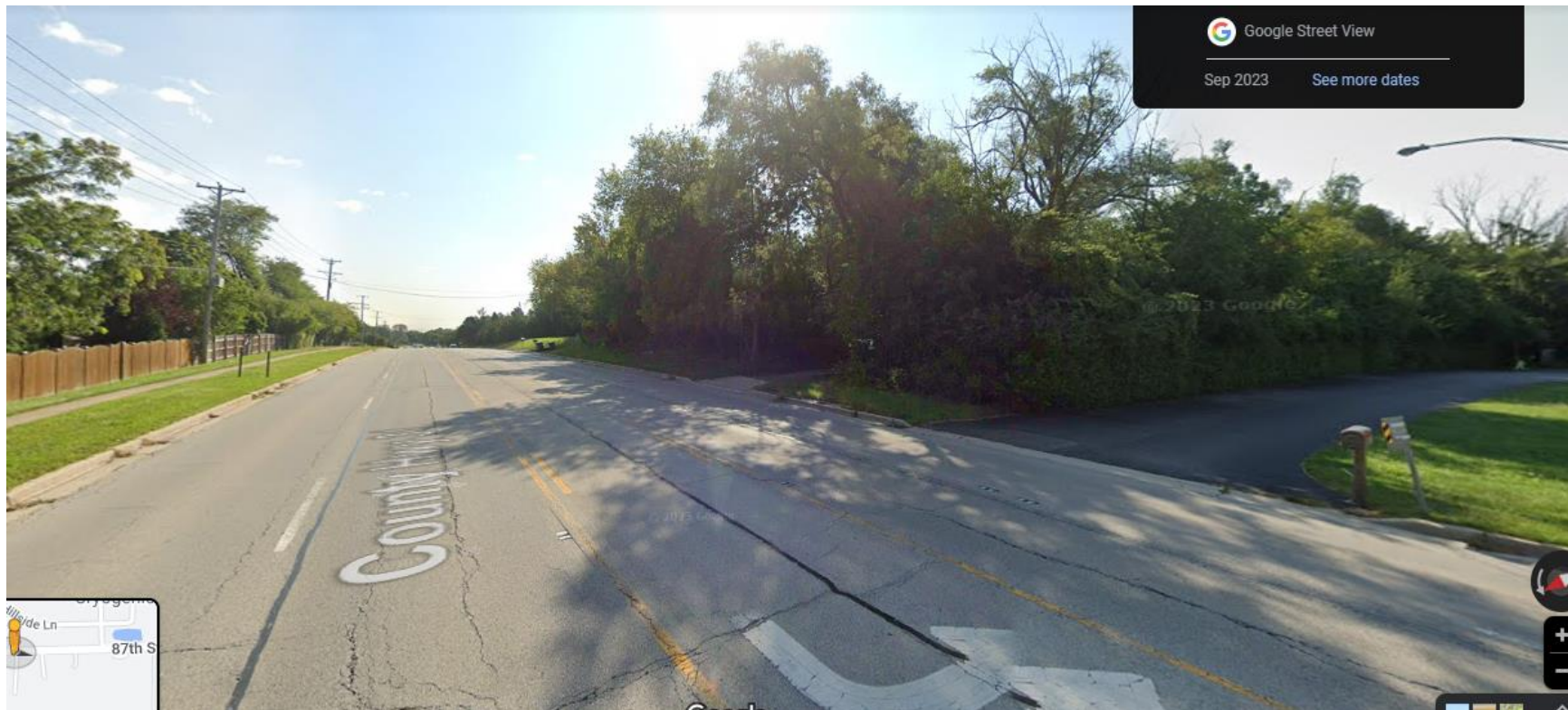
February 26, 2024

WORK DESCRIPTION	START DATE	COMPLETION DATE
Install Site Perimeter Fencing and Silt Fence/Erosion Control	06/03/24	06/07/24
Clear Brush and Trees	06/10/24	06/21/24
Building Demolition and Septic Tank Removal	06/17/24	07/05/24
Mass Grading/Earthwork	07/08/24	08/02/24
Install Underground Sewer, Water Main, Storm Sewer	08/05/24	08/30/24
Install Curb & Gutter and Asphalt Street Paving Binder Course	09/02/24	09/27/24
NICOR - Underground Gas Main Installation	09/30/24	10/11/24
Install Retaining Walls - Stormwater Detention Basin	10/07/24	10/25/24
COM ED, AT&T and Comcast - Underground Communication Cable Installation	10/07/24	10/31/24
Stormwater Basin - Native and BMP Planting	10/28/24	10/31/24
Install Street Lighting	11/04/24	11/15/24











CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

March 13, 2024

City of Darien
1702 Plainfield Road
Darien, Illinois

Attention: Jordan Yanke

Subject: Woodland Glen – Preliminary Plat
(CBBEL Project No. 950323.H0255)

Dear: Jordan

As requested on February 27, 2024, we have reviewed the Final Engineering Plans for the above project prepared by V3 and dated February 26, 2024. The proposed project consists of 17 duplex (two unit) homes. The following comments are submitted for your consideration, which will be addressed during Final Plat and Final Engineering stage of the approval process:

Final Engineering Plans

Specifications – 1.1

1. Under “Watermain Distribution System” eliminate 1.B to avoid confusion. The City requires ductile iron watermain. Also, add a note that the contractor shall coordinate with the City of Darien Utilities Superintendent for the make and model of all hydrants, valves, service taps, etc.
2. On Storm Sewer notes, add to item 1.B that PVC pipe shall be SDR 26 or C-900 if crossing watermains.

Demolition Plan – 2.1

3. A call out should be added to remove the retaining wall on the northeast end of the property with caution due to the proximity to the neighboring property driveway.
4. Add a note that the wells to be removed shall be done so in accordance with Du Page County Health Department regulations (similar to the note for monitoring wells).

Layout Plan – 3.0

5. The Typical Roadway Section diagram shows 4’ wide sidewalks. According to Village code 5B-1-7-7 4’ sidewalks are only allowed in single family residential

districts. The site is currently zoned R-1, but we will defer to the City staff for any proposed zoning changes that will necessitate a 5 foot wide sidewalk.

6. Streetlight locations shall be shown on this page.
7. Specify that the pavement markings (Stop Bars) will be thermoplastic, not paint.

Grading Plan – 4.0

8. Since all lots show boxes with top of foundation elevations, it is presumed that individual lot grading plans will be submitted for each building.
9. Add garage floor elevations for each building.
10. Lots 12-1, and 16-1 both show bold boldened corners. Please call out or provide a note providing information on what this is.
11. We recommend adding a note to not allow window wells in the side yards adjacent to the overland flow paths of lots 4-1, 6-2, 7.1, or provide minimum top of window well elevations to the plans.
12. The retaining wall is shown connecting to the existing south wall at the back of Lot 10/11. More detail should be shown on how this will be done. Also, this will require coordination and permission of the lot owner to the east.
13. Top wall and bottom wall elevations should be shown on the plans for the retaining walls in lot 8-2. This includes at the ends, bend in the wall, and at any steps in the top of wall.
14. There appears to be a typographical error in street centerline grades at Stations 14+00 and 14+50, as the centerline at 14+50 is higher than at 14+00.
15. Provide cross-sections of various overland flow routes including:
 - Between Lots 6/7
 - West side of Lot 4
 - Ease line of subdivision, particularly Lot 8
16. Section 15-34 of the Du Page County Stormwater Ordinance provides that any “Structure” which impounds greater than 3 feet of differential head must be signed and sealed by a Structural Engineer. The definition of Structure includes Dams, and the definition of Dam includes embankments to hold back or impound water. The proposed detention basin impounds water to a height of 5.5 feet.
17. Provide a typical section of the embankment around the detention basin including, but not limited to, any requirement to strip existing topsoil, composition of fill, compaction requirements, etc.

Erosion Control Plan – 4.1

18. Please show silt fence across lots 17-2 and 12-1 as well as across Woodland Lane up to the construction entrance. Silt fence shall encompass the site except for the construction entrance. We also suggest that silt fence be installed on the north side of the detention basin.
19. Provide sediment protection at the outlet from the detention basin (FES 3-2).
20. The locations of the following items shall be shown on this sheet:
 - a. Topsoil stockpile (with appropriate erosion protection).

- b. Concrete washout for the subdivision.
- c. Portable toilet.
- d. Construction trailer (if applicable).
- e. Worker parking area

Utility Plan – 5.0

- 21. Please call out the length, material, and slope of the storm sewer between ST 1-8 and ST 1-9.
- 22. Lots 4-1, 4-2, 5-1, 5-2, 6-1, 6-2, 7-1, 7-2, 8-1, and 8-2 do not have storm sewer stubs for sump pump discharges and are noted to daylight in the detention basin. Provide stubs from the storm structures behind these lots, which will be far easier to maintain.
- 23. Label SMH-2 on this plan sheet.
- 24. Note 3 states that all water services shall be 1.5" minimum. The detail on sheet 6.1 shows the water services as 1" diameter. Please clarify and revise to required diameter service.
- 25. For the watermain to be bored under 87th Street, clarify if there will be casing pipe, or the pipe material if directionally bored. If there will be casing pipe, provide a detail showing casing pipe size and spacer block details.
- 26. Add a streetlight at each intersection with 87th Street.
- 27. We note that the sanitary sewer will be reviewed and permitted by Du Page County Public Works, who will own and maintain the sewer and lift station.

Offsite Utility Plan – 5.1

- 28. While we will defer to Du Page County for review of the sanitary sewer, it appears that the sewer on Meadow Lane is outside of the right of way. If there is an existing easement, the limits shall be shown, and a document number referenced.
- 29. SMH 10 is shown as a drop manhole, although there is no drop shown with a change in invert elevations. We will defer to Du Page County.

Construction Details – 6.1

- 30. The valve vault detail shows 4' vaults for 6" & 8" diameter valves. Village code 5B-1-8-3 states that valves of this diameter require a 5' vault. Please revise the current details.
- 31. Provide design details for the proposed retaining walls.

Stormwater Management Report

32. Although the site is 7.34 acres as noted, the north approximately 1.5 acres drains to the north under existing conditions. The allowable release rate should be based on the area naturally flowing to the south. Revise the calculations accordingly.
33. With the revisions noted in the previous comment, if a standard pipe size will work for the restrictor, that is preferred to a plate restrictor.
34. While there are no wetlands on the property, there is wetland buffer. The proposed improvements extend up to the limit of the buffer. Provide documentation from Du Page County that they have confirmed the wetland and buffer delineation and concur that there are no impacts from the proposed development. Darien is a partial waiver community under the ordinance and therefore relies on Du Page County staff for determinations.

Final Plat of Subdivision

The Final Plat has been reviewed for compliance with Section 5B-1-6 of the City Subdivision Regulations. The following comments are provided:

35. We note that the proposed street is shown to be dedicated a public right of way. Section 5B-1-7.B.6 provides for a 66 foot right of way with 30-foot pavement width. The proposed plan shows a 50-foot wide right of way and although the street width is not labeled, it scales to 27 feet from back of curb to back of curb (confirmed as 27' with dimensions on Final Engineering plan). It is our understanding that a variance will be requested.
36. Section 5B-1-7.B.13 provides for street trees to be provided at a maximum 50 foot spacing. If a variation is granted for right of way width, consideration should be given to requiring a landscape easement for street trees in the 8 feet adjacent to the right of way on each side. This will allow for trees to be planted away from Village utilities.
37. Section 5B-1-7-G.1.a provides for a 150 radius on Minor Streets. The final layout shows a centerline radius of about 40 feet. V3 has stated that the radius is 53.5 feet. It is our understanding that a variance will be requested.
38. Add a note to the Plat that Outlot A will be owned and maintained by the Homeowner's Association.
39. Clarify with a note on the Plat if Outlot B will be owned by the HOA or by Du Page County. If conveyed to the County, documents will have to be provided prior to subdivision close-out.

General Comments

40. The current landscape plan shows parkway trees being planted directly on top of City utilities. Parkway trees shall be planted on the opposite side of the sidewalk to avoid conflicts with Village utilities. An additional landscaping easement will be required on lots 9-11 due to the sanitary force main being on the other side of the proposed sidewalk. This congestion is due to a narrow right of way.

41. Because 87th Street is a Du Page County highway, review, and approval from DuDOT will be required for the work in the County right of way. This has been acknowledged by V3.
42. An IEPA watermain construction permit and an NPDES permit will be required.
43. Du Page County Public Works will have to approve the proposed sanitary sewer and lift station.
44. We presume that a homeowner's association will be established to own and maintain the detention basin. Consideration should be given to establishing a special service area in the event the HOA does not adequately maintain the basin. V3 has stated that an HOA will be established to own and maintain the detention basin.

If you have any questions, please do not hesitate to contact me.

Sincerely,



Daniel L. Lynch, PE, CFM
Vice President, Head Municipal Engineering Department

Cc Dan Gombac, City of Darien