

AGENDA
****RESCHEDULED MEETING****
Municipal Services Committee
June 20, 2016
6:00 P.M. – Council Chambers

- 1. Call to Order & Roll Call**
- 2. Establishment of Quorum**
- 3. New Business**
 - a. **PZC 2016-07: 7722 Warwick Avenue**: Petitioner seeks approval of a variation to increase the permitted amount of rear yard coverage by accessory structures from 30% to 36% in order to construct an above ground pool
 - b. **PZC 2016-08: 7417 Cass Avenue, Buona Beef**: Petitioner seeks approval of a plat of re-subdivision and variations
 - c. **Resolution** – Approval to enter into a Water Main Easement Licensing Agreement with the DuPage County Forest Preserve District adjacent to 7879 Lemont Road Warehouse Development.
 - d. **Motion** – Final site plan approval for 7879 Lemont Road-office/warehouse building
 - e. **Resolution** – Approval to accept a proposal from Belson Outdoor Products for concrete benches (3), concrete bike racks (2) and trash can receptacles (3) for the Clock Tower located at Plainfield Road and Cass Avenue in an amount not to exceed \$8,082.47
 - f. **Resolution** – Approval to accept a proposal from Architectural Bronze and Aluminum Corporation for the plaques in an amount not to exceed \$1,640.00
 - g. **Resolution** – Approval to accept a proposal from Midwest Commercial Painting for the painting of the interior and exterior of the Old Lace School in an amount not to exceed \$8,885
 - h. Minutes – May 23, 2016 Municipal Services Committee
- 4. Director's Report**
- 5. Next scheduled meeting – July 25, 2016**
- 6. Adjournment**

This report is based on the following information submitted to the Community Development Department by the Petitioner:

1. Plat of Survey, 1 sheet, prepared by Professional Land Surveying, Inc., dated August 11, 2014.

Planning Overview/Discussion

Subject property is located on the west side of Warwick Avenue.

The petitioner installed an above-ground pool within the rear yard before securing a building permit.

The Zoning Ordinance limits the amount of lot coverage by structures and impervious surfaces. Specific to the rear yard, the full width of a lot located behind a home, 30% is the maximum permitted amount of coverage. With the addition of the pool, the amount of rear yard coverage is 36%, or approximately 281 square feet over the permit amount.

Prior to the pool, existing structures and impervious surfaces in the rear yard included a detached garage, portion of the driveway and a patio.

The variation request must address the following criteria for approval:

1. Whether the general character of the property will be adversely altered.
2. Whether the overall value of the property will be improved and there will not be any potential adverse effects on the neighboring properties.
3. Whether the alleged need for the variation has been created by any person presently having a proprietary interest in the premises.
4. Whether the proposed variation will impair an adequate supply of light and air in adjacent property, substantially increase congestion in the public streets, increase the danger of fire or endanger the public safety.
5. Whether the proposed variation will adversely alter the essential character of the neighborhood.

Staff Findings/Recommendations

Staff finds the proposed variation will not adversely alter the general character of the property, nor will it impair the adequate supply of light and air in adjacent properties, nor will it adversely alter the essential character of the neighborhood.

Planning and Zoning Commission Review – June 15, 2016

The Planning and Zoning Commission considered this matter at their meeting on June 15, 2016. The following members were present: Raymond Mielkus – Acting Chairperson, Andrew Kelly,

Ronald Kiefer, Louis Mallers, Kenneth Ritzert, Bryan Gay. Staff present: Dan Gombac – Municipal Services Director, Steve Manning – City Planner, Elizabeth Lahey – Secretary.

Absent: Beverly Meyer – Chairperson, Robert Cortez, John Laratta

The petitioner Robert Worley was present.

Steve Manning summarized the agenda memo describing the requested variation and applicable regulations. He noted that the petition had installed the pool without a permit. After being informed a permit was required and that the pool was not in conformance with the lot coverage standard, he applied for the variance and permit. The requested variance reflects existing conditions. No comments from neighbors have been received by the City.

The Commission asked why Mr. Worley installed without a permit. He said he was not aware of any such requirement. The Commission asked if there are any existing drainage issues or potential drainage issues. Mr. Worley said no. Dan Gombac said he was familiar with the area and he was not aware of any drainage issues.

No one from the public was present to offer comments.

Without further discussion, Commissioner Kiefer made the following motion seconded by Commissioner Ritzert:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-07 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

Upon a roll call vote, THE MOTION CARRIED by a vote of 6-0.

Municipal Services Committee – June 20, 2016

Based on the Planning and Zoning Commission's recommendation, staff recommends the Committee make the following recommendation granting the variation petition as presented:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-07 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

Decision Mode

Municipal Services Committee:

June 20, 2016

7722 Warwick Ave
Supporting document
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DuPage County
Information Technology Department / GIS Division
421 N County Farm Rd.
Wheaton, IL 60187

Phone 1(630)407-8000
Email gis@dupageco.org
DuPage Maps Portal
<http://dupage.maps.arcgis.com/home>

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PLAT OF SURVEY

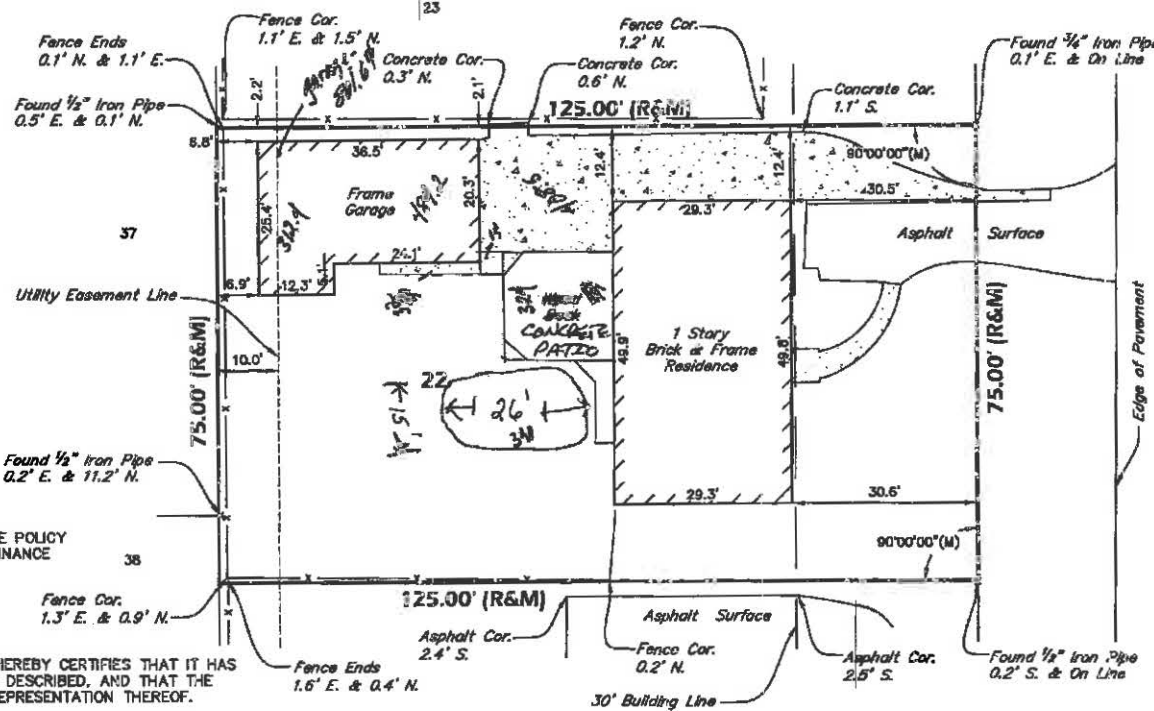
OF

7722 Warwick Ave
Supporting document
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LOT 22 IN BRAUN AND ALDRIDGE INC RESUBDIVISION OF PART OF BROOKHAVEN MANOR A SUBDIVISION IN SECTIONS 27 AND 28, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED JULY 21, 1958 AS DOCUMENT NUMBER 932270 AND CERTIFICATE OF CORRECTION RECORDED AUGUST 3, 1959 AS DOCUMENT NUMBER 933787 IN DUPAGE COUNTY, ILLINOIS.



SCALE: 1"=20'



*Planning Review
Act. 9,375*

*Rear yard = 1,875 sq ft
50% = 937.5 sq ft*

Garage + patio + pool + driveway = 2,000 sq ft

*Rear yard - 26' = 1,850 sq ft
50% = 925 sq ft*

Garage + driveway + pool = 1,075 sq ft

AREA OF SURVEY:
CONTAINING 9,375± SQ. FT.

REFER TO YOUR DEED, ABSTRACT, TITLE POLICY AND LOCAL BUILDING AND ZONING ORDINANCE FOR ITEMS OF RECORD NOT SHOWN.

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

PROFESSIONAL LAND SURVEYING, INC. HEREBY CERTIFIES THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THE HEREON DRAWN PLAT IS A CORRECT REPRESENTATION THEREOF.

FIELD WORK COMPLETED AND DATED
THIS 6TH DAY OF AUGUST, 2014.

J. Paul
IPLS No. 3483
MY LICENSE EXPIRES 11/30/14



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

PROFESSIONAL DESIGN FIRM NO. 184-004196

SYMBOL LEGEND

- CONCRETE SURFACE
- FENCE LINE
- (R) - RECORD DATA
- (M) - MEASURED DATA
- UTILITY POLE
- OVERHEAD WIRES

PREPARED FOR: REHFELDT
JOB ADDRESS: 7722 S. WARWICK AVENUE
DARIEN, ILLINOIS

Professional Land Surveying, Inc.
3080 Ogden Avenue Suite 107
Lisle, Illinois 60532
Phone 630.778.1757 Fax 630.778.7757

DRAWN BY: AA FLD. BK./PG. NO.: 119/39
COMPLETION DATE: 08/11/14 JOB NO.: 149788
REVISED:

AGENDA MEMO
MUNICIPAL SERVICES COMMITTEE
MEETING DATE: June 20, 2016

Issue Statement

PZC 2016-08: 7417 Cass Avenue, Buona Beef: Petitioner seeks approval of a plat of resubdivision and the following variations:

1. A reduction in the minimum required lot area from 2.00 acres to 1.157 acres.
2. A reduction in the minimum required northern interior side yard from 30 feet to 0 feet.
3. A reduction in the minimum required rear yard from 30 feet to 0 feet.
4. An increase in the maximum permitted paved or impervious surface coverage from 75% to 83%.

Applicable Regulations:

Subdivision Regulations: Section 5B-1-6: Final Plat Procedures and Requirements.

Zoning Ordinance: Section 5A-8-3-6: B-2 Community Shopping Center District, Area Requirements.

Zoning Ordinance: Section 5A-8-3-8(B)(1)(a): B-2 Community Shopping Center District, Yard Requirements

Zoning Ordinance: Section 5A-8-3-9: B-2 Community Shopping Center District, Height Limitations, Bulk Regulations.

General Information

Petitioner:

Mile High Beef, LLC
Mike Buonavolanto, The Buona Companies, LLC
6801 W. Roosevelt Road
Berwyn, IL 60402

Property owner:

Chicago Title & Trust Company
as Trustee under Trust No. 1086065
c/o Darien Associates
91 Hunt Trail
Barrington, IL 60010

Property Location:

7417 Cass Avenue

PIN:

09-27-108-028

Existing Zoning:

B-2 Community Shopping Center District

Existing Land Use:

Restaurant with drive-thru as outlot to a retail shopping center

Comprehensive Plan Update: Commercial

Surrounding Zoning and Land Use:

- North: B-2 Community Shopping Center District: grocery store
- East: R-2 Single-Family Residence: single-family detached homes
- South: B-2 Community Shopping Center District and R-3 Multi-Family Residence: bank, multi-family dwellings
- West: R-2 Single-Family Residence: elementary school, museum

Size of Property: 5.4 acres (shopping center)

Floodplain: None.

Natural Features: None.

Transportation: Shopping center has frontage and access onto Cass Avenue and 75th Street. New platted lot has frontage onto Cass Avenue, access via shopping center.

History: In 2006, the City Council granted a special use for a drive-thru and variations related to setbacks, landscaping, multiple buildings on one lot, vehicle stacking for a drive-thru requirements. In 2007, the City Council approved an amendment to the special use to permit an addition to the building.

Documents Submitted

This report is based on the following information submitted to the Community Development Department by the Petitioner:

1. Responses to Standards of Review for Zoning Variations, 2 sheets.
2. Letter from petitioner's attorney, 2 sheets, dated May 20, 2016.
3. ALTA/ACSM Land Title Survey, 1 sheet, prepared by Marchese and Sons, Inc., dated April 28, 2016.
4. Plat of Subdivision, 2 sheets, prepared by Marchese and Sons, Inc., not dated.

Planning Overview/Discussion

Buona Beef is located within the Jewel-Osco shopping center at the northeast corner of Cass Avenue and 75th Street. The shopping center includes Jewel-Osco, Sears Outlet, Concentra Immediate Care, Taco Bell and Buona Beef. Currently, the shopping center includes several parcels. Jewel-Osco is on its own lot and is owned separately from the rest of the shopping center.

The petitioner proposes to create a lot of record containing Buona Beef. Buona Beef plans to purchase the lot.

Plat of Subdivision

The ALTA/ACSM Land Title Survey best shows the relationship between the built improvements and the proposed new lot. The proposed lot contains only the improvements related to Buona Beef.

Existing ingress/egress easements are in place providing access to/from the proposed lot through the shopping center.

No physical changes to the property are being proposed, only the creation of a lot of record.

Plat of subdivision approval requires consideration by the Planning and Zoning Commission, with approval by the City Council. A public hearing is not required.

Variations

The proposed lot is 1.157 acres where 2 acres is the minimum lot area required in the B-2 zoning district.

The proposed lot also creates nonconforming setbacks along the north, east and south sides.

The proposed lot will have 83% lot coverage (buildings and impervious surface areas) where 75% is the maximum permitted in the B-2 zoning district.

The above noted variations document existing conditions and previously approved site plans.

Variations require consideration by the Planning and Zoning Commission, with approval by the City Council. A public hearing by the Commission is required.

Variation criteria:

1. Whether the general character of the property will be adversely altered.
2. Whether the overall value of the property will be improved and there will not be any potential adverse effects on the neighboring properties.
3. Whether the alleged need for the variation has been created by any person presently having a proprietary interest in the premises.
4. Whether the proposed variation will impair an adequate supply of light and air in adjacent property, substantially increase congestion in the public streets, increase the danger of fire or endanger the public safety.
5. Whether the proposed variation will adversely alter the essential character of the

neighborhood.

Engineering Review

Staff is waiting for comments from the City Engineer. However, since no property improvements are proposed, any comments should relate only to technical requirements of the plat and should easily be addressed by the petitioner before the plat is recorded.

Staff Findings/Recommendations

Because there are no changes to the site, only the creation of a plat of subdivision establishing a lot of record, the existing site conditions remain and the requested variations document existing conditions, staff does not object to the requested variations.

Staff finds the proposed variations do not adversely alter the character of the property, nor will they adversely alter the essential character of the neighborhood.

Therefore, staff recommends the Commission make the following motion recommending approval:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-08 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

Planning and Zoning Commission Review – June 15, 2016

The Planning and Zoning Commission considered this matter at their meeting on June 15, 2016. The following members were present: Raymond Mielkus – Acting Chairperson, Andrew Kelly, Ronald Kiefer, Louis Mallers, Kenneth Ritzert, Bryan Gay. Staff present: Dan Gombac – Municipal Services Director, Steve Manning – City Planner, Elizabeth Lahey – Secretary.

Absent: Beverly Meyer – Chairperson, Robert Cortez, John Laratta

Steven Bauer, attorney representing the petitioner Mile High Beef LLC, was present.

Steve Manning, City Planner, reviewed the agenda memo, described the requested variation, applicable regulations. He noted there is an existing Buona Beef restaurant on the proposed Lot One that had been approved by a special use ordinance and no changes to the building and improvements were being proposed. The requested variances reflect existing conditions.

The Commission asked about access and maintenance. Steven Bauer said the owner of Lot Two has granted cross access easements to Lot One and retains responsibility for maintenance of the

two driveways in the cross access easements.

No one from the public was present to offer comments.

Without further discussion, Commissioner Mallers made the following motion seconded by Commissioner Kelly:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-08 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission recommend approval of the petition as presented.

Upon a roll call vote, THE MOTION CARRIED by a vote of 6-0.

Commissioners Meyer, Cortez, and Laratta were absent

Municipal Services Committee – June 20, 2016

Based on the Planning and Zoning Commission’s recommendation, staff recommends the Committee make the following recommendation granting the variation petition as presented:

Based upon the submitted petition and the information presented, the request associated with PZC 2016-08 is in conformance with the standards of the Darien City Code and, therefore, I move the Planning and Zoning Commission approve the petition as presented.

Decision Made

Municipal Services Committee: June 20, 2016

7417 Cass Avenue: Buona Beef
Supporting document
1 of 5



DuPage County
Information Technology Department / GIS Division
421 N County Farm Rd.
Wheaton, IL 60187

Ph: 1(630)407-8000
Email: gis@dupageco.org
DuPage Maps Portal
<http://dupage.maps.arcgis.com/home>

This map is for assessment purposes only.

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Responses to Standards of Review for Zoning Variations
(7417 W. Cass Avenue)

Petitioner, Mile High Beef, LLC, provides the following responses to the standards of review for the variations from the Zoning Ordinance identified below (collectively "Variations") for proposed Lot Two of Darien Associates Subdivision ("Subject Property") due to the practical difficulty and particular hardship in carrying out the strict letter of the regulations of the B-2 Community Shopping Center District in conjunction with said subdivision, as submitted with this petition:

- (i) a reduction in the minimum required lot area from 2.00 acres to 1.157 acres;
- (ii) a reduction in the minimum required northern interior side yard from 30 feet to 0 feet;
- (iii) a reduction in the minimum required rear yard from 30 feet to 0 feet; and
- (iv) an increase in the maximum permitted paved or impervious surface coverage (i.e., lot coverage) from 75% to 83%.

Standards of Review

1. Whether the general character of the property will be adversely altered.

The Subject Property was redeveloped when leased by Petitioner approximately ten years ago and is now proposed to be subdivided to enable Petitioner's acquisition of the Subject Property such that title to the Subject Property may be held by Petitioner or its affiliate, and title to the adjacent shopping center parcel of which the Subject Property is currently a part ("Shopping Center Parcel") may continue to be held by the current owner of the Shopping Center Parcel. No site plan modifications are proposed in conjunction with the proposed subdivision and Variations, and the proposed subdivision will be indiscernible to anyone who does not have actual knowledge of its approval and the location of the associated lot lines. The Variations are required solely to allow the Subject Property to be subdivided from the Shopping Center Parcel. Without the Variations, the Subject Property cannot be subdivided even though such subdivision (i) will not result in any site plan modifications to the Subject Property, (ii) will be otherwise indiscernible and (iii) requires Variations that will by no means adversely alter the general character of the Subject Property or the Shopping Center Parcel. This result causes undue hardship on Petitioner.

2. Whether the overall value of the property will be improved and there will not be any potential adverse effects on the neighboring properties.

The overall value of the Subject Property will be improved as a result of the Variations because the Subject Property, when subdivided as proposed in conjunction with the Variations, may then be utilized and, if and when necessary, redeveloped independent of the Shopping Center Parcel. No site plan modifications are proposed

in conjunction with the proposed subdivision and Variations. As a result, the proposed subdivision and Variations will be indiscernible to anyone who does not have actual knowledge of their approval and the location of the associated lot lines. As a result, the Variations will not result in any adverse effects on the neighboring properties.

3. *Whether the alleged need for the variation has been created by any person presently having a proprietary interest in the premises.*

The need for the Variations has not been created by any person presently having a proprietary interest in the Subject Property. To the contrary, the Variations are required to allow the Subject Property to be subdivided from the Shopping Center Parcel in the most logical manner possible due to the existing improvements on both the Subject Property and the Shopping Center Parcel.

4. *Whether the proposed variation will impair an adequate supply of light and air in adjacent property, substantially increase congestion in the public streets, increase the danger of fire or endanger the public safety.*

No site plan modifications are proposed in conjunction with the Variations. As a result, the Variations will not have any impact on the supply of light and air in adjacent property, will not substantially increase congestion in the public streets and will not increase the danger of fire or endanger the public safety to any extent.

5. *Whether the proposed variation will adversely alter the essential character of the neighborhood.*

The Variations are required simply to allow the Subject Property to be subdivided as proposed. No site plan modifications are proposed in conjunction with the proposed subdivision or the Variations. The Variations are sought only to preserve the existing development conditions at the Subject Property and the Shopping Center Parcel. As a result, the Variations will not adversely alter the essential character of the neighborhood in which the Subject Property is located.

MELTZER, PURTILL & STELLE LLC

MPS LAW

ATTORNEYS AT LAW

1515 E. WOODFIELD ROAD
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FAX (847) 330-1231

300 S. WACKER DRIVE
SUITE 3500
CHICAGO, IL 60606-6704
PHONE (312) 987-9900
FAX (312) 987-9854

File Number: 34715-001
Direct Dial: (312) 461-4302
E-mail: sbauer@mpsllaw.com

7417 Cass Avenue: Buona Beef
Supporting document
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VIA HAND DELIVERY

May 20, 2016

Chairperson Beverly Meyer and
Members of the Planning & Zoning Commission
City of Darien
1702 Plainfield Road
Darien, IL 60561

Re: *Darien Associates Subdivision and Zoning Variations*

Dear Chairperson Meyer and Commissioners:

On behalf of Mile High Beef, LLC ("Petitioner"), which is an affiliate of the Buona Beef restaurant operating at 7417 Cass Avenue, we are pleased to submit the enclosed petitions for subdivision and associated zoning variations. More specifically, Petitioner seeks to subdivide the approximately 1.16 acres on which that restaurant operates ("Subject Property") from the approximately 5.40-acre shopping center parcel of which the Subject Property is currently a part. The proposed subdivision will yield a two-lot subdivision consisting of the 1.16-acre Subject Property as Lot One and the adjacent approximately 4.24-acre shopping center parcel as Lot Two ("Shopping Center Parcel"). Additionally, Petitioner seeks associated zoning variations to allow certain reductions in the minimum required lot area, yard setbacks and lot coverage for the Subject Property in connection with the proposed subdivision. No site plan modifications are proposed in connection with the proposed subdivision or associated variations. The requested relief is merely reflective of existing site conditions and the previously approved site plans for the Subject Property and the Shopping Center Parcel.

Petitioner seeks to subdivide the Subject Property from the Shopping Center Parcel to enable Petitioner's acquisition of the Subject Property such that title to the Subject Property may be held by Petitioner or its affiliate and title to the Shopping Center Parcel may continue to be held by the current owner of the Shopping Center Parcel.

In support of its petition for variations, Petitioner submits the attached Responses to the Standards of Review for variations as evidence of the practical difficulty and particular hardship in carrying out the strict letter of the regulations of the B-2 Community

*Chairperson Beverly Meyer and
Members of the Planning & Zoning Commission
City of Darien
May 20, 2016
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Shopping Center District in which the Subject Property is located due to the existing site improvements on and surrounding the Subject Property.

I look forward to discussing these petitions with you in greater detail at the June 15th Planning and Zoning Commission meeting and further addressing any related questions you may have. Thank you.

Sincerely,

MELTZER, PURTILL & STELLE LLC



Steven C. Bauer

Attachments

AGENDA MEMO
Municipal Services Committee
June 20, 2016

Issue Statement

Approval of a resolution to enter into a Water Main Licensing Agreement with the DuPage County Forest Preserve District adjacent to 7879 Lemont Road Warehouse Development.

Background/History

The developer of the property located at 7879 Lemont Road is required to install a water main as part of the site improvements. In order to meet IEPA spacing requirements a temporary construction easement is required. The developer has entered into a licensing agreement with the DuPage County Forest Preserve for temporary access to the area in order to install the water main. See attached Licensing Agreement labeled as Attachment A. The developer will be required to pay a one-time licensing fee directly to the Forest Preserve District and upon completion, the City would be responsible for the water main. The City is required to enter the agreement as a license as the Forest Preserve District only conducts these types of agreements with Public Agencies. The City attorney has reviewed and approved these documents.

Staff Recommendation

Staff recommends acceptance of the Water Main Licensing Agreement with the DuPage County Forest Preserve District.

ALTERNATE CONSIDERATION

As directed by the City Council.

DECISION MODE

This item will be on the June 20, 2016 City Council-New Business-agenda for formal consideration.

LICENSE NO. X-540-003L

NOT TO BE RECORDED

**A LICENSE AGREEMENT BETWEEN THE FOREST PRESERVE DISTRICT OF
DUPAGE COUNTY AND THE CITY OF DARIEN PROVIDING FOR ACCESS
ACROSS A PORTION OF THE FOX HOLLOW FOREST PRESERVE**

THIS LICENSE AGREEMENT is made and entered into by and between the Forest Preserve District of DuPage County, a body politic and corporate (hereinafter the "FOREST PRESERVE DISTRICT"), and City of Darien, a body politic and corporate (hereinafter "LICENSEE").

WITNESSETH:

WHEREAS, the FOREST PRESERVE DISTRICT owns certain property commonly known as the Fox Hollow Forest Preserve (hereinafter "Fox Hollow"); and

WHEREAS, in 1998, the District acquired a certain portion of Fox Hollow, which included a prior granted twenty (20) foot wide Easement along its southern boundary (hereinafter "Existing Easement"); and

WHEREAS, the Existing Easement was granted for the construction and maintenance of a public watermain and sanitary sewer; and

WHEREAS, Panittoni Development Company is the contract purchaser of the adjacent property that is benefitted by the Existing Easement; and

WHEREAS, Panittoni Development Company (hereinafter "LICENSEE'S Agent") has received approval from the LICENSEE to construct a public watermain within the Existing Easement; and

WHEREAS, LICENSEE will be the owner of the watermain upon its completion; and

WHEREAS, LICENSEE has requested permission to temporarily access and use a certain portion of Fox Hollow in order to facilitate the construction of the watermain; and

WHEREAS, the FOREST PRESERVE DISTRICT finds that it is reasonable, necessary and desirable to grant LICENSEE a temporary license to access a certain portion of Fox Hollow, subject to the terms and conditions set forth herein; and

WHEREAS, the Executive Director is authorized to issue licenses pursuant to the authority conferred by the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (Ordinance No. 96-096).

NOW, THEREFORE, in consideration of the promises, terms and conditions set forth herein, the parties agree as follows:

1.0 INCORPORATION OF RECITALS

1.1 The recitals set forth above are incorporated herein and made a part of this Agreement.

2.0 LICENSE GRANTED

2.1 The FOREST PRESERVE DISTRICT hereby grants LICENSEE a temporary License to utilize 0.20 +/- acres of Fox Hollow as depicted in Exhibit "A", attached hereto and made a part hereof (hereinafter referred to as the "License Area"), for the purpose of providing LICENSEE and LICENSEE'S agent with access to the License Area to facilitate the construction of a public watermain.

2.2 The License granted herein shall terminate upon the FOREST PRESERVE DISTRICT acceptance of the restoration work to be performed on the License Area.

2.3 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) no less than five (5) business days prior to the first access to the License Area. LICENSEE shall make any independent contractor accessing the License Area aware of the terms and conditions of this License. Should the District's project representative determine that the LICENSEE or any of its independent contractor's activities in the License Area are inconsistent with, or in violation with the terms of this License, the Licensee will stop the use of the License Area at the direction of the District's project representative until the issue(s) associated with activities are fully resolved.

2.4 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) within two (2) days after the completion of the restoration work in order for the FOREST PRESERVE DISTRICT to inspect the License Area.

3.0 LICENSE FEE

3.1 LICENSEE'S Agent shall pay a temporary License fee in accordance with the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (No. 96-096). The fee for the temporary License is \$5,253.40, which is based on \$26,267 per acre ($\$26,267 \times 0.20 \text{ acres} = \$5,253.40$).

4.0 RESTORATION

4.1 Except as the parties may otherwise agree in writing, LICENSEE and LICENSEE'S Agent will cause its contractor to promptly repair any damage to the License Area or other FOREST PRESERVE DISTRICT property resulting, directly or indirectly, from the use of the License Area. All repairs shall be subject to the approval of the FOREST PRESERVE DISTRICT'S Executive Director. In order to ensure that all affected areas are properly restored, including any damage occurring outside the boundaries of the License Area, LICENSEE'S Agent shall provide the FOREST PRESERVE DISTRICT with a restoration deposit in the form of a check made payable to the Forest Preserve District of DuPage County in the amount of five thousand dollars (\$5,000.00). Such funds shall be released or refunded, without interest, upon the satisfactory restoration of all affected areas and the acceptance thereof by the FOREST PRESERVE DISTRICT'S Executive Director. In the event LICENSEE or LICENSEE'S Agent fails to properly repair any damage within 14 days of the effective date of written notice from the FOREST PRESERVE DISTRICT demanding the repair, the FOREST PRESERVE DISTRICT shall have the right to take such action as it deems necessary to repair the damage, which shall include the authority to engage the services of an independent contractor and to utilize the funds deposited with the FOREST PRESERVE DISTRICT. If the costs and expenses incurred by the

FOREST PRESERVE DISTRICT in repairing the damage exceed the amount of the restoration bond deposited with the FOREST PRESERVE DISTRICT, LICENSEE'S Agent shall be responsible for reimbursing the FOREST PRESERVE DISTRICT for the additional costs and expenses in excess of the amount deposited with the FOREST PRESERVE DISTRICT under this paragraph that are related to the repair work within 10 days of service of the FOREST PRESERVE DISTRICT'S written demand for payment.

5.0 INSURANCE

5.1 Except as otherwise required by the FOREST PRESERVE DISTRICT'S Executive Director, LICENSEE'S Agent will cause its independent contractors to purchase and maintain during this Agreement insurance coverage which will satisfactorily insure LICENSEE, its independent contractors and, where appropriate, the FOREST PRESERVE DISTRICT against claims and liabilities which may arise out of the use of the License Area. Such insurance shall be issued by companies licensed to do business in the State of Illinois and approved by the FOREST PRESERVE DISTRICT. The insurance coverages shall include the following:

- (A) Workers' compensation insurance with limits as required by the applicable workers' compensation statutes. The employer's liability coverage under the workers' compensation policy shall have limits of not less than \$500,000 each accident/injury; \$500,000 each employee/disease; \$500,000 policy limit.
- (B) Commercial general liability insurance protecting LICENSEE against any and all public liability claims which may arise in the course of using the License Area. The limits of liability shall be not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$2,000,000 aggregate bodily injury/property damage combined single limit. The policy of commercial general liability insurance shall include contractual liability coverage and an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured.
- (C) Commercial automobile liability insurance covering LICENSEE's owned, non-owned and leased vehicles which protects LICENSEE against automobile liability claims whether on or off the FOREST PRESERVE DISTRICT'S premises with coverage limits of not less than \$1,000,000 each accident bodily injury/property damage combined single limit.
- (D) Umbrella or Excess liability insurance with limits of not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$1,000,000 aggregate bodily injury/property damage combined single limit. The Umbrella or Excess coverage shall apply in excess of the limits stated in subparagraphs (B) and (C) above, and shall either include an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured or provide "following form" coverage.

5.2. Prior to commencing work, LICENSEE will cause its independent contractors to furnish the FOREST PRESERVE DISTRICT with certificates of insurance and, upon the FOREST PRESERVE DISTRICT's request, copies of all insurance policies and endorsements thereto evidencing the coverages required under paragraph 5.0. The insurance certificates and policies shall provide that no cancellation or modification of the policy or policies shall occur without at least 30 days' prior written notice to the FOREST PRESERVE DISTRICT. LICENSEE and its independent contractors shall not enter upon the License Area until evidence of the required insurance has been received and approved by the FOREST PRESERVE DISTRICT.

6.0 INDEMNIFICATION

6.1 LICENSEE and LICENSEE'S Agent shall defend, hold harmless, and indemnify the FOREST PRESERVE DISTRICT and all of its officers, agents, employees and elected officials from any

loss, damage, demand, liability, cause of action, fine, judgment or settlement, together with all costs and expenses related thereto (including reasonable expert witness and attorney fees), that may be incurred by the FOREST PRESERVE DISTRICT as a result of bodily injury, death or property damage or as a result of any other claim or suit of any nature whatsoever arising from or in any manner connected with, directly or indirectly, the negligent or intentional acts or omissions of LICENSEE and LICENSEE'S Agent pertaining to the use of the License Area or the negligent or intentional acts or omissions of any independent contractor or subcontractor that is engaged by LICENSEE and LICENSEE'S Agent and permitted to utilize the License Area. LICENSEE and LICENSEE'S Agent shall require all such contractors or subcontractors to agree to defend, hold harmless and indemnify the FOREST PRESERVE DISTRICT to the same extent required of LICENSEE and LICENSEE'S Agent under this paragraph.

- 6.2. LICENSEE and LICENSEE'S Agent shall indemnify the FOREST PRESERVE DISTRICT for all costs and expenses, including reasonable attorney and expert witness fees, incurred by the FOREST PRESERVE DISTRICT in any legal proceeding or action, whether at law or in equity, instituted for the purpose of enforcing any provision of this Agreement.

7.0 BREACH OF AGREEMENT

- 7.1 In the event LICENSEE, LICENSEE'S Agent or any independent contractor breaches any provision contained herein, the FOREST PRESERVE DISTRICT may immediately terminate this Agreement by serving written notice as provided for in paragraph 8.0. A waiver by the FOREST PRESERVE DISTRICT of any breach of one or more of the terms of this Agreement shall not constitute a waiver of any subsequent or other breach of the same or other term, nor shall the failure on the part of the FOREST PRESERVE DISTRICT to require exact, full and complete compliance with any of the terms contained herein be construed as changing the terms of this Agreement or estopping the FOREST PRESERVE DISTRICT from enforcing full compliance with the provisions herein. No delay, failure or omission of the FOREST PRESERVE DISTRICT to exercise any right, power, privilege or option arising from any breach shall impair any right, privilege or option, or be construed as a waiver or acquiescence in such breach or as a relinquishment of any right. No option, right, power, remedy or privilege of the FOREST PRESERVE DISTRICT shall be construed as being exhausted by the exercise thereof in one or more instances. The rights, powers, privileges and remedies given the FOREST PRESERVE DISTRICT under this Agreement and by law shall be cumulative.

8.0 NOTICES

- 8.1 All notices required to be provided under this Agreement shall be in writing and served either (a) personally during regular business hours; (b) by facsimile transmission during regular business hours; or (c) by registered or certified mail, return receipt requested, properly addressed with postage prepaid and deposited in the United States mail. Notices served upon the FOREST PRESERVE DISTRICT shall be directed to the Executive Director, Forest Preserve District of DuPage County - if personally served: 3S580 Naperville Road, Wheaton, IL 60189; if sent by mail: P.O. Box 5000, Wheaton, IL 60189-5000; if sent by facsimile: 630-933-7093; if sent by e-mail: forest@forestpreserve.org. Notices served upon LICENSEE shall be directed to Municipal Services Director, City of Darien - if mailed or personally served: City of Darien 1702 Plainfield Road, Darien, IL 60561; if sent by facsimile: dgombac@adarienil.gov. Notices served personally or by facsimile transmission shall be effective upon receipt and notices served by mail shall be effective upon receipt as verified by the United States Postal Service.

9.0 MISCELLANEOUS PROVISIONS

- 9.1 Prior to commencing work, the LICENSEE'S Agent shall designate and provide the FOREST PRESERVE DISTRICT'S project representative the name and telephone number of the LICENSEE'S Agent's project representative who shall be available to the FOREST PRESERVE DISTRICT'S project representative Monday through Friday 8:00am to 4:30pm.
- 9.2 This Agreement or any memorandum or other document referring hereto shall not be recorded without the written consent of the FOREST PRESERVE DISTRICT'S Executive Director.
- 9.3 This Agreement shall be construed in accordance with the laws of the State of Illinois. This Agreement is a License and not an easement or lease.
- 9.4 The provisions set forth herein represent the entire agreement between the parties and may not be modified or changed in any respect unless such modification or change is in writing and signed by both parties.
- 9.5 Exclusive jurisdiction and venue for any dispute related directly or indirectly to this License shall be in the Eighteenth Judicial Circuit Court, Wheaton, DuPage County, Illinois.

IN WITNESS WHEREOF, the parties have entered into this License Agreement as of the _____ of _____, 20____.

**FOREST PRESERVE DISTRICT
OF DUPAGE COUNTY**

CITY OF DARIEN

BY: _____
Michael Hullivan, Executive Director

BY: _____

Title: _____

ATTEST: _____
Assistant Secretary

ATTEST: _____

Title: _____

PANITTONI DEVELOPMENT COMPANY

BY: _____

ITS: _____

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE MAYOR TO ENTER INTO A WATER MAIN EASEMENT LICENSING AGREEMENT WITH THE DUPAGE COUNTY FOREST PRESERVE DISTRICT ADJACENT TO 7879 LEMONT ROAD WAREHOUSE DEVELOPMENT

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to enter into a Water Main Easement Licensing Agreement with the DuPage County Forest Preserve District adjacent to 7879 Lemont Road Warehouse Development, copy of which is attached hereto as "**Exhibit A**".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

CITY ATTORNEY

Fox Hollow Proposed 25' License Area - Panattoni Development Co.



- FPD Bounds
- Proposed 25' License Area
- Existing Easement - Sanitary and Water Main to be constructed
- Existing Easement - Sanitary and Water Main in place



EXHIBIT "A"

LICENSE NO. X-540-003L

NOT TO BE RECORDED

**A LICENSE AGREEMENT BETWEEN THE FOREST PRESERVE DISTRICT OF
DUPAGE COUNTY AND THE CITY OF DARIEN PROVIDING FOR ACCESS
ACROSS A PORTION OF THE FOX HOLLOW FOREST PRESERVE**

THIS LICENSE AGREEMENT is made and entered into by and between the Forest Preserve District of DuPage County, a body politic and corporate (hereinafter the "FOREST PRESERVE DISTRICT"), and City of Darien, a body politic and corporate (hereinafter "LICENSEE").

WITNESSETH:

WHEREAS, the FOREST PRESERVE DISTRICT owns certain property commonly known as the Fox Hollow Forest Preserve (hereinafter "Fox Hollow"); and

WHEREAS, in 1998, the District acquired a certain portion of Fox Hollow, which included a prior granted twenty (20) foot wide Easement along its southern boundary (hereinafter "Existing Easement"); and

WHEREAS, the Existing Easement was granted for the construction and maintenance of a public watermain and sanitary sewer; and

WHEREAS, Panittoni Development Company is the contract purchaser of the adjacent property that is benefited by the Existing Easement; and

WHEREAS, Panittoni Development Company (hereinafter "LICENSEE'S Agent") has received approval from the LICENSEE to construct a public watermain within the Existing Easement; and

WHEREAS, LICENSEE will be the owner of the watermain upon its completion; and

WHEREAS, LICENSEE has requested permission to temporarily access and use a certain portion of Fox Hollow in order to facilitate the construction of the watermain; and

WHEREAS, the FOREST PRESERVE DISTRICT finds that it is reasonable, necessary and desirable to grant LICENSEE a temporary license to access a certain portion of Fox Hollow, subject to the terms and conditions set forth herein; and

WHEREAS, the Executive Director is authorized to issue licenses pursuant to the authority conferred by the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (Ordinance No. 96-096).

NOW, THEREFORE, in consideration of the promises, terms and conditions set forth herein, the parties agree as follows:

1.0 INCORPORATION OF RECITALS

1.1 The recitals set forth above are incorporated herein and made a part of this Agreement.

2.0 LICENSE GRANTED

2.1 The FOREST PRESERVE DISTRICT hereby grants LICENSEE a temporary License to utilize 0.20 +/- acres of Fox Hollow as depicted in **Exhibit "A"**, attached hereto and made a part hereof (hereinafter referred to as the "License Area"), for the purpose of providing LICENSEE and LICENSEE'S agent with access to the License Area to facilitate the construction of a public watermain.

2.2 The License granted herein shall terminate upon the FOREST PRESERVE DISTRICT acceptance of the restoration work to be performed on the License Area.

2.3 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) no less than five (5) business days prior to the first access to the License Area. LICENSEE shall make any independent contractor accessing the License Area aware of the terms and conditions of this License. Should the District's project representative determine that the LICENSEE or any of its independent contractor's activities in the License Area are inconsistent with, or in violation with the terms of this License, the Licensee will stop the use of the License Area at the direction of the District's project representative until the issue(s) associated with activities are fully resolved.

2.4 The LICENSEE or LICENSEE'S Agent shall notify the FOREST PRESERVE DISTRICT'S designated project representative (Kevin Stough, 630-933-7235) within two (2) days after the completion of the restoration work in order for the FOREST PRESERVE DISTRICT to inspect the License Area.

3.0 LICENSE FEE

3.1 LICENSEE'S Agent shall pay a temporary License fee in accordance with the FOREST PRESERVE DISTRICT'S Easement and License Ordinance (No. 96-096). The fee for the temporary License is \$5,253.40, which is based on \$26,267 per acre ($\$26,267 \times 0.20 \text{ acres} = \$5,253.40$).

4.0 RESTORATION

4.1 Except as the parties may otherwise agree in writing, LICENSEE and LICENSEE'S Agent will cause its contractor to promptly repair any damage to the License Area or other FOREST PRESERVE DISTRICT property resulting, directly or indirectly, from the use of the License Area. All repairs shall be subject to the approval of the FOREST PRESERVE DISTRICT'S Executive Director. In order to ensure that all affected areas are properly restored, including any damage occurring outside the boundaries of the License Area, LICENSEE'S Agent shall provide the FOREST PRESERVE DISTRICT with a restoration deposit in the form of a check made payable to the Forest Preserve District of DuPage County in the amount of five thousand dollars (\$5,000.00). Such funds shall be released or refunded, without interest, upon the satisfactory restoration of all affected areas and the acceptance thereof by the FOREST PRESERVE DISTRICT'S Executive Director. In the event LICENSEE or LICENSEE'S Agent fails to properly repair any damage within 14 days of the effective date of written notice from the FOREST PRESERVE DISTRICT demanding the repair, the FOREST PRESERVE DISTRICT shall have the right to take such action as it deems necessary to repair the damage, which shall include the authority to engage the services of an independent contractor and to utilize the funds deposited with the FOREST PRESERVE DISTRICT. If the costs and expenses incurred by the

FOREST PRESERVE DISTRICT in repairing the damage exceed the amount of the restoration bond deposited with the FOREST PRESERVE DISTRICT, LICENSEE'S Agent shall be responsible for reimbursing the FOREST PRESERVE DISTRICT for the additional costs and expenses in excess of the amount deposited with the FOREST PRESERVE DISTRICT under this paragraph that are related to the repair work within 10 days of service of the FOREST PRESERVE DISTRICT'S written demand for payment.

5.0 INSURANCE

5.1 Except as otherwise required by the FOREST PRESERVE DISTRICT'S Executive Director, LICENSEE'S Agent will cause its independent contractors to purchase and maintain during this Agreement insurance coverage which will satisfactorily insure LICENSEE, its independent contractors and, where appropriate, the FOREST PRESERVE DISTRICT against claims and liabilities which may arise out of the use of the License Area. Such insurance shall be issued by companies licensed to do business in the State of Illinois and approved by the FOREST PRESERVE DISTRICT. The insurance coverages shall include the following:

- (A) Workers' compensation insurance with limits as required by the applicable workers' compensation statutes. The employer's liability coverage under the workers' compensation policy shall have limits of not less than \$500,000 each accident/injury; \$500,000 each employee/disease; \$500,000 policy limit.
- (B) Commercial general liability insurance protecting LICENSEE against any and all public liability claims which may arise in the course of using the License Area. The limits of liability shall be not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$2,000,000 aggregate bodily injury/property damage combined single limit. The policy of commercial general liability insurance shall include contractual liability coverage and an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured.
- (C) Commercial automobile liability insurance covering LICENSEE's owned, non-owned and leased vehicles which protects LICENSEE against automobile liability claims whether on or off the FOREST PRESERVE DISTRICT'S premises with coverage limits of not less than \$1,000,000 each accident bodily injury/property damage combined single limit.
- (D) Umbrella or Excess liability insurance with limits of not less than \$1,000,000 each occurrence bodily injury/property damage combined single limit and \$1,000,000 aggregate bodily injury/property damage combined single limit. The Umbrella or Excess coverage shall apply in excess of the limits stated in subparagraphs (B) and (C) above, and shall either include an endorsement naming the FOREST PRESERVE DISTRICT as an additional insured or provide "following form" coverage.

5.2. Prior to commencing work, LICENSEE will cause its independent contractors to furnish the FOREST PRESERVE DISTRICT with certificates of insurance and, upon the FOREST PRESERVE DISTRICT's request, copies of all insurance policies and endorsements thereto evidencing the coverages required under paragraph 5.0. The insurance certificates and policies shall provide that no cancellation or modification of the policy or policies shall occur without at least 30 days' prior written notice to the FOREST PRESERVE DISTRICT. LICENSEE and its independent contractors shall not enter upon the License Area until evidence of the required insurance has been received and approved by the FOREST PRESERVE DISTRICT.

6.0 INDEMNIFICATION

6.1 LICENSEE and LICENSEE'S Agent shall defend, hold harmless, and indemnify the FOREST PRESERVE DISTRICT and all of its officers, agents, employees and elected officials from any

loss, damage, demand, liability, cause of action, fine, judgment or settlement, together with all costs and expenses related thereto (including reasonable expert witness and attorney fees), that may be incurred by the FOREST PRESERVE DISTRICT as a result of bodily injury, death or property damage or as a result of any other claim or suit of any nature whatsoever arising from or in any manner connected with, directly or indirectly, the negligent or intentional acts or omissions of LICENSEE and LICENSEE'S Agent pertaining to the use of the License Area or the negligent or intentional acts or omissions of any independent contractor or subcontractor that is engaged by LICENSEE and LICENSEE'S Agent and permitted to utilize the License Area. LICENSEE and LICENSEE'S Agent shall require all such contractors or subcontractors to agree to defend, hold harmless and indemnify the FOREST PRESERVE DISTRICT to the same extent required of LICENSEE and LICENSEE'S Agent under this paragraph.

- 6.2. LICENSEE and LICENSEE'S Agent shall indemnify the FOREST PRESERVE DISTRICT for all costs and expenses, including reasonable attorney and expert witness fees, incurred by the FOREST PRESERVE DISTRICT in any legal proceeding or action, whether at law or in equity, instituted for the purpose of enforcing any provision of this Agreement.

7.0 BREACH OF AGREEMENT

- 7.1 In the event LICENSEE, LICENSEE'S Agent or any independent contractor breaches any provision contained herein, the FOREST PRESERVE DISTRICT may immediately terminate this Agreement by serving written notice as provided for in paragraph 8.0. A waiver by the FOREST PRESERVE DISTRICT of any breach of one or more of the terms of this Agreement shall not constitute a waiver of any subsequent or other breach of the same or other term, nor shall the failure on the part of the FOREST PRESERVE DISTRICT to require exact, full and complete compliance with any of the terms contained herein be construed as changing the terms of this Agreement or estopping the FOREST PRESERVE DISTRICT from enforcing full compliance with the provisions herein. No delay, failure or omission of the FOREST PRESERVE DISTRICT to exercise any right, power, privilege or option arising from any breach shall impair any right, privilege or option, or be construed as a waiver or acquiescence in such breach or as a relinquishment of any right. No option, right, power, remedy or privilege of the FOREST PRESERVE DISTRICT shall be construed as being exhausted by the exercise thereof in one or more instances. The rights, powers, privileges and remedies given the FOREST PRESERVE DISTRICT under this Agreement and by law shall be cumulative.

8.0 NOTICES

- 8.1 All notices required to be provided under this Agreement shall be in writing and served either (a) personally during regular business hours; (b) by facsimile transmission during regular business hours; or (c) by registered or certified mail, return receipt requested, properly addressed with postage prepaid and deposited in the United States mail. Notices served upon the FOREST PRESERVE DISTRICT shall be directed to the Executive Director, Forest Preserve District of DuPage County - if personally served: 35580 Naperville Road, Wheaton, IL 60189; if sent by mail: P.O. Box 5000, Wheaton, IL 60189-5000; if sent by facsimile: 630-933-7093; if sent by e-mail: forest@forestpreserve.org. Notices served upon LICENSEE shall be directed to Municipal Services Director, City of Darien - if mailed or personally served: City of Darien 1702 Plainfield Road, Darien, IL 60561; if sent by facsimile: dgombac@adarienil.gov. Notices served personally or by facsimile transmission shall be effective upon receipt and notices served by mail shall be effective upon receipt as verified by the United States Postal Service.

9.0 MISCELLANEOUS PROVISIONS

- 9.1 Prior to commencing work, the LICENSEE'S Agent shall designate and provide the FOREST PRESERVE DISTRICT'S project representative the name and telephone number of the LICENSEE'S Agent's project representative who shall be available to the FOREST PRESERVE DISTRICT'S project representative Monday through Friday 8:00am to 4:30pm.
- 9.2 This Agreement or any memorandum or other document referring hereto shall not be recorded without the written consent of the FOREST PRESERVE DISTRICT'S Executive Director.
- 9.3 This Agreement shall be construed in accordance with the laws of the State of Illinois. This Agreement is a License and not an easement or lease.
- 9.4 The provisions set forth herein represent the entire agreement between the parties and may not be modified or changed in any respect unless such modification or change is in writing and signed by both parties.
- 9.5 Exclusive jurisdiction and venue for any dispute related directly or indirectly to this License shall be in the Eighteenth Judicial Circuit Court, Wheaton, DuPage County, Illinois.

IN WITNESS WHEREOF, the parties have entered into this License Agreement as of the _____ of _____, 20____.

**FOREST PRESERVE DISTRICT
OF DUPAGE COUNTY**

CITY OF DARIEN

BY: _____
Michael Hullihan, Executive Director

BY: _____

Title: _____

ATTES: : _____
Assistant Secretary

ATTEST: _____

Title: _____

PANITRONI DEVELOPMENT COMPANY

BY: _____

ITS: _____

AGENDA MEMO
MUNICIPAL SERVICES COMMITTEE
MEETING DATE: June 20, 2016

Issue Statement

A Motion for a Final Site Plan Approval for 7879 Lemont Road-office/warehouse building.

General Information

Petitioner: John Pagliari, Partner
Panattoni Development Company, Inc.
6250 N. River Road, Suite 4050
Rosemont, IL 60018

Property owner: George Posejpal
7879 Lemont Road
Darien, IL 60561

Property Location: 7879 Lemont Road

PIN: 09-29-302-051; -061

Existing Zoning: OR&I Office, Research and Light Industry

Existing Land Use: Single-family residence

Comprehensive Plan Update: Community Center, Municipal/Government

Surrounding Zoning and Land Use:
North: OR&I Office, Research and Light Industry: open space, Forest Preserve
East: OR&I Office, Research and Light Industry: open space, Forest Preserve
South: OR&I Office, Research and Light Industry: open space, NICOR
West: ORI Office, Research and Light Industry (Woodridge), and Forest Preserve
(DuPage County):

Size of Property: 11.67 acers

Floodplain: The far northwest and northeast corners of the property are within floodplain.

Natural Features: Floodplain encroaches onto the property as well as wetlands/wetland buffers.

Transportation: Frontage and access onto Lemont Road.

History: In 2005, the City Council denied a plan for a 58-unit multi-family

residential development in part because the developer would not make changes to the plan.

Documents Submitted

This report is based on the following information submitted to the Community Development Department by the Petitioner:

1. A.L.T.A./A.C.S.M. Land Title Survey, 1 sheet, prepared by Spaceco, Inc., dated January 11, 2016.
2. Site Improvement plans, 22 sheets, prepared by Spaceco, Inc., dated March 18, 2016.
3. Plat of Easement, 2 sheets, prepared by Spaceco, Inc., most recent revision dated May 9, 2016.
4. Landscape Plan, 1 sheet, prepared by David R. McCallum Associates, Inc., most recent revision dated May 6, 2016.
5. Photometric Plan, 2 sheets, prepared by O'Carroll Electric, most recent revision dated May 4, 2016.
6. Building Elevations, 1 sheet, prepared by Harris Architects, Inc., dated March 9, 2016.. Color Rendering of Building, 1 sheet.
7. Revised Final Site Improvement Plans revised sheets 2, 5, 6 and 20, per City comments and dated June 9, 2016
8. **Final Plans – Attached**

Planning Overview/Discussion

The subject property is located on the east side of Lemont Road north of Woodmere Townhomes.

The 2002 Comprehensive Plan Update designated the subject property as a Key Development Area, calling for a community center, to include: a 14,000 square foot community center building, playground, picnic area, bandshell/amphitheater/festival area, tennis and sand volleyball courts. Since then, no entity, whether public or private, has come forward with a plan to realize this plan.

Instead, several different developers have approached staff to develop the property for multi-family residential, light industry and a private indoor sports/recreational facility. Nothing came about from these developer inquiries.

Section 5A-2-2- of the Zoning Ordinance requires site plan approval by the City Council for new commercial and industrial buildings. A public hearing is not required for site plan approval. The purpose is to ensure that the details of developing commercial, office, research and industrial areas for authorized uses will be such that the operation of the uses will not offend the public interest, will be compatible and be planned in conformity with surrounding uses and will not adversely affect the flow of traffic within the community.

Site Plan, Parking

Plan includes a 185,500 square foot building, parking, loading docks and a stormwater detention basin.

Proposed building setbacks comply.

Parking is located on the west, north and east sides; driveways and vehicle maneuvering areas are required to meet parking setbacks; proposed parking setbacks comply.

Plan provides 201 parking stalls. Square footages for office and warehouse activities are not shown on the plan, therefore it is not possible to pre-rate the minimum number of required parking stalls; 62 parking stalls required if using only warehousing standard.

Based on the number of parking stalls provided, 6 handicapped accessible stalls required, 6 shown.

Loading docks are permitted within interior and rear yards. Plan provides loading docks on the east side of the building, rear yard. Loading docks meet required setback from side and rear lot lines.

Plan shows two drive-in doors on the east side of the building.

Floor Area Ratio (FAR) complies. Total lot coverage complies.

A table at the end of the memo provides the development standards in the OR&I zoning district.

Landscape Plan

The amount of perimeter yard landscaping, building foundation and landscape islands within the parking lot complies.

Photometric Plan

Plan shows wall mounted exterior lighting on all four sides of the building, as well as pole mounted lights along the east end of the parking/loading dock area. The plan shows light levels at the lot line comply, not exceeding 3 foot-candles at the lot line. Regardless, all exterior lighting is not permitted to cause glare onto adjacent properties. Light shields may be required at final inspection.

Building Elevation

Building height complies. The building is between 37-39 feet tall, 40 feet is the maximum permitted height.

The building elevation drawing needs to note exterior materials.

Signage

Sign details have not been provided. Signage will be required to comply with the Sign Code in terms of type, sizes, locations and illumination.

Engineering, Fire District

The City Engineer provided comments in a letter dated May 23, 2016, from Dan Lynch, PE, Christopher B. Burke Engineering.

The City Engineer provided an approval letter dated June 14, 2016, from Dan Lynch, PE, Christopher B. Burke Engineering.

IEPA Water Main Construction Permit-Approved
Dupage County Public Works Sanitary District-Approved

The Darien-Woodridge Fire Protection District provided comments in a letter dated June 2, 2016, their comments did not relate to the site plan.

Traffic Study, Driveway Access

Two, full access driveway entrances are proposed. The number, location and widths comply. However, Lemont Road is a DuPage County right-of-way; driveway locations, configurations and any improvements to Lemont Road are the County's jurisdiction. A permit from the County will be required.

Noise Study (Back Up)

Christopher B. Burke Engineering, Ltd., conducted a noise study noted in a memo dated June 1, 2016. The study concluded the anticipated noise levels from trucks entering and leaving the facility would comply with the Performance Standards under Section 5A-12-4-1 of the Zoning Ordinance.

The developer has agreed to install a board on board fence south of the dock area to reduce any sound concerns.

Staff Findings/Recommendations

The City Staff met with the Homeowners Association representatives and residents of the Woodmere Subdivision adjacent to the proposed development on April 18, 2016. The meeting was an informal meeting to answer questions regarding the development and process.

The following items are contingent upon a building permit:

1. DuPage County certification of plans related to wetlands
2. DuPage County final approval of driveway locations, configurations and improvements to Lemont Road.

Staff recommends approval of the Final Site Plan for 7879 Lemont Road office/warehouse building as per the plans on file and dated June 9, 2016.

The developer has requested consideration to be placed on the Municipal Services and City Council agenda for June 20, 2016 due to the contingency of his contract with the seller and would result in monetary penalties.

The Municipal Services Chairman will forward the decision made to the City Council.

Decision Mode

Municipal Services Committee:	June 20, 2016 (Re-scheduled Meeting)
City Council:	June 20, 2016

OR&I		
	Required	Proposed
Building setbacks (minimum)		
Front yard: 50 feet + 1 foot/3 feet building exceeds 30 feet in height.	52 feet	101 feet
Interior side yard: 30 feet + 1 foot/3 feet building exceeds 30 feet in height.	32 feet	61 feet (south); 110 feet (north)
Rear yard: 30 feet + 1 foot/3 feet building exceeds 30 feet in height.	32 feet	246 feet
Parking setbacks (minimum)		
Front yard:	30 feet	30 feet
Interior side yard:	20 feet	20 feet (south); 50 feet (north)
Rear yard:	20 feet	100 feet
Loading dock setbacks:		
	20 feet	113 feet (from south lot line)
Building height (maximum)		
	40 feet	39 feet
Floor Area Ratio (maximum)		
	0.6	0.37
Lot coverage (maximum)		
	75%	64%
Parking		
1 space/3,000 square foot of warehouse space (185,500 square feet building)	62	202
Driveways		
1 for the first 150 feet of street frontage, 1 additional per 100 feet of frontage (750 feet of street frontage)	7	2

FINAL SITE IMPROVEMENT PLANS for 7879 LEMONT ROAD INDUSTRIAL BUILDING

**DARIEN, ILLINOIS
SPACECO PROJECT NO: 8942**

DEVELOPER

PANATTONI DEVELOPMENT COMPANY
6250 N. RIVER ROAD, SUITE 4050
ROSEMONT, IL. 60018
PH: 847-292-4500
FAX: 847-292-4501
(RESPONSIBLE ENTITY FOR MAINTENANCE OF
EROSION CONTROL STRUCTURES AND MEASURES)

GENERAL CONTRACTOR

ALSTON CONSTRUCTION, INC.
6250 N. RIVER ROAD, SUITE 4050
ROSEMONT, IL. 60018
PH: 847-292-4500
FAX: 847-292-4501

CALL J.U.L.I.E. 1-800-992-0123

WITH THE FOLLOWING:
COUNTY DUPAGE
CITY, TOWNSHIP DARIEN
SEC. & 1/4 SEC. NO. T38N, R11E, SEC. 29

**48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS**

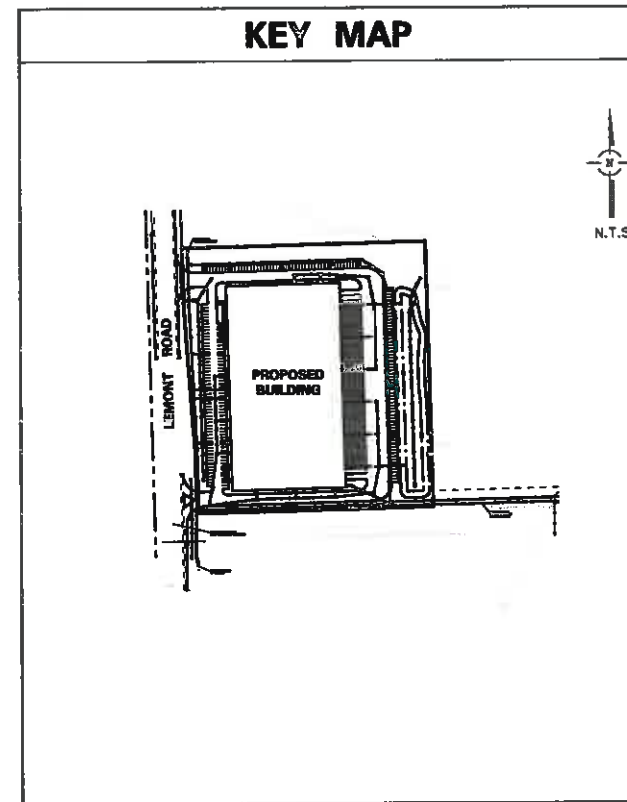
BENCHMARK

SOURCE BENCHMARK:
DUPAGE COUNTY 2006 GEODETIC SURVEY
BENCHMARK: 0213
P.D. DK3180
BRASS DISK ON BOUGHTON ROAD (8TH STREET) WEST OF HAVENS DRIVE
AND EAST OF WOODWARD AVENUE AND IS LOCATED ON THE CONCRETE
BASE OF A LIGHT POLE. STATION IS 4.40' EAST OF BACK OF CURB,
4.50' WEST OF BACK OF CURB AND 32.50' NORTH OF THE SOUTH END
OF THE ISLAND.
ELEVATION = 766.4 NAVD88
SITE BENCHMARK:
SOUTHEAST BOLT ON FIRE HYDRANT ON THE WEST SIDE OF LEMONT
ROAD ACROSS FROM THE DRIVEWAY OF #7891 LEMONT ROAD.
ELEVATION = 760.34 NAVD88

NOTE:

SPACECO, INC. IS TO BE NOTIFIED AT LEAST
THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION
AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

INDEX		
SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	TITLE SHEET
2	GN	TYPICAL SECTIONS & GENERAL NOTES
3	ET1	EXISTING CONDITIONS
4	DVSP	OVERALL SITE PLAN
5-6	GM1-GM2	GEOMETRIC PLANS
7-8	GRI-GR2	GRADING PLANS
9-10	UT1-UT2	UTILITY PLANS
11	PPI	OFFSITE UTILITY PLAN & PROFILE
12-13	RD1-RD2	LEMONT ROAD IMPROVEMENT PLANS
14-16	SE1-SE3	SOIL EROSION & SEDIMENT CONTROL PLANS
17	SPEC	SPECIFICATIONS
18-22	DET1-5	DETAILS



DRAINAGE STATEMENT

I, DANIEL C. STEVENS, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THE DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

DANIEL C. STEVENS, P.E.
ILLINOIS REGISTRATION NO. 062-057634
EXPIRATION DATE: 11-30-17



REGISTERED PROFESSIONAL ENGINEER

OWNER OR OWNER'S DULY AUTHORIZED AGENT

REVISIONS

ORIGINAL PLAN DATE: SET ISSUED 03/18/2016

#	SHEET #	REMARKS	DATE
1	ALL	PER AGENCY REVIEW	5/9/16
2	2,5,6,20	PER VILLAGE REVIEW	6/9/16
3	6	ADD SOUTH FENCE	6/15/16

ENGINEER
DANIEL C. STEVENS, P.E.
ILLINOIS REGISTRATION NO. 062-057634
EXPIRATION DATE: 11/30/2017
PROFESSIONAL DESIGN FIRM NO.: 184-001157
EXPIRATION DATE: 04/30/2017
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER



7879 LEMONT ROAD
DARIEN, ILLINOIS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS



FILENAME:
8942TITLE.DGN
DATE:
03/07/2016
JOB NO.
8942
SHEET
C1
1 OF 22

- GENERAL NOTES**
- 1. REFERENCED CODES**

 - A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBRC), AND SUPPLEMENTAL SPECIFICATIONS AND REQUIREMENTS SPECIAL PROVISIONS ADOPTED JANUARY 11, 2011 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERE TO, IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY EXCEPT AS NOTIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.
 - B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JULY 2009, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY EXCEPT AS NOTIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.
 - C. ALL STORMWATER AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.
 - D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE HELD TO BE COMPLETE AND ACCURATE. INCIDENTAL ITEMS OR ADDITIONS NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
 - 2. UTILITY LOCATIONS**

 - A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS OF THIS PROJECT. NOTE: THESE UTILITIES HAVE BEEN RECORDED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
 - B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL 811 (N.E.L.I.E. AT 800-852-0123) AND THE MUNICIPALITY, FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.
 - C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
 - 3. UTILITY COORDINATION**

 - A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
 - B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULES IN COMPLIANCE THEREWITH AS DIRECTED BY THE ENGINEER.
 - C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT A TIME SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. AT A TIME SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.
 - 4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTIONS, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DISCREPANCY OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DESIGN OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.**
 - 5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.**
 - 6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.**
 - 7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BURDEN, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.**
 - 8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.**
 - 9. COMMENCING CONSTRUCTION**

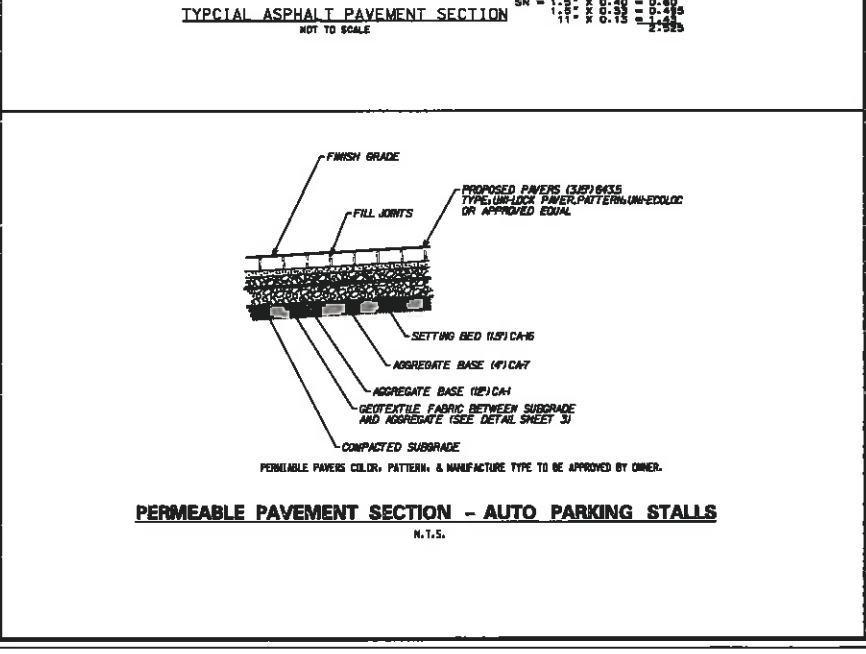
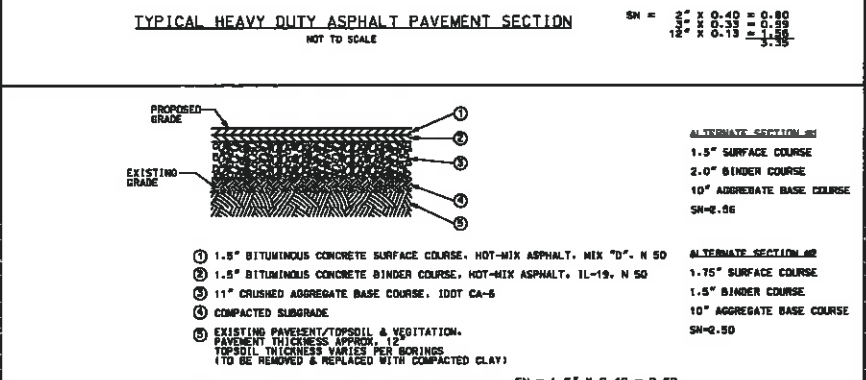
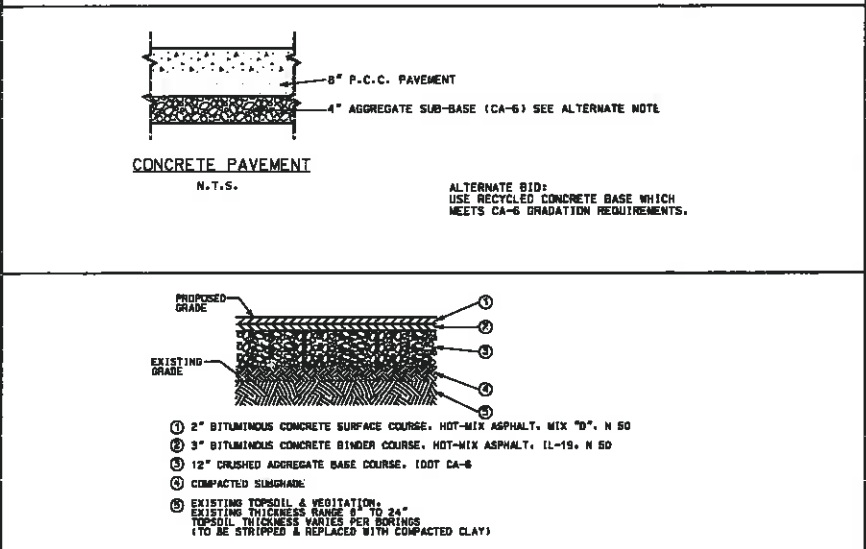
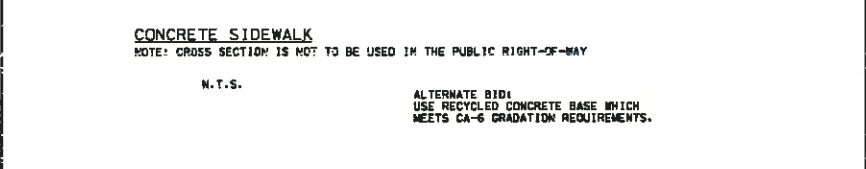
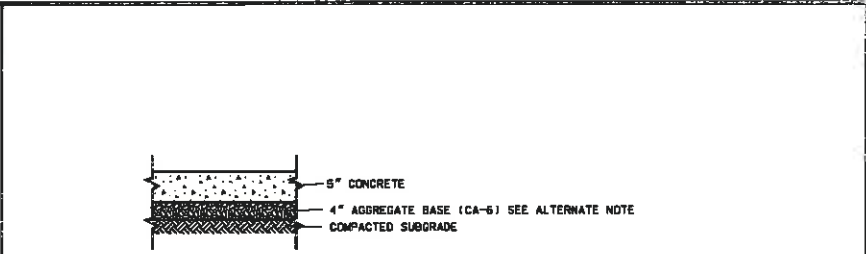
 - A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED ENVIRONMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY OR THE OWNER'S SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.
 - B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
 - 10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.**
 - 11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.**
 - 12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED BY THE ENGINEER SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.**
 - 13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, STORMWATER CURB, CURB AND GUTTER, CURBS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.**
 - 14. ALL FIELD TIES ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TIES OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.**
 - 15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.**
 - 16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MECHANICAL TOOLS AND OTHER MISCELLANEOUS ITEMS WITHIN THE WORK AREA PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.**
 - 17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.**
 - 18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSBRC) ARTICLE 201.05.**
 - 19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.**
 - 20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.**
 - 21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGER BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.**
 - 22. GENERAL EXCAVATION/UNDERGROUND NOTES**

 - A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL. EXCAVATION MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
 - B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRUTTERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS THROUGHOUT THE PERIOD EXCAVATIONS WILL BE OPEN. CARE WITH SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.

- 23. FINAL ACCEPTANCE**

 - A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.
 - B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
 - C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
 - D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- 24. UNDERGROUND NOTES**

 - A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
 - B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEARED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID FOR FULL FOR CLEANING, PATCHING, REPAIRS, REMOVAL AND DISPOSAL OF DEBRIS AND CURBS. PROTECTIVE STRUCTURES SHALL BE CONSTRUCTED AS PART OF THIS PROJECT. SUCH STRUCTURES SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.
 - C. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR DEWATERING. IN THE EVENT THAT SOFT MATERIALS WITH UNKNOWING COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL, UPON APPROVAL OF THE OWNER AND/OR ENGINEER, OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
 - D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND STRUCTURES AND EXTENDING A DISTANCE EQUAL TO A 1:11 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSBRC) SPECIFICATIONS. TRENCH WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.
 - E. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8" (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICES, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4" ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.
 - F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT NEAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.
 - G. HYDRANTS SHALL NOT BE FLASHED DIRECTLY ON THE ROAD SURFACES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SURFACE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM IRONWATER FLOWING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.
 - H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. (TYPICAL NOTES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.)
 - I. SLEEVES FOR UTILITY (CABLE, TELEPHONE, ETC.) STREET CROSSINGS, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.
 - J. THE CONTRACTOR SHALL VERIFY THE SIZE AND JUNCTURE ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
- 25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL AREAS OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS COMPLY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTING TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR AGENT AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS, "SAFE" MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECORDED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.**



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	DRAIN TILE	---
---	STORM SEWER	---
---	SANITARY SEWER	---
---	SANITARY TRUNK SEWER	---
---	SANITARY MAN (WITH SOFF)	---
---	PIPE TRENCH BACKFILL	---
---	GAS MAIN	---
---	TELEPHONE LINES	---
---	ELECTRIC LINE	---
---	FENCE	---
---	RIGHT-OF-WAY	---
---	EASEMENT	---
---	PROPERTY LINE	---
---	SETBACK LINE	---
---	CENTERLINE	---
---	CONTOUR	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	CATCH BASIN	---
---	INLET	---
---	W/ET	---
---	FLC HYDRANT	---
---	PRESSURE CONNECTION	---
---	PIPE REDUCER	---
---	VALVE AND VALV. VALVE	---
---	FLARED END SECTION	---
---	STREET LIGHT	---
---	UTILITY POLE	---
---	CONTROL POINT	---
---	SDN	---
---	SPOT ELEVATION	---
---	SOIL BORING	---
---	OVERLAND FLOW ROUTE	---
---	DRAINAGE SLOPE	---
---	GUARDRAIL	---
---	WATERS EDGE	---
---	CONCRETE	---
---	REVERSE PITCH CURB	---
---	TREE, FR TREE, BUSH & PROPOSED TREE TO REMOVE	---

ABBREVIATIONS

M - STORM MANHOLE	I - INVERT OR INLET	T/P - TOP OF PIPE
S - SANITARY MANHOLE	TF - TOP OF FOUNDATION	B/P - BOTTOM OF PIPE
CB - CATCH BASIN	GF - GARAGE FLOOR	WM - WATERMAN
LP - LIGHT POLE	TC - TOP OF CURB	SM - SANITARY SEWER
VV - VALVE VAULT	TD - TOP OF DEPRESSED CURB	STM - STORM SEWER
E - END SECTION	TW - TOP OF RETAINING WALL	LO - LOOK OUT
FM - FIRE HYDRANT	BW - BOTTOM OF RETAINING WALL	PLD - PARTIAL LOOK OUT
GR - GRADE RING (HYDRANT)	OP - OUTLET OF PIPE	

PERMITS

DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED

CONTACT INFORMATION

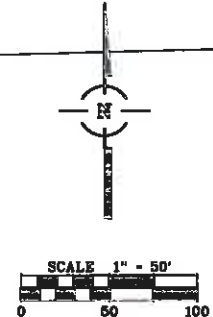
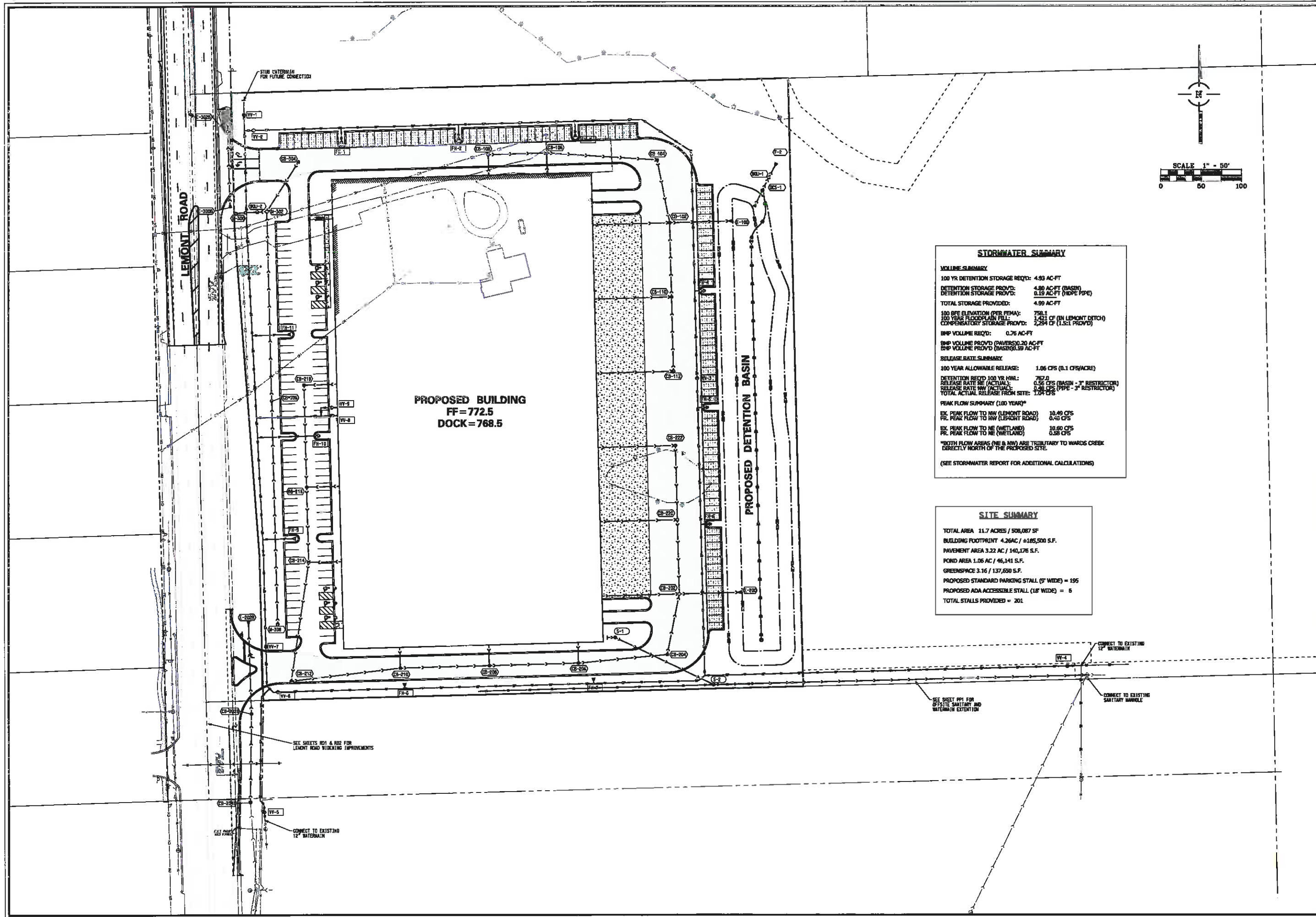
DAVIE COUNTY DEPT. OF TRANSPORTATION
150 MCCLINTOCK FARM ROAD
PO BOX 298
WREATON, IL 60187
(630) 407-6100
CONTACT PERSON: DAVID FUREY

CITY OF DAVIE
7702 PLAINFIELD ROAD
DAVIE, IL 60551
(630) 353-8113
CONTACT PERSON: MICHAEL GRIFFITH

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4680 Fax: (847) 676-4665

SPACECO INC.
FILENAME: B942GN.DGN
DATE: 03/18/2016
JOB NO. B942
SHEET GN
2 OF 22

TYPICAL SECTIONS AND GENERAL NOTES
7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS



STORMWATER SUMMARY

VOLUME SUMMARY

100 YR DETENTION STORAGE REQ'D: 4.93 AC-FT
 DETENTION STORAGE PROVID: 4.93 AC-FT (BASIN)
 DETENTION STORAGE PROVID: 0.19 AC-FT (HOPE PIPE)
 TOTAL STORAGE PROVIDED: 4.99 AC-FT

100 RFE ELEVATION (PER FEMA): 756.1
 100 YEAR FLOODPLAIN FILL: 1,431 CF (IN LEMONT DITCH)
 COMPENSATORY STORAGE PROVID: 2,294 CF (1.5:1 PROVID)

SMP VOLUME REQ'D: 0.76 AC-FT
 SMP VOLUME PROVID (PAVERS): 0.20 AC-FT
 SMP VOLUME PROVID (BASIN): 0.59 AC-FT

RELEASE RATE SUMMARY

100 YEAR ALLOWABLE RELEASE: 1.06 CFS (0.1 CFS/ACRE)

DETENTION REQ'D 100 YR HWL: 767.0
 RELEASE RATE NE (ACTUAL): 0.56 CFS (BASIN - 3" RESTRICTOR)
 RELEASE RATE NW (ACTUAL): 0.46 CFS (PIPE - 3" RESTRICTOR)
 TOTAL ACTUAL RELEASE FROM SITE: 1.04 CFS

PEAK FLOW SUMMARY (100 YEAR)*

EX. PEAK FLOW TO NW (LEMONT ROAD) 10.49 CFS
 PR. PEAK FLOW TO NW (LEMONT ROAD) 0.46 CFS

EX. PEAK FLOW TO NE (WETLAND) 10.60 CFS
 PR. PEAK FLOW TO NE (WETLAND) 0.58 CFS

*BOTH FLOW AREAS (NE & NW) ARE TRIBUTARY TO WARDS CREEK DIRECTLY NORTH OF THE PROPOSED SITE.

(SEE STORMWATER REPORT FOR ADDITIONAL CALCULATIONS)

SITE SUMMARY

TOTAL AREA 11.7 ACRES / 508,087 SF
 BUILDING FOOTPRINT 4.26AC / ±165,500 S.F.
 PAVEMENT AREA 3.22 AC / 140,176 S.F.
 POND AREA 1.06 AC / 46,141 S.F.
 GREENSPACE 3.16 / 137,650 S.F.

PROPOSED STANDARD PARKING STALL (5' WIDE) = 195
 PROPOSED ADA ACCESSIBLE STALL (18' WIDE) = 6
 TOTAL STALLS PROVIDED = 201

PROPOSED BUILDING
FF = 772.5
DOCK = 768.5

PROPOSED DETENTION BASIN

LEMONT ROAD

NO.	DATE	REMARKS
1	03/08/2016	PER AGENCY REVIEW

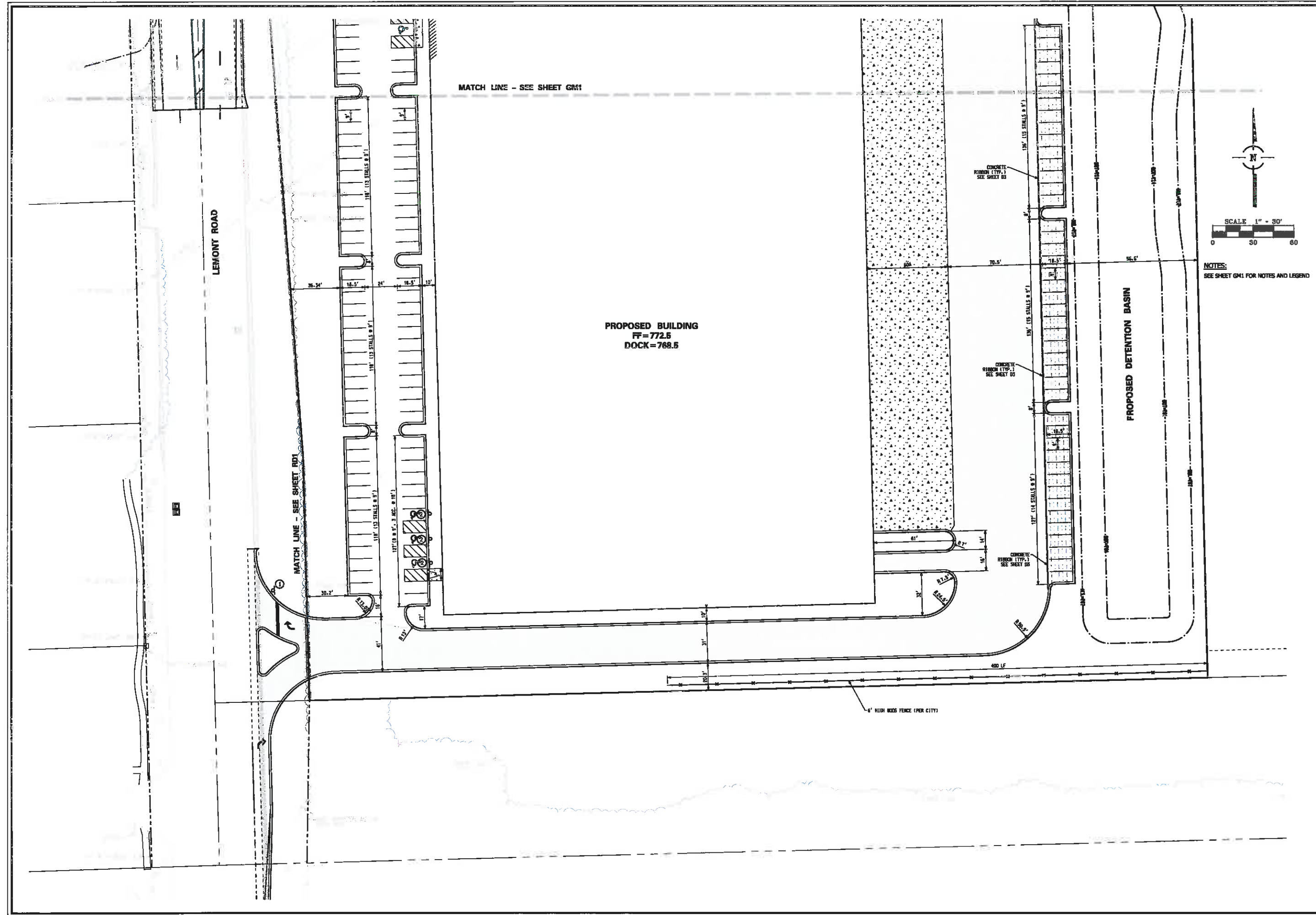
OVERALL SITE PLAN
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9975 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 674-4660 Fax: (847) 674-4065

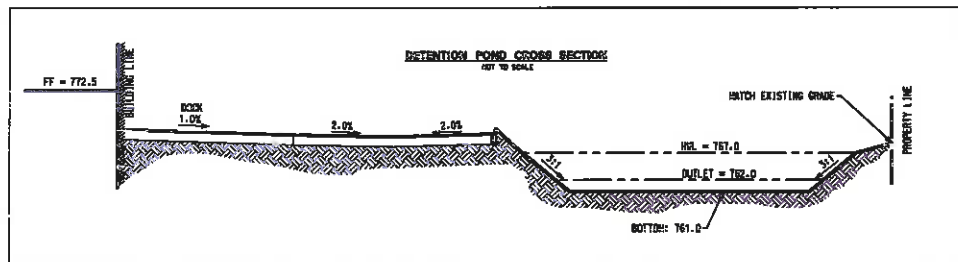
SPACECO INC.

FILENAME: B9420VSP
 DATE: 03/18/2016
 JOB NO. 8842
 SHEET **OVSP**
 4 OF 22



LEMONT ROAD

GEOMETRIC PLAN - 2 7879 LEMONT ROAD INDUSTRIAL BUILDING DARIEN, ILLINOIS	CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS 9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 694-4060 Fax: (847) 694-4085												
SPACECO, INC. FILENAME: B942GMO2 DATE: 03/18/2016 JOB NO. B942 SHEET GM2 6 OF 22	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">DATE</th> <th style="width: 80%;">REMARKS</th> </tr> </thead> <tbody> <tr> <td>3</td> <td>06/16/2016</td> <td>ADD SOUTH FENCE</td> </tr> <tr> <td>2</td> <td>06/09/2016</td> <td>PER VILLAGE REVIEW</td> </tr> <tr> <td>1</td> <td>05/09/2016</td> <td>PER AGENCY REVIEW</td> </tr> </tbody> </table>	NO.	DATE	REMARKS	3	06/16/2016	ADD SOUTH FENCE	2	06/09/2016	PER VILLAGE REVIEW	1	05/09/2016	PER AGENCY REVIEW
NO.	DATE	REMARKS											
3	06/16/2016	ADD SOUTH FENCE											
2	06/09/2016	PER VILLAGE REVIEW											
1	05/09/2016	PER AGENCY REVIEW											

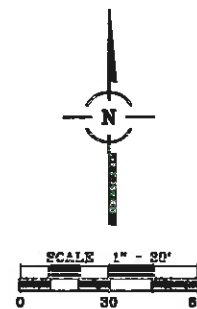


NOTES:

1. ALL CURB AND GUTTER IS PITCH-OUT UNLESS NOTED OTHERWISE.
2. ALL SPOT GRADES ALONG CURB LINE ARE FLOW LINE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
4. ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
6. ALL COMPENSATORY STORAGE SHOULD BE OPERATIONAL PRIOR TO PLACEMENT OF FILL, STRUCTURES, OR OTHER MATERIALS IN THE REGULATORY FLOOD PLAIN. GRADINGS IN SPECIAL MANAGEMENT AREAS SHALL BE DONE IN SUCH A MANNER THAT THE EXISTING FLOOD PLAIN STORAGE IS MAINTAINED AT ALL TIMES.

LEGEND:

- FF FINISHED FLOOR
- LOCAL DRAINAGE
- EMERGENCY OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB EDGE OF PAVEMENT
- PITCH-IN 06.12 CURB & GUTTER
- PITCH-OUT 06.12 CURB & GUTTER
- FUTURE STORM STRUCTURE
- BORING LOCATION



LEMONT ROAD

MATCH LINE - SEE SHEET GR2

WARD'S CREEK 100 YEAR FLOOD PLAIN ELEVATION = 756.5

WARD'S CREEK 100 YEAR FLOOD PLAIN ELEVATION = 756.1

EXISTING WETLAND LIMIT

WARD'S CREEK 100 YEAR FLOOD PLAIN ELEVATION = 756.1

100 YEAR OVERFLOW ELEVATION 767.0 (SEE DETAIL)

INSTALL LEVEL STREAMER (SEE INGS DETAIL ON SHEET GR2)

1111 - 1' WIDE STEPS @ 7" HIGH
 1/2" HIGH
 1/2" HIGH
 1/2" HIGH

PROPOSED BUILDING
 FF=772.5
 DOCK=768.5

MATCH LINE - SEE SHEET GR2

PROPOSED DETENTION BASIN

GRADING PLAN - 1
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 676-4567 Fax: (847) 676-4568



SPACECO INC.

FILENAME:
8942GR01

DATE:
03/18/2016

JOB NO.
8942

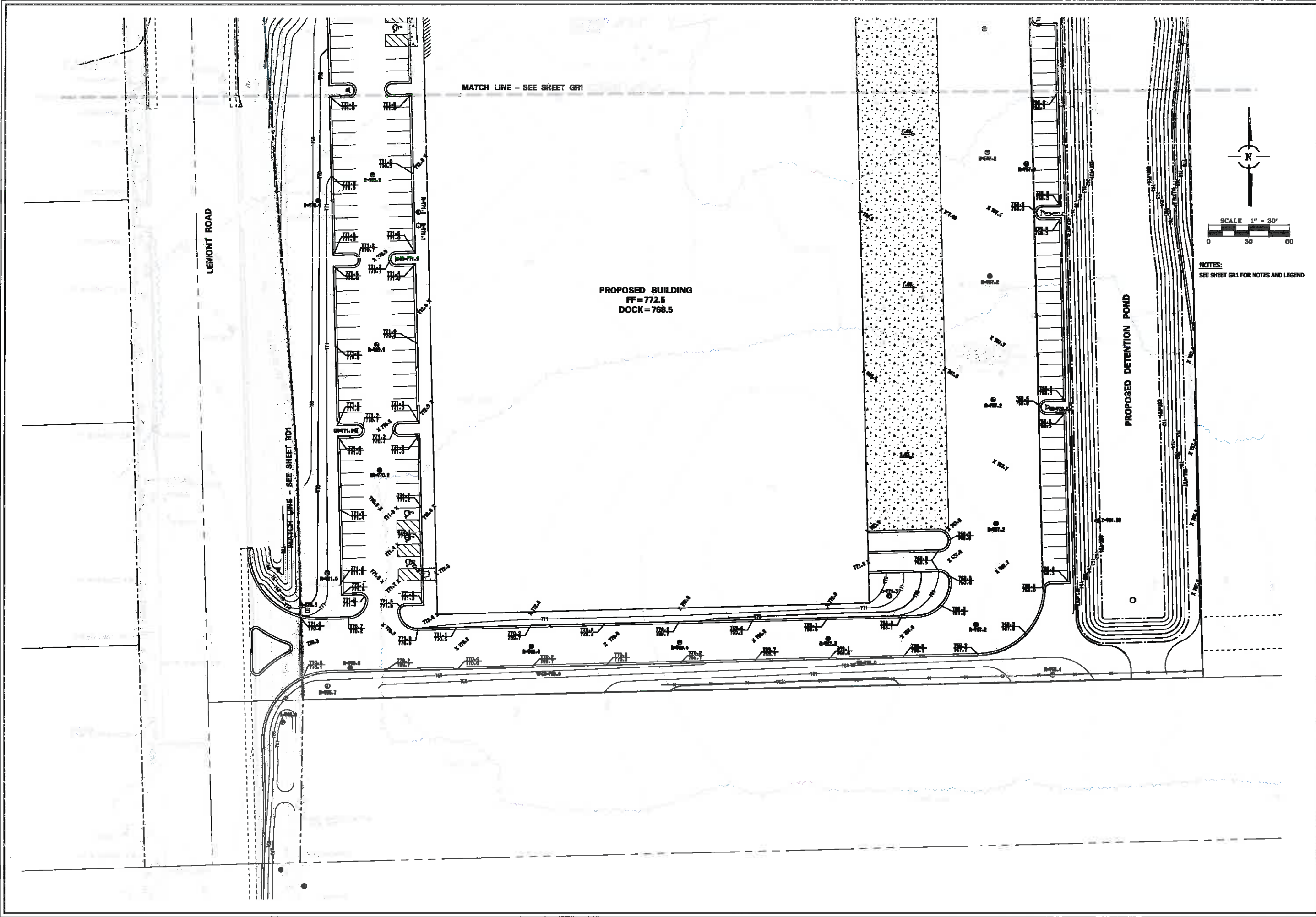
SHEET

GR1

7 OF 22

NO.	DATE	PER	AGENCY REVIEW	REMARKS
1	05/09/2016			

NO.	DATE	REMARKS



MATCH LINE - SEE SHEET GR1

PROPOSED BUILDING
FF=772.5
DOCK=768.5



NOTES:
SEE SHEET GR1 FOR NOTES AND LEGEND

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	03/18/2016	PER AGENCY REVIEW

GRADING PLAN - 2
7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4066



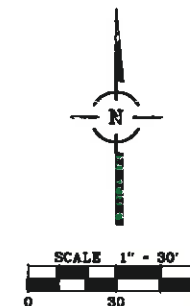
SPACECO INC.
FILENAME:
8942GR02
DATE:
03/18/2016
JOB NO.
8942
SHEET
GR2
8 OF 22

MATCH LINE - SEE SHEET UT1

LEMONT ROAD

PROPOSED BUILDING
FF=772.5
DOCK=768.5

PROPOSED DETENTION BASIN



NOTES:
SEE SHEET UT1 FOR NOTES AND LEGEND

MATCH LINE - SEE SHEET RD1

MATCH LINE - SEE SHEET OFF-PP

NO.	DATE	REMARKS

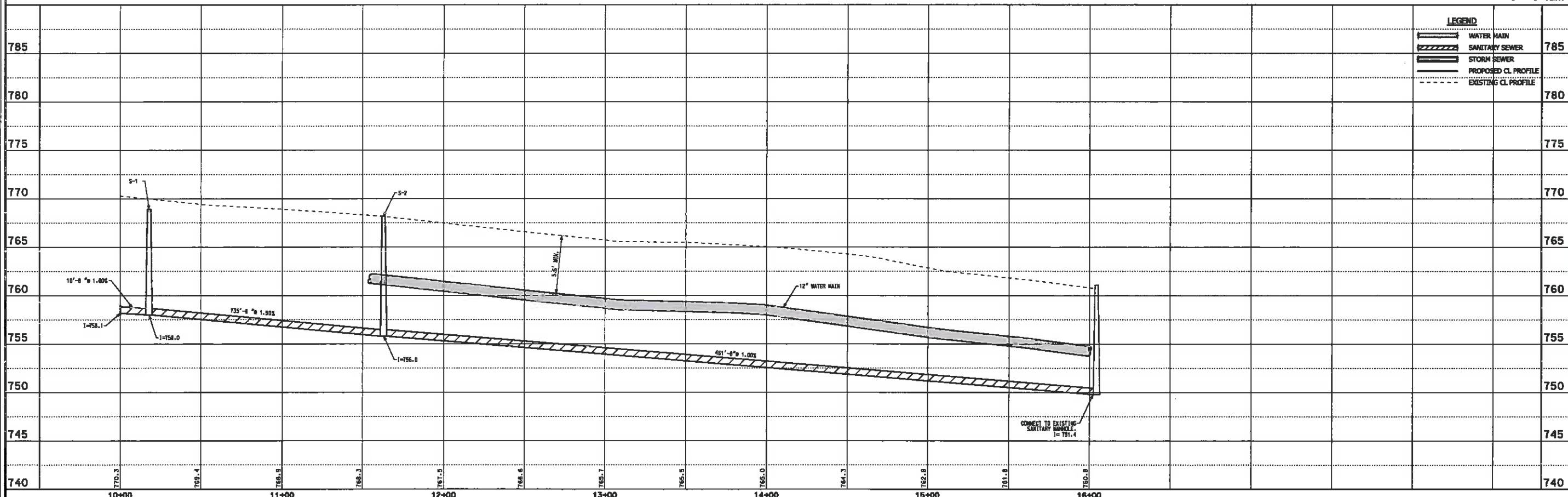
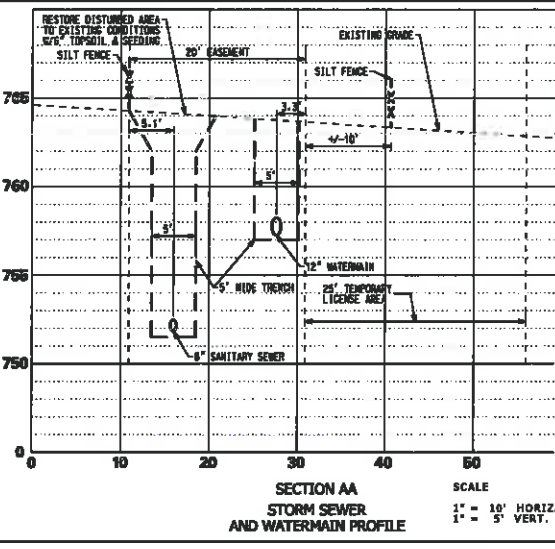
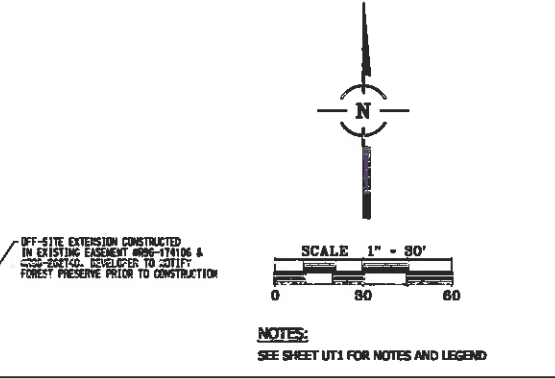
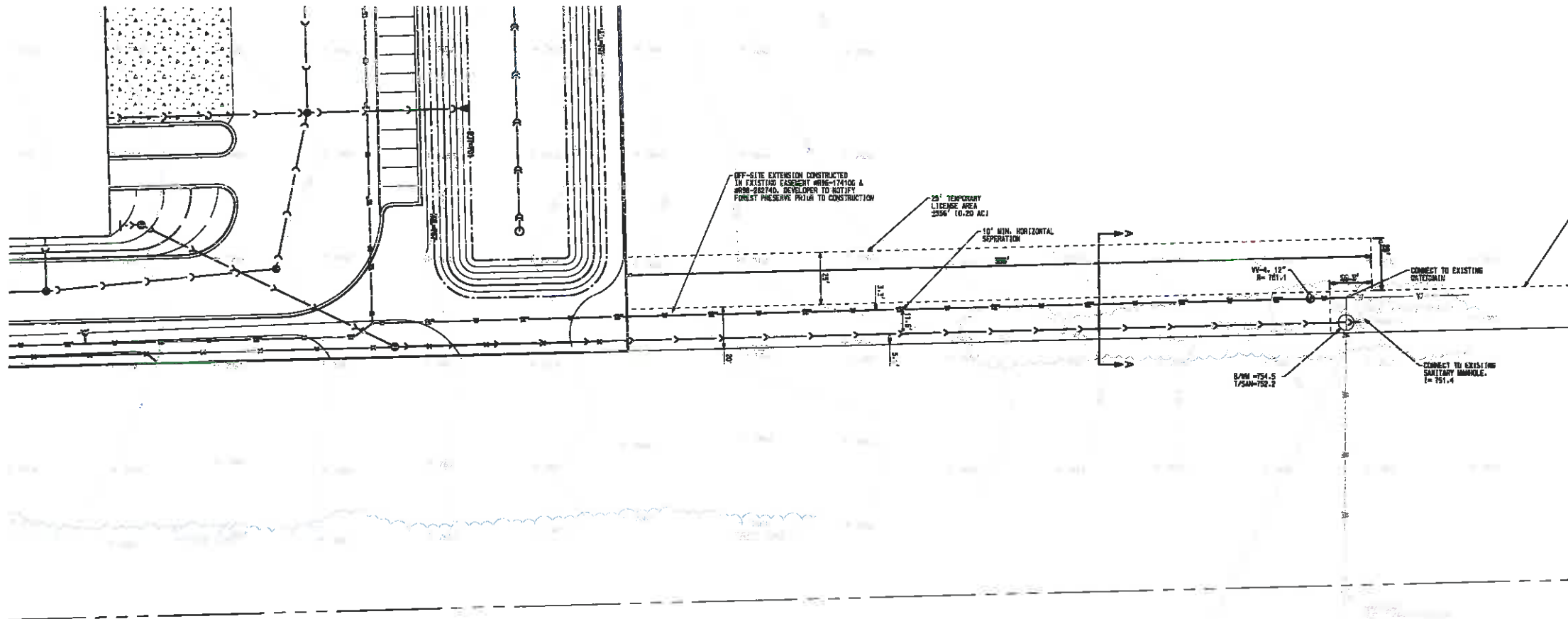
NO.	DATE	REMARKS
1	06/09/2016	PER AGENCY REVIEW

UTILITY PLAN - 2
7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9573 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4068



FILENAME:
8942UT02
DATE:
03/18/2016
JOB NO.
8942
SHEET
UT2
10 OF 22



NO.	DATE	REMARKS

NO.	DATE	REMARKS

NO.	DATE	PER AGENCY REVIEW	REMARKS

OFFSITE PLAN AND PROFILE
SANITARY AND WATERMAIN EXTENSION
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

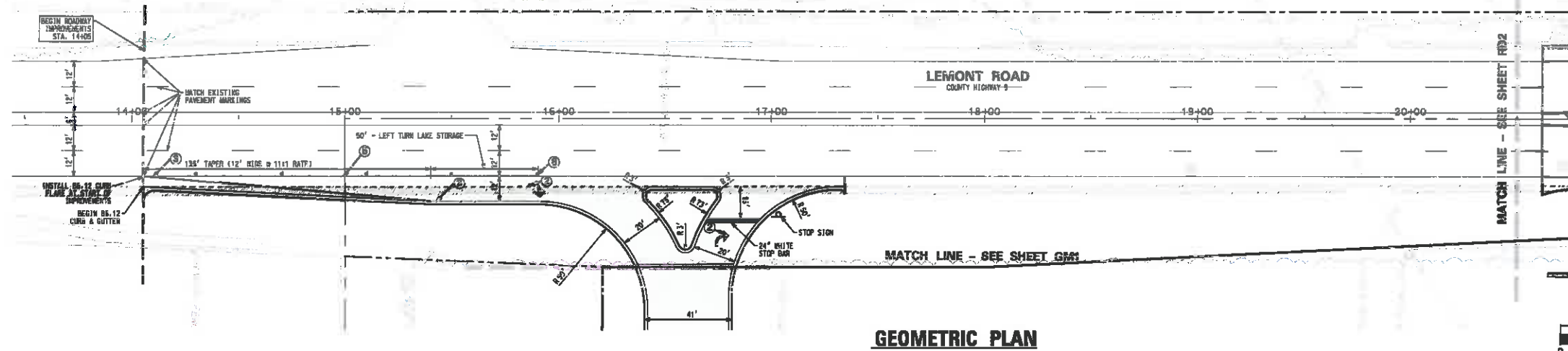
9375 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 694-4667 Fax: (847) 694-4058



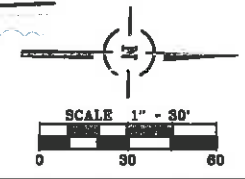
FILENAME:
8942OFFSITEPP01

DATE:
03/16/2016

JOB NO.
8942



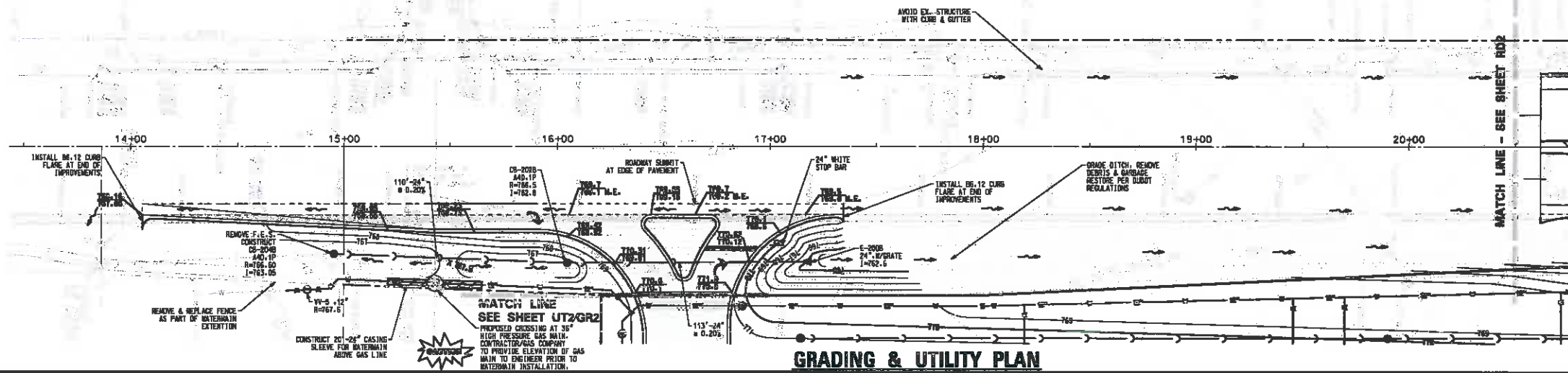
GEOMETRIC PLAN



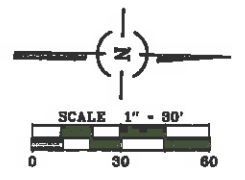
- LEGEND**
- PROPOSED FULL DEPT PAVEMENT SECTION TO REPLACE EX. PAVED SHOULDER (3\"/>
 - COMBINATION CONCRETE CURB & GUTTER 8.6.12
 - RAISED REFLECTIVE PAVEMENT MARKER (SEE DETAILS ON SHEET D-4, 22 OF 22)
 - LIMIT OF CONSTRUCTION

- NOTES:**
1. SEE SHEETS GR1 AND UT1 FOR NOTES AND LEGEND
 2. SEE DETAIL SHEETS D 4 & D 5 FOR STANDARD DETAILS

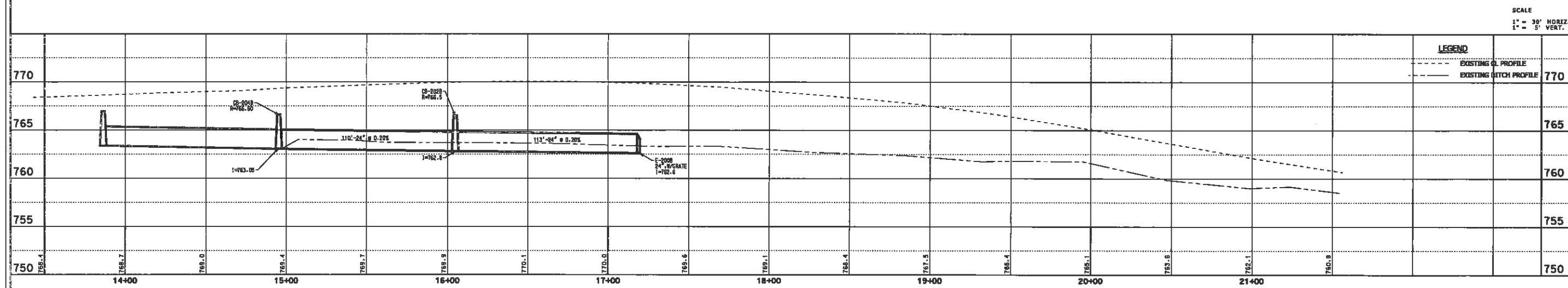
- PAVEMENT MARKING LEGEND**
- ① THERMOPLASTIC PAVEMENT MARKING - LINE 4", DOUBLE YELLOW
 - ② THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS, WHITE
 - ③ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE SOLID LINE
 - ④ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE DASHED LINE (10' LINE, 30' SKIP)
 - ⑤ THERMOPLASTIC PAVEMENT MARKING - LINE 4", DASHED WHITE LINE (2' LINE, 6' SKIP)
 - ⑥ THERMOPLASTIC PAVEMENT MARKING - LINE 12", DIAGONAL CROSSHATCH YELLOW SOLID LINE @ 450, 30' C-C
 - ⑦ 3M SERIES 150 REFLECTOR AND MARKER OR 3M SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (80 FEET ON CENTER UNLESS OTHERWISE NOTED)
 - ⑧ 3M SERIES 150 REFLECTOR AND MARKER OR 3M SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (40 FEET ON CENTER UNLESS OTHERWISE NOTED)



GRADING & UTILITY PLAN



- NOTES:**
1. SEE SHEETS GR1 AND UT1 FOR NOTES AND LEGEND
 2. ALL DISTURBED PREVIOUS AREAS TO BE RESTORED PER DUDOT REQUIREMENTS AS NOTED ON SHEET D4



PROFILE

SCALE
1" = 30' HORIZ.
1" = 5' VERT.

- LEGEND**
- EXISTING GROUND PROFILE
 - EXISTING DITCH PROFILE

NO.	DATE	REMARKS		
1	03/18/2016	PER AGENCY REVIEW		
NO.	DATE	REMARKS		

LEMONT ROAD IMPROVEMENT PLAN - 1

7879 LEMONT ROAD

INDUSTRIAL BUILDING

DARIEN, ILLINOIS

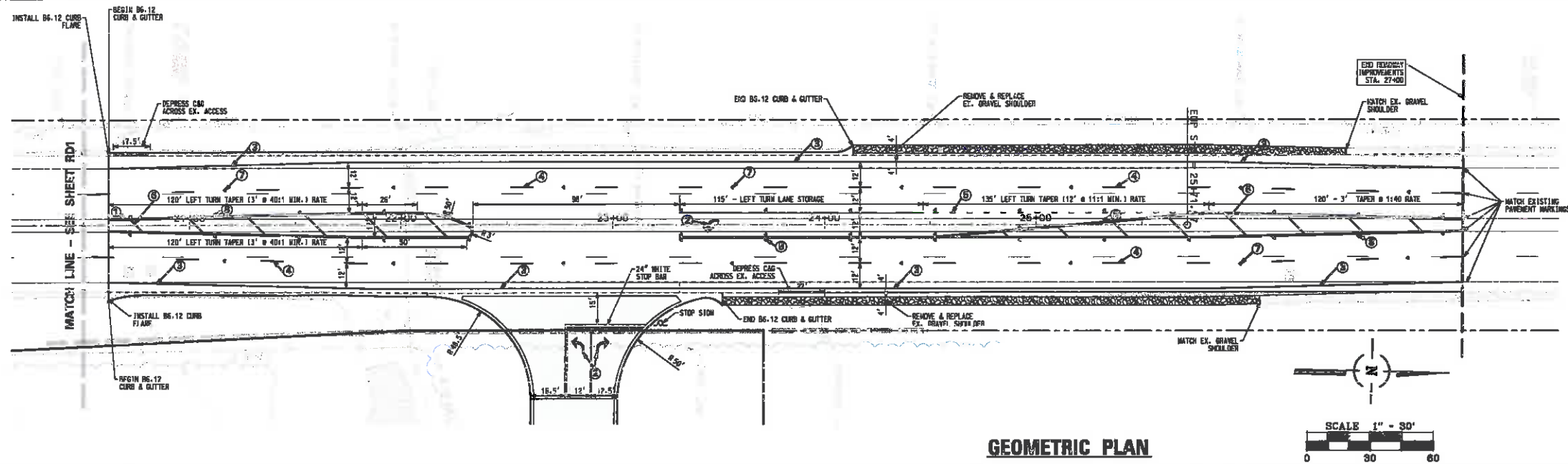
CONSULTING ENGINEERS & SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

9375 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
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SPACECO INC.

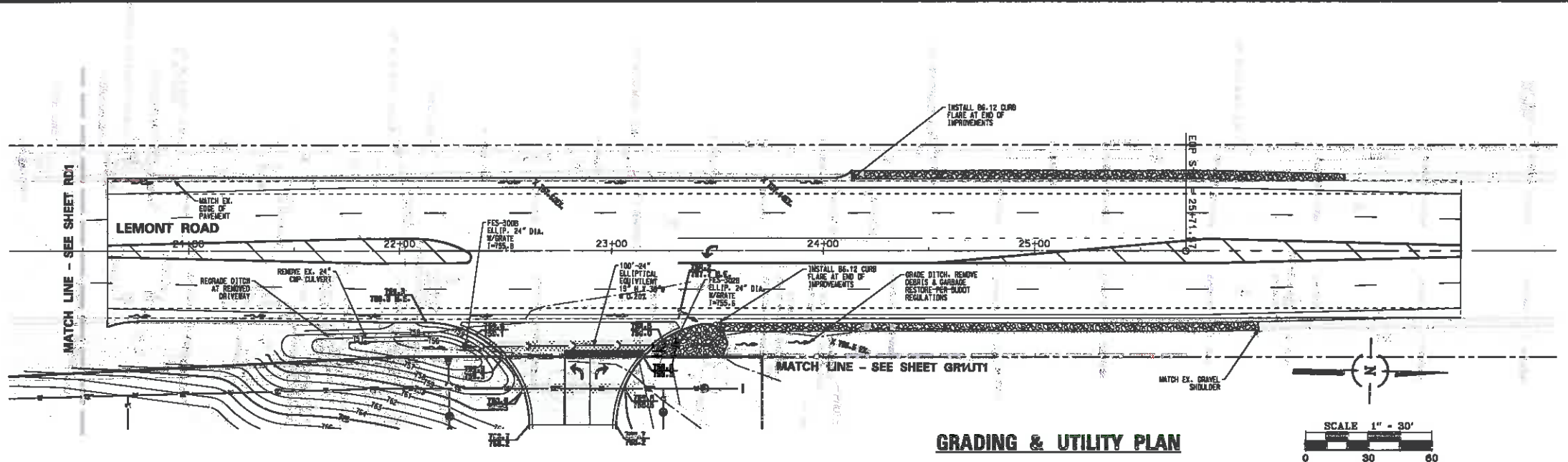
FILENAME: 8942GRUT01
DATE: 03/18/2016
JOB NO. 8942
SHEET RD1
12 OF 22



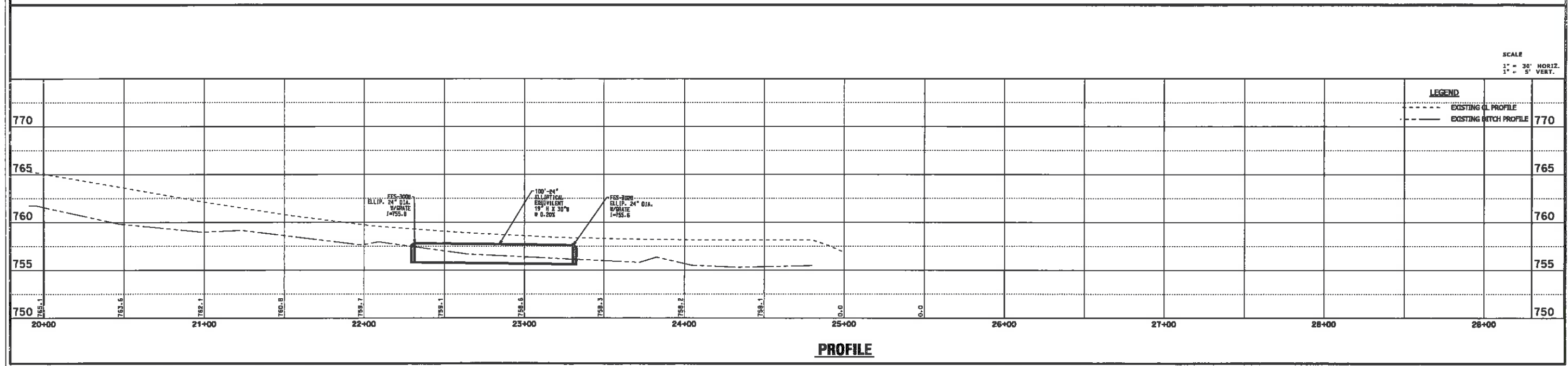
- LEGEND**
- PROPOSED FULL DEPTH PAVEMENT SECTION TO REPLACE EX. PAVED SHOULDER (3" ASPHALT, 12" CONCRETE, 4" AGG. BASE, SEE DUDOT DETAIL ON SHEET D-4, 22 OF 22)
 - COMBINATION CONCRETE CURB & GUTTER B.6.12
 - RAISED REFLECTIVE PAVEMENT MARKER (SEE DETAILS ON SHEET D-4, 22 OF 22)
 - LIMIT OF CONSTRUCTION

- NOTES:**
1. SEE DETAIL SHEET FOR ALL DUDOT.
 2. ALL EXISTING PAVEMENT MARKINGS & REFLECTORS TO BE REMOVED & PATCHED WITHIN LIMITS OF IMPROVEMENTS, AS NEEDED.

- PAVEMENT MARKING LEGEND**
- ① THERMOPLASTIC PAVEMENT MARKING - LINE 4", DOUBLE YELLOW
 - ② THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS, WHITE
 - ③ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE SOLID LINE
 - ④ THERMOPLASTIC PAVEMENT MARKING - LINE 4", WHITE DASHED LINE (10' LINE, 30' SKIP)
 - ⑤ THERMOPLASTIC PAVEMENT MARKING - LINE 4", DASHED WHITE LINE (2' LINE, 6' SKIP)
 - ⑥ THERMOPLASTIC PAVEMENT MARKING - LINE 12", DIAGONAL CROSSHATCH YELLOW SOLID LINE @ 45D, 30' C-C
 - ⑦ 3M SERIES 150 REFLECTOR AND MARKERONE SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (80 FEET ON CENTER UNLESS OTHERWISE NOTED)
 - ⑧ 3M SERIES 150 REFLECTOR AND MARKERONE SERIES R100 REFLECTOR HOLDER OR DUDOT ENGINEER APPROVE EQUAL (40 FEET ON CENTER UNLESS OTHERWISE NOTED)



- NOTES:**
1. SEE SHEETS GR1 AND UT1 FOR NOTES AND LEGEND
 2. ALL DISTURBED PERVIOUS AREAS TO BE RESTORED PER DUDOT REQUIREMENTS AS NOTED ON SHEET D4

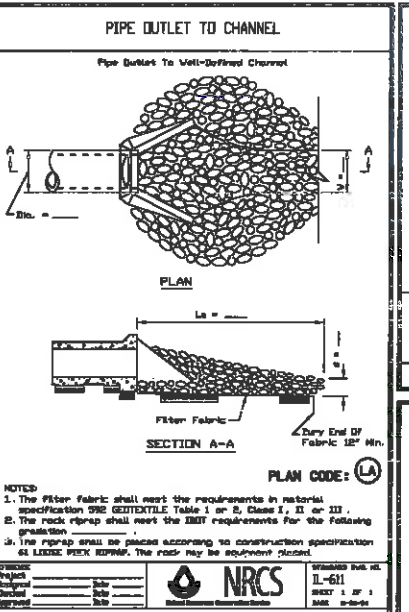
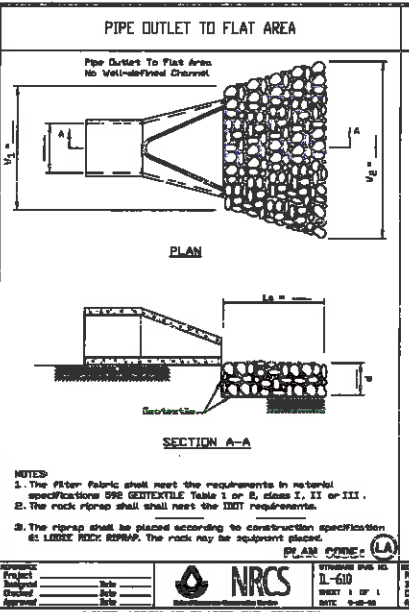
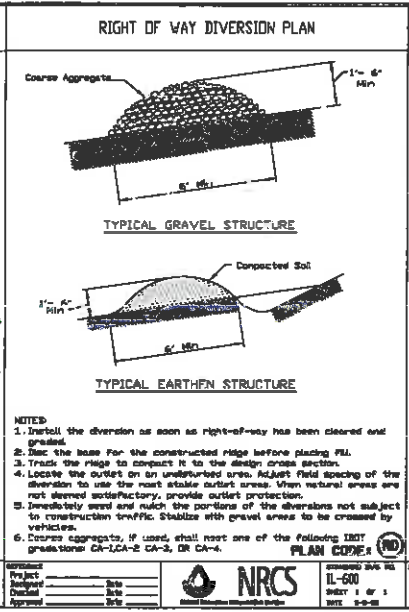
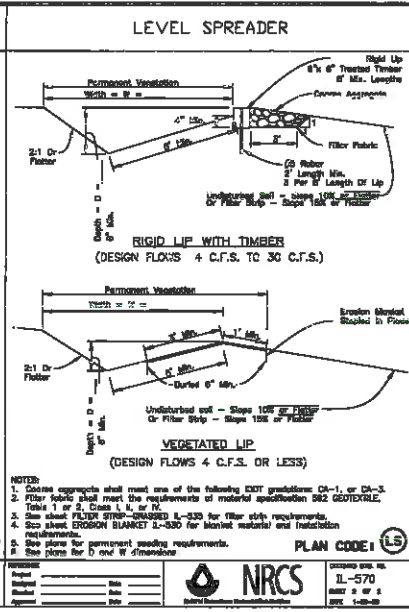
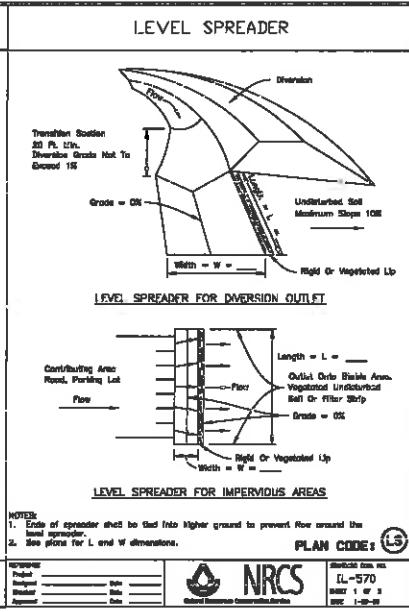
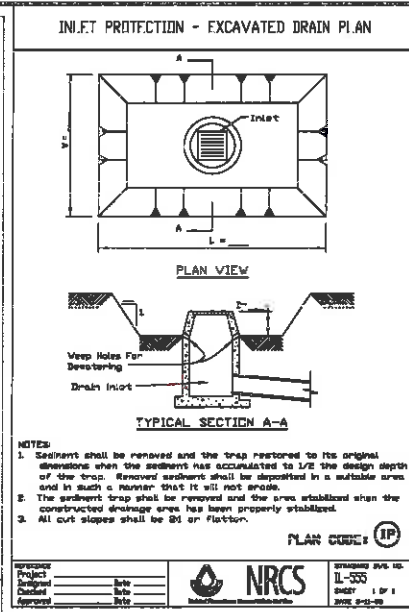
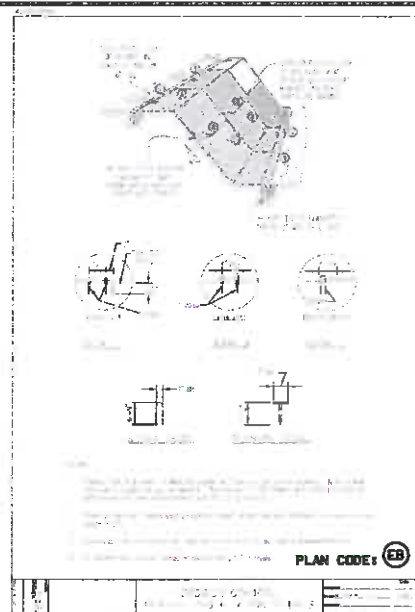


LEWIS ENGINEERING & SURVEYING, INC.
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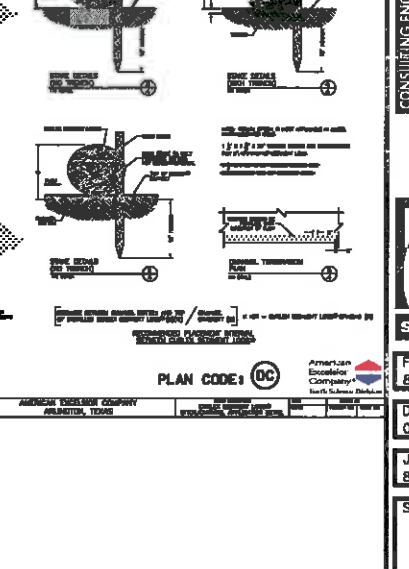
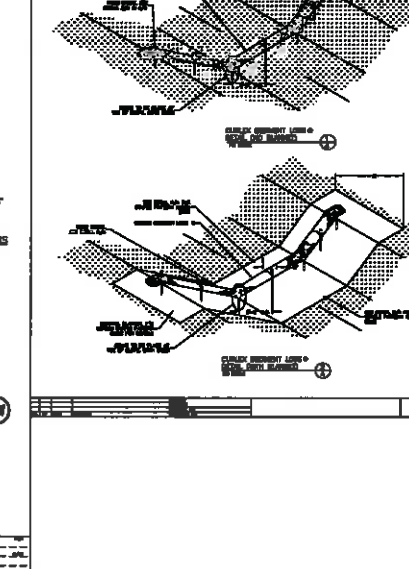
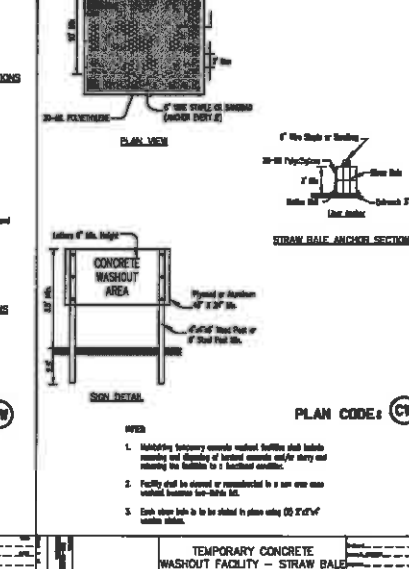
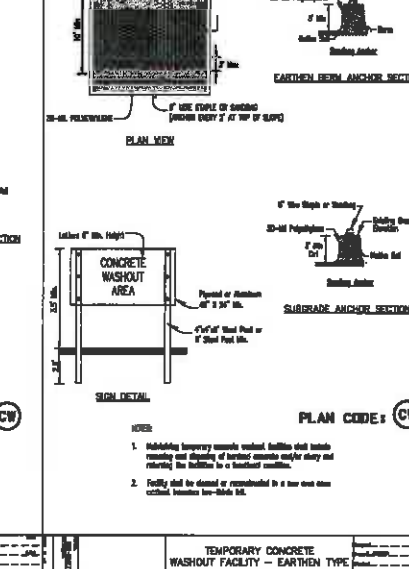
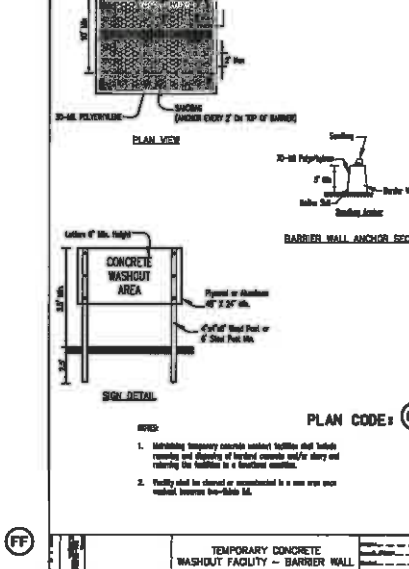
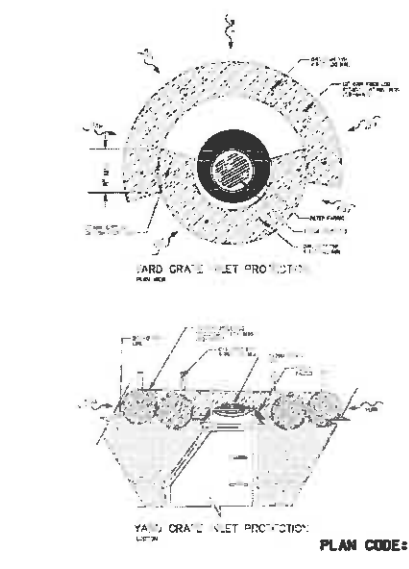
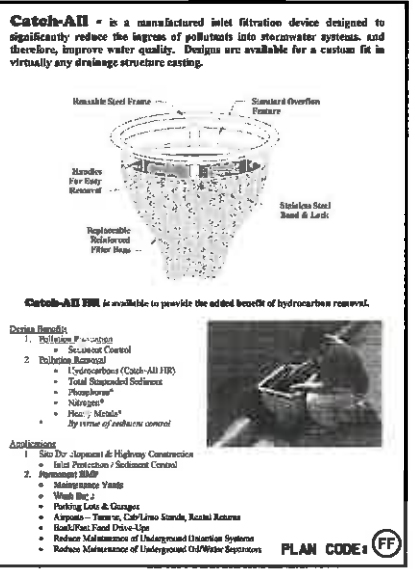
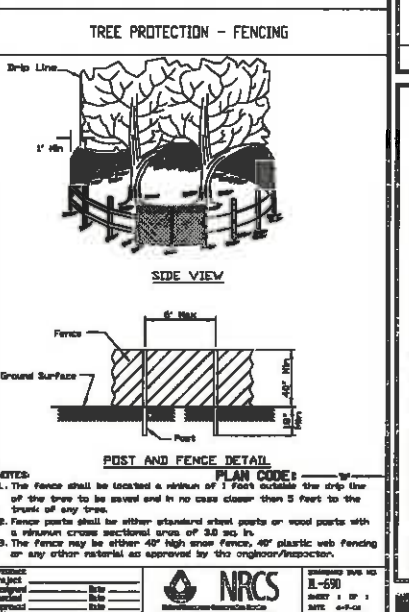
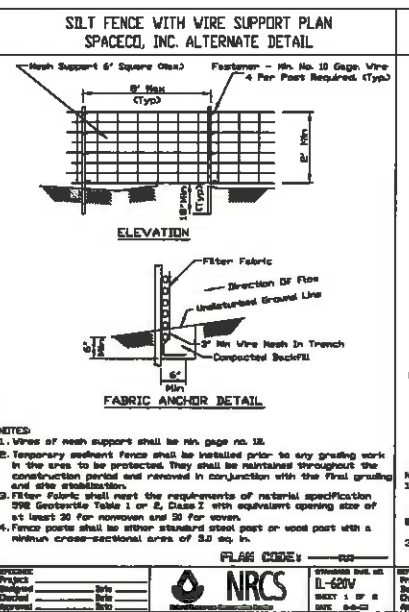
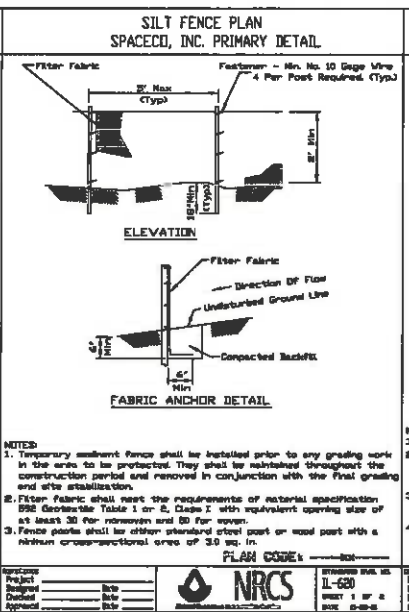
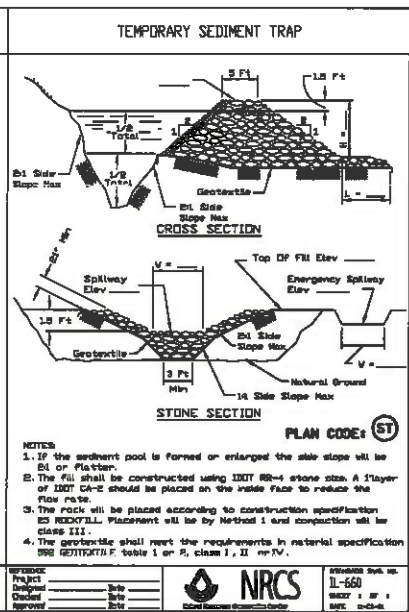
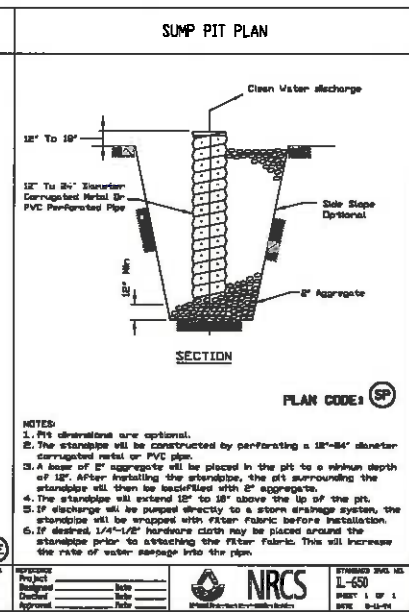
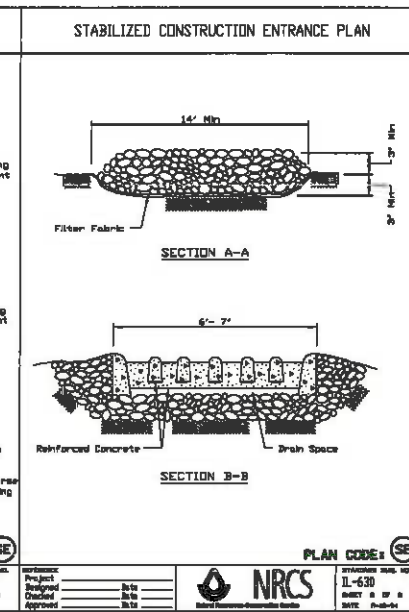
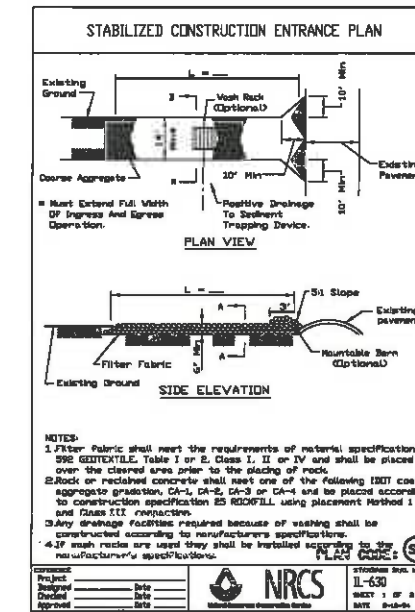
LEWIS ENGINEERING & SURVEYING, INC.
 7879 LEMONT ROAD
 INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

NO.	DATE	REMARKS
1	03/09/2016	PER AGENCY REVIEW

FILENAME: 8942GRUT02
 DATE: 03/18/2016
 JOB NO: 8942
 SHEET: RD2
 13 OF 22



CUTFILL GRADE OR NUMBER	INLET PIPE SIZE (IN)	DISCHARGE Q (CFS)	10-YEAR VELOCITY (FPS)	100-YEAR VELOCITY (FPS)	LENGTH OF LIP (FT)	MEDIAN RIPRAP SIZE (IN)	WIDTH OF APERTURE (FT)	WIDTH OF RIPRAP (FT)	MINIMUM DEPTH OF RIPRAP (FT)
1-100	18"	4.00	4.50	4.80	14	18-24"	4.0	10.0	1.0



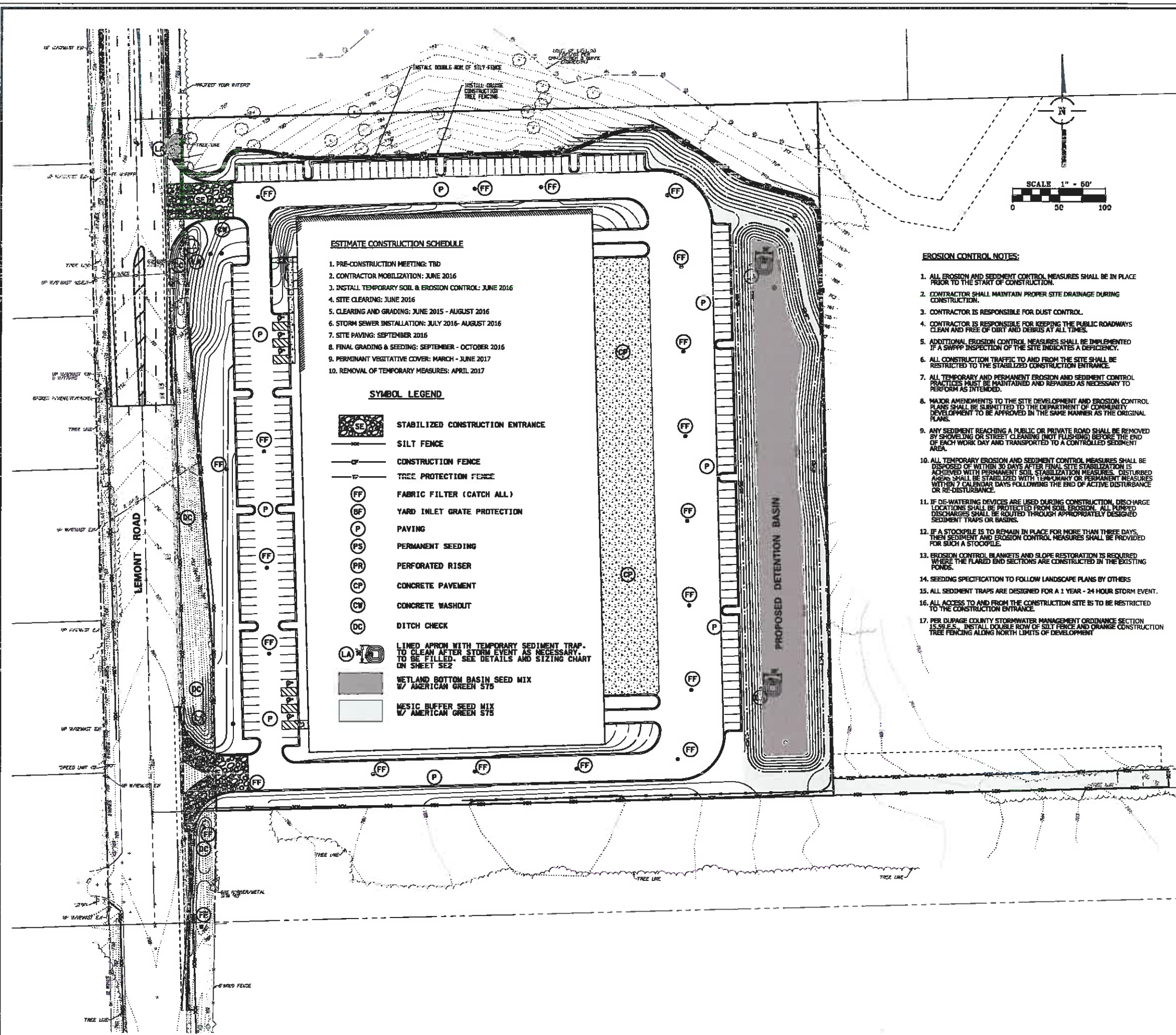
SOIL EROSION AND SEDIMENT CONTROL PLAN
7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS - SITE DEVELOPMENT ENGINEERS - LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4066

SPACECO INC.

FILENAME: 8942SE02.DGN
DATE: 03/18/2016
JOB NO: 8942
SHEET SE2
15 OF 22



ESTIMATE CONSTRUCTION SCHEDULE

1. PRE-CONSTRUCTION MEETING: TBD
2. CONTRACTOR MOBILIZATION: JUNE 2016
3. INSTALL TEMPORARY SOIL & EROSION CONTROL: JUNE 2016
4. SITE CLEARING: JUNE 2016
5. CLEARING AND GRADING: JUNE 2015 - AUGUST 2016
6. STORM SEWER INSTALLATION: JULY 2016 - AUGUST 2016
7. SITE PAVING: SEPTEMBER 2016
8. FINAL GRADING & SEEDING: SEPTEMBER - OCTOBER 2016
9. PERMANENT VEGETATIVE COVER: MARCH - JUNE 2017
10. REMOVAL OF TEMPORARY MEASURES: APRIL 2017

SYMBOL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- FABRIC FILTER (CATCH ALL)
- YARD INLET GRATE PROTECTION
- PAVING
- PERMANENT SEEDING
- PERFORATED RISER
- CONCRETE PAVEMENT
- CONCRETE WASHOUT
- DITCH CHECK
- LINED APRON WITH TEMPORARY SEDIMENT TRAP. TO CLEAN AFTER STORM EVENT AS NECESSARY. TO BE FILLED. SEE DETAILS AND SIZING CHART ON SHEET SE2
- WETLAND BOTTOM BASIN SEED MIX W/ AMERICAN GREEN 575
- MESIC BUFFER SEED MIX W/ AMERICAN GREEN 575

EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IF A SWPPP INSPECTION OF THE SITE INDICATES A DEFICIENCY.
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.
8. MAJOR AMENDMENTS TO THE SITE DEVELOPMENT AND EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
9. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORK DAY AND TRANSPORTED TO A CONTROLLED SEDIMENT AREA.
10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
11. IF DE-WATERING DEVICES ARE USED DURING CONSTRUCTION, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM SOIL EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
12. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.
13. EROSION CONTROL BLANKETS AND SLOPE RESTORATION IS REQUIRED WHERE THE FLARED END SECTIONS ARE CONSTRUCTED IN THE EXISTING PONDS.
14. SEEDING SPECIFICATION TO FOLLOW LANDSCAPE PLANS BY OTHERS
15. ALL SEDIMENT TRAPS ARE DESIGNED FOR A 1 YEAR - 24 HOUR STORM EVENT.
16. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
17. PER DUPAGE COUNTY STORMWATER MANAGEMENT ORDINANCE SECTION 15.59 I.E.S., INSTALL DOUBLE ROW OF SILT FENCE AND ORANGE CONSTRUCTION TREE FENCING ALONG NORTH LIMITS OF DEVELOPMENT

Wetland Bottom Basin Seed Mix:

Botanical Name	Common Name	PLS Dunnets/Acre
Permanent Grasses/Sedges:		
<i>Carex canadensis</i>	Bristly Sedge	1.00
<i>Carex cristata</i>	Crested Oval Sedge	2.00
<i>Carex frankii</i>	Bristly Cattail Sedge	6.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	3.00
<i>Elymus polystachyus</i>	Great Spike Rush	0.50
<i>Elymus virginicus</i>	Virginia Wild Rye	12.00
<i>Glyceria striata</i>	Fowl Manna Grass	1.00
<i>Lycopus arundinaceus</i>	Rice Cut Grass	1.50
<i>Scirpus atrovirens</i>	Dark Green Rush	1.00
<i>Scirpus cyperinus</i>	Wood Grass	0.75
<i>Scirpus pungens</i>	Chernobyl's rush	1.00
<i>Scirpus validus</i>	Great Bulrush	2.50
<i>Spartanum eurycarpum</i>	Common Bur Reed	4.00
		Total
		38.25
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	480.00
		Total
		460.00

SCALE 1" = 50'

Mesic Buffer Seed Mix

Botanical Name	Common Name	PLS Dunnets/Acre
Permanent Grasses:		
<i>Andropogon gerardii</i>	Big Bluestem	13.00
<i>Bouteloua curtipendula</i>	Side Oats Grass	14.00
<i>Carex spp.</i>	Prairie Sedge Mix	2.00
<i>Elymus canadensis</i>	Canada Wild Rye	22.00
<i>Panicum virgatum</i>	Switch Grass	2.50
<i>Schizanthium scoparium</i>	Little Bluestem	28.00
<i>Sorghastrum nutans</i>	Indian Grass	15.00
		Total
		97.50
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	460.00
		Total
		460.00

Botanical Name	Common Name	PLS Dunnets/Acre
Forbs:		
<i>Asclepias tuberosa</i>	Butterfly Weed	1.50
<i>Aster novae-angliae</i>	New England Aster	1.50
<i>Chamaecrista fasciculata</i>	Partridge Pea	10.75
<i>Coreopsis tinctoria</i>	Sand Coreopsis	5.00
<i>Coreopsis tripteris</i>	Tall Coreopsis	1.50
<i>Dalea purpurea</i>	Purple Prairie Clover	2.00
<i>Desmodium illinoense</i>	Illinois Sensitive Plant	1.50
<i>Echinacea purpurea</i>	Broad Purple Coneflower	8.00
<i>Eryngium yuccifolium</i>	Rattlesnake Master	1.00
<i>Helipopsis helianthoides</i>	False Sunflower	0.25
<i>Lespedeza capitata</i>	Round-headed Bush Clover	1.00
<i>Liatris spicata</i>	Rough blazing Star	1.00
<i>Lupinus perennis</i>	Wild Lupine	0.25
<i>Monarda fistulosa</i>	Wild Bergamot	1.00
<i>Polygonum arguta</i>	Prairie Cinquefoil	0.75
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	0.50
<i>Rubus cuneifolius</i>	Yellow Cowslip	4.83
<i>Rudbeckia hirta</i>	Black-eyed Susan	6.00
<i>Silphium laciniatum</i>	Prairie Dock	0.75
<i>Solidago nemoralis</i>	Old-Field Goldenrod	0.50
<i>Vernonia spp.</i>	Ironweed (Various Mix)	2.00
		Total
		51.25

SOIL EROSION AND SEDIMENT CONTROL PLAN
7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DAREN, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 864-4860 Fax: (847) 874-4065

SPACEO INC.
 FILENAME:
 8942SE03
 DATE:
 03/18/2016
 JOB NO.
 8942
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SE3
 16 OF 22

NO.	DATE	REMARKS
1	03/08/2016	PER AGENCY REVIEW

EARTHWORK NOTES

- 1. GENERAL
A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.

- 1. THE DEVELOPER IS REQUIRED TO HAVE A GEOTECHNICAL ENGINEER ON-SITE TO MONITOR EARTHWORK AND THE GRADING ACTIVITY. IN ORDER TO BE QUALIFIED TO ADVISE THE CONTRACTOR ON THIS SUBJECT, THE ENGINEER MUST BE ADDED TO THE PLANS, AND A LETTER COMPLYING TO THIS REQUIREMENT MUST BE PROVIDED BY THE DEVELOPER. IN ADDITION, QUALITY REPORTS AND COPIES OF ALL GEOTECHNICAL TESTS (TESTING AND PREPARED IN ACCORDANCE WITH ILLINOIS STATE SPECIFICATIONS) MUST BE SUBMITTED TO THE VILLAGE OF MONMOUTH FOR THE CONTRACTOR'S REVIEW. THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PRELIMINARY SUBGRADES ARE PROPERLY PREPARED, PROPER ROLLING SUBGRADES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING ELEMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.

- 2. TOPSOIL EXCAVATION INCLUDES:
A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.

- 3. EARTH EXCAVATION INCLUDES:
A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER BALANCE WITH THE FINE GRADING OPERATION.

- 4. UNSUITABLE MATERIAL
UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.

SIGNING AND PAVEMENT MARKING

- 1. ALL SIGNS AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBRC), MUNICIPAL CODE AND THESE PLANS.

SANITARY SEWER NOTES

- 1. GENERAL
A. SANITARY SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMEINION RATIO (SDR) OF 20 CONFORMING TO ASTM D-3034 OR PUSH-ON JOINTS CONFORMING TO ASTM D-3032 AND PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMEINION RATIO (SDR) OF 21 CONFORMING TO ASTM D-3031 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3139 AS SHOWN ON THE PLANS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF SANITARY SEWER COMPLETE IN PLACE.

- 2. BEDDING/BACKFILL
A. BEDDING SHALL CONSIST OF A MINIMUM OF FOUR (4") INCHES OF COMPACTED CRUSHED GRAVEL OR STONE.

- 3. MANHOLES
A. SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D. AND 8'-0" O.D. AS SPECIFIED ON UTILITY PLAN PRECAST CONCRETE SECTIONS CONFORMING TO ASTM D-478 WITH PREFORMED BITUMINOUS DR O-RING JOINTS, IN ACCORDANCE WITH MUNICIPAL REGULATIONS, AND HAVE AN ECCENTRIC COLE INSTALLED TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE AT 18" D.C. SIMILAR TO DENVER R-1500.

- 4. FRAMES AND LIDS
A. ALL SANITARY SEWER MANHOLE FRAMES AND LIDS SHALL BE EAST JORDAN 102223. THE LIDS SHALL HAVE RECESSED (CONCEALED) PIER HOLES AND BE SELF SEALING WITH AN "O" RING JOINT. THE LIDS SHALL HAVE THE WORDS "SANITARY" AND "MANHOLE" EMBOSSED IN THE SURFACE. THE JOINTS BETWEEN FRAME AND RINGS SHALL BE SEALED WITH A BUTYL ROPE.

- 5. TESTING
A. DEFLECTION AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE AS SET FORTH IN THE PRELIMINARY SPECIFICATIONS FOR SANITARY SEWER IN ILLINOIS, OR MUNICIPAL CODES. IN THE EVENT OF A DISCREPANCY BETWEEN THE STANDARD SPECIFICATIONS AND THE MUNICIPAL CODE, THE MUNICIPAL CODE SHALL GOVERN. THE FULL LENGTH OF THE SANITARY SEWER IS REQUIRED TO BE BOTH AIR TESTED AND DEFLECTION TESTED.

- 10. CERTIFICATION
A. CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR EXTERNAL LONG-TIME PROPERTIES OF PLASTIC PIPE OF PURCHASE PLATE LISTING, ASTM STANDARDS D-3032 OR D-3241 AS APPROPRIATE. THE PIPE TO BE TESTED SHALL BE ADJUSTED TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.

- 12. FINAL ACCEPTANCE AND TESTING OF SANITARY SEWER
BEFORE FINAL ACCEPTANCE, THE SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 311-1.11 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS. SPECIFICALLY, ALL PIPELINES CONSTRUCTED OF FLEXIBLE MATERIALS SHALL BE SUBJECT TO AIR EXPLORATION TESTS, TELEVISION TESTS, AND DEFLECTION TESTS. THE DEFLECTION TEST SHALL BE PERFORMED ON SIX (6) TO NINE (9) DAYS OF THE BACKFILL OPERATION AND SHALL CONSIST OF MEASURING THE PIPE FOR VERTICAL RING DEFLECTION. MAXIMUM RING DEFLECTION OF THE PIPE UNDER LOAD SHALL BE LIMITED TO FIVE (5) PERCENT OF THE INTERNAL PIPE DIAMETER. ALL PIPE EXCEEDING THIS DEFLECTION SHALL BE CONSIDERED TO HAVE EXCEEDED THE LIMIT OF ITS SERVICEABILITY AND SHALL BE REPAIRED OR REPLACED WITHIN THE DEFLECTED AREA. DEFLECTION TESTING SHALL BE ACCEPTED BY PULLING A MANHOLE, SHEAR OR PIPE-TYPE "OO" / "NO" DEFLECT, WITH A DIAMETER EQUAL TO FIFTY-FIVE (55) PERCENT OF THE UNDEFLECTED INSIDE DIAMETER OF THE FLEXIBLE PIPE. THE "NO" DEFLECT SHALL BE PERFORMED WITHIN THE VILLAGE OF MONMOUTH. SANITARY SEWER MANHOLE DIAMETER OF EIGHT (8) INCHES OR GREATER SHALL BE TELEVISION TESTED. COPIES OF ALL VIDEO TAPES MUST BE SUBMITTED TO THE VILLAGE OF MONMOUTH.

- 14. FLOW MONITORING PRIOR TO ACCEPTANCE:
THE DEVELOPER WILL BE REQUIRED TO MONITOR THE FLUORIDE FROM THE SITE FOR A PERIOD OF TWO MONTHS (ENCOMPASSING AT LEAST TWO MAJOR STORM EVENTS) TO IDENTIFY ANY EXCESSIVE INFILTRATION/OCCURRENCES IN THE SYSTEM. THE DATA MUST BE SUBMITTED TO THE VILLAGE OF MONMOUTH PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.

PAVING NOTES

- 1. GENERAL
A. PAVING WORK INCLUDES FIRM SUBGRADE SHAPING, PREPARATION AND COMPACTATION PLACEMENT OF SUB-BASE OR BASE COURSE MATERIALS BITUMINOUS BINDER AND/OR SURFACE COURSE FINISHING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS AND SIDEWALKS AND ALL RELATED WORK.

- 3. CONCRETE WORK
A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE CLASS 30 OR 35 PER (SSBRC) SECTION 1009.04 WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) IN MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) TO SEVEN (7) INCHES THICK WITH A MINIMUM OF FOUR (4) INCHES STRENGTH AT CURING (14) DAYS. ALL CONCRETE SHALL BE BROWN FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL. THE ADDITION OF CALCIUM CHLORIDE AND THE SUBSTITUTION OF FLY ASH FOR PORTLAND CEMENT IS PROHIBITED. 1.50 TON OF COLLOIDATED, FILLERATED, POLYPROPYLENE OR POLYETHYLENE EXPANSION TUBES, SAID OR FORMED CONTRACTOR CONCRETE USED FOR SIDEWALKS, THE FIBERS SHALL BE AS MANUFACTURED UNDER THE NAME "FIBERFORM" OR EQUAL.

- 4. FLEXIBLE PAVEMENT
A. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, DRIVEWAYS, SIDEWALKS AND PATHS SHALL BE AS INSTALLED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B1 BITUMINOUS CONCRETE BINDER COURSE AND BITUMINOUS CONCRETE SURFACE COURSE (S) OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. THE PAVING IS TO BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THESE PLANS.

- 5. TESTING AND FINAL ACCEPTANCE
A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR THE CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE OWNER AND/OR MUNICIPALITY. TESTING SHALL BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THESE PLANS.

STORM SEWER NOTES

- 1. GENERAL:
A. ALL STORM SEWER PIPE SHALL BE REP. UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE FOLLOWING:
PLAN CODE MATERIAL:
RCP: REINFORCED CONCRETE PIPE (ASTM C-776) WITH FLEXIBLE D-RING RUBBER GASKET JOINTS PER ASTM C261, ASTM C-443, AND ASTM C1247. TYPE 1, CLASS IV, PER SDR3050. ALL OPTICAL GIBS SHALL BE TYPE 1, 10-11 PER SDR3050. ALL OPTICAL GIBS SHALL BE TYPE 1, 10-11 PER SDR3050. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF STORM SEWER COMPLETE IN PLACE.

- 11. TESTING:
A. ALL WATERMANS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH ANNA AND MUNICIPAL SPECIFICATIONS. EACH WATERMAIN SHALL BE PRESSURE TESTED FOR A MINIMUM OF 4 HOURS. ALL TESTING FOR PRESSURE AND LEAKAGE IS TO BE ONLY THAT WHICH IS PRETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.

STORM SEWER NOTES

- 2. BEDDING/BACKFILL
A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A DRAINAGE BEDDING: 1.4" TO 3.4" IN SIZE (100-151) WITH A MINIMUM TOLERANCE OF 1/4". THE MINIMUM DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR THE BEDDING MATERIALS SHALL BE PROHIBITED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF COMPACTED PROCTOR DENSITY. BEDDING SHALL EXTEND TO 12" OVER ANY PVC OR HDPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS.

- 3. STRUCTURES
A. MANHOLE, CATCH BASIN AND INLET BOXES SHALL BE PRECAST CONCRETE SECTIONAL UNITS OF REINFORCED CONCRETE. MANHOLE STEPS SHALL BE A MINIMUM OF 18" IN SPACING UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH D-RING OR BUTYL ROPE.

- 6. CLEARINGS:
A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.

WATERMAIN NOTES

- 1. PIPE MATERIALS:
A. WATERMANS ON SERVICES 3" OR LARGER IN DIAMETER SHALL BE CONSTRUCTED OF BITUMINOUS COATED, CENTRAL LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A-21.50 (ANNA C150) AND ANSI A-21.51 (ANNA C151). GENT MORTAR LINING SHALL CONFORM TO ANSI A-21.4 (ANNA C-113). THE JOINTS SHALL BE O-RING SEALED PUSH-ON OR MECHANICAL JOINTS CONFORMING TO ANSI A-21.1 (ANNA C-111).

- 3. WATER SERVICES:
A. WATER SERVICE PIPE, 2" IN DIAMETER OR SMALLER, SHALL BE TYPE C COPPER WATER TUBING CONFORMING TO ASTM B-88 AND B-281, WITH COMPRESSION OR FLARED JOINTS.

- 4. VALVES:
A. GATE VALVES SHALL BE USED ON ALL WATERMANS 3" AND LARGER. ALL VALVES SHALL HAVE CENTER-CLOSURE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT SEAT GATE VALVES WITH BROWNE ROOT SEATS AND NON-RISING STEM CONFORMING TO ANNA C-508 AND SHALL BE APPROVED BY THE MUNICIPALITY. THE VALVES SHALL HAVE NECHANICAL JOINTS.

- 7. CORPORATION STOPS:
A. CORPORATION STOPS SHALL BE BROCKE BROWE KEY STOPS CONFORMING TO ANNA C-900, AND SHALL INCLUDE THE BROWE TAIL AND COMPRESSION FITTINGS AS SHOWN ON PLANS.

- 10. SEWER MANHOLE PROTECTION
A. HORIZONTAL SEPARATION
1) WATERMANS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.

- 11. TESTING:
A. ALL WATERMANS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH ANNA AND MUNICIPAL SPECIFICATIONS. EACH WATERMAIN SHALL BE PRESSURE TESTED FOR A MINIMUM OF 4 HOURS. ALL TESTING FOR PRESSURE AND LEAKAGE IS TO BE ONLY THAT WHICH IS PRETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.

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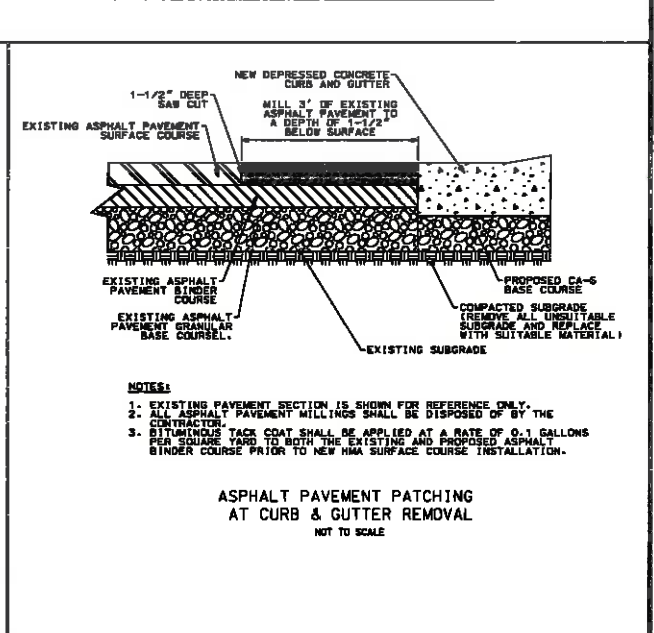
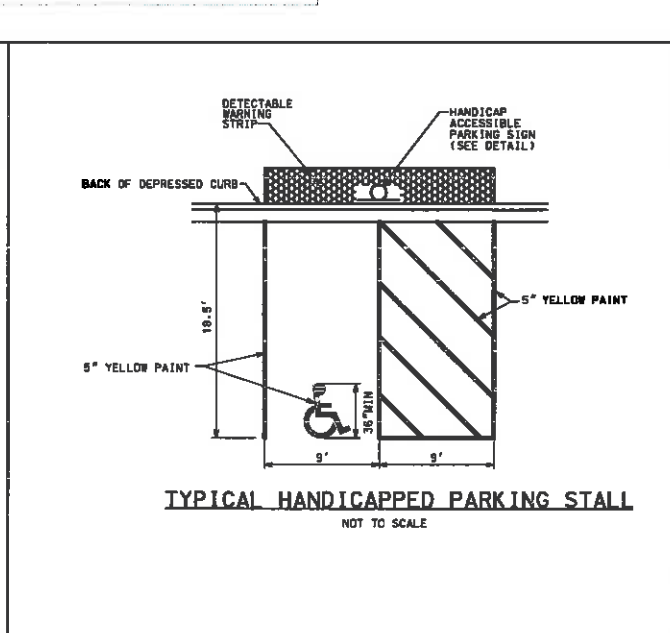
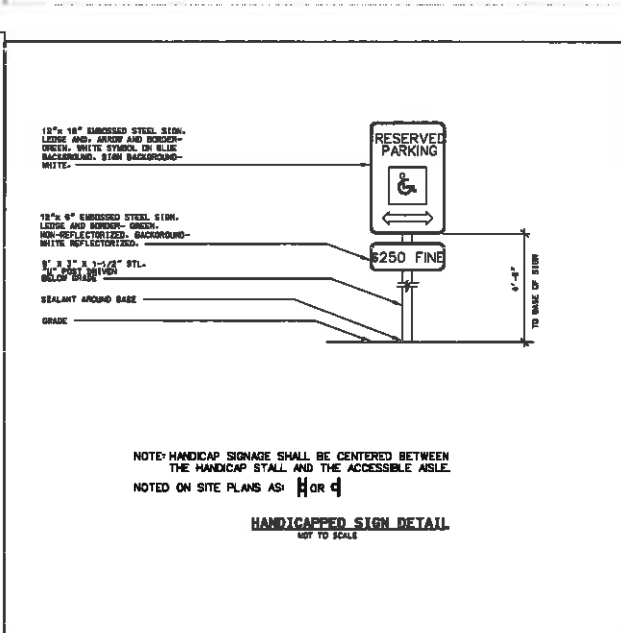
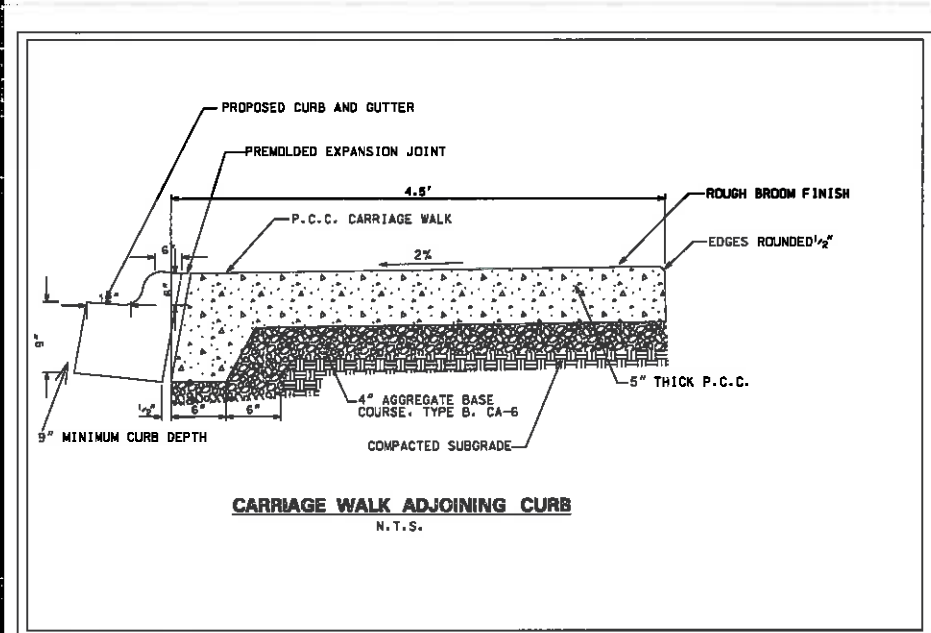
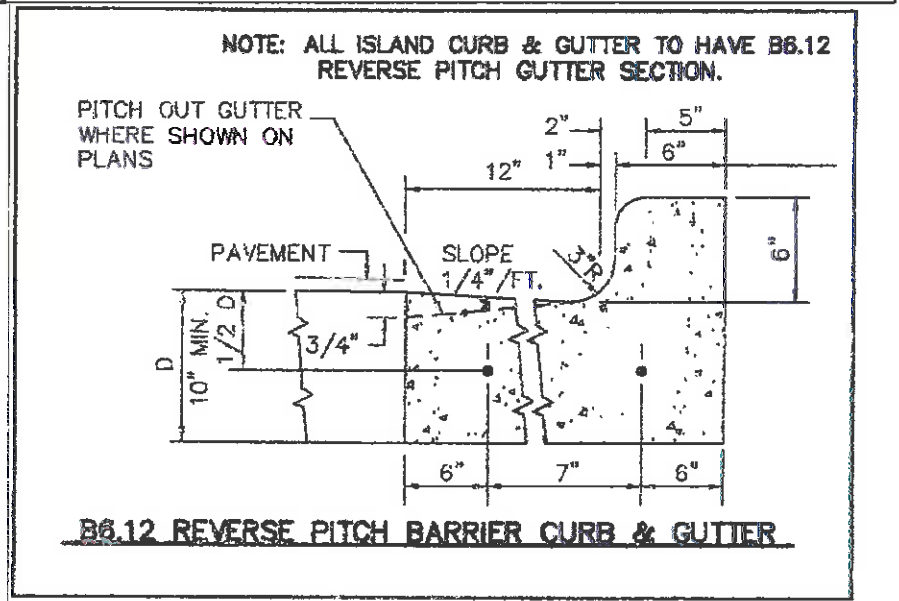
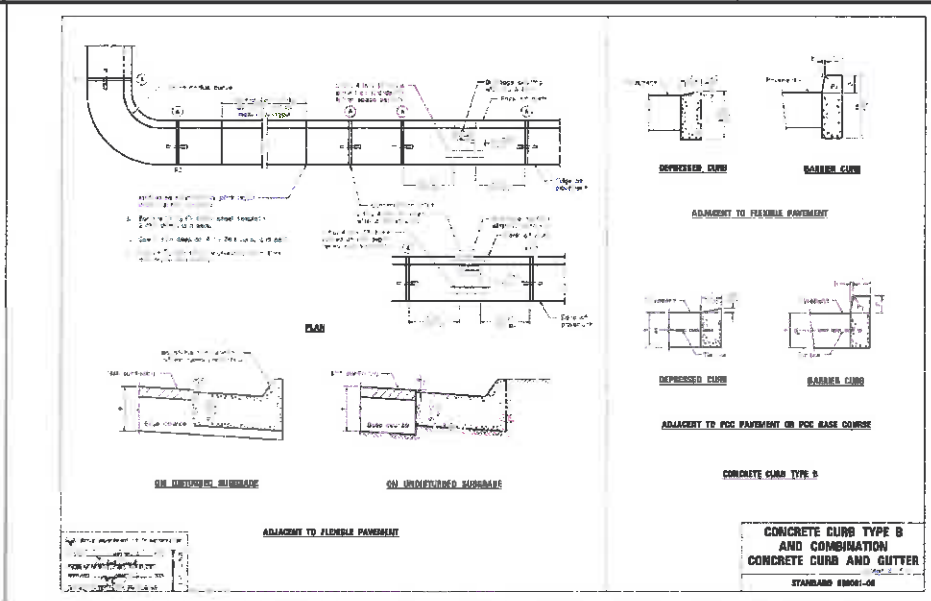
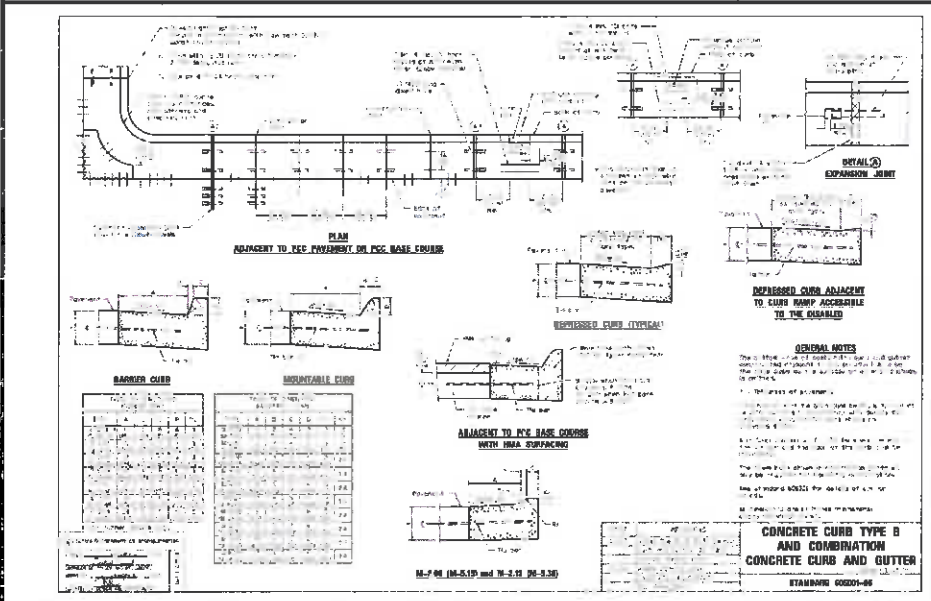
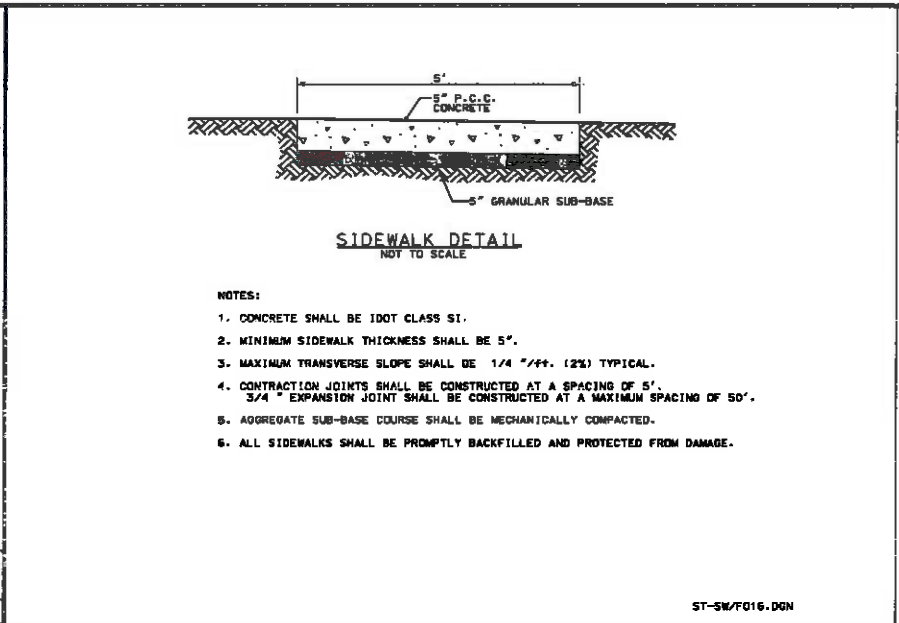
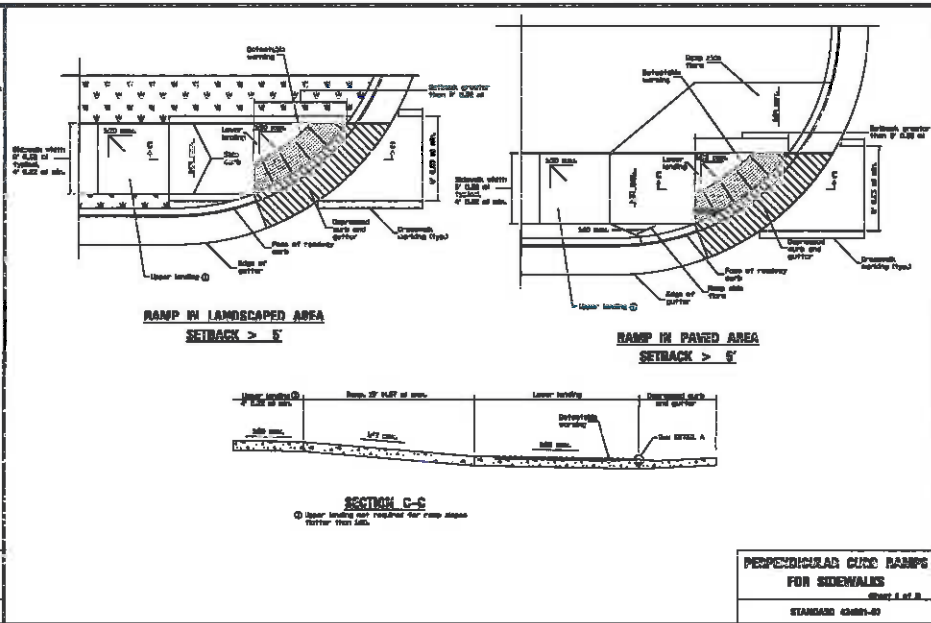
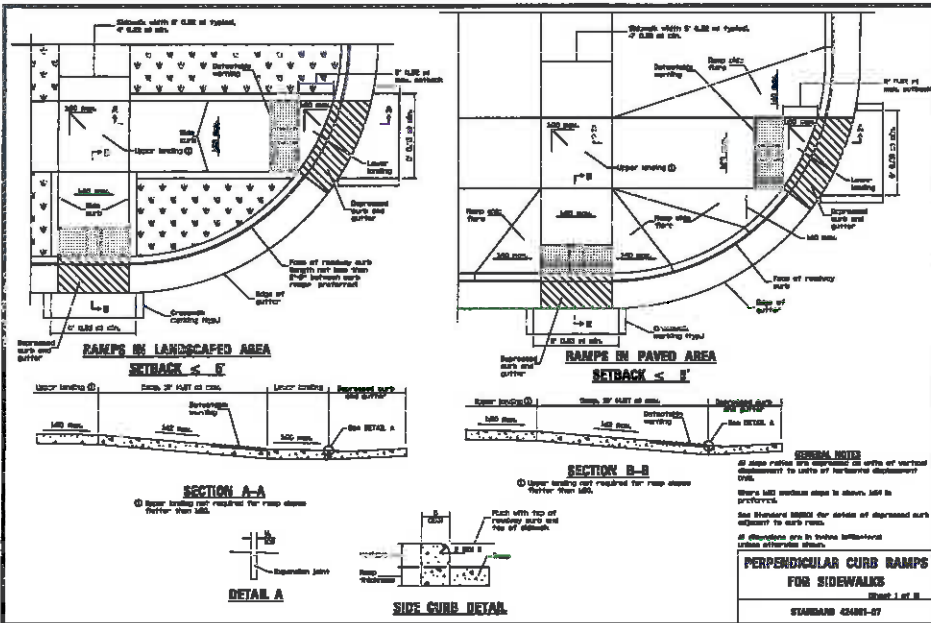
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Spaceco Inc. logo and contact information: 9572 W. Higgins Road, Suite 700, Rosemont, Illinois 60018, Phone: (847) 846-4046, Fax: (847) 846-4065



NO.	DATE	REMARKS
1	06/09/2016	PER AGENCY REVIEW

DETAILS - 1

7879 LEMONT ROAD

INDUSTRIAL BUILDING

DARIEN, ILLINOIS

CONSULTING ENGINEERS

SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

9375 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-0060 Fax: (847) 676-4065

SPACECO INC.

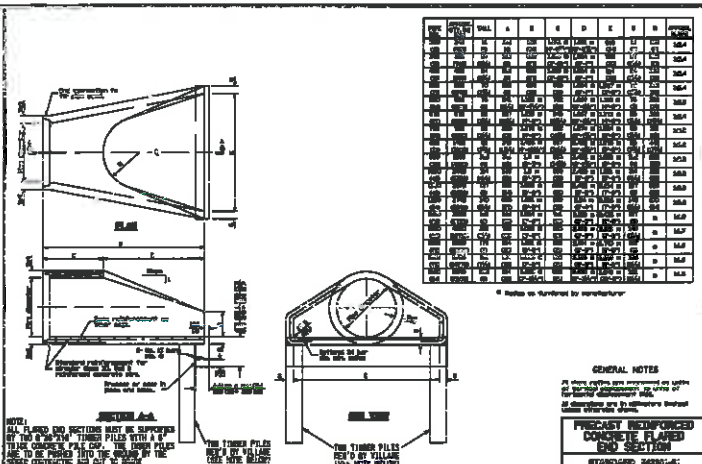
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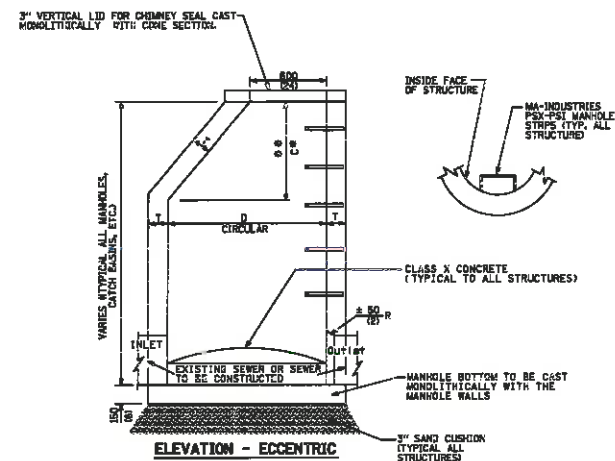
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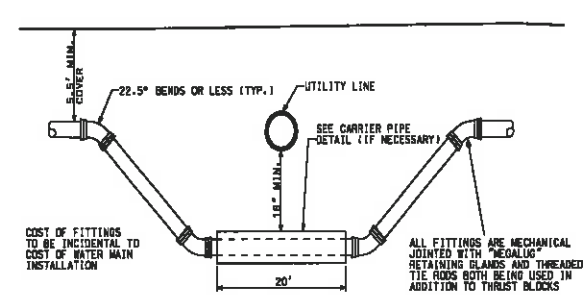




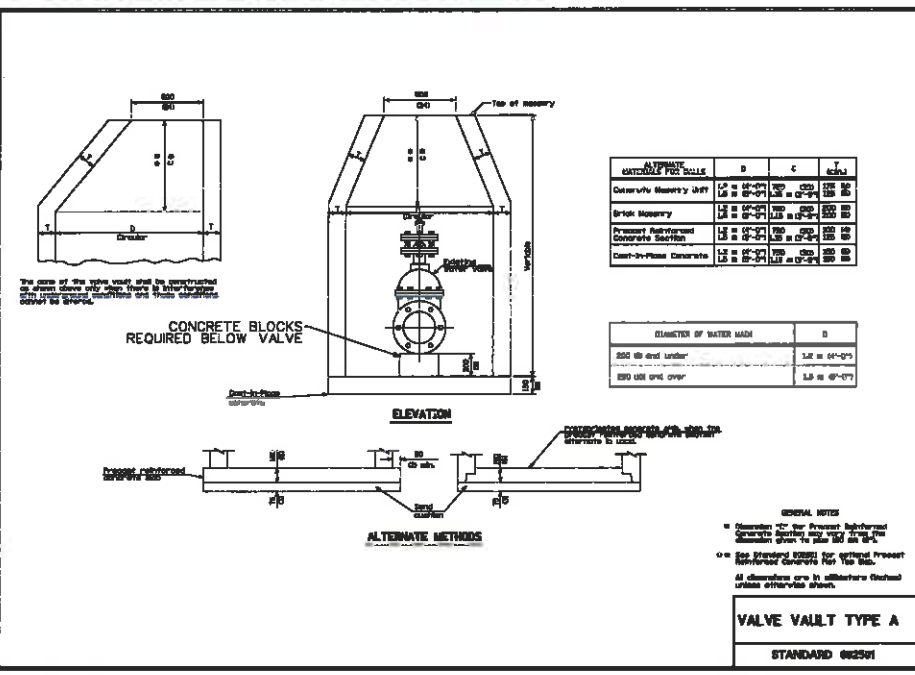
ALTERNATE MATERIALS FOR WALLS	D	C	I (MIN.)
PRECAST REINFORCED CONCRETE SECTIONS	1.2 M (4'-0")	150 (50)	125 (5)
	1.5 M (5'-0")	115 M (3'-7")	125 (5)

- GENERAL NOTES**
- SEWER PIPE TO BE CARRIED THROUGH MANHOLE TO 6" OUTSIDE FACE, FOLLOWED BY 2" LONG STUBS ON EITHER END (SANITARY MANHOLE PRECAST ONLY).
 - MANHOLES TO HAVE PRECAST "RUBBER BOOTS" CONFORMING TO ASTM C-923 AT ALL PIPE CONNECTIONS.
 - MANHOLES TO HAVE "CRATEX" EXTERNAL MANHOLE CHIMNEY SEAL, OR "SURSEAL" EXTERNAL CHIMNEY SEAL AS MANUFACTURED BY MAR MAC CONSTRUCTION PRODUCTS, INC.
 - "MAC WRAP" EXTERNAL SEAL BANDS AS MANUFACTURED BY MAR MAC MANUFACTURING SHALL BE CENTERED OVER ALL PRECAST MANHOLE SECTION JOINTS. THE MINIMUM WIDTH OF THE EXTERNAL SEAL BANDS SHALL BE 600 INCHES.
 - SANITARY MANHOLES SHALL HAVE BITUMINOUS SEALCOAT OR EQUAL ON EXTERIOR.
- SEE STANDARD 602701 FOR DETAILS OF STEPS.
 DIMENSION "C" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS 150 MM (6").
 SEE STANDARD 602501 FOR OPTIONAL PRECAST REINFORCED CONCRETE PLAT SLAB TOP.
 ALL DIMENSIONS ARE IN MILLIMETERS (INCHES) UNLESS OTHERWISE SHOWN.

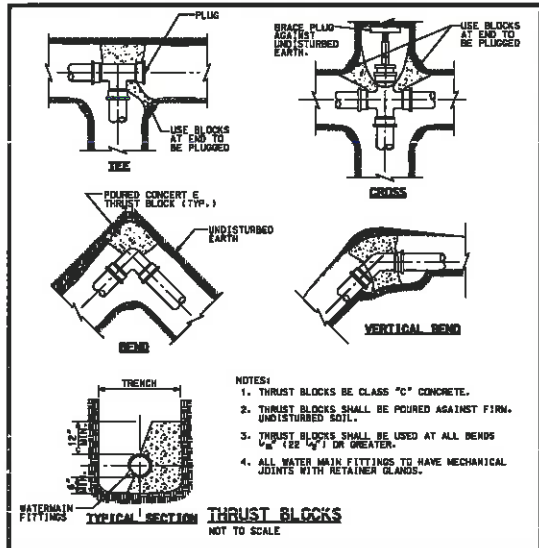
SANITARY MANHOLE TYPE A
 STANDARD 602401



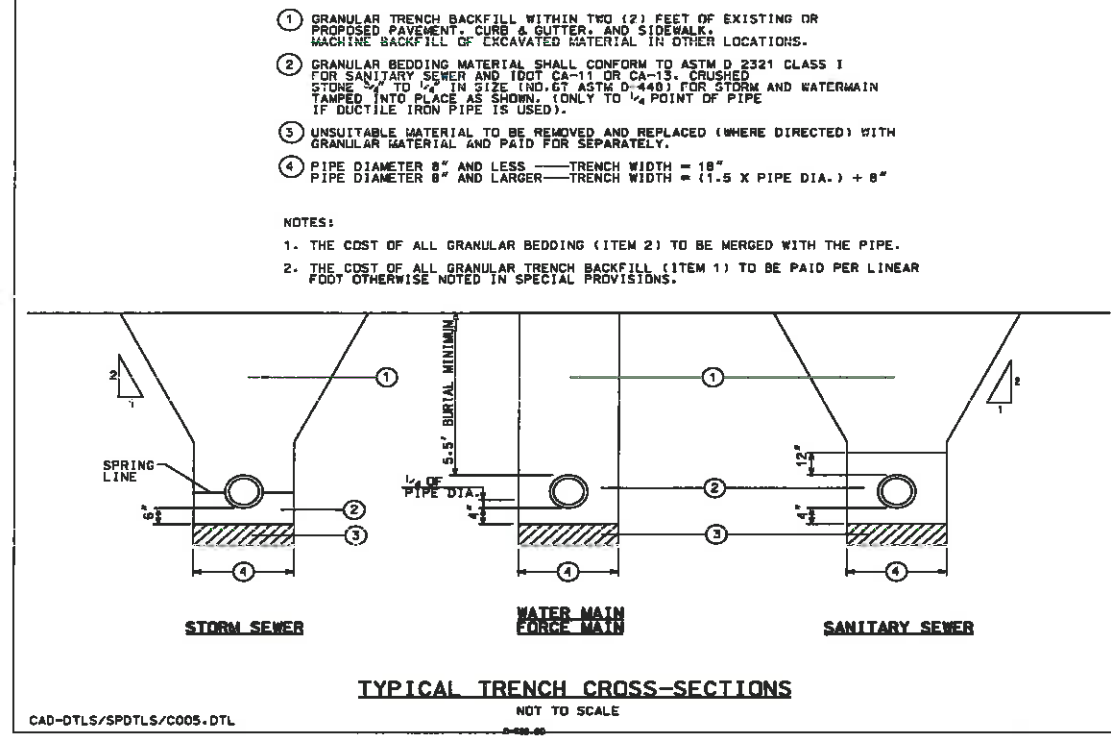
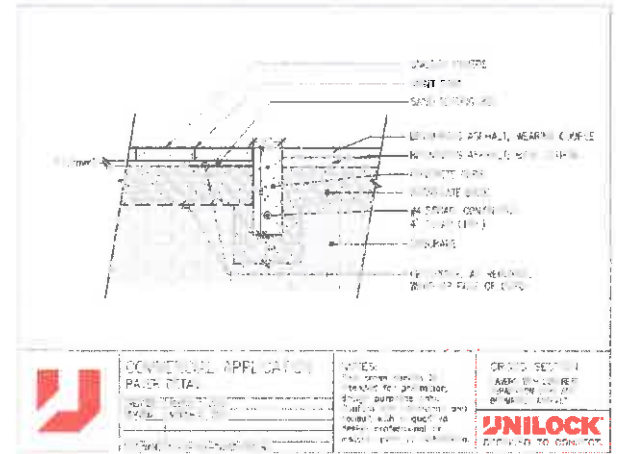
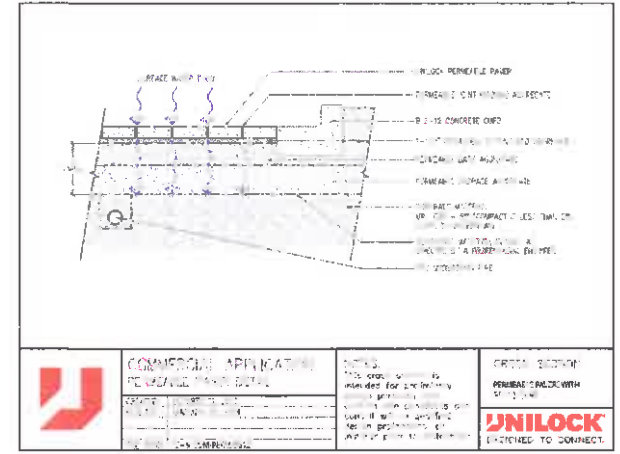
WATER MAIN OFF-SET DETAIL
 NOT TO SCALE



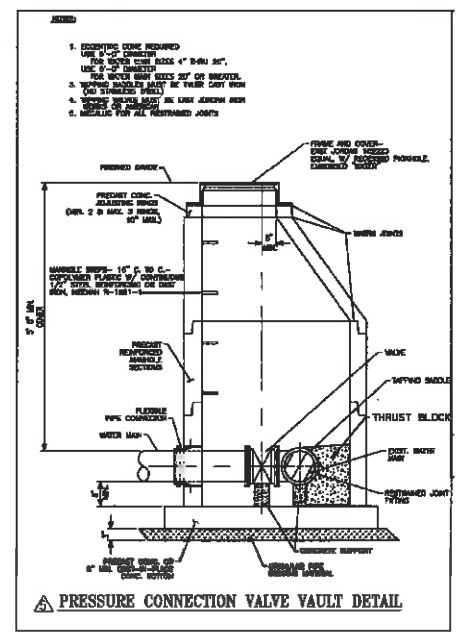
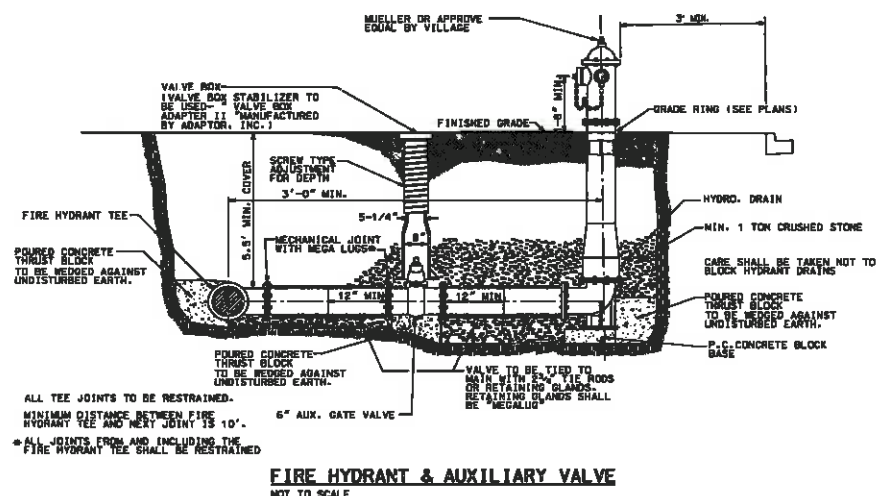
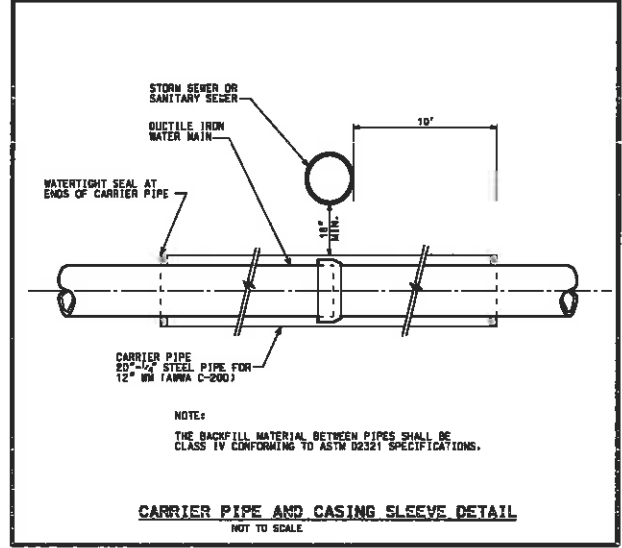
VALVE VAULT TYPE A
 STANDARD 602501



CARRIER PIPE AND CASING SLEEVE DETAIL
 NOT TO SCALE



TYPICAL TRENCH CROSS-SECTIONS
 NOT TO SCALE



DETAILS - 3

7879 LEMONT ROAD
INDUSTRIAL BUILDING
 DARIEN, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 686-4050 Fax: (847) 686-4055

SPACECO INC.

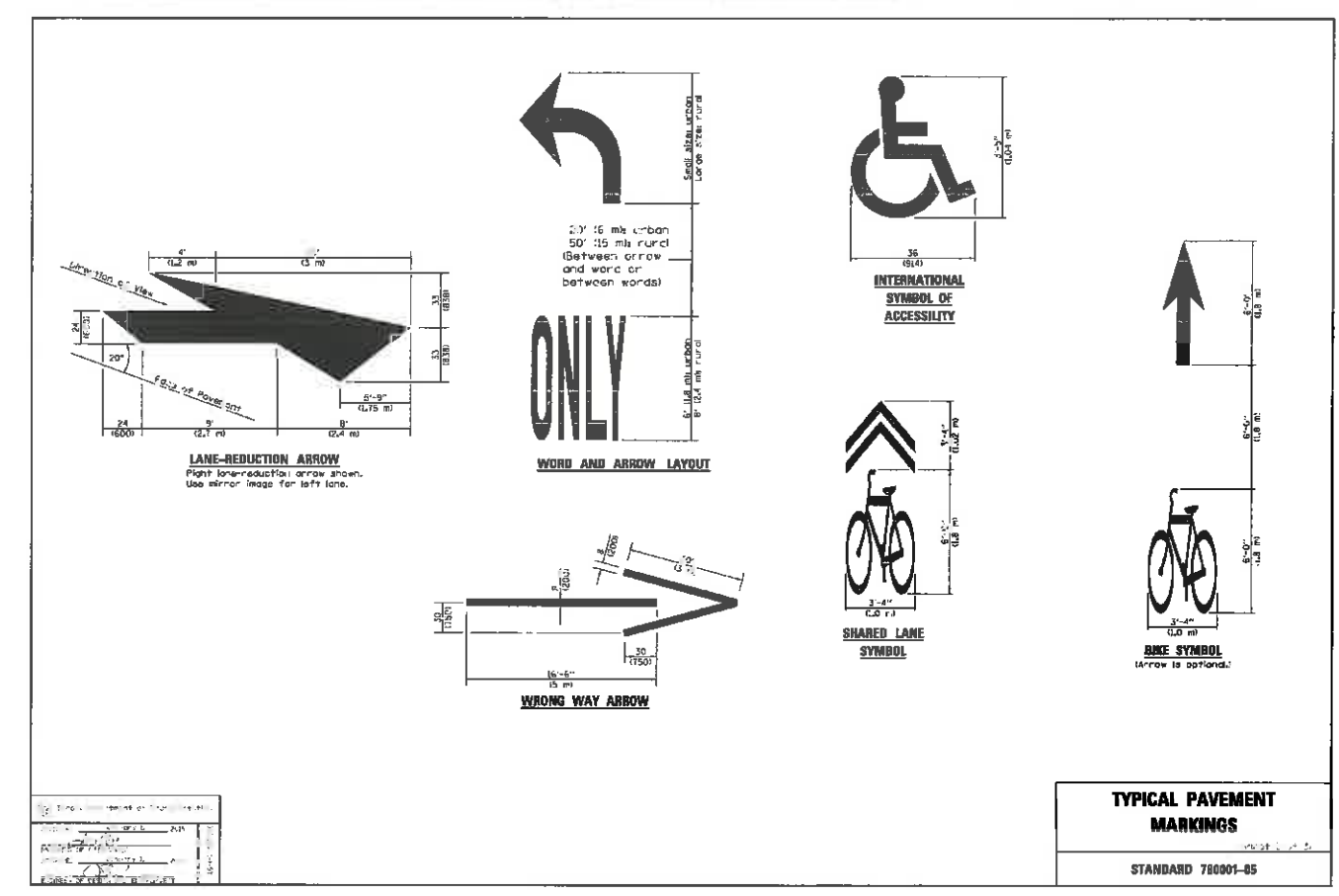
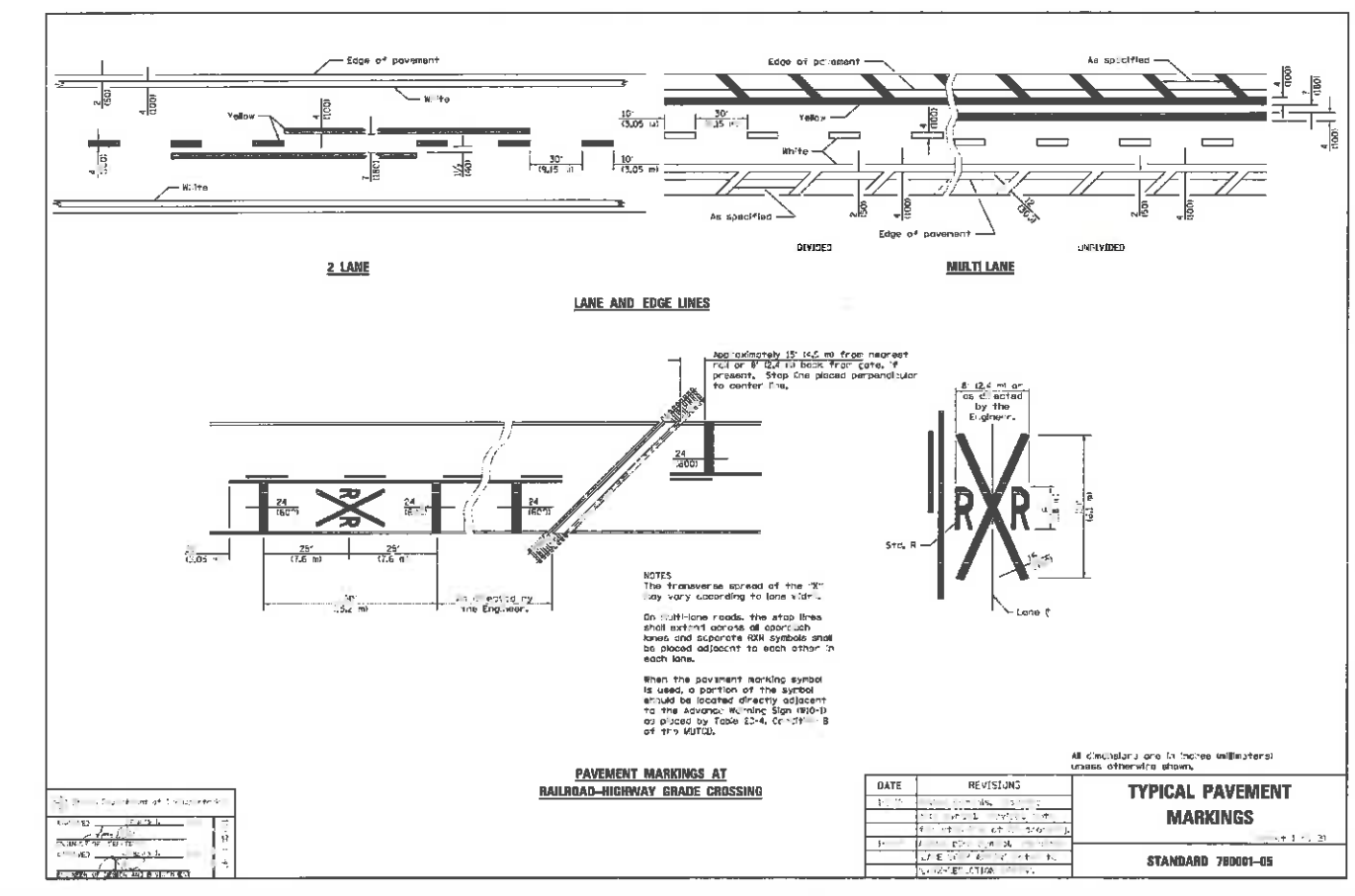
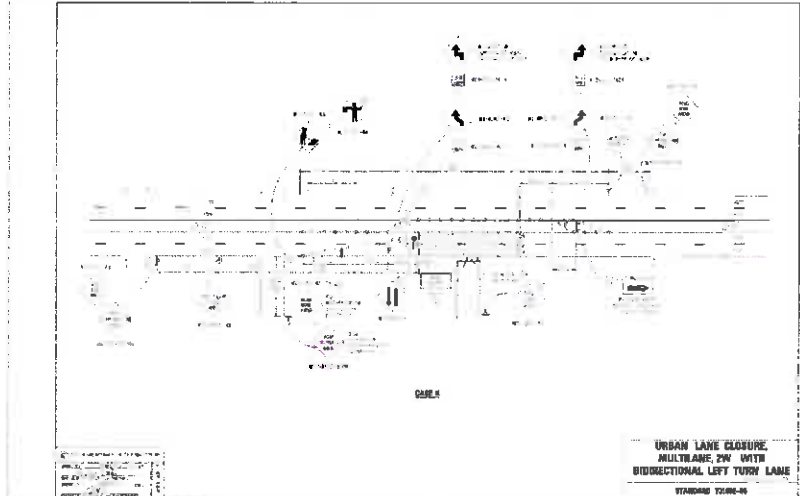
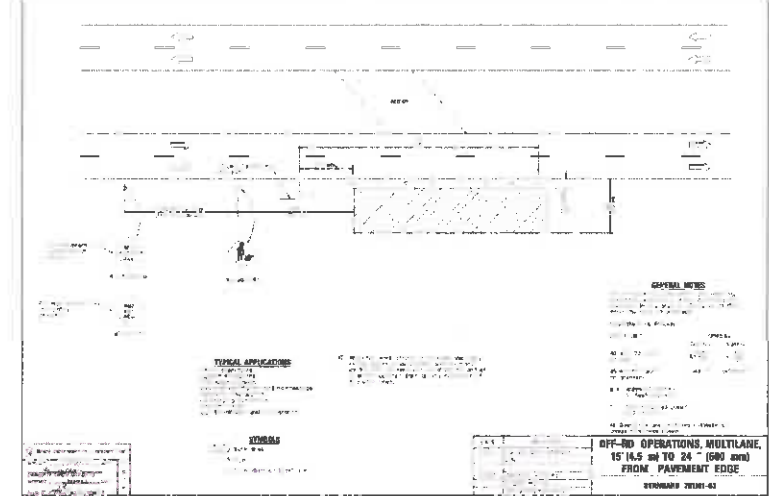
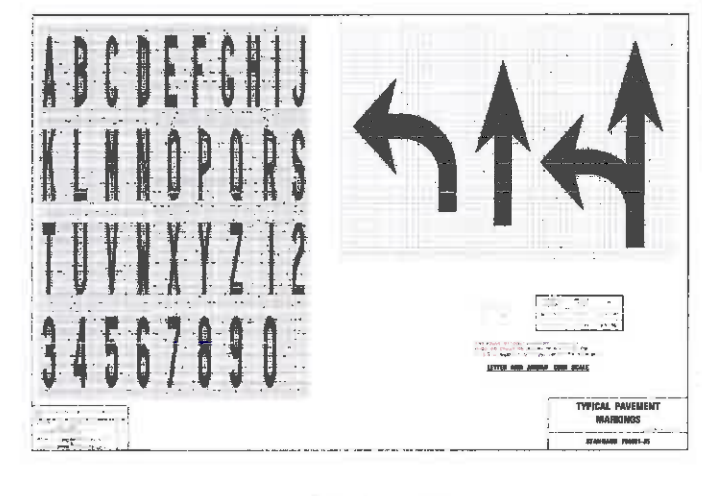
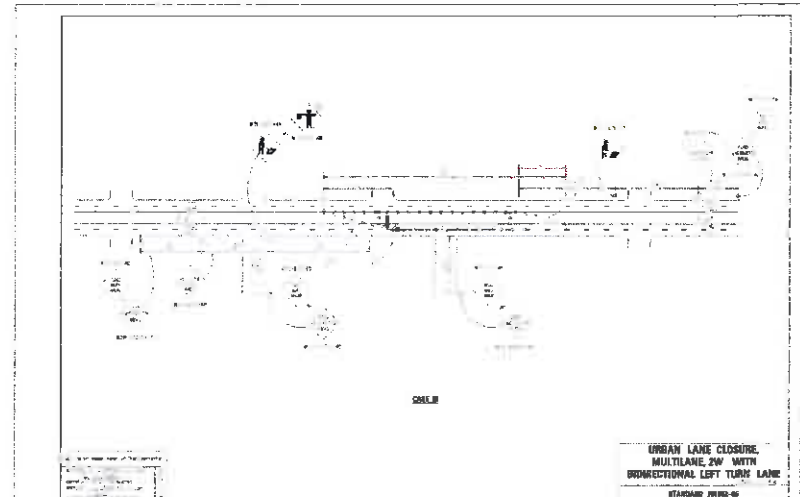
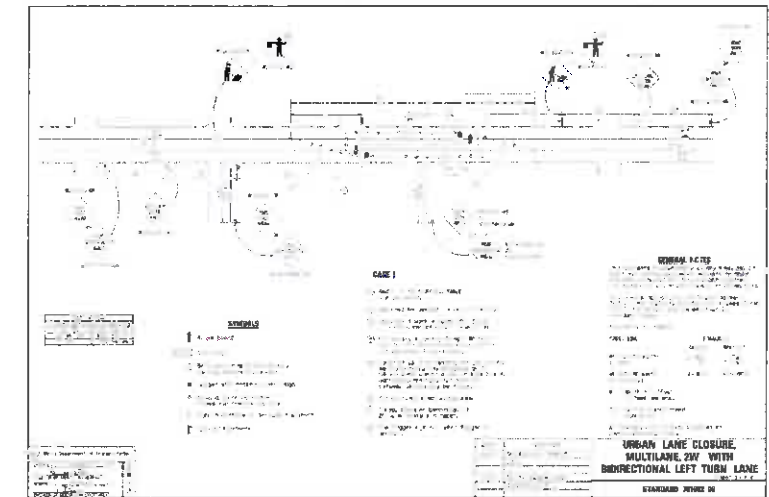
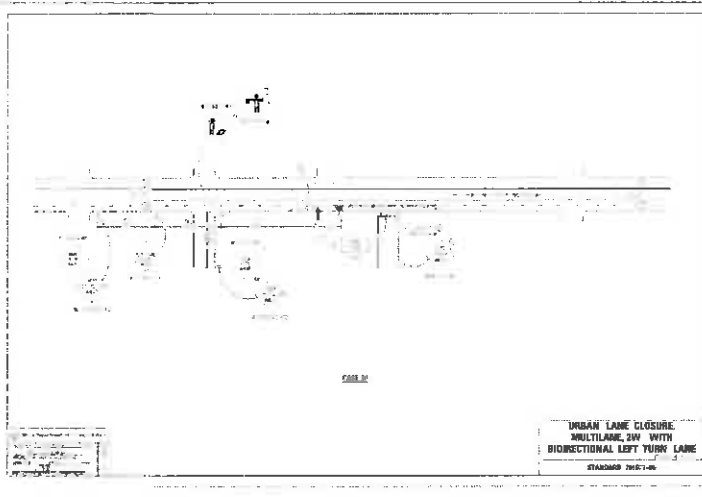
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 03/18/2016

JOB NO.
 8942

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D3
 20 OF 22



DETAILS - 5

7879 LEMONT ROAD
INDUSTRIAL BUILDING
DARIEN, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

SPACECO INC.

FILENAME:
8942DET05

DATE:
03/18/2016

JOB NO.
8942

SHEET
D5

22 OF 22

NO.	DATE	REMARKS
1	06/09/2016	PER AGENCY REVIEW



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

June 14, 2016

City of Darien
1702 Plainfield Road
Darien, IL 60561

Attention: Dan Gombac

Subject: 7879 Lemont Road
(CBBEL Project No. 950323H197)

Dear Dan:

As requested, we have reviewed the revised Site Improvement Plans for the aforementioned property prepared by SPACECO, Inc. and dated June 9, 2016. Please note that SPACECO, Inc. is an affiliate company of Christopher B. Burke Engineering, Ltd. (CBBEL). Our previous comments have been addressed and we have no objection to the project being approved, subject to the following items:

- Approvals must be secured from all outside permitting agencies including, but not limited to: DuPage County Stormwater (wetlands), DuPage County Public Works (sanitary sewer), DuPage County DOT, and IEPA.
- A development security for all stormwater related items must be posted.
- An easement plat must be recorded to grant the various easements necessary for the project.

If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Daniel L. Lynch', is written over a light blue horizontal line.

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

MEMORANDUM

June 1, 2016

TO: Dan Gombac
City of Darien
Director of Community Development

FROM: Kevin Baldwin, PE

SUBJECT: Sound Study for the Proposed Development at 7879 Lemont Road
(CBBEL Project No. 16-0238)

OBJECTIVE:

Christopher B. Burke Engineering, Ltd. (CBBEL) has conducted a sound study for the potential noises that are produced from the proposed office / warehouse facility to be located at the subject address. The purpose of this Memorandum is to show the process and background information involved with this sound study.

SITE LOCATION AND LAYOUT:

The proposed location resides east of Lemont Road and north of Whitlock Drive as shown in the layout below in Figure 1.



Figure 1: Proposed Office / Warehouse Facility Location Map



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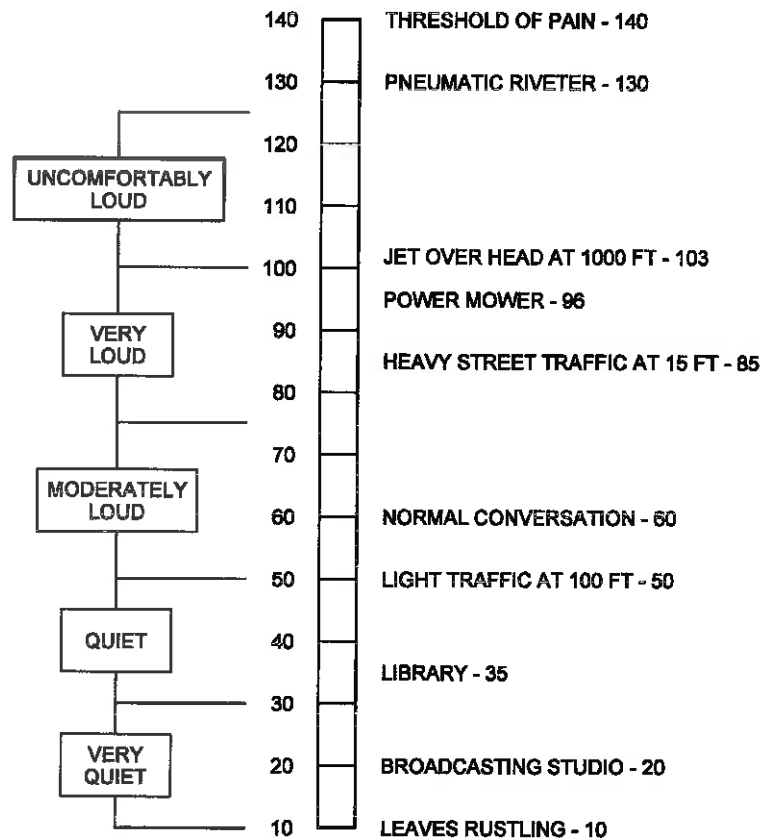
9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

MEMORANDUM

There is a 120 foot Nicor Gas easement between the southern property line of the proposed location and the northern property line of the residential homes. From the plans prepared by Panattoni, the southern face of the proposed building is approximately 61.5 feet from the proposed property line. For the purpose of this sound study, the assumption of the closest sound source centerline to the southern face of the proposed building is approximately 58.5 feet to the first exterior docking bay location. From the closest sound source to residential property line directly south totals 240 feet.

NOISE LEVEL COMPARISONS:

To associate noise levels with the results of the sound study, the diagram below shows typical noise levels from everyday situations for reference.



TYPICAL NOISE LEVELS IN DECIBELS (dBA)



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MEMORANDUM

DARIEN NOISE ORDINANCE:

For quick reference, the below table states Darien's Noise Ordinance under Chapter 12, Performance Standards, 5A-12-4-1: Noise.

At no point on the property line on which the operation is located shall the sound intensity level of any individual operation or plant (other than the operation of motor vehicles or other transportation vehicles) exceed the decibel levels in the designated octave bands as hereinafter shown in the following table:

MAXIMUM PERMITTED SOUND LEVEL (DECIBELS)

<u>Octave Bank (Frequency) Cycles Per Sound</u>	<u>Industrial Or Commercial Adjoining Nonresidential District</u>	<u>Industrial, Commercial Or Residence Adjoining Residence Properties</u>
0 to 75	79	72
75 to 150	74	67
150 to 300	66	59
300 to 600	59	52
600 to 1,200	53	46
1,200 to 2,400	47	42
2,400 to 4,800	41	38
Above 4,800	39	38
<i>Total SPL dB</i>	<i>80.4</i>	<i>73.4</i>

Noise testing is to be accomplished at the property line of the noise emitting source, with an octave band analyzer operated by an independently employed person, trained, and skilled in the operation of this equipment. (Ord. 0-35-13, 12-2-2013)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

MEMORANDUM

TRUCK NOISE ANALYSIS:

The following truck noise scenarios were researched to find a corresponding average A-weighted decibel (dBA) level in normal conditions:

- Semi-Trailer Trucks without a muffler installed;
- Semi-Trailer Trucks with a muffler installed;
- Back up alarms from reversing trucks.

Table 1 shows the average decibel levels for each scenario for one (1) truck sound source.

Table 1: Trucking Noise Scenarios

<i>Scenario</i>	<i>Average dBA Level</i>	<i>dBA Level Used</i>	<i>At a Distance of</i>
Typical Truck with no Muffler	96 - 101	100	50 feet
Typical Truck with Muffler	80 - 87	86	50 feet
Typical Backup Alarm	112	112	3 feet

From Table 1, the reduction in loudness can be determined for the direct path of sound in air. Further in-depth calculations and sound level chart are attached to this Memorandum.

Table 2: Direct Path Noise Reduction

<i>Direct Path (No Barriers)</i>	<i>Distance to Property</i>	<i>Reduction of Sound Pressure Level to Distance (dBA)</i>
Typical Truck with no Muffler	240 feet	86.4
Typical Truck with Muffler	240 feet	72.4
Typical Backup Alarm	240 feet	73.9

Upon investigating into the existing conditions of the area, there are existing barriers between the proposed location and existing residential homes. A 4' high wooden fence and various species of dense trees paralleling the entire length of the south residential property line. With these existing dense barriers, it is presumed to reduce the sound pressure level approximately 6 dBA for all scenarios at the residential property line.



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MEMORANDUM

Table 3: Noise Reduction with Existing Noise Barriers

<i>Existing Noise Barriers</i>	<i>Distance to Property</i>	<i>Reduction of Sound Pressure Level to Distance (dBA)</i>
Typical Truck with no Muffler	240 feet	80.4
Typical Truck with Muffler	240 feet	66.4
Typical Backup Alarm	240 feet	67.9

MULTIPLE SOUND SOURCES

For the discussion of multiple sound sources for this study, it is assumed that the trucks coming entering and exiting the proposed location are similar in nature. Therefore, Table 4 shows the increase in sound pressure level compared to how many sources are on site.

Table 4: Addition of Identical Sound Sources

<i>Number of Sources [N]</i>	<i>Increase in Sound Power Level (dB) [10 log (N)]</i>
2	3
3	4.8
4	6
5	7
10	10

According to the proposed plans, there are 18 proposed exterior docking locations for this building. It would be unusual for more than 3 or 4 trucks moving and backing-out of a docking area at the same time due to space limitations of the pavement area.



MEMORANDUM

CONCLUSION:

From the worst case scenarios of sound source locations for the proposed facility along with existing vegetation barriers in place between the existing residences of Whitlock Drive, it appears the noise level of the trucks entering and leaving the facility would be closely below the total Sound Pressure Level of the City's Ordinance.

Table 5: Sound Pressure Level Comparisons

<i>Scenarios</i>	<i>Sound Pressure Level at Residential Property Line (dBA)</i>	<i>City's Noise Ordinance Total Sound Pressure Level (dBA)</i>	<i>Above / Below Ordinance</i>
Typical Truck with no Muffler	80.4	73.4	Above
Typical Truck with Muffler	66.4	73.4	Below
Typical Backup Alarm	67.9	73.4	Below

Further determinations of exact type of frequencies generated by the truck engines and backup alarm would pinpoint exact octave band sound levels permitted. The combination of multiple truck sources on site does bring the sound pressure level of the area up closer to the threshold of the City's Ordinance. The actual operations of the facility traffic rate and hours are unknown at the time of this study.

It is presumed the noise ordinance restrictions are enforced at all hours of the day since it is not specifically stated within the ordinance.

To further reduce the sound levels of the facility, it is recommended a noise attenuation barrier wall similar to a back-to-back, board-on-board wolmanized wood fence approximately 8 to 10 feet above grade for approximately 400 feet be located at the southeast corner of the proposed facility to direct the truck noises above the existing residential homes.

KWB/kwb

N:\DARIEN\160238\Admin\M1.060116.docx



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

**CITY OF DARIEN
 PROPOSED DEVELOPMENT AT 7879 LEMONT ROAD
 CBBEL PROJECT NO. 16-0238**

SOUND STUDY ANALYSIS

TRUCK ENGINE RAISED 4'-0" ABOVE GRADE **DIRECT PATH (NO BARRIERS)**

Truck with No Muffler

Total A-Weighted Sound Pressure Level	L1	100	dBa
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	86.38	dBa
Difference of dBA	Delta	13.62	dBa
Median	Air		
Any walls between barrier	No		

Truck with Muffler

Total A-Weighted Sound Pressure Level	L1	86	dBa
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	72.38	dBa
Difference of dBA	Delta	13.62	dBa
Median	Air		
Any walls between barrier	No		

Backup Alarm

Total A-Weighted Sound Pressure Level	L1	112	dBa
Horizontal Distance from Unit to Recorder	d1	3	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	73.94	dBa
Difference of dBA	Delta	38.06	dBa
Median	Air		
Any walls between barrier	No		

$$L2 = L1 - ABS(20 * LOG(d1 / d2))$$

Noise Level Comparisons

Power Tools, Lawn Mower	90 db
Factory, Alarm Clock, Busy Traffic	80 db
Car at 30 ft, Vacuum Cleaner	70 db
Conversation, TV Sound at Home	60 db
Moderate Rainfall	50 db
Refrigerator	40 db
Whisper, Quiet Room, Library	30 db
Watch Ticking	20 db
Leaves Rustling, Human Breathing	10 db

CITY OF DARIEN
PROPOSED DEVELOPMENT AT 7879 LEMONT ROAD
CBBEL PROJECT NO. 16-0238

SOUND STUDY ANALYSIS

TRUCK ENGINE RAISED 4'-0" ABOVE GRADE

EXISTING NOISE BARRIERS

Truck with No Muffler

Total A-Weighted Sound Pressure Level	L1	100	dBA
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	86.38	dBA
Difference of dBA	Delta	13.62	dBA
Median	Air		
Any trees between barrier	Yes	Various Heights	
Reduction of SPL due to trees	-4		
Any walls between barrier	Yes	Wooden Fence	
Reduction of SPL due to barrier	-2	80.38	dBA

Truck with Muffler

Total A-Weighted Sound Pressure Level	L1	86	dBA
Horizontal Distance from Unit to Recorder	d1	50	Ft
Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	72.38	dBA
Difference of dBA	Delta	13.62	dBA
Median	Air		
Any trees between barrier	Yes	Various Heights	
Reduction of SPL due to trees	-4		
Any walls between barrier	Yes	Wooden Fence	
Reduction of SPL due to barrier	-2	66.38	dBA

Backup Alarm

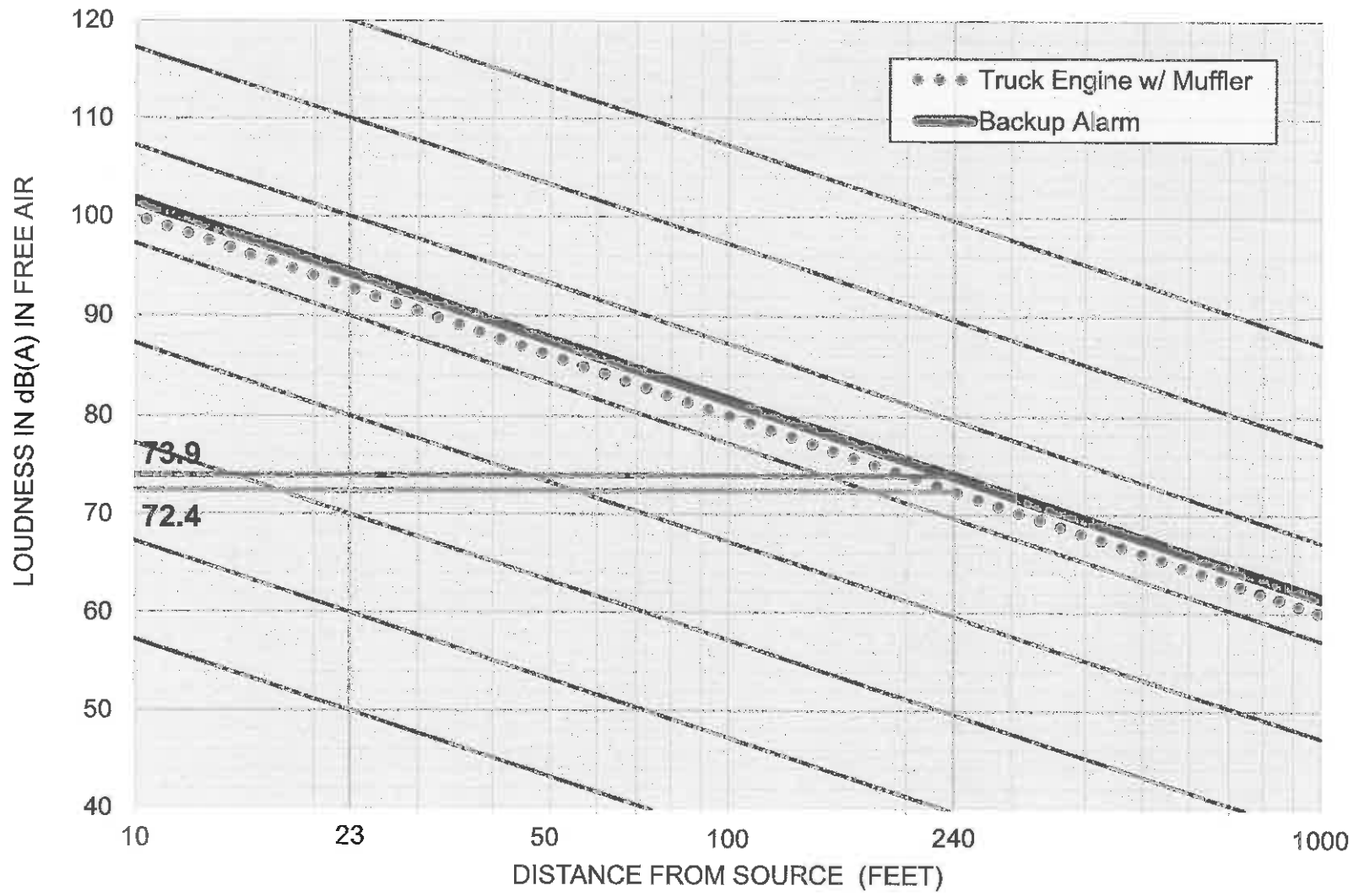
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Property Line Distance	d2	240	Ft
Reduction of SPL due to distance	L2	73.94	dBA
Difference of dBA	Delta	38.06	dBA
Median	Air		
Any trees between barrier	Yes	Various Heights	
Reduction of SPL due to trees	-4		
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Reduction of SPL due to barrier	-2	67.94	dBA

$$L2 = L1 - ABS (20 * LOG (d1 / d2))$$

Noise Level Comparisons

Power Tools, Lawn Mower	90 db
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Car at 30 ft, Vacuum Cleaner	70 db
Conversation, TV Sound at Home	60 db
Moderate Rainfall	50 db
Refrigerator	40 db
Whisper, Quiet Room, Library	30 db
Watch Ticking	20 db
Leaves Rustling, Human Breathing	10 db

SOUND LEVEL CHART



AGENDA MEMO
Municipal Services Committee
June 20, 2016

ISSUE STATEMENT

A resolution accepting proposals in the total amount of \$9,850, including a contingency in the amount of \$127.53, from:

Belson Outdoor Products for the below Clock Tower, located at Plainfield Road and Cass Avenue in an amount not to exceed \$8,082.47.

1. Concrete Benches (3 each)
2. Concrete Bike Racks (2 each)
3. Trash Can Receptacles (3 each)

And

Architectural Bronze and Aluminum Corporation for the plaques in an amount not to exceed \$1,640.

BACKGROUND/HISTORY

During the last couple of months, the City has received a grant and several donations for amenities at the Clock Tower site, located at Cass Avenue and Plainfield Road. The color scheme is Sand Tan with an etched and smooth finish. A sample will be on display at the meeting. The amenities would include the following:

- 3-Concrete Benches-Includes an amber glass within the finish
- 2- Concrete Bike Racks
- 3-Trash Can Receptacles
- 10-Plaques

The City applied for and received a grant in the amount of \$5,000 from the Walmart Foundation. In addition, the following donations were received:

Organization/Individual	Amount
Walmart Foundation	\$5,000
Darien Lions Club	\$1,300
Darien Womans Club	\$1,300
Joanne Coleman	\$1,300
Joseph Sadowski	\$ 950
Total Funds Received	\$9,850

The staff has researched the above products and determined that the concrete products would be the most durable and maintenance free compared to plastic or metal based products. The concrete products are all custom products with limited manufacturers. Attached and labeled as Attachment A, is a summary of two competitive quotes for the above-mentioned concrete products. Belson Outdoor

Products is the lowest competitive quote and is located in Aurora, Illinois and has been in business since 1948. The Staff had reviewed additional vendors for the concrete products and they were unable to provide limited concrete products, therefore causing a color and texture consistency concern through mixing and matching.

The organizations and private donators requested plaques to be placed on the benches and bike racks. The Walmart Foundation did not request plaques. The selected vendor for the plaques is a sole source provider for the aluminum plaques with the rear mounting studs.

STAFF RECOMMENDATION

Staff recommends approval of the resolution accepting the above proposals and contingency in the total amount of \$9,850.

ALTERNATE DECISION

As directed by the Municipal Services Committee

DECISION MODE

This item will be placed on the June 20, 2016 City Council agenda for formal consideration.

DARIEN POINTE AMENITIES - PRICE COMPARISON

VENDOR	DESCRIPTION	MODEL NO	UNITS	COST PER UNIT	TOTAL COST	AWARDED TOTAL COSTS
<i>BELSON PRODUCTS</i>	DECORATIVE CONCRETE BENCH	TF-5065-CUS7	3	\$ 1,321.00	\$ 3,963.00	
	CONCRETE BICK RACK	BR3	2	\$ 688.00	\$ 1,376.00	
	CONCRETE TRASH RECEPTACLE	TCR-OCT	3	\$ 655.00	\$ 1,965.00	
	SHIPPING				\$ 778.47	
TOTAL COSTS				\$ 8,082.47	\$ 8,082.47	
<i>FSI INDUSTRIES</i>	DECORATIVE CONCRETE BENCH	TF-5067-C30	3	\$ 1,508.00	\$ 4,524.00	
	CONCRETE BIke RACK	BR3	2	\$ 690.00	\$ 1,380.00	
	CONCRETE TRASH RECEPTACLE	TCH	3	\$ 587.00	\$ 1,761.00	
	SHIPPING				800	
TOTAL COSTS				\$ 8,465.00		
ARCHITECTURAL BRONZE AND ALUMINUM CORP	PLAQUES	8" x 8" x 1/4" CAST ALUMINUM 1/4 THICK WITH REAR MOUNT STUDS	10	\$ 164.00	\$ 1,640.00	\$ 1,640.00
TOTAL PACKAGE COST					\$ 9,722.47	
TOTAL GRANTS AND DONATIONS					\$ 9,850.00	
CONTINGENCY					\$ 127.53	
TOTAL PACKAGE COST WITH CONTINGENCY					\$ 9,850.00	

You have received this Quote per your request from Belson Outdoors (belson.com).
 If you are having trouble reading this email? [View it in your browser](#) or go to
<https://www.belson.com/Secure/Request.aspx?OrderID=170993&Key=3433.7339841691>

Quote #
WQ 170993

Here is the Quote as per your request. The 'Shipping' total has been applied.
 To place an order, simply click 'Submit Order Confirmation' below.
 Please print this page for your records.
 Customer Order Confirmation is required to process order.



111 North River Road
 North Aurora, IL. 60542
 sales@belson.com

Toll Free: 1-800-323-5664
 Phone: 1-630-897-8489
 Fax: 1-630-897-0573

QUOTE #
WQ 170993

Model #	Description	Lbs	Quantity	Unit Price	Unit Total
TCR-OCT	Octagon Concrete Trash Receptacle, 31-1/2"Dia. x 39"H Brown Derby Lid Etch Sand Tan Base	400	3	\$655.00	\$1,965.00
BR-3	Concrete Bike Rack, 62"L x 31"W x 19"H Brown Derby Loops Sand Tan Etch Finish	580	2	\$688.00	\$1,376.00
TF5065-CUS7	Decorative Concrete Bench, With Back, 84"L x 24"W x 36"H Weatherstone Finish Sand Matrix Emerald Glass	1,500	3	\$1,321.00	\$3,963.00
Subtotal				6,860	
				Subtotal	\$7,304.00
				(Illinois Only) Tax	\$0.00
				Shipping	\$778.47
				Grand Total	\$8,082.47

Amber

Customer Order Confirmation is required to process order.

Your Order will not be shipped without your "Order Confirmation"



Your Outdoor Superstore®

1-800-323-5664
M-F 8:00am - 4:30pm CST

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Precast Concrete Bench



Model TF5065 | Precast Concrete Bench

Ground Glass Concrete Finish options; choose the preferred finish, select your desired matrix and then pick the recycled glass color to best suit your needs

Concrete Park Bench with Back

The straight square seat and elegantly designed back reflects the classical styling of this precast concrete park bench. These park benches are constructed from 'built to last' steel rebar reinforced concrete construction ensuring its durability.

Dimensions

Model TF5064 - 60"L x 24"W x 36"H

Model TF5065 - 84"L x 24"W x 36"H

These precast concrete benches are ideal for your school, park or city. Available in three concrete finish options; Weatherstone, Smooth Stained Acid Wash, and Ground Glass Concrete (qualifies for **LEED® points**).



Your Outdoor Superstore®

1-800-323-5664
M-F 8:00am - 4:30pm CST

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Concrete Bike Rack with Steel Loops for Six Bikes

Heavy-Duty Concrete & Powder-Coated Steel Bike Rack

This freestanding precast concrete bike rack has six bike slots and 1" rolled bar loops bolted to the base which allow users to securely lock their bikes with various bike locks. Loops are powder-coated in your choice of colors shown. Concrete aggregate serves as an appealing base that blends well with any outdoor setting.

Treated with water-repellent sealer to enhance the appearance of the stones, help prevent water, salt or dirt penetration and cracking, and most importantly, extend the life of the aggregate by forming a protective barrier against the elements. Manufactured from high quality aggregates to insure all requirements are met according to ASTM standards.



Model BR-3 | Etch Sand Tan



Your Outdoor Superstore

1-800-323-5664

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Octagon Concrete Trash Receptacle with Dome Top Lid

Rugged Steel Reinforced Trash Receptacle

This heavy-duty concrete trash receptacle has an appealing octagon shape with a round opening for the liner and a dome top lid which protects from the rain or snow. The sheer weight of this receptacle ensures that it will not walk off your property. Treated with water-repellent sealer to enhance the appearance of the stones, help prevent water, salt or dirt penetration and cracking, and most importantly, extend the life of the aggregate by forming a protective barrier against the elements. Rigid plastic 36 gallon round liner measures 19-1/2" Dia. x 29-3/4"H and is sold separately.

Specifications

- 36 Gallon Liner Sold Separately.
- Drain Hole at the Bottom.
- 5,000 PSI Minimum Compressive Strength.
- Concrete Meets ASTM C33 Specifications



Model TCR-OCT

Dan Gombac

From: Deb Dassow <Deb@petersenmfg.com>
Sent: Wednesday, June 15, 2016 11:07 AM
To: Dan Gombac
Subject: quote

Dan,

I had my sales team work up a quote for you...see below and please let us know if you have any questions.

2 BR3 tan etch, \$690.00 each plus tax if applicable and shipping
3 NWB, tan etch \$1508.00 each plus tax if applicable and shipping
3 TCRMD30 tan etch, \$587.00 each plus tax if applicable and shipping
Shipping for all of the above to zip code 60561 \$800.00 (off-loading not available)
Production lead time 6-8 weeks.

Best regards,

Debra Dassow
Secretary
Petersen Mfg. Company
712-263-2442

Dan Gombac

From: Ken Cooper <sales@architecturalbronze.com>
Sent: Monday, May 09, 2016 11:25 AM
To: Dan Gombac
Subject: RE: bench plates

Hi Dan, The best materials for durability in our climate are raised letter cast bronze, raised letter cast aluminum or etched stainless steel with enamel filled lettering. Proofs would be provided for your approval. Mounting is rear studs. Shipping 4-5 weeks and include ups ground shipping. Costs are as follows:

8" x 8" x 1/4" cast bronze @ \$274.00 each
8" x 8" x 1/4" cast aluminum @ \$164.00 each
8" x 8" x 1/16" @ \$179.00 each.

Ken Cooper, Pres.
Architectural Bronze & Aluminum Corp.
655 Deerfield Rd. Suite #100 PMB422
Deerfield, IL 60015
phone: 847-266-7300 fax: 847-266-7301
email: sales@architecturalbronze.com
web site: www.architecturalbronze.com

From: Dan Gombac [mailto:dgombac@darienil.gov]
Sent: Monday, May 09, 2016 10:46 AM
To: Ken Cooper
Subject: RE: bench plates

Good morning Ken:

We are looking at mounting plaques onto concrete benches and concrete bile racks within a community gathering place. The benches bile racks and trash receptacles are donations from residents. Looking for 6-12 plaques approximately 8 x 8 with the below inscription for 1. The remainder of the inscriptions may be similar with and without logos. The color of the concrete products are a sand and amber colors. Please recommend the material that you feel will last indefinitely and the best way to mount the plaques (mastic/fastners.

IN HONOR OF ORGAN DONORS AND THE LIVES THEY SAVE

If possible,. A simple logo (person with heart) can be found on the following website: <http://www.fairtransplant.org/the/logo/>

Please forward a quote with the lead times.

Daniel Gombac
Director of Municipal Services
630-353-8106

To receive important information from the City of Darien sign up for our electronic newsletter:

DARIEN DIRECT CONNECT

Follow the link below and subscribing is simple!

<http://www.darien.il.us/Departments/Administration/CityNews.html>

From: Ken Cooper [mailto:sales@architecturalbronze.com]
Sent: Monday, May 09, 2016 10:09 AM
To: Dan Gombac <dgombac@darienil.gov>
Subject: bench plates

May I be of further assistance with any bronze, aluminum or glass plaque, lettering, nameplate, award or donor recognition project? Ask about our plaque refinishing service. Free catalogs upon request. Thank you.
Ken Cooper, Pres.

Ken Cooper, Pres.

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM BELSON OUTDOOR PRODUCTS FOR THE CLOCK TOWER, LOCATED AT PLAINFIELD ROAD AND CASS AVENUE IN AN AMOUNT NOT TO EXCEED \$8,082.47 FOR THREE CONCRETE BENCHES, TWO CONCRETE BIKE RACKS, AND THREE TRASH CAN RECEPTACLES

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Belson Outdoor Products for the Clock Tower, located at Plainfield Road and Cass Avenue in an amount not to exceed \$8,082.47 for three concrete benches, two concrete bike racks, and three trash can receptacles, copy of which is attached hereto as "[Exhibit A](#)".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

CITY ATTORNEY

EXHIBIT A

You have received this Quote per your request from Belson Outdoors (belson.com).
 If you are having trouble reading this email? [View it in your browser](#) or go to
<https://www.belson.com/Secure/Request.aspx?OrderID=170993&Key=3433.73399841691>

Quote #
WQ 170993

Here is the Quote as per your request. The 'Shipping' total has been applied.
 To place an order, simply click 'Submit Order Confirmation' below.
 Please print this page for your records.
 Customer Order Confirmation is required to process order.



111 North River Road
 North Aurora, IL. 60542
 sales@belson.com

Toll Free: 1-800-323-5664
 Phone: 1-630-897-8489
 Fax: 1-630-897-0573

QUOTE #
WQ 170993

Model #	Description	Lbs	Quantity	Unit Price	Unit Total
TCR-OCT	Octagon Concrete Trash Receptacle, 31-1/2"Dia. x 39"H Brown Derby Lid Etch Sand Tan Base	400	3	\$655.00	\$1,965.00
BR-3	Concrete Bike Rack, 62"L x 31"W x 19"H Brown Derby Loops Sand Tan Etch Finish	580	2	\$688.00	\$1,376.00
TF5065-CUS7	Decorative Concrete Bench, With Back, 84"L x 24"W x 36"H Weatherstone Finish Sand Matrix Emerald Glass	1,500	3	\$1,321.00	\$3,963.00
Subtotal		6,860		Subtotal	\$7,304.00
				(Illinois Only) Tax	\$0.00
				Shipping	\$778.47
				Grand Total	\$8,082.47

Amber

Customer Order Confirmation is required to process order.

Your Order will not be shipped without your "Order Confirmation"



Your Outdoor Superstore™

1-800-323-5684
M-F 8:00am - 4:30pm CST

[Home](#) | [Free Catalog](#) | [About Us](#) | [Contact Us](#) | [FAQs](#) | [Site Map](#)

Precast Concrete Bench



Model TF5065 | Precast Concrete Bench

Ground Glass Concrete Finish options; choose the preferred finish, select your desired matrix and then pick the recycled glass color to best suit your needs.

Concrete Park Bench with Back

The straight square seat and elegantly designed back reflects the classical styling of this precast concrete park bench. These park benches are constructed from 'built to last' steel rebar reinforced concrete construction ensuring its durability.

Dimensions

Model TF5064 - 60"L x 24"W x 36"H

Model TF5065 - 84"L x 24"W x 36"H

These precast concrete benches are ideal for your school, park or city. Available in three concrete finish options; Weatherstone, Smooth Stained Acid Wash, and Ground Glass Concrete (qualifies for LEED® points).



Your Outdoor Superstore®

1-800-323-5664

M-F 8:00am - 4:30pm CST

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Concrete Bike Rack with Steel Loops for Six Bikes



Heavy-Duty Concrete & Powder-Coated Steel Bike Rack

This freestanding precast concrete bike rack has six bike slots and 1" rolled bar loops bolted to the base which allow users to securely lock their bikes with various bike locks. Loops are powder-coated in your choice of colors shown. Concrete aggregate serves as an appealing base that blends well with any outdoor setting.

Treated with water-repellent sealer to enhance the appearance of the stones, help prevent water, salt or dirt penetration and cracking, and most importantly, extend the life of the aggregate by forming a protective barrier against the elements. Manufactured from high quality aggregates to insure all requirements are met according to ASTM standards.



Model BR-3 | Etch Sand Tan



Your Outdoor Superstore®

1-800-323-5664
M-F 8:00am - 4:30pm CST

[Home](#) | [Free Catalog](#) | [About Us](#) | [Contact Us](#) | [FAQs](#) | [Site Map](#)

Octagon Concrete Trash Receptacle with Dome Top Lid



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Specifications

- 36 Gallon Liner Sold Separately.
- Drain Hole at the Bottom.
- 5,000 PSI Minimum Compressive Strength.
- Concrete Meets ASTM C33 Specifications



Model TCR-OCT

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM ARCHITECTURAL BRONZE AND ALUMINUM CORPORATION FOR THE PLAQUES IN AN AMOUNT NOT TO EXCEED \$1,640.00

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Architectural Bronze and Aluminum Corporation for the plaques in an amount not to exceed \$1,640.00, copy of which is attached hereto as “**Exhibit A**”.

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 20th day of June, 2016.

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

CITY ATTORNEY

Dan Gombac

From: Ken Cooper <sales@architecturalbronze.com>
Sent: Monday, May 09, 2016 11:25 AM
To: Dan Gombac
Subject: RE: bench plates

Hi Dan, The best materials for durability in our climate are raised letter cast bronze, raised letter cast aluminum or etched stainless steel with enamel filled lettering. Proofs would be provided for your approval. Mounting is rear studs. Shipping 4-5 weeks and include ups ground shipping. Costs are as follows:

8" x 8" x 1/4" cast bronze @ \$274.00 each
 8" x 8" x 1/4" cast aluminum @ \$164.00 each
 8" x 8" x 1/16" @ \$179.00 each.

Ken Cooper, Pres.
 Architectural Bronze & Aluminum Corp.
 655 Deerfield Rd. Suite #100 PMB422
 Deerfield, IL 60015
 phone: 847-266-7300 fax: 847-266-7301
 email: sales@architecturalbronze.com
 web site: www.architecturalbronze.com

From: Dan Gombac [mailto:dgombac@darienil.gov]
Sent: Monday, May 09, 2016 10:46 AM
To: Ken Cooper
Subject: RE: bench plates

Good morning Ken:

We are looking at mounting plaques onto concrete benches and concrete bile racks within a community gathering place. The benches bile racks and trash receptacles are donations from residents. Looking for 6-12 plaques approximately 8 x 8 with the below inscription for 1. The remainder of the inscriptions may be similar with and without logos. The color of the concrete products are a sand and amber colors. Please recommend the material that you feel will last indefinitely and the best way to mount the plaques (mastic/fastners).

IN HONOR OF ORGAN DONORS AND THE LIVES THEY SAVE

If possible,. A simple logo (person with heart) can be found on the following website: <http://www.fairtransplant.org/thelogo/>

Please forward a quote with the lead times.

Daniel Gombac
Director of Municipal Services
630-353-8106

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DARIEN DIRECT CONNECT

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Sent: Monday, May 09, 2016 10:09 AM
To: Dan Gombac <dgombac@darienil.gov>
Subject: bench plates

May I be of further assistance with any bronze, aluminum or glass plaque, lettering, nameplate, award or donor recognition project? Ask about our plaque refinishing service. Free catalogs upon request. Thank you.
Ken Cooper, Pres.

Ken Cooper, Pres.

AGENDA MEMO
Municipal Services Committee Meeting
June 20, 2016

ISSUE STATEMENT

A resolution accepting a proposal from Midwest Commercial Painting for the painting of the interior and exterior of the Old Lace School in an amount not to exceed \$8,885.

BACKGROUND

The City Municipal Services Department is responsible for certain capital maintenance projects that are in excess of \$5,000, for the Darien Historical Society as they relate to the Old Lace School, located at the North West corner of 75th Street and Cass Avenue. Staff had solicited for competitive quotes in late 2015 for the painting of the interior and the exterior of the building. The goal was to have the project completed by April 30, 2016. Prior to the award of the painting, **Commercial Painting**, the responsive competitive quote, was requested to determine if the existing paint was lead based. The vendor recently identified that there was lead in the inside and exterior of the building and an additional charge would be incurred. Upon confirmation of the lead base, the Staff had revisited the quotes for lead abatement approved vendors.

Attached and labeled as Attachment A is the cost breakdown as it relates to the interior and exterior painting project. The awarded vendor, **Midwest Commercial Painting**, did not originally provide a cost to move the artifacts and display cases. Staff had contacted them and they agreed to move the items as required for an additional cost of \$300. The vendor is also certified in repair of lead based paint and the IEPA license is on file. The vendor will be required to perform spot repairs within the interior and the exterior as required and is inclusive of the total costs provided.

The proposed project was budgeted in FYE16 in the amount of \$44,500. Due to the recent confirmation of lead concerns and proper abatement techniques, the project was not started by April 30, 2016. The FYE17 Budget did not include funding for the painting project, but anticipated the expenditure in FYE 16 estimated actual. Therefore, there is no budget impact by spending the funds in FYE 17.

STAFF RECOMMENDATION

Staff recommends approval of this resolution with Midwest Commercial Painting.

ALTERNATE CONSIDERATION

As directed by the Municipal Services Committee.

DECISION MODE

This item will be placed on the June 20, 2016 City Council agenda for formal approval.

COST COMPARISON - PAINTING
OLD LACE SCHOOL

ATTACHMENT A

VENDOR	MIDWEST COMMERICAL PAINTING	COMMERCIAL PAINTING	LAKEWOOD PAINTERS	ARCO CONSTRUCTION
DESCRIPTION				
INTERIOR PAINTING - <i>LEAD SAFE FIRM</i>	YES	NO	YES	NO
EXTERIOR PAINTING - <i>LEAD SAFE FIRM</i>	YES	NO	YES	NO
PAINTING AND PATCHING COST				
<i>INTERIOR</i>	\$4,350.00	\$4,000.00	\$5,450.00	\$6,095.00
<i>EXTERIOR</i>	\$3,950.00	\$4,141.00	\$5,900.00	\$5,175.00
MOVING OF ARTIFACTS				
<i>INTERIOR</i>	\$300.00	\$1,379.00	INCLUDED	INCLUDED
<i>EXTERIOR</i>	n/a	n/a	n/a	n/a
MINOR CARPENTRY WORK				
<i>INTERIOR</i>	n/a	n/a	n/a	n/a
<i>EXTERIOR</i>	\$285.00	not included	not included	not included
COST CENTER	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00
TOTAL PROJECT COST	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM
MIDWEST COMMERCIAL PAINTING FOR THE PAINTING OF THE INTERIOR
AND EXTERIOR OF THE OLD LACE SCHOOL IN AN AMOUNT NOT TO EXCEED
\$8,885.00**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE
COUNTY, ILLINOIS, as follows:**

SECTION 1: The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Midwest Commercial Painting for the painting of the interior and exterior of the Old Lace School in an amount not to exceed \$8,885.00, copy of which is attached hereto as "**Exhibit A**".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY,
ILLINOIS, this 20th day of June, 2016.**

AYES: _____

NAYS: _____

ABSENT: _____

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY,
ILLINOIS, this 20th day of June, 2016.**

KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

CITY ATTORNEY

COST COMPARISON - PAINTING
OLD LACE SCHOOL

EXHIBIT A

VENDOR	MIDWEST COMMERCIAL PAINTING	COMMERCIAL PAINTING	LAKEWOOD PAINTERS	ARCO CONSTRUCTION
DESCRIPTION				
INTERIOR PAINTING - <i>LEAD SAFE FIRM</i>	YES	NO	YES	NO
EXTERIOR PAINTING - <i>LEAD SAFE FIRM</i>	YES	NO	YES	NO
PAINTING AND PATCHING COST				
<i>INTERIOR</i>	\$4,350.00	\$4,000.00	\$5,450.00	\$6,095.00
<i>EXTERIOR</i>	\$3,950.00	\$4,141.00	\$5,900.00	\$5,175.00
MOVING OF ARTIFACTS				
<i>INTERIOR</i>	\$300.00	\$1,379.00	INCLUDED	INCLUDED
<i>EXTERIOR</i>	n/a	n/a	n/a	n/a
MINOR CARPENTRY WORK				
<i>INTERIOR</i>	n/a	n/a	n/a	n/a
<i>EXTERIOR</i>	\$285.00	not included	not included	not included
COST CENTER	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00
TOTAL PROJECT COST	\$8,885.00	\$9,520.00	\$11,350.00	\$11,270.00

**MINUTES
CITY OF DARIEN
MUNICIPAL SERVICES COMMITTEE
May 23, 2016**

PRESENT: Joseph Marchese – Chairperson, Alderman Thomas Chlystek, Alderman Thomas Belczak, Dan Gombac – Director, Elizabeth Lahey-Secretary

ABSENT: None

ESTABLISH QUORUM

Chairperson Marchese called the meeting to order at 6:30 p.m. at the City Hall – City Council Chambers, Darien, Illinois and declared a quorum present.

NEW BUSINESS

- a. **Resolution – Approval of a resolution accepting a proposal from Associated Technical Services (ATS) for the 2016 Water Leak Survey, in the amount of \$9,472.32 for the Leak Detection Phase and a per unit cost for the Leak Location Phase in the amount of \$395.00 per mainline or service leak, and \$95.00 per fire hydrant leak.**

Mr. Dan Gombac, Director reported that the leak survey program includes two phases consisting of surveying water main and the second phase pinpointing leaks. He reported that staff does anticipate finding leaks and the final cost will not be known until the survey is completed. He further reported that the amount will not exceed the budgeted \$15,000 should more than 30 leaks be located.

There was no one in the audience wishing to present public comment.

Alderman Chlystek made a motion and it was seconded by Alderman Belczak to approve A RESOLUTION ACCEPTING A PROPOSAL FROM ASSOCIATED TECHNICAL SERVICES (ATS) FOR THE 2016 WATER LEAK SURVEY, IN THE AMOUNT OF \$9,472.32 FOR THE LEAK DETECTION PHASE AND A PER UNIT COST FOR THE LEAK LOCATION PHASE IN THE AMOUNT OF \$395.00 PER MAINLINE OR SERVICE LEAK, AND \$95.00 PER FIRE HYDRANT LEAK OR MAINLINE VALVE FOR A TOTAL AMOUNT NOT TO EXCEED \$15,000.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- b. **Resolution – Approval of a resolution accepting a proposal from Superior Road Striping in an amount not to exceed \$13,000.00.**

Mr. Dan Gombac, Director reported that the Street Striping program includes the placement of road striping throughout Darien.

He reported that the funds for road striping would be utilized from the Motor Fuel Fund in an amount of \$13,000 and as per the schedule of unit prices.

There was no one in the audience wishing to present public comment.

Alderman Marchese made a motion and it was seconded by Alderman Chlystek to approve A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM SUPERIOR ROAD STRIPING IN AN AMOUNT NOT TO EXCEED \$13,000.00 FOR THE 2016 STREET STRIPING PROGRAM.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.

- c. Resolution – Approval of a resolution to enter into a contract agreement with Compass Materials for the purchase of rock salt in an amount not to exceed \$172,883.21.**

Mr. Dan Gombac, Director reported that the City utilized approximately 2,700 tons of salt last season and approximately 2,500 tons are remaining in the salt storage building. He reported that as part of the joint co-op contract the City has the ability to take up to 3,780 tons through Compass Materials.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion and it was seconded by Alderman Chlystek approve A RESOLUTION TO ENTER INTO A CONTRACT AGREEMENT WITH COMPASS MATERIALS FOR THE PURCHASE OF ROCK SALT IN AN AMOUNT NOT TO EXCEED \$173,883.21.

NOTE: The amount stated was in error and the revised amount was corrected at the June 6, 2016 City Council Meeting in an amount not to exceed XXXXXXXXX

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

- d. Resolution – Approval of a resolution to execute an Intergovernmental Agreement with the Center Cass School District #66 for the reimbursement of Rock Salt through the City's 2016/16 Rock Salt Agreement.**

Mr. Dan Gombac, Director reported that the City has an Intergovernmental Agreement with Center Cass School District #66. He reported that the School District does not have facilities to accommodate rock salt in bulk and has estimated that they will require approximately 7 tons for the winter. He further reported that the City will be reimbursed by the School District.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion and it was seconded by Alderman Chlystek to approve A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF DARIEN AND CENTER CASS SCHOOL DISTRICT #66 FOR THE PURCHASE OF ROCK SALT.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

- e. Resolution – Approval of a resolution to execute an Intergovernmental Agreement with the Darien Park District for the reimbursement of Rock Salt through the City's 2016/17 Rock Salt Agreement.**

Mr. Dan Gombac, Director reported that the City has an Intergovernmental Agreement with the Darien Park District. He reported that the Park District does not have facilities to accommodate rock salt in bulk and has estimated that they will require approximately 245 tons for the winter. He further reported that the City will be reimbursed by the Park District.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion and it was seconded by Alderman Chlystek to approve A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF DARIEN AND THE DARIEN PARK DISTRICT FOR ROCK SALT.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

f. PZC 2016-02: 7217 Eleanor Place: Petitioner seeks approval of a variation to reduce the required front yard setback from 35 feet to 27 feet to construct a covered front porch.

Mr. Michael Griffith, Senior Planner reported that the PZC held a public hearing and recommended approval. He reported that the petitioner is proposing to construct an addition and covered front porch that extends 2.5 feet. Mr. Griffith reported that there was no one from the public objecting to this petition.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion and it was seconded by Alderman Chlystek that based upon the submitted petitioner and information presented, the request associated with PZC 2016-02 is in conformance with the standards of the Darien City Code and move that the Municipal Services Committee approve the petition as presented.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

Chairperson Marchese announced that this would be forwarded to the City Council for approval on June 6th.

g. Resolution – PZC 2016-03: 7730 Brookhaven Avenue: Petitioner seeks approval of a variation to reduce the required front yard setback from 35 feet to 25 feet in order to construct a covered front porch.

Mr. Michael Griffith, Senior Planner reported that the PZC held a public hearing and recommended approval. He reported that the petitioner is proposing to construct a covered front porch that extends 6 feet from the front face of the home resulting in a 25-foot setback. Mr. Griffith reported that there was no one from the public objecting to this petition.

Alderman Belczak made a motion and it was seconded by Alderman Chlystek that based upon the submitted petitioner and information presented, the request associated with PZC 2016-03 is in conformance with the standards of the Darien City Code and move that the Municipal Services Committee approve the petition as presented.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

Chairperson Marchese announced that this would be forwarded to the City Council for approval on June 6th.

- h. PZC 2016-04: 2310 Green Valley Road: Petitioner seeks approval of a variation to reduce the required rear yard setback for decks and patios from 20 feet to 17 feet in order to construct a patio.**

Mr. Michael Griffith, Senior Planner reported that the petitioner is proposing to construct a patio extending approximately 15.5 feet from the rear wall of the home into the rear yard. He reported that the home current sits 32.5 feet from the rear lot line and that the patio will be 17 feet from the rear lot line. Mr. Griffith reported that there was no one from the public objecting to this petition and that the PZC recommended approval.

There was no one in the audience wishing to present public comment.

Alderman Marchese made a motion and it was seconded by Alderman Belczak that based upon the submitted petition and information presented, the request associated with PZC 2016-04 is in conformance with the standards of the Darien City Code and move that the Municipal Services Committee approve the petition as presented.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

Chairperson Marchese announced that this would be forwarded to the City Council for approval on June 6th.

- i. PZC 2016-05: 702 Plainfield Road: Petitioner seeks approval of a variation to reduce the required rear yard setback from 40 feet to 38.5 feet in order to construct a new single-family residence, the new home will face Western Avenue, the rear yard will be on the west side of the lot.**

Mr. Michael Griffith, Senior Planner reported that the property is located at the northwest corner of Plainfield Road and Western Avenue and that currently the property is a vacant single-family home. He reported that the petitioner plans to demolish the existing home and construct a new home. He further reported that the home will face Western Avenue.

Mr. Griffith reported that the PZC held a public hearing and that there was one resident with concerns regarding the drainage, trees and shrubs. He reported that the property is currently a property maintenance issue.

Mr. Dan Gombac, Director reported that there will be property grading and that the drainage issues will be addressed.

There was no one in the audience wishing to present public comment.

Alderman Belczak made a motion and it was seconded by Alderman Chlystek that based upon the submitted petition and the information presented, the request associated with PZC 2016-05 is in conformance with the standards of the Darien City Code, and move that the Municipal Services Committee approve the petition as presented.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

Chairperson Marchese announced that this would be forwarded to the City Council for approval on June 6th.

j. Minutes – April 27, 2016 Municipal Services Committee

Alderman Chlystek made a motion and it was seconded by Alderman Marchese to approve the March 28, 2016 Municipal Services Committee Meeting Minutes.

Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.

DIRECTOR'S REPORT

Mr. Dan Gombac, Director stated there is no new information regarding the Speedway parking lot access agreement with Brookhaven Plaza and that the ornamental lighting is delayed due to shipping.

NEXT SCHEDULED MEETING

Chairperson Marchese announced that the next regularly scheduled meeting is scheduled for Monday, June 27, 2016 at 6:30 p.m.

ADJOURNMENT

With no further business before the Committee, Alderman Belczak made a motion and it was seconded by Alderman Marchese to adjourn. Upon voice vote, THE MOTION CARRIED unanimously and the meeting adjourned at 7:13 p.m.

RESPECTFULLY SUBMITTED:

Joseph Marchese
Chairman

Thomas Belczak
Alderman

Thomas Chlystek
Alderman