

CITY OF DARIEN TEMPORARY AMENDMENT TO PLANNING AND ZONING COMMISSION MEETING RULES FOR COMPLIANCE WITH ILLINOIS OPEN MEETINGS ACT:

- In person attendance at Planning and Zoning Commission meetings is allowed.
- The public will be permitted to attend a Planning and Zoning Commission meeting but the meeting room will be limited to 20 members of the public at one time. The public will be required to maintain social distancing rules and are required to wear a mask while in the building.
- The public is encouraged to participate in the Planning and Zoning Commission meeting by submitting questions and comments via email to the City Planner Jordan Yanke at jyanke@darienil.gov. Emails providing public comment shall be submitted prior to the start of the Planning and Zoning Commission meeting.

**CITY OF DARIEN
PLANNING AND ZONING COMMISSION**

Wednesday, August 18, 2021

7:00 PM

City Hall Council Chambers
1702 Plainfield Road

AGENDA

- 1) Call to Order
- 2) Roll Call
- 3) Regular Meeting
 - A. Old Business
 - B. New Business

i. **PZC2021-04**

2305 Sokol Court & 2345 S Frontage Road – Final PUD Approval, Annexation Agreement Amendment, and Plat of Consolidation

Petitioner, Equity Trust Company (Custodian F/B/O Paul Swanson IRA) seeks final approval for a Planned Unit Development (PUD), Annexation Agreement Amendment, and Plat of Consolidation in order to construct a multi-family apartment complex on property zoned Planned Unit Development (PUD)/Multi-Family Residence District (R-3), located at 2305 Sokol Court and 2345 S Frontage Road in Darien, Illinois. This petition includes Waiver requests to the following standards in the Planned Unit Development (PUD) District:

1. Section 5A-3-3-4: Waiver request to increase allowed residential density.
2. Section 5A-3-3-5: Waiver request to off-street parking requirements.
3. Section 5A-3-3-9(B): Waiver request to minimum setback requirement.
4. Section 5A-3-3-10: Waiver request to increase maximum building height.

- 4) Correspondence
- 5) Approval of Minutes April 21, 2021
- 6) Next Meeting September 1, 2021
- 7) Public Comments [On Any Topic Related to Planning and Zoning]
- 8) Adjournment

**MINUTES
CITY OF DARIEN
PLANNING & ZONING COMMISSION MEETING
April 21, 2021**

PRESENT: Lou Mallers – Chairperson, Michael Desmond (7:16 pm), Robert Erickson, Hilda Gonzalez (7:03 pm), Steve Hiatt, Julie Kasprovicz, Brian Liedtke, Ralph Stompanato

ABSENT: Bryan Gay

OTHERS: Jordan Yanke - City Planner, Mayor Joseph Marchese, Attorney John Murphey

Chairperson Lou Mallers called the meeting to order at 7:00 p.m. at the Darien City Hall, Council Chambers, 1702 Plainfield Road, Darien, Illinois. Chairperson Mallers declared a quorum present and swore in the audience members wishing to present public testimony.

REGULAR MEETING:

A. Public Hearing – PZC 2021-02 2305 Sokol Court & 2345 S Frontage Road – Major PUD Amendment, Annexation Agreement Amendment, and Plat of Consolidation Petitioner Shipper Columbus, LLC c/o Paul Swanson Associates, Inc. seeks approval for a Major Planned Unit Development (PUD) Amendment, Annexation Agreement Amendment, and Plat of Consolidation in order to construct a multi-family apartment complex on property zoned Planned Unit Development (PUD)/Multi-Family Residence District (R-3), located at 2305 Sokol Court and 2345 S Frontage Road in Darien, Illinois. This petition includes Waiver requests to the following standards in the Planned Unit Development (PUD) District: 1. Section 5A-3-3-4: Waiver request to increase allowed residential density. 2. Section 5A-3-3-5: Waiver request to off-street parking requirements. 3. Section 5A-3-3-9(B): Waiver request to minimum setback requirement. 4. Section 5A-3-3-10: Waiver request to increase maximum building height.

Mr. Jordan Yanke, City Planner provided an overview and reported that at the last PZC meeting that it was the direction of the Committee that a market study be provided. He reported that the petitioner submitted a study, and it was included in the agenda packet.

Mr. Paul Swanson, petitioner, stated that he was the authorized agent for the Equity Trust Company and the contract purchaser. He provided an overview of the proposal and reported that he hired Kiser Group for the Market & Development Feasibility Study and stated that the schools will be getting the majority of taxes collected and compared this proposal to one completed in Arlington Heights. Mr. Swanson stated that it is difficult to propose condominiums and that financing is difficult. He provided a handout from a mortgage consultant.

Mr. Swanson stated that there were a lot of comments regarding undesirable and transient residents and that he did not agree and that the average stay of a renter is 3-5 years and not transient. He stated that credit checks for a lease is quite strict.

Commissioner Ralph Stompanato stated that the market research study by Tracey Cross & Associates indicated that the development would not deteriorate property pricing.

Commissioner Brian Liedtke questioned rental rates after selling.

Mr. Swanson stated that a management company can come in and lower the rates but that his Arlington Heights development was sold and that they continue to raise the rent. He stated that the vacancy rate is 3%.

Commissioner Gonzalez questioned if there is a market analyses regarding apartment rental rates in the area.

Mr. Swanson stated that the information can be found in the Kiser report. He stated that the rental rates are realistic and what Kiser does for a living.

Mr. Yanke reported that the PZC received a Matrix in the packet showing 2005 development versus this proposal. He noted that there were three proposals.

Chairperson Mallers opened the meeting to anyone wishing to present new information regarding this proposal.

Ms. Kate Shea stated that Mr. Swanson's proposal has not changed and that he refuses to consider condominiums and that he is disrespectful and only interested in his own agenda. She questioned why he cannot get a loan and provided copies of an article regarding the booming condo market and low interest rates.

Mr. Kevin Drummond stated that the apartments Mr. Swanson developed in Arlington Heights are near a train. He stated that Darien is landlocked and that this complex will end up with a lot of vacancies.

Mr. Don Letrich stated that Mr. Swanson was lying and that rentals during Covid are struggling and that the rentals will go to HUD.

Ms. Kathy Rogan stated that the smallest condo in the area is \$227,000. She questioned why not make them condominiums since the developer is already spending a lot of money.

A Darien resident stated that renters do not have the same commitment and that this proposal lends no value to the neighborhood. He stated that the petitioner is not budging on the concept.

Mr. George Nassis stated that there are numerous rentals available in Darien and that no more are needed. He stated that the concept does not match with the homes in the area.

A Darien resident stated that the apartments are expensive and that there is nowhere to walk. She stated that it does not fit in area.

Ms. Karen Martin stated that the community is quiet, and that the development will devalue the homes.

Mr. John Murphey, City Attorney reported that he is not an expert on market trends but that the zoning regulates land use and not land users. He stated that the proposed land use is a reasonable one and the HUD issue is not appropriate for the Committee to consider. Mr. Murphey stated that it is appropriate to look at land use for the piece of property.

There was no one else in the audience wishing to present public comment and Chairperson Mallers closed the public hearing.

Commissioner Hiatt stated that he has no issues with property value or crime but that the proposal does not fit in. He stated that taxation gain is not significant and that he is inclined to listen to the residents.

Commissioner Liedtke questioned the height of the building.

Mr. Yanke cited the 1996 Ordinance and reported that the waiver is 5' over the 2005 47.9' proposal.

Commissioner Liedtke questioned if it viable to build a 3-story.

Mr. Swanson stated that the Arlington Heights development is 3 miles from the train and that three stories would not be valuable and that it does not meet the decision criteria.

Commissioner Desmond stated that the PZC needs to consider the waivers, density impact, parking, and setbacks.

Commissioner Hiatt stated that the PZC needs to have conversation regarding the community.

Mr. Yanke questioned the attorney regarding variations based on the waiver criteria.

Attorney Murphey stated that PUDs are "antizoning" and there are bulk standards. He stated that the discussion is on the right track and that there should be four separate votes.

Commissioner Desmond read the special use criteria and the Committee discussed each waiver request.

Commissioner Hiatt made a motion, and it was seconded by Commissioner Stompanato to approve Section 5A-3-3-4: Waiver request to increase allowed residential density.

Upon roll call vote, THE MOTION was unfavorable with a vote of 7 Nays and 1 Aye. Commissioner Stompanato voted Aye. Commissioner Gay was not present.

Commissioner Hiatt made a motion, and it was seconded by Commissioner Kasprowicz to approve Section 5A-3-3-5: Waiver request to off-street parking requirements.

Upon roll call vote, THE MOTION was unfavorable with a vote of 7 Nays and 1 Aye. Commissioner Stompanato voted Aye. Commissioner Gay was not present.

There was some discussion about the loading area. Commissioner Liedtke questioned if it would be screened.

Mr. Swanson stated that the loading area screens itself because it goes down 11 feet.

Commissioner Liedtke made a motion, and it was seconded by Commissioner Gonzalez to Section 5A-3-3-9(B): Waiver request to minimum setback requirement.

Upon roll call vote, THE MOTION was unfavorable with a vote of 7 Nays and 1 Aye. Commissioner Stompanato voted Aye. Commissioner Gay was not present.

Commissioner Hiatt made a motion, and it was seconded by Commissioner Gonzalez to Section 5A-3-3-10: Waiver request to increase maximum building height.

Upon roll call vote, THE MOTION was unfavorable with a vote of 7 Nays and 1 Aye. Commissioner Stompanato voted Aye. Commissioner Gay was not present.

Commissioner Liedtke made a motion, and it was seconded by Commissioner Gonzalez to approve PZC 2021-02 2305 Sokol Court & 2345 S Frontage Road – Major PUD Amendment, Annexation Agreement Amendment, and Plat of Consolidation as presented.

Upon roll call vote, THE MOTION was unfavorable with a vote of 7 Nays and 1 Aye. Commissioner Stompanato voted Aye. Commissioner Gay was not present.

Mr. Yanke reported that the petition would be forwarded to the Municipal Services Committee with a non-favorable motion on Monday, April 26, 2021 at 7:00 pm

CORRESPONDENCE

There was no correspondence.

OLD BUSINESS

There was no old business.

NEW BUSINESS

There was no new business.

APPROVAL OF MINUTES

Mr. Jordan Yanke, Senior Planner stated that Mr. Chris Marema’s name was spelled incorrectly.

Commissioner Stompanato made a motion, and it was seconded by Commissioner Desmond to approve the April 7, 2021 Regular Meeting Minutes with changes.

Upon voice vote, THE MOTION CARRIED 8-0.

NEXT MEETING

Mr. Jordan Yanke announced that the next meeting is scheduled for May 5, 2021.

PUBLIC COMMENTS (On any topic related to planning and zoning)

There was no one in the audience wishing to present public comment.

ADJOURNMENT

With no further business before the Commission, Commissioner Liedtke made a motion, and it was seconded by Commissioner Gonzalez. Upon voice vote, THE MOTION CARRIED unanimously, and the meeting adjourned at 8:28 p.m.

RESPECTFULLY SUBMITTED:

APPROVED:

**Elizabeth Lahey
Secretary**

**Lou Mallers
Chairperson**

AGENDA MEMO
PLANNING AND ZONING COMMISSION
AUGUST 18, 2021

CASE

PZC2021-04

Final Planned Unit Development (PUD) Approval, Annexation Agreement Amendment, and Plat of Consolidation. This petition includes waivers requests that are described in this memo.

ISSUE STATEMENT

Petitioner is seeking final approval for a Planned Unit Development (PUD), Annexation Agreement Amendment, and Plat of Consolidation. Approval would allow the construction of a 68-unit apartment complex on property zoned Planned Unit Development (PUD)/Multi-Family Residence District (R-3). Petition site comprises a total of 2.81 acres.

The City Council granted preliminary approval for this petition on May 3, 2021. Per Zoning Ordinance standards, a Planned Unit Development (PUD) must also receive final approval. Final approval shall only be granted if the final plan conforms substantially to the preliminary plan, as approved. For reference, the following link provides access to the approved preliminary plan, in addition to other supporting documentation and studies from the May 3, 2021 City Council Meeting: [[City Council Meeting Packet: May 3, 2021 – See Page 293](#)]

Applicable Regulations: Ordinance No. O-32-96 – Annexation/Development Agreement
 Ordinance No. O-30-05 – Annexation Agreement Amendment
 Ordinance No. O-31-05 – PUD Amendment/Preliminary Approval
 Ordinance No. O-33-05 – Final PUD Approval
 Ordinance No. O-08-21 – PUD Amendment/Preliminary Approval
 City Code Section 5A-3, PUD Regulations
 City Code Section 5B, Subdivision Regulations

ATTACHMENTS

- A. Application, Narrative, & Special Use Criteria Statement**
- B. Site Development Plan, Plat of Consolidation, & Landscape Plan**
- C. Building Rendering**
- D. Traffic Study, Review Letter, & Response**
- E. Engineering Review Letter**
- F. Preliminary PUD Approval (Ordinance No. O-08-21)**

GENERAL INFORMATION

Petitioner: Equity Trust Company (Custodian F/B/O Paul Swanson IRA)
Property Owner: Shipper Columbus, LLC
Property Location: 2305 Sokol Court; 2345 S Frontage Road
PIN Number(s): 10-05-404-002; 10-05-404-024
Existing Zoning: Planned Unit Development (PUD)/
 Multi-Family Residence District (R-3)
Proposed Zoning: Planned Unit Development (PUD)/
 Multi-Family Residence District (R-3)
Existing Land Use: Vacant
Proposed Land Use: 68-Unit Apartment Complex

Comprehensive Plan:	Parks/Open Space (Future)
Surrounding Zoning & Uses	
North:	R-1 Single Family Residence District (North of I-55 Expressway); Single Family Residential
East:	Planned Unit Development (PUD)/Multi-Family Residence District (R-3); Multi-Family Residential
South:	Planned Unit Development (PUD)/Multi-Family Residence District (R-3); Multi-Family Residential
West:	Planned Unit Development (PUD)/Multi-Family Residence District (R-3); Hotel
History:	The petition site is part of the Burnside/Lemont Road Mixed Use Planned Unit Development (PUD), originally approved under an Annexation/Development Agreement (Ordinance No. O-32-96). The Sokol Organization submitted plans for a gymnasium on the site but the plans were withdrawn in 2002 after the City Council requested changes to the proposed building's façade. Subsequently, in 2005 the City Council adopted an amendment to the existing Planned Unit Development (PUD) and Annexation/Development Agreement allowing for a 66-unit condominium development. The development was never constructed.
Total PUD Acreage:	27.9 Acres
Petition Site Acreage:	2.81 Acres
Floodplain:	According to the DuPage County Parcel Viewer System, there is no floodplain on the subject site.
Natural Features:	There is a small cluster of trees on the petition site along S Frontage Road.
Transportation:	The petition site gains access from Sokol Court via S Frontage Road.

DOCUMENTS SUBMITTED

This report is based on the following information submitted to the Community Development Department by the petitioner:

- Application & Supplemental Documents, dated July 8, 2021
 Prepared by Equity Trust Company (Custodian F/B/O Paul Swanson IRA)
- Site Development Plan, Plat of Consolidation, & Landscape Plan, dated August 2, 2021,
 May 10, 2021, & July 26, 2021 (25 Pages)
 Prepared by Bono Consulting, Inc.; R.E. Allen & Associates, LTD.; NorthWest
 Electrical; Gary R. Weber Associates, Inc.
- Traffic Study & Memorandum, dated March 10, 2021, revised April 5, 2021
 Prepared by Haeger Engineering

PLANNING OVERVIEW/DISCUSSION

The subject property is located at the southeast corner of the intersection of S Frontage Road and Sokol Court, east of the Extended Stay Hotel. On November 7, 2005, the City Council approved a Final Planned Unit Development (PUD) and Final Plat (Ordinance No. O-33-05) for the subject property allowing the construction of a 66-unit condominium development comprised of

two (2) buildings. In addition to these approvals, the City Council also adopted an Annexation Agreement associated with the proposal (Ordinance No. O-30-05). These approvals were technically amendments to a previously approved Planned Unit Development (PUD) and Annexation Agreement for the site.

Subsequently, the development was never constructed and the petition site is currently vacant. On February 12, 2021, a new petition was submitted by Equity Trust Company (Custodian F/B/O Paul Swanson IRA), proposing a 68-unit multi-family apartment complex comprised of one (1) building on the subject property. The petition was granted preliminary approval by the City Council on May 3, 2021, and the petitioner has since submitted the final plan for approval, which is the petition before the Planning and Zoning Commission (PZC2021-04).

Note that this petition includes exceptions/waivers to the following Zoning Ordinance Sections:

- **Zoning Section 5A-3-3-4: Exception/waiver request to increase allowed residential density.**
 - o This exception/waiver request pertains to gross residential density, which is permitted within the Planned Unit Development (PUD) at a maximum of 7.0du/residential acre. The proposed residential density is 9.9du/residential acre.
- **Zoning Section 5A-3-3-5: Exception/waiver request to off-street parking requirements.**
 - o While the proposed development meets the ordinance requirement for minimum parking ratio (two (2) spaces per dwelling unit) and ADA standards, the proposal does not include the required one (1) off-street loading berth.
- **Zoning Section 5A-3-3-9(B): Exception/waiver request to minimum setback requirement.**
 - o In addition to standard setback requirements, the ordinance specifies that buildings of more than twenty-four feet (24') in height shall provide a setback from any property line of not less than equal to the height of the building. The proposed structure is forty feet (40') in height but is setback only twenty feet (20') from the site's eastern lot line.
- **Zoning Section 5A-3-3-10: Exception/waiver request to increase maximum building height.**
 - o The maximum allowed building height per ordinance is three (3) stories not to exceed thirty-five feet (35'). The proposed building is four (4) stories and is forty feet (40') in height.

The plans have been reviewed by the City's Engineering Consultant and a comment letter has been included (dated August 10, 2021) as an attachment to this memo. The traffic study that was submitted as part of the preliminary approval process is also attached.

CITY CODE REVIEW STANDARDS

For reference, the criteria for approving a Special Use (i.e. Planned Unit Development) is listed under City Code Section 5A-2-2-6(G) and is provided below. No special use shall be approved unless findings of fact have been made on those of the following factors which relate to the special use being sought:

1. *That the special use is deemed necessary for the public convenience at the location specified.*
2. *That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.*
3. *That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
4. *That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
5. *That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.*
6. *That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
7. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
8. *That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.*

If the subject case is recommended for approval, the following item/condition is recommended by staff to be included in the approval motion:

- **Applicant shall comply with the comments and recommendations listed in the letter from Christopher Burke Engineering, LTD. (Dan Lynch), City Engineer, dated August 10, 2021.**

DECISION MODE

The Planning and Zoning Commission will consider this item at its meeting on August 18, 2021.

MEETING SCHEDULE

Planning and Zoning Commission	August 18, 2021
Municipal Services Committee	August 23, 2021
City Council	September 7, 2021

RECEIVED

JUL 08 2021



Community Development
City of Darien

ZONING APPLICATION

CITY OF DARIEN

1702 Plainfield Road, Darien, IL 60561

www.darienil.us 630-852-5000

CONTACT INFORMATION

EQUITY TRUST COMPANY CUSTODIAN FIB/O

Applicant's Name PAUL SWANSON TZA

SHIFFER LUMBERUS LLC

Owner's Name

40 PAUL SWANSON AVE E. PROSPECT AVE WIL PROSPECT 7515 SANTA FE DR HODKINS, IL

Address, City, State, Zip Code IL 60056

Address, City, State, Zip Code 60525

847-670-6710

Telephone

708 514-6530

Telephone

447-670-6713

Email

bshipper3@eventequipment.com

Email

PROPERTY INFORMATION

2306 SOVA CT.

Property address

1005404002 & 1005404024

PIN Number(s)

R3 PUD

Zoning District

VACANT

Current Land Use(s)

(Attach additional information per the Submittal Checklist.)

REQUEST

Brief description of the zoning approval requested. (Contact the City Planner for guidance.)

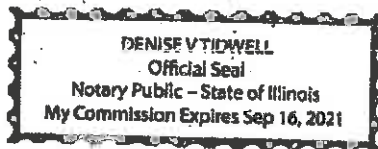
TO DEVELOPE A 4-STAR BB RENTAL UNIT 2 MODELS W/ INTERIOR
& EXTERIOR PARKING

As Notary Public, in and for DuPage County in Illinois, I do hereby certify that PAUL SWANSON is personally known by me to be the same person whose name is subscribed above and has appeared before me this day in person and acknowledged that they have signed this document as their own free and voluntary act, for the purposes therein set forth.

Given under my hand and seal, this 14th day of MAY 20 21.

Denise Tidwell
Notary Public

For office use only	
Date Received:	07/08/2021
Case Number:	PZC2021-004
Fee Paid:	\$ 120.00
Hearing Date:	N/A



RECEIVED

JUL 08 2021

Community Development
City of Darien

CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the
Mayor and City Council of the City of Darien:

Staff Use Only	
Case No.:	PZC2021-04
Date Received:	07/08/2021
Fee Paid:	\$100.00
Check No.:	155253
Hearing Date:	N/A

PETITIONER INFORMATION

PAUL BURNETT
Petitioner's Name

PAUL BURNETT
Contact Name

4012 WOODLAND AVE
Address, City, State, Zip Code

708-277-1111
Phone #

708-277-1111
Fax #

PAUL.BURNETT@GMAIL.COM
Email

PAUL BURNETT
Owner's Name

4012 WOODLAND AVE
Address, City, State, Zip Code

708-277-1111
Phone #

708-277-1111
Email

PROPERTY INFORMATION

4012 WOODLAND AVE
Property address

15-00-00-000-0000
PIN(s)

Provide legal description on a separate sheet and attach, such as the plat of survey.

0.10
Acreage

R-1
Zoning

REQUEST

DARIEN HISTORIC RESIDENCES
PUD Name

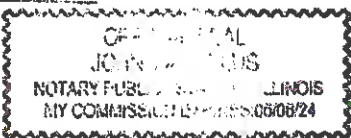
4 UNITS OF HISTORIC RESIDENCES WITH ADJACENT
BUNGALOWS
Brief description of the proposed development:

Preliminary PUD PUD Amendment
 Final PUD

BERNARD J. SHAPIRO do hereby certify that I am the owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Signature: Bernard J. Shapiro
Subscribed and sworn to before this 8th day of June 20 21

Notary Public



April 5, 2021

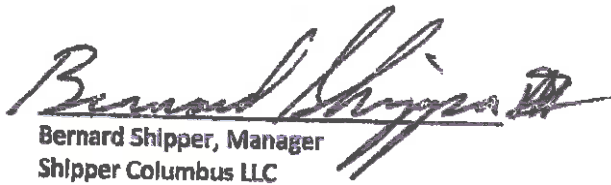
Jordan Yanke (jyanke@darienil.com)
Senior Planner
Darlen, Illinois

**RE: Darlen Heights
2305 Sokol Court**

Jordan,

Paul Swanson called me regarding your request for a copy of our Sales Contract. Neither Paul or myself want our contract disclosed, however I can tell you that Paul's IRA – Equity Trust Company Custodian F/B/O Paul Swanson IRA – is the Contract Purchaser and that the Seller is Shipper Columbus, LLC of which I am the Manager, as shown on the Planned Unit Development Application which I signed on February 21st, 2021.

Paul has the right and my permission to rezone the above referenced property.


Bernard Shipper, Manager
Shipper Columbus LLC

Enclosures

CC Paul Swanson authorized agent Equity Trust Company Custodian F/B/O Paul Swanson IRA

Development Concept
Darien Heights Residences
2305 Sokol Court

Overall Concept

The overall Development Concept for Darien Heights is to provide an alternative to Home Ownership – being tied down to one place with Mortgage Payments, Real Estate Taxes, Home Upkeep and Repair etc.

Up Scale Rental Residences, such as Darien Heights, is a Life Style Choice; not so much built on Economics, (our residences will lease for between \$1,500 a month for a 1 Bedroom/1 Bathroom residence to over \$2,700 a month for our largest a 2 Bedroom/2 Bathroom residence) but to offer a more mobile attachment free lifestyle.

To attract this upscale clientele, we provide 6 different floor plans, which vary in size and layout, but with features found in upscale homes, such as hardwood floors in all living areas (carpet in bedrooms) ceramic tile floors and walls in bathrooms, kitchens all with designer countertops and appliances including in unit washer and dryers.

All utilities are separately metered for future conversion to Condominiums. Further amenities provided are Underground Heated Parking with Car Wash, Storage Units, Party Room, Exercise Room, Exterior Terrace with BBQ, generous (2 cars/residence) parking and a small “Bark Park” all under the watchful eye of an On-Site Leasing Manager and Building Engineer to attend to the daily needs of the residents.

Site Specific Concept

Site specifically we are presenting a 4 Story Building with 66 Residences plus a 1 Bedroom and a 2 Bedroom Model all with private Balconies or Patios. The site was chosen for its access to a major expressway and the upscale Darien Community and more specifically the attractive ‘Waterfall Glen’ neighborhood of Townhomes and Condominiums. The Building Architecture is brick with some stucco accents with a lower building height (40’) than the existing Condominium Buildings and sited to the east part of the site overlooking the Park and away from the existing Condominium Buildings as possible.

Another plus for these Upscale Residences is the fact that there will be very few school aged children as the Residents will be economically upscale, mobile, young working professionals and older empty nesters.

All the above being said, we are excited about becoming part of the Waterfall Glen Neighborhood and while looking to present an alternative lifestyle, to firstly become a good and stable part of the Neighborhood.

Darien Heights Residences
2305 Sokol Court

Discussion Items

Question 1 Why are you developing a Rental Community in lieu of Condominiums?

Answer 1 The answer is two-fold 1) Many people want the flexibility of Leasing where there are no Real Estate Taxes, Mortgage Payments or upkeep expenses. Leasing is a Lifestyle Choice.

Answer 2 Presently, there is no Mortgage Money, Construction, Loans, etc. for Condominium Development. Condominium Financing is out of favor.

Question 2 Is your Rental Community Subsidized Housing?

Answer The answer is an emphatic NO! Right from the start I told the Staff this is an Upscale, Market Rate, Condominium Quality Rental Community in terms of Quality and Amenities – the rent will be \$2/SF/MO which results in rents from \$1,500/mo. for a 1 Bedroom, 1 Bath Suite to \$2,700/mo. for the largest 2 Bedroom, 2 Bathroom Unit – hardly subsidized Housing Rentals.

Question 3 **Ownership and Developer**

The Property is owned by Shipper Columbus, LLC, Bernard Shipper, Manager. Equity Trust Company F/B/O Paul Swanson IRA is the Contract Purchaser, Paul Swanson Authorized Agent, is also the Petitioner and Developer. Assuming the Rezoning is granted. A Partnership will be formed to do the actual construction. At this point Equity Trust is the Sole Petitioner/Developer and has authority to rezone as requested.

Question 4 Why are you Rezoning the property? I thought the property was approved for a large Condominium Development in November, 2005?

Answer Because that project was Condominium Project and this project is a Rental Community, it was determined that there had to be a Rezoning. By comparison both developments are similar in size, number of units, parking, building height (4-Stories) and imperious coverage. Darien Heights has greater setbacks from property lines and different amenities.

Question 5 What amenities do you have?

Answer There full-time on-site Leasing and Management as well as Janitorial/Engineering Services, Indoor and Outdoor Exercise Area, Party/Conference Room, Large Exterior Terrace with BBQ, Dog Park, Inside Heated Parking and Tenant Storage Area, Car Wash, Car Battery Charging Station, Trash Chute on each floor or Concierge Trash Pick-Up at your door.

Question 6 What are your Architectural Details?

Answer A **Exterior**

The exterior is Brick Veneer with Accents or Dryvit Stucco. The Windows, Sliding Glass Doors to the Balconies and the 4-Story Curtain Wall and the Lobby are Black Anodized Aluminum with insulated glass.

The balconies are black painted metal railings and the Color of the Brick is Charcoal Gray.

Answer B **Interior**

All Rental Suites will have Condo quality finishes with painted drywall ceilings and walls with tile in the Kitchen and Bathrooms. Floors are Engineered Wood in the Kitchen and Living Areas, Tile in the Bathrooms and Carpets in the Bedrooms. Kitchen has Granite or Quartz Countertops with high end 42" high Cabinets. Appliances will be high end Whirlpool or Maytag, Dishwasher, Range, Refrigerator and Microwave Oven. Bathrooms will have Granite Counter Tops.

All Units will have WI-FI and touchless Corridor Door – Building Front Door is also Touchless. Each unit is a Smart Unit for Lights, Heating/Cooling and Thermostat.

Jordan Yanke
City of Darien

**RE: Darien Heights Residences
2305 Sokol Court**

Jordan,

Enclosed find my response to the Standards for Special Use under Paragraph G Special Uses 5A-2-2-6

1. That the special use is deemed necessary for the public convenience at the location specified

Answer: Yes, the Special Use is necessary for Public Convenience at 2305 Sokol Court in that it completes the various housing types offered ie Townhomes, Condominiums, Hotel and now Luxury Apartments.

2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.

Answer: The Apartments will in no way be detrimental to or endanger the Public Health, Safety or Welfare. There will be full time On-Site Leasing, Management and Janitorial Personal.

3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Answer: Yes, this is true. Because of the up-scale nature of the proposed Rental Community there will be no negative impact on the surrounding property values. See letter from Tracy Cross & Associates...Attached.

4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Answer: Yes, this is true, After the development of the proposed up-scale Rental Community there is no further surrounding land to develop.

5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be at variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.

Answer: The Architectural Design of the proposed Luxury Rental Community including Site Plan, Building Elevations and Landscape Plans are reflective of design for 2021, but in no way will cause and depreciation to your property values in the neighborhood. Again, see attached letter from Tracy Cross & Associates.

6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.

Answer: Adequate utilities, drainage, and roads are to the Site.

7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Answer: There will be no traffic congestion due to this development. See enclosed Traffic Study by Haeger Engineering.

8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission and Planning and Development Committee.

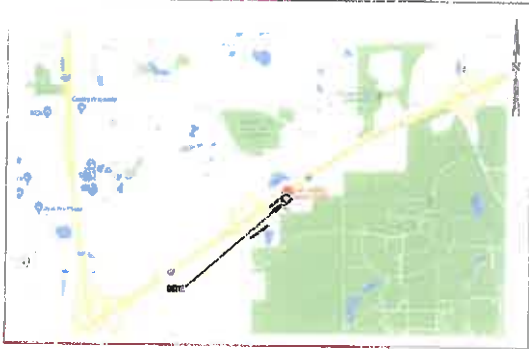
Answer: Yes, the proposed Special Use for the Development of 68 Luxury Rental Units will conform to the applicable regulations in the District.

DETAILED SURVEY
DUPAGE COUNTY, ILLINOIS, 2006 ACCESSION SURVEY OF WATERSHED
DRAINAGE, PARCEL 10, 10-06-000-000
STEEL ROD IN A POLE SERVICE WITH A LED LOCATED AT THE
SOUTHWEST CORNER OF THE INTERSECTION OF KERRIGATE ROAD
AND LINDSEY ROAD
NAVDATA ELEVATION = 754.27

DARIEN HEIGHTS RESIDENCES SITE IMPROVEMENT PLAN 2305 SOKOL CT., DARIEN, DUPAGE COUNTY, IL

SECTION: 6
TOWNSHIP: 37N
RANGE: 11E
PN 10-06-000-000,
10-06-031-031

SITE LOCATION MAP



AERIAL MAP



DRAWING INDEX:

1. TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
2. EXISTING TOPOGRAPHY
3. DEMOLITION & TREE PRESERVATION PLAN
4. PHASE - I - SOIL EROSION & SEDIMENTATION CONTROL PLAN
5. PHASE - II - SOIL EROSION & SEDIMENTATION CONTROL PLAN
6. SWPPP
7. PROPOSED GRADING & DRAINAGE PLAN - OVERALL SITE
8. PROPOSED UTILITY PLAN - OVERALL SITE
9. GEOMETRIC PLAN
- 9.1. AUTOTURN EXHIBITS
10. CONSTRUCTION NOTES
11. STANDARD DETAILS

PROJECT INFORMATION
 THE PLAN, SPECIFICATIONS & PERMITS REQUIRED FOR THIS PROJECT ARE THE PROPERTY OF THE ENGINEER. ANY REVISIONS TO THE PLAN SHALL BE MADE BY THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES.

NOTE:
 THIS DEVELOPMENT IS PART OF BURNSIDE'S PROSERVES OF WATERSHED DRAIN. ALL PERVIOUS EASEMENTS OF THIS PARCEL CARRY FORWARD TO THIS NEW DEVELOPMENT. ALL DETENTION BASINS, STORM SEWER LINES, DRAINAGE STRUCTURES, DRAINAGE EASEMENTS, AND SOUND BARRIER BERMS LOCATED IN EASEMENTS ARE PRIVATE AND WILL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO OWN AND MAINTAIN.

NOTE:
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ETC., AS SHOWN ON THIS PLAN, HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE CONTRACTOR AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT EXISTING UTILITIES, OTHER THAN THOSE SHOWN, ARE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THESE UTILITIES MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THIS PLAN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY AT ALL TIMES.

DATE: 10/15/2010
 11:00 AM

DEVELOPER
 EQUITY TRUST COMPANY CUSTODIAN F/B/O
 ATTENTION PAUL SWANSON RA
 401 E. PROSPECT AVE., SUITE 201,
 MT PROSPECT, ILLINOIS 60058
 PH: 847-670-6710

1. I HEREBY CERTIFY THAT THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY WITH RESPECT TO STORMWATER DRAINAGE, AND THAT A SAFE OVERFLOW ROUTE HAS BEEN ESTABLISHED.
2. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PROPOSED IMPROVEMENT IS NOT LOCATED IN FLOOD PROTECTION AREAS BASED ON THE INFORMATION FROM THE FEMA MAPS.

Ad. Van.

ENGINEER

DATE



DESCRIPTION	SYMBOL	NOTATION
PROPERTY LINE	---	---
WATER MAIN	---	---
SEWER MAIN	---	---
STREET LIGHT	○	○
...

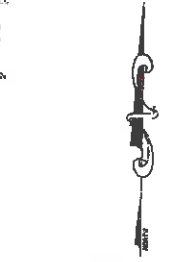
TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP
 DARIEN HEIGHTS RESIDENCES
 2305 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

PLAT OF SURVEY

LOT 2 IN BARRON'S SUBDIVISION OF WATERFALL GLEN, SUBDIVISION NO. 11
 BEING A SUBDIVISION OF LOT 32 IN BARRON'S PURCHASE OF DANIELA,
 AS TO BE DESCRIBED AS HEREINAFTER BY REFERENCE TO THE
 SCHEDULE OF THE JOINTLY OWNED QUANTITY OF RECORDS & INSTRUMENTS
 BEING MAPS 11, 1987 OF THE 1980 PERMANENT RECORDS, REFERRED TO
 THE PLAN THEREIN RECORDED JUNE 1, 1958 AS INSTRUMENT 109-27948,
 & BOOK 187 PAGE 151 OF DANIELA COUNTY RECORDS.

LOT 11 IN BARRON'S SUBDIVISION OF WATERFALL GLEN, BEING A SUBDIVISION
 OF PART OF THE 1980 PERMANENT RECORDS OWNERS TO BE REFERRED TO
 BEING MAPS 11, 1987 OF THE 1980 PERMANENT RECORDS, REFERRED TO
 ACCORDING TO THE FILE THEREIN RECORDED JUNE 1, 1958 AS INSTRUMENT
 109-27948, IN BOOK 187, PAGE 151 OF DANIELA COUNTY RECORDS.

THE PREMISES COMMONLY KNOWN AS:
 2505 SOKOL COURT, DANIELA, IL 60011
 PARCEL AREA = 125,708 S.F. APPROX
 115,218 S.F. NET
 PERM 10-05-164-060
 10-05-164-RM



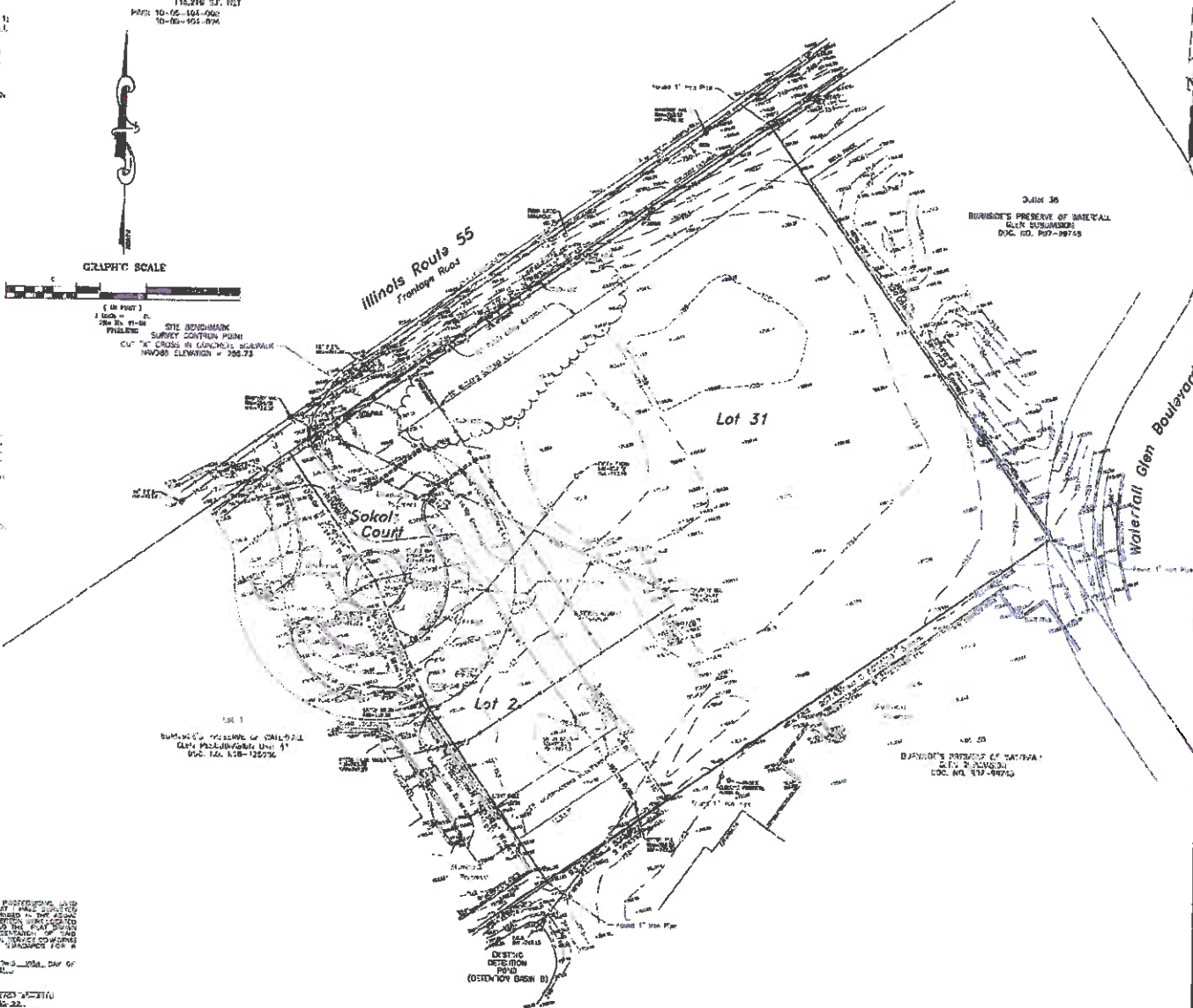
CONCRETE BENCHMARK
 SURFACE COUNTY ALIQUOT
 CONCRETE SURVEY MONUMENT
 BENCHMARK APPROXIMATE
 PERMITS
 STEEL ROD IN A PVC SLEEVE WITH A
 CAP PLUG AT THE SURFACE
 MONUMENT OF THE RESIDENCES OF
 WETSHIRE ROAD AND SOKOL COURT
 APPROX ELEVATION = 705.72

GRAPHIC SCALE

(IN FEET)
 1 inch = 10 feet
 2 inches = 20 feet
 3 inches = 30 feet
 4 inches = 40 feet
 5 inches = 50 feet

SITE BENCHMARK
 SURVEY CONTROL POINT
 CUT IN CROSS IN CONCRETE BENCHMARK
 APPROX ELEVATION = 705.72

RE: ALL EN AND ASSOCIATES, LTD.
 PROFESSIONAL ENGINEERS
 1000 W. WASHINGTON ST., SUITE 100
 CHICAGO, ILLINOIS 60601
 PHONE: 616-750-0000 FAX: 616-750-0000



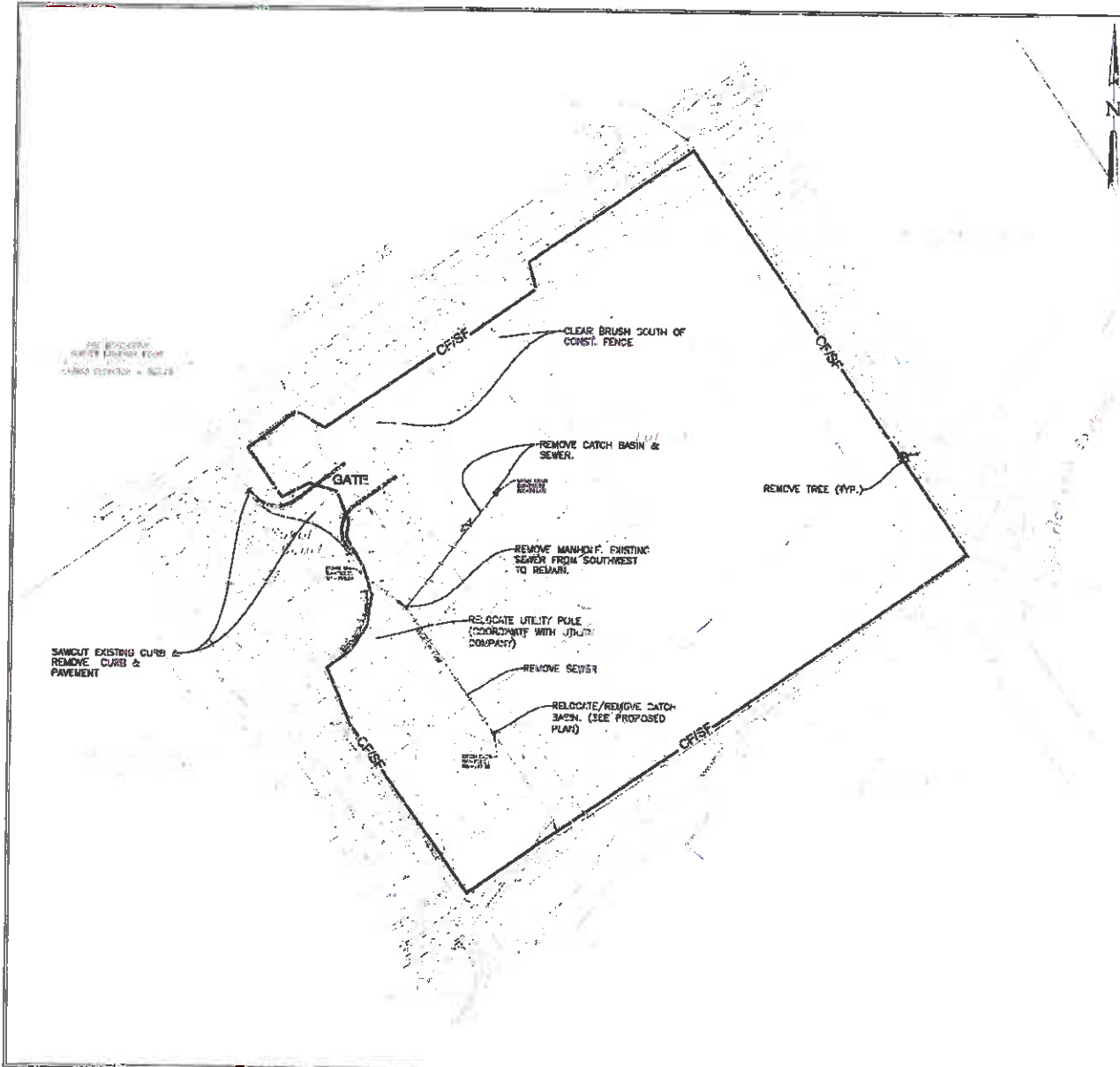
DATE 05
 BARRON'S PURCHASE OF DANIELA
 GLEN 105436283
 DOC. NO. 107-89745

NO.	DATE	DESCRIPTION

BCI
 BURNS & MCDONNELL ENGINEERS, INC.
 100 W. WASHINGTON ST., SUITE 100
 CHICAGO, ILLINOIS 60601
 PHONE: 616-750-0000 FAX: 616-750-0000

EXISTING TOPOGRAPHY
 DANIELA HEIGHTS RESIDENCES
 2505 SOKOL COURT, DANIELA, DANIELA COUNTY, ILLINOIS

DATE 05
 BARRON'S PURCHASE OF DANIELA
 GLEN 105436283
 DOC. NO. 107-89745



DEMOLITION NOTES

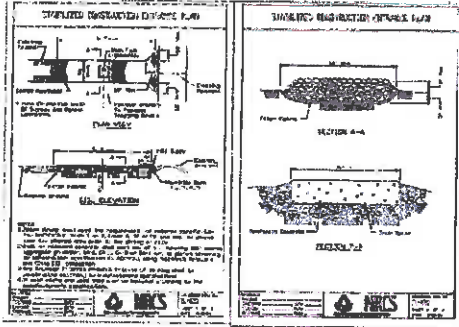
1. Install temporary tree protection fencing (if shown per 2) to enclose all work.
2. Install temporary 6" high curb (see notes) around the proposed work area as shown on the drawing. Contractor to call AUCLE at 1-800-893-2122, minimum of 48 hours prior to carrying out excavation or construction.
3. Contractor shall verify the exact location and location of all existing utilities and approximate owner's contribution, to avoid interference.
4. Appropriate precautions shall be taken to avoid damage to existing utilities and structures in the vicinity of work. Contractor shall be responsible for 10' clearance of all other ground or overhead utilities even though they may not be shown on the plans. Any utility that is damaged during construction shall be repaired to the satisfaction of the utility or the correct authority.
5. Any open excavations, or potentially dangerous areas shall be located or guarded in an appropriate manner at the end of each day for the protection of the contractor and general public safety.
6. When excavating for a new utility, the contractor shall notify the relevant utility company in advance and apply for the appropriate permits and safety procedures as required by the relevant authority.
7. Contractor is responsible for keeping roads free of obstructions at all times.
8. Any soil, sand or debris that is washed, or deposited into the street shall be removed before the end of each day.
9. Transportable survey by R.S.A. or S. American.
10. All materials shall be removed, or stored in and enclosed per local code.
11. Do not create dust or other nuisance to neighboring properties during construction.
12. The surrounding signs shall be maintained for the benefit of the contractor. In addition, no sign shall be removed or replaced without approval.
13. Any gate to the perimeter fence shall be adequately signed to prevent entry, except to allow ingress and egress to and from site, each gate shall be located at 25' intervals, other than permitted hours of construction.

NO.	DATE	DESCRIPTION

BCI
 BOUNDARY CONSULTANTS, INC.
 100 N. WILSON AVENUE
 CHICAGO, ILLINOIS 60642
 PHONE: (773) 399-3300
 FAX: (773) 399-3301
 WWW.BCI-CO.COM

DEMOLITION & TREE PRESERVATION PLAN
 DARIEN HEIGHTS RESIDENCES
 2805 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

DATE: 05/15/2023
 PROJECT NUMBER: 2122
 SHEET NO.: 11
 DRAWING SCALE: AS SHOWN
 3 of 11



BEST MANAGEMENT PRACTICES SEQUENCE

1. PREPARE CONSTRUCTION SCHEDULE AND IDENTIFY ALL BEST MANAGEMENT PRACTICES (BMPs) TO BE USED AT EACH PHASE OF CONSTRUCTION.

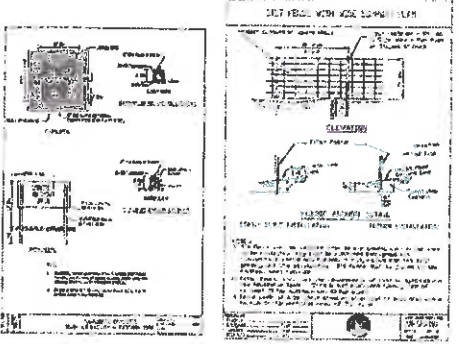
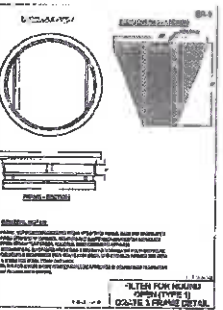
2. IDENTIFY ALL POTENTIAL POLLUTION SOURCES AND DEVELOP A POLLUTION PREVENTION PLAN (PPP) THAT IDENTIFIES ALL POTENTIAL POLLUTION SOURCES AND DEVELOPS A POLLUTION PREVENTION PLAN (PPP) THAT IDENTIFIES ALL POTENTIAL POLLUTION SOURCES AND DEVELOPS A POLLUTION PREVENTION PLAN (PPP).

3. IMPLEMENT BMPs IN THE ORDER LISTED IN THE PPP.

4. MONITOR BMPs TO ENSURE THEY ARE BEING USED AS INTENDED.

5. MAINTAIN BMPs THROUGHOUT CONSTRUCTION.

6. REMOVE BMPs WHEN CONSTRUCTION IS COMPLETE.



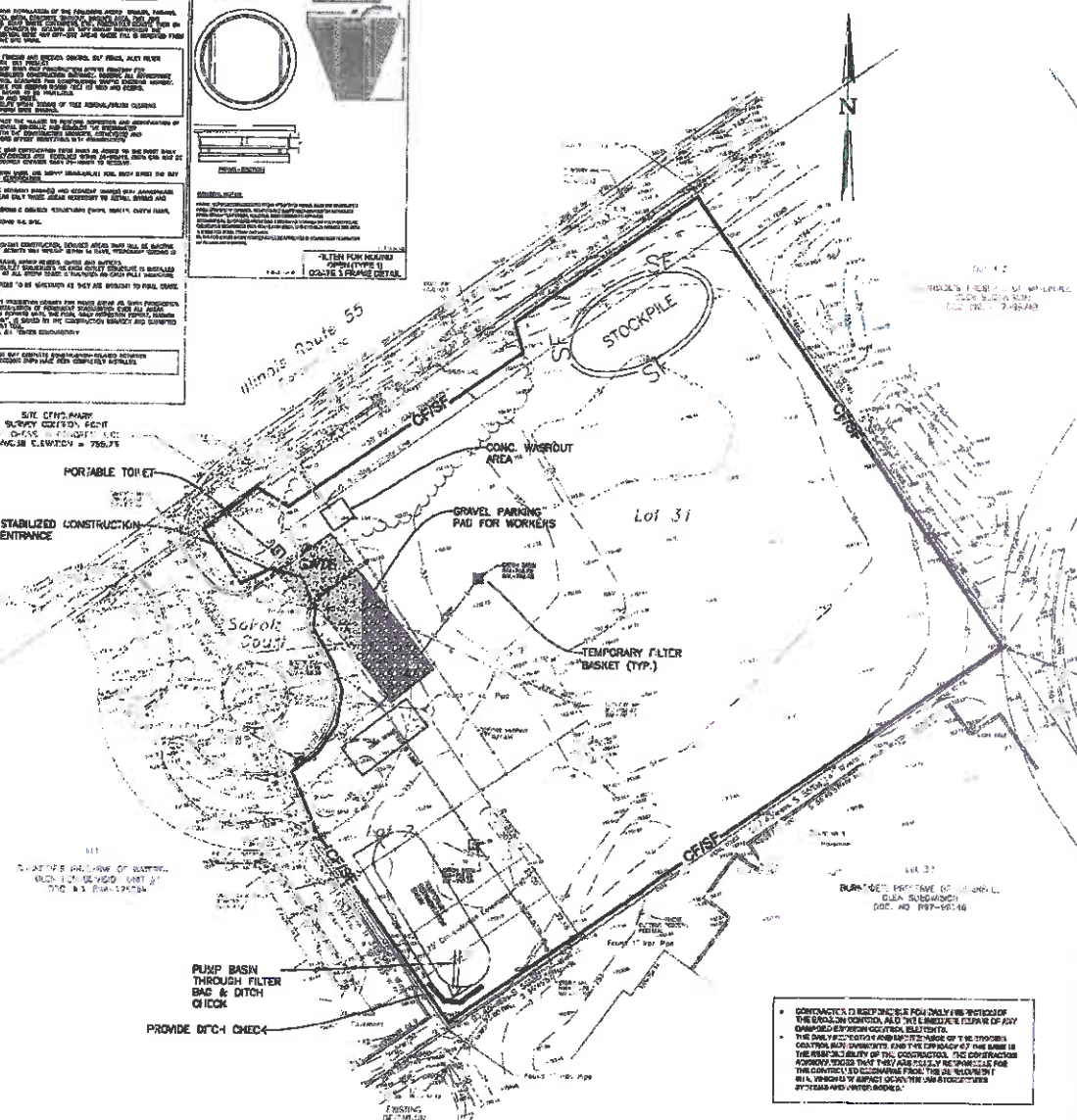
SITE BOUNDARY

SURVEY CORRECTION: 0.00 FT

CONCRETE CURB: 1.00 FT

GRAVEL PARKING PAD: 750.00 FT

NO.	DESCRIPTION	DATE	BY	CHECKED
1	CONSTRUCTION ENTRANCE	10/1/2010	J. SMITH	M. JONES
2	CONCRETE CURB	10/1/2010	J. SMITH	M. JONES
3	GRAVEL PARKING PAD	10/1/2010	J. SMITH	M. JONES
4	TEMPORARY FILTER BASKET	10/1/2010	J. SMITH	M. JONES
5	CONCRETE WASHOUT AREA	10/1/2010	J. SMITH	M. JONES
6	GRAVEL PAD FOR WORKERS	10/1/2010	J. SMITH	M. JONES
7	TEMPORARY FILTER BASKET	10/1/2010	J. SMITH	M. JONES
8	CONCRETE WASHOUT AREA	10/1/2010	J. SMITH	M. JONES
9	GRAVEL PAD FOR WORKERS	10/1/2010	J. SMITH	M. JONES
10	TEMPORARY FILTER BASKET	10/1/2010	J. SMITH	M. JONES



BCI

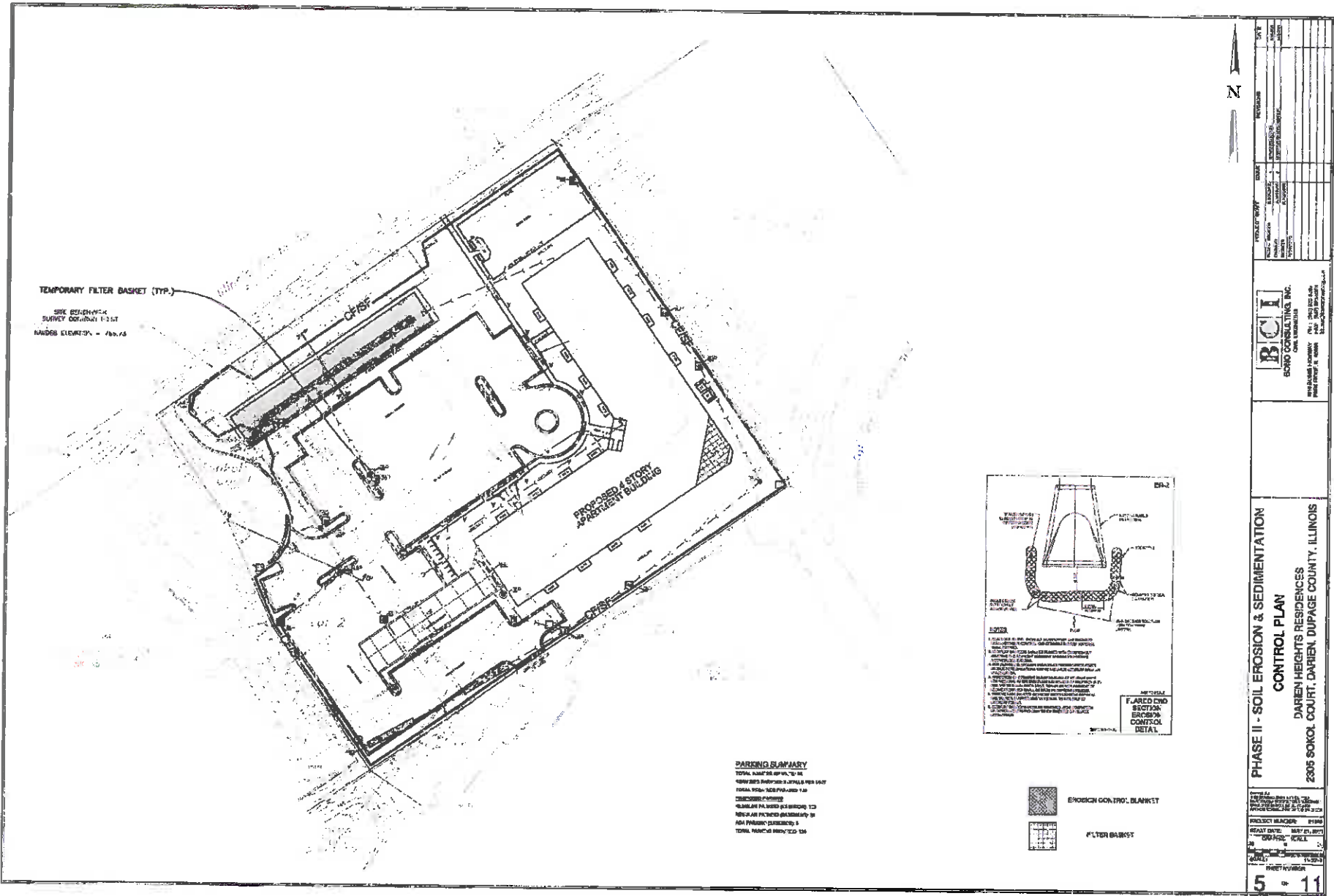
BOUNDARY CONSULTANTS, INC.

PHASE - I - SOIL EROSION & SEDIMENTATION CONTROL PLAN

CAREN HEIGHTS RESIDENCES

2805 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

4 of 11

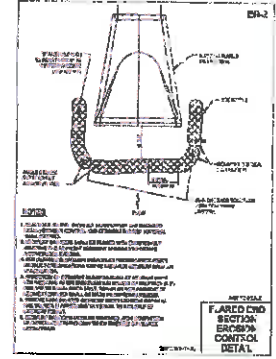


TEMPORARY FILTER BASKET (TYP.)
 SEE EROSION CONTROL PLAN 1-214
 NADES ELEVATION = 786.74

PROPOSED 4 STORY APARTMENT BUILDING

PARKING SUMMARY

TOTAL ADJACENT TO SITE	20
ADJACENT TO DRIVE	10
ADJACENT TO SIDE DRIVE	10
TOTAL ADJACENT TO DRIVE	20
TOTAL ADJACENT TO DRIVE	20



N

PROJECT NO.		DATE		SCALE	
PROJECT NAME		DESIGNER		DATE	
CLIENT		PROJECT NO.		SCALE	
PROJECT NO.		DATE		SCALE	
PROJECT NAME		DESIGNER		DATE	
CLIENT		PROJECT NO.		SCALE	
PROJECT NO.		DATE		SCALE	

BCI
GENCO CONSULTING INC.
 2005 SOKOL COURT, DARIEN, ILLINOIS 60410
 PHONE: (708) 261-1100
 FAX: (708) 261-1101
 WWW.BCI-CONSULTING.COM

PHASE II - SOIL EROSION & SEDIMENTATION CONTROL PLAN
 DARIEN HEIGHTS RESIDENCES
 2005 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

PROJECT NO.	
PROJECT NAME	
CLIENT	
DATE	
SCALE	
DATE	

5 OF **11**

STORMWATER POLLUTION PREVENTION PLAN

A COPY OF THIS PLAN, ALONG WITH ALL INSPECTION REPORTS, WILL BE POST AT THE SITE AT ALL TIMES.
 THE PERMITS SHALL PRELIMINARY COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS AND MEASURES REQUIRED BY THIS PLAN FOR A PERIOD OF 180 DAYS FROM THE DATE THE PERMITS ARE ISSUED TO BE MAINTAINED AT THE SITE.

SITE DESCRIPTION

INDUSTRIAL LOT AND GARAGE
 DARIEN HEIGHT RESIDENCES, SWP PERMIT PLAN - 22305
 2005 CT., DARIEN, DUPAGE COUNTY, IL

PROJECT DESCRIPTION:
 THIS 4 STORY BUILDING WITH THERMAL LOT AND UNDERGROUND DESIGNER PARKING DEVELOPMENT TO BE CONSTRUCTED ON A VACANT PROPERTY.

TOTAL SITE AREA = 2.07 ACRES

TOTAL AREA DISTURBED = 2.07 ACRES

PERCENT COVERAGE OF CITY STREET CONSTRUCTION = 0%

STATE: ILLINOIS, COUNTY: DUPAGE COUNTY

RECEIVING WATER: ---

COSTUME SITE COORDINATOR: ---

ADJACENT/OFFSITE AREAS: EXISTING MULTI-FAMILY RESIDENCES TO SOUTH, SOUTHWEST, AND NORTHEAST HOTEL TO SOUTHWEST. EXISTING BELTLINE PARK TO SOUTHWEST CORNER OF THE PROPERTY.

REFER TO IMPROVEMENT PLANS FOR PROPOSED MULTI-FAMILY RESIDENCE DEVELOPMENT FOR ADDITIONAL SITE INFORMATION.

EROSION AND SEDIMENT CONTROL

REFER TO THE IMPROVEMENT PLANS FOR PROPOSED MULTI-FAMILY RESIDENCE DEVELOPMENT AND THIS SWPPP.

STABILIZATION PRACTICES

EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE. TEMPORARY BARRIERS AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND MONITORED AT ALL TIMES. EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE "CUTTING OF SOILS" AT ON SITE.

STRUCTURAL PRACTICES

INLET FILTERS SHALL BE INSTALLED IN EXISTING DRAINAGE STRUCTURES PRIOR TO ANY OTHER STRUCTURAL ACTIVITIES. A BYPASS FILTER SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE ESTABLISHMENT OF PROPOSED STRUCTURES AT THE FILTERING POINTS.

STORM WATER MANAGEMENT

REFER TO THE IMPROVEMENT PLANS FOR PROPOSED MULTI-FAMILY RESIDENCE DEVELOPMENT AND THE STORMWATER MANAGEMENT CALCULATIONS FOR ADDITIONAL INFORMATION.

NOTES:
 THE SITE DRAINAGE TO THE STREET SHALL BE LOCATED ON SITE AND DRAINAGE TO EXISTING STREET DRAINAGE.

VELOCITY DISPERSION

THE SITE UTILIZES THE STORM SEWER.

WASTE DISPOSAL

ALL WASTE COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE SITE FOR DISPOSAL IN DESIGNATED AREAS. THE EXISTING SITE WILL BE KEPT CLEAR OF ALL WASTE AND CONSTRUCTION DEBRIS. NO BUILDING MATERIALS, GAS OR OIL, OR OTHER LIQUIDS, SHALL BE DISCHARGED AT THE SITE. SEPARATELY BAGGED WASTE MUST BE PROVIDED FOR STORMWATER POLLUTION.

HAZARDOUS WASTE WILL BE IDENTIFIED AS SPECIFIED BY THE CITY OF DARIEN, THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, OR THE MANUFACTURER OF THE MATERIAL WHICH EACH IS STORED. SITE OPERATIONS WILL BE RESTRICTED BY THESE REGULATIONS AND THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL HAZARDOUS WASTE PRODUCED AS A PART OF THIS DEVELOPMENT PROJECT.

SANITARY WASTE WILL BE COLLECTED IN PORTABLE UNITS AND BRANDED AS SPECIFIED BY THE CITY OF DARIEN.

ANY SPILLED OIL, GAS, OR OTHER CONTAMINANT MATERIAL WILL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOIL WILL BE REMOVED BY AN APPROVED METHOD AT A COST TO THE CONTRACTOR.

A SINGLE CONCRETE WASHOUT AREA WILL BE DETERMINED BY THE CONTRACTOR FOR USE DURING THE CONSTRUCTION OF THE PROJECT. THE WASHOUT AREA SHALL BE KEPT FREE UP TO CONTAIN ALL WASHOUT MATERIAL. ALL APPLICABLE SOIL AND CONCRETE SPECIES WILL BE REMOVED FROM THE SITE UPON COMPLETION OF THE CONCRETE PLACEMENT ACTIVITIES.

OTHER REQUIREMENTS

THE DUTY OF CARE DOES NOT COVER ALL EROSION CONTROL AND STORMWATER MANAGEMENT OPERATIONS.

IF ANY SITE AREA IS TO REMAIN DISTURBED FOR OVER 14 DAYS THEN 7 DAYS AFTER THE LAST DISTURBANCE THE CONTRACTOR MUST IN-STATE STABILIZATION MEASURES.

NO FUEL OR OIL SHALL BE STORED ON-SITE WITHOUT PROPER CONTAINMENT AND PROTECTIVE MEASURES FROM THE CITY OF DARIEN.

THE CONTRACTOR WILL PREVENT OFF-SITE TRANSPORT OF SEDIMENTS IF THE SPECIFIED CONSTRUCTION OPERATIONS ARE NOT MAINTAINED. FURTHER MEASURES MUST BE IMPLEMENTED. ANY SEDIMENT LEFT ON THE PUBLIC ROADWAY WILL BE CLEANED OFF EVERY NIGHT.

DUST CONTROL, IF DEEMED NECESSARY, BY THE CITY ENGINEER, WILL BE DONE BY MEANS OF A WATER TRUCK SPRAYING WATER ON THE SURFACE OF THE SITE.

NON-STORMWATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES WILL OCCUR FROM THIS SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER MAINS AND FIRE HYDRANT FLUSHING
- PAYMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TONS OF HAZARDOUS MATERIALS HAVE OCCURRED)
- UNCONTAMINATED GROUND AND SURFACE WATER FROM DOMESTIC EXCAVATIONS AND DETENTION BASINS
- BEST CONTROL PRACTICE

ALL NON-STORMWATER DISCHARGES SHALL BE DIRECTED TO THE EXISTING STORM SEWER.

DEMOLITION AND RECONSTRUCTION SCHEDULE OF CONSTRUCTION

1. INSTALL SILT FENCE AND EROSION CONTROL MEASURES
2. CONSTRUCT FOUNDATIONS
3. COMPLETE REDEMPTION
4. REMOVE TEMPORARY EROSION CONTROL MEASURES

MAINTENANCE AND INSPECTION PROCEDURES

THE GENERAL CONTRACTOR FOR THIS PROJECT IS RESPONSIBLE FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD AND EFFECTIVE OPERATING CONDITIONS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL REGULAR INSPECTIONS REQUIRED BY THE ILLINOIS GENERAL PERMIT. THIS RECORDING AND KEEPING A RECORD OF EACH INSPECTION. THIS PROCESS WILL CONTINUE UNTIL FINAL STABILIZATION IS ACHIEVED AND A NOTICE OF TERMINATION IS ISSUED BY THE OFFICE. INSPECTIONS WILL BE PERFORMED AND RECORDED BY QUALIFIED INDIVIDUALS TRAINED BY THE GENERAL CONTRACTOR AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 2.5 INCHES OR GREATER.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR PURPOSE OF OF, OR THE POTENTIAL FOR POLLUTANT ENTRY INTO THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING

CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

BASED ON THE RESULTS OF THE INSPECTIONS, MODIFICATIONS NECESSARY SHALL BE IMPLEMENTED WITHIN 7 DAYS OF THE INSPECTION.

ALL LEAKAGES SHALL BE MAINTAINED IN GOOD WORKING ORDER. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.

SEDIMENT BULDOZERS SHALL BE REMOVED FROM SITE FENCES WHEN IT HAS REPAIRED 1/3 THE HEIGHT OF THE FENCE.

SEDIMENT BULDOZERS WILL BE REMOVED FROM OTHER EROSION CONTROLS AS NEEDED TO MAINTAIN STORMWATER FLOW THROUGH THE SITE AND AVOID SEDIMENT FROM BYPASSING THE EROSION CONTROLS.

EROSION CONTROL MEASURES WILL BE REPAIRED, MAINTAINED, OR REPLACED AT THE DISCRETION OF THE LOCAL SOIL AND WATER CONSERVATION DISTRICT, THE CITY OF DARIEN OR THE PARK DISTRICTS ENGINEER.

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. THE REPORT SHALL SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION(S) OF PERSONNEL MAKING THE INSPECTION, THE DATES OF THE INSPECTION, AND OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN. AND ACTIONS TAKEN TO SOLVE ANY PROBLEMS OBSERVED. THE INSPECTION REPORT SHALL BE SIGNED BY A QUALIFIED INDIVIDUAL PER ILLINOIS GENERAL PERMIT NO. 2.

INSPECTION REPORTS SHALL BE MAINTAINED AS A PART OF THE STORMWATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS AFTER FINAL STABILIZATION AND A NOTICE OF SUBSTITUTION HAS BEEN SUBMITTED TO THE PLAN.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL PERMIT, POLLUTANT DISCHARGE LIMITATIONS, SYSTEM DESIGN PERMIT (SUD) THAT SUMMARIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION.

GENERAL CONTRACTOR

COMPANY NAME _____

COMPANY ADDRESS _____

CONTACT PHONE NUMBER _____

PRINTED NAME AND TITLE _____

DATE _____

SIGNATURE _____

SUB-CONTRACTOR # _____

SUB-CONTRACTOR'S RESPONSIBILITY _____

COMPANY NAME _____

COMPANY ADDRESS _____

COMPANY PHONE NUMBER _____

PRINTED NAME AND TITLE _____

SIGNATURE _____

DATE _____

USE ADDITIONAL SHEETS FOR ADDITIONAL SUB-CONTRACTORS. EACH SHEET WILL HAVE THE PROJECT NAME AND LOCATION AS DESCRIBED IN THE SITE DESCRIPTION OF THIS SWPPP.

EACH ADDITIONAL SUB-CONTRACTOR WILL PROVIDE THEIR RESPONSIBILITY, COMPANY NAME, ADDRESS AND PHONE NUMBER. PRINTED NAME AND TITLE, SIGNATURE AND DATE THIS INFORMATION WILL BE KEPT WITH THIS PLAN.

OWNER'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL PERMIT, POLLUTANT DISCHARGE LIMITATIONS SYSTEM DESIGN PERMIT (SUD) THAT SUMMARIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION.

COMPANY NAME _____

COMPANY ADDRESS _____

CONTACT PHONE NUMBER _____

PRINTED NAME AND TITLE _____

DATE _____

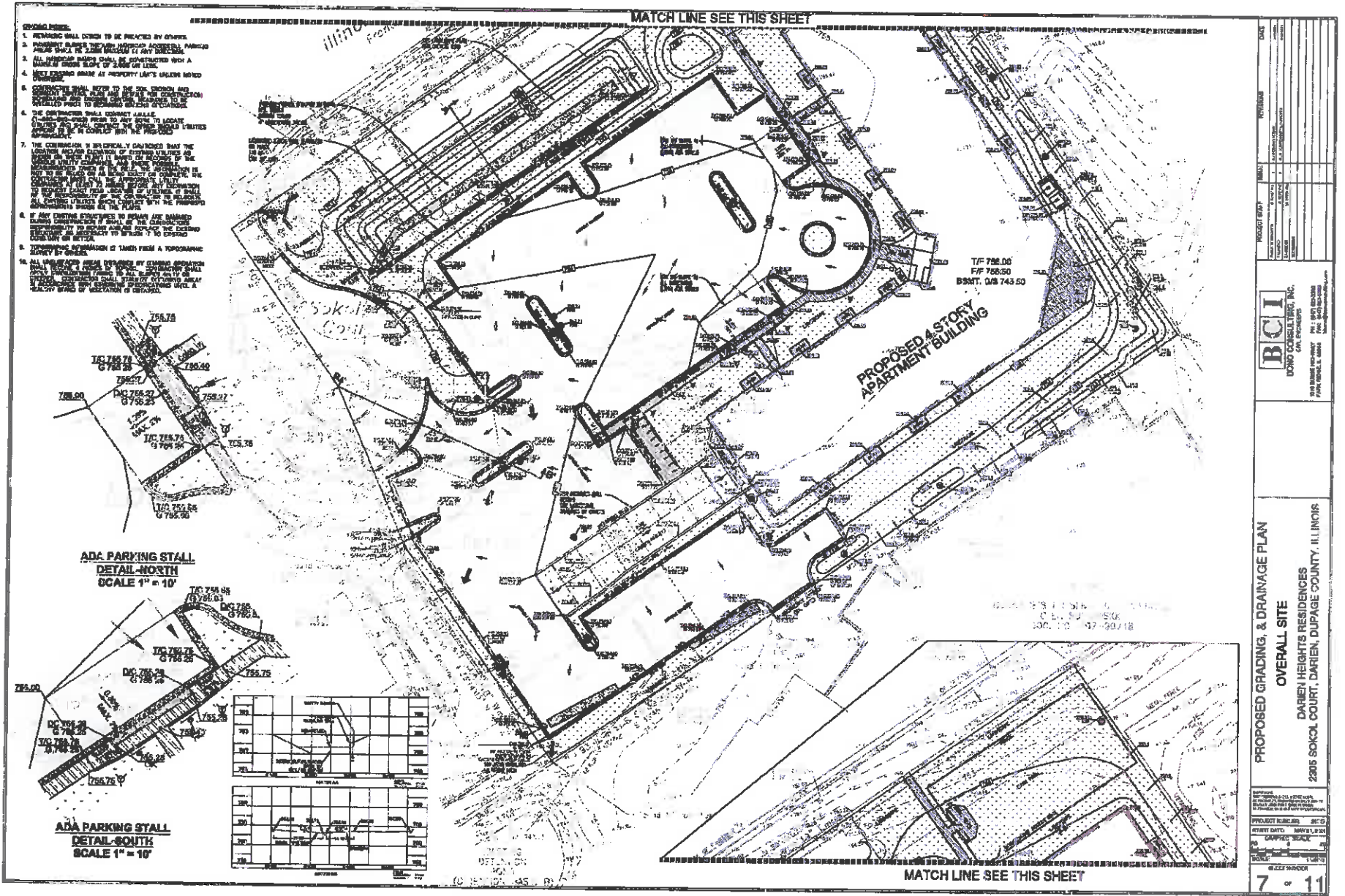
SIGNATURE _____

DATE	REVISION	BY	FOR

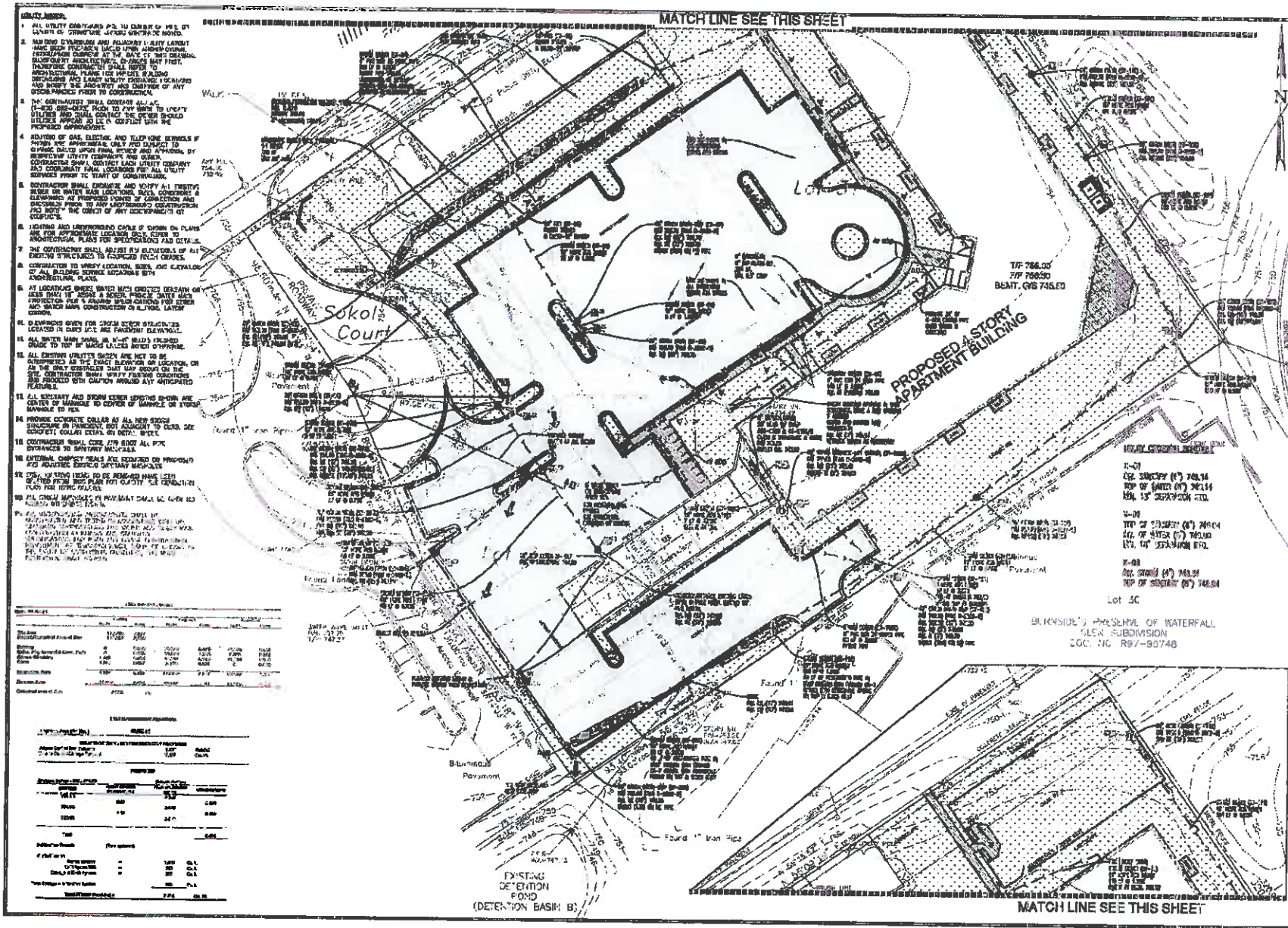
BCI
 BOND GUARANTEE INSURANCE FUND
 100 N. LAKE STREET, SUITE 1000
 CHICAGO, ILLINOIS 60601
 (312) 467-1000
 WWW.BCI.COM

SWPPP
 DARIEN HEIGHTS RESIDENCES
 2005 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

PROJECT NUMBER	010
DATE	01/15/20
SCALE	AS SHOWN
DATE	01/15/20
SCALE	AS SHOWN
DATE	01/15/20
SCALE	AS SHOWN
DATE	01/15/20
SCALE	AS SHOWN



DATE	REVISION
PROJECT NO.	
SHEET NO.	
 BCI CONSULTING ENGINEERS, INC. 1501 N. WILSON AVENUE, SUITE 200 DEERFIELD, ILLINOIS 60015 PHONE: (708) 430-1000 FAX: (708) 430-1001 WWW.BCI-ILL.COM	
PROPOSED GRADING, & DRAINAGE PLAN OVERALL SITE DARIEN HEIGHTS RESIDENCES 2805 SOKOL COURT, DARIEN, DUPAGE COUNTY, IL, INCLIS	
PROJECT NUMBER: 01020 SHEET DATE: MAY 18, 2011 DRAWN BY: [blank] CHECKED BY: [blank]	
SCALE: AS SHOWN 7 of 11	



- UTILITY NOTES:**
1. ALL UTILITY LOCATIONS TO BE SHOWN ON THIS PLAN SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) STANDARDS AND SPECIFICATIONS FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) PRIOR TO CONSTRUCTION.
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Station	From	To	Length	Notes
1+00	1+00	1+00	0.00	Start of Pipe
1+00	1+00	1+00	0.00	End of Pipe
1+00	1+00	1+00	0.00	Total Length

Station	From	To	Length	Notes
1+00	1+00	1+00	0.00	Start of Pipe
1+00	1+00	1+00	0.00	End of Pipe
1+00	1+00	1+00	0.00	Total Length

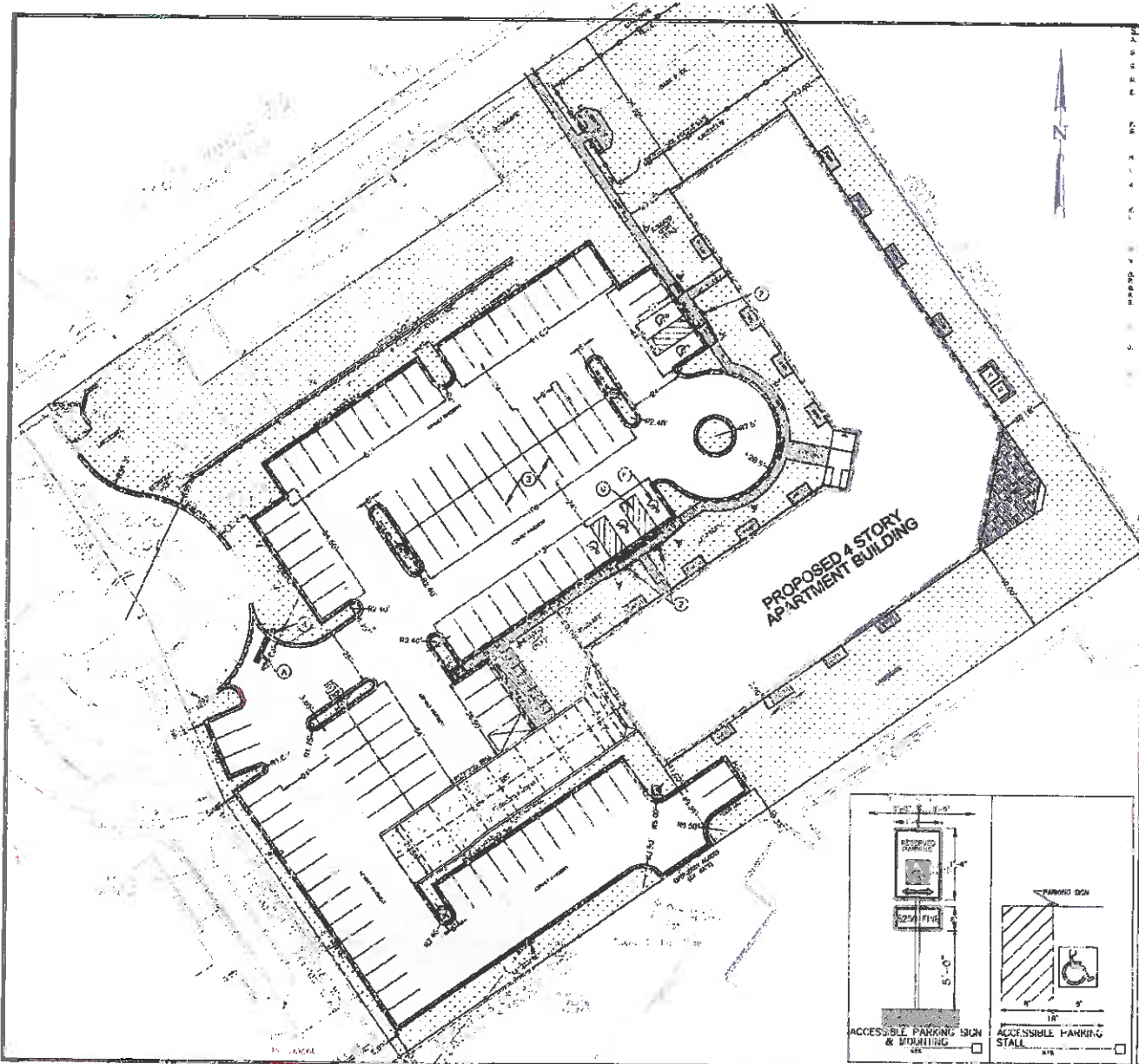
Station	From	To	Length	Notes
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1+00	1+00	1+00	0.00	End of Pipe
1+00	1+00	1+00	0.00	Total Length

PROPOSED UTILITY PLAN
OVERALL SITE
DARIEN HEIGHTS RESIDENCES
2005 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

BCI
BOWEN CONSULTING, INC.
 1100 W. 111th St., Suite 100
 Chicago, IL 60642
 Phone: (773) 486-1111
 Fax: (773) 486-1112
 Email: bci@bciconsulting.com

DATE: 08/11/2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]

8 OF 11



- SEE ALSO NOTES:**
- ALL EXISTING AND PROPOSED DRIVEWAYS SHALL BE CONFORMANT WITH THE CITY SPECIFICATIONS FOR DRIVEWAYS AND SIDEWALKS.
 - ALL DRIVEWAYS SHALL BE TO BE CONFORMANT WITH THE CITY SPECIFICATIONS FOR DRIVEWAYS AND SIDEWALKS.
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PARKING SUMMARY

TOTAL NUMBER OF SPACES	110
RESERVED PARKING 2 SPACES PER UNIT	110
TOTAL REQUIRED PARKING	110
PROPOSED SPACES:	
REGULAR PARKING (STANDARD)	110
ADA PARKING (STANDARD)	5
TOTAL PARKING PROVIDED	115

SIGNAGE LEGEND

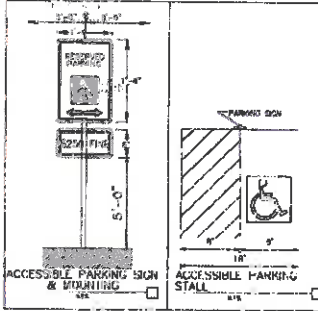
①	STREET SIGN (R-1)
②	ACCESSIBLE PARKING SIGN (R-2)
③	NO PARKING SIGN (R-3)
④	NO STANDING SIGN (R-4)
⑤	NO STOPPING SIGN (R-5)
⑥	NO TRUCKS SIGN (R-6)
⑦	NO TRUCKS OVER 10,000 LBS SIGN (R-7)
⑧	NO TRUCKS OVER 10,000 LBS AND 16'0" TO 16'6" SIGN (R-8)
⑨	NO TRUCKS OVER 10,000 LBS AND 16'6" TO 17'0" SIGN (R-9)

PAVEMENT MARKING LEGEND

①	3" WHITE SOLID STOP BAR
②	1" YELLOW SOLID LINE
③	2" WHITE SOLID LINE
④	LEGIBLE ALPHABETIC CHARACTER MARKINGS
⑤	TRUCKS OVER 10,000 LBS MARKING
⑥	ACCESSIBLE PARKING SPACE MARKING MARKINGS-SEE DETAIL
⑦	4" YELLOW DIAGONAL AT 45° ANGLE 1/2" x 1/2"
⑧	4" SOLID WHITE LINE

PAVEMENT LEGEND

①	GRAVEL SUB-BASE (1 1/2" MIN. THICKNESS)
②	1 1/2" GRANULAR SUB-BASE (1 1/2" MIN. THICKNESS)
③	2" GRANULAR SUB-BASE (2" MIN. THICKNESS)
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PROJECT INFORMATION

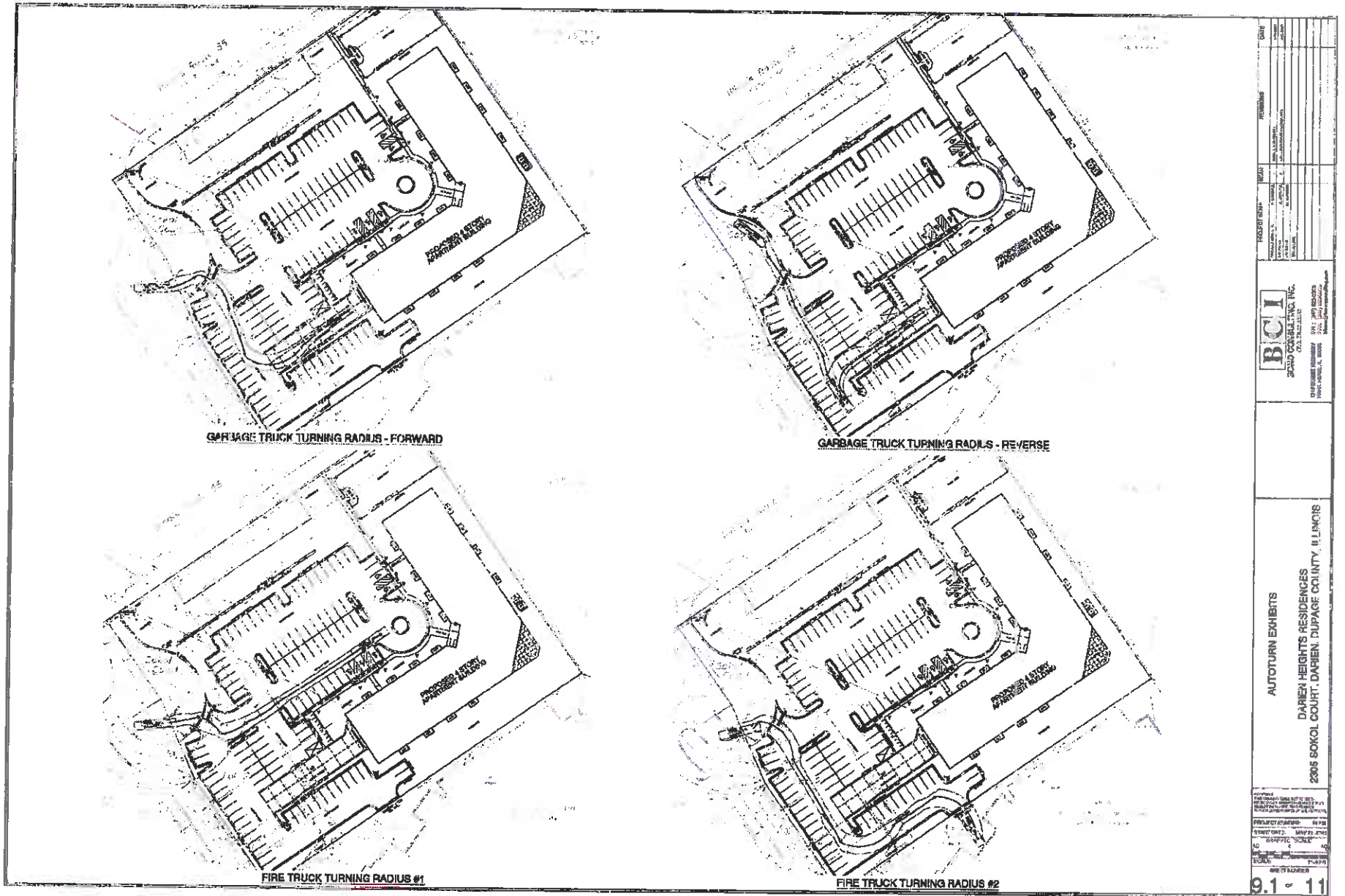
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CLIENT	BCI CONSULTING, INC.
DATE	11/15/2023
SCALE	AS SHOWN
DRAWN BY	J. B. BROWN
CHECKED BY	J. B. BROWN
APPROVED BY	J. B. BROWN

BCI CONSULTING, INC.
 2295 SOKOL COURT, DARIEN, ILLINOIS 60410
 TEL: 708.261.1111
 FAX: 708.261.1112
 WWW.BCI-CONSULTING.COM

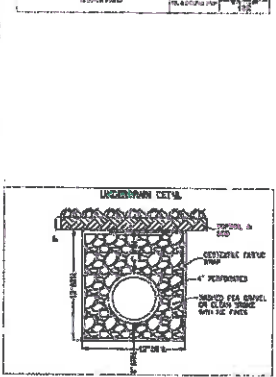
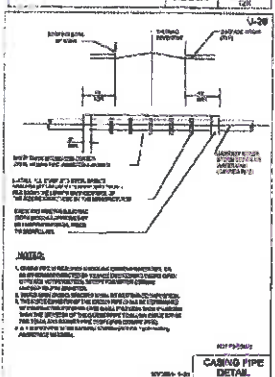
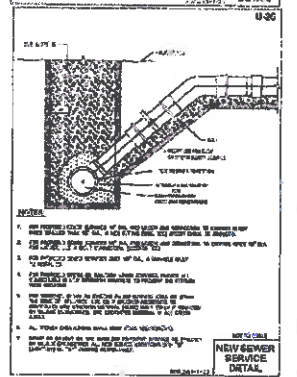
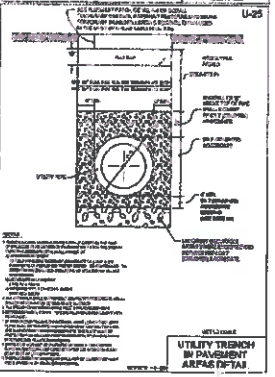
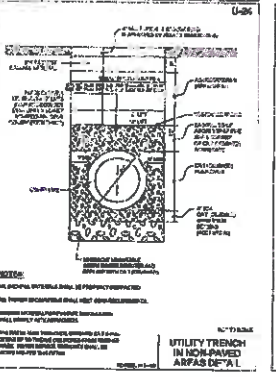
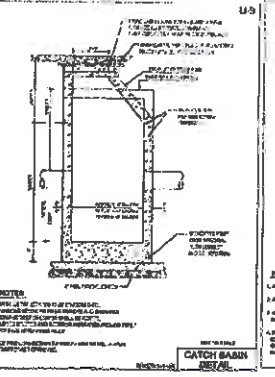
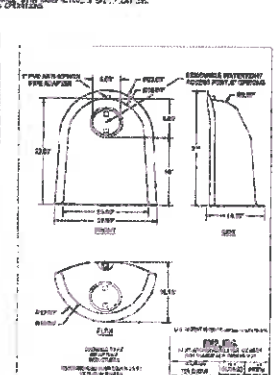
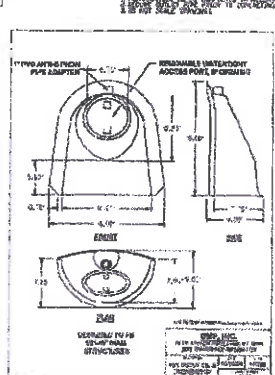
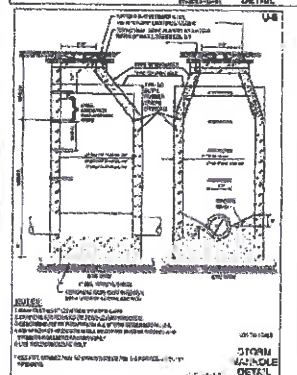
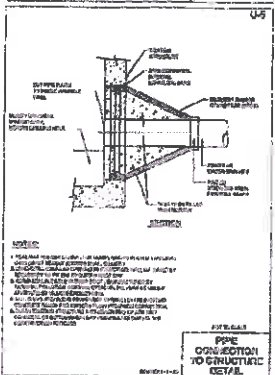
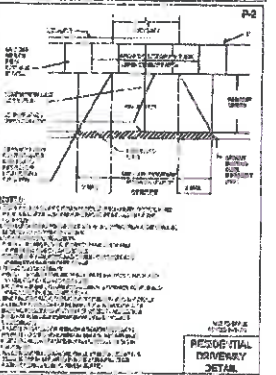
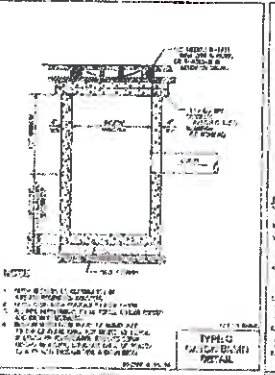
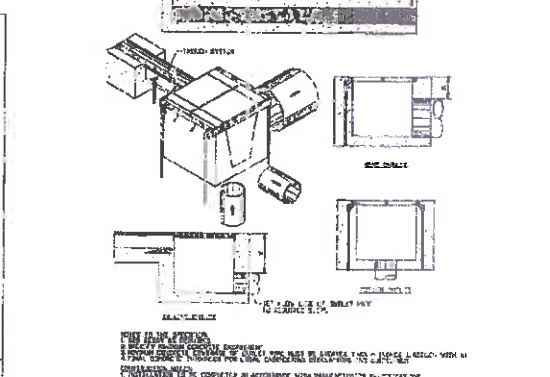
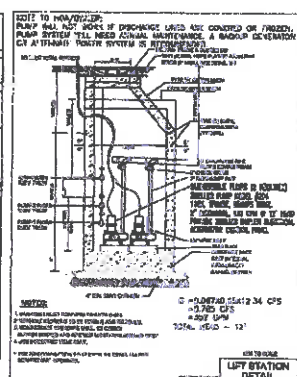
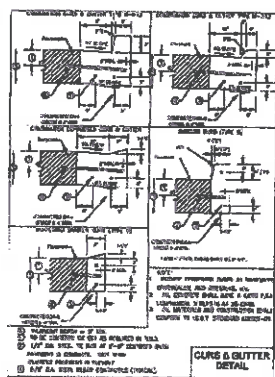
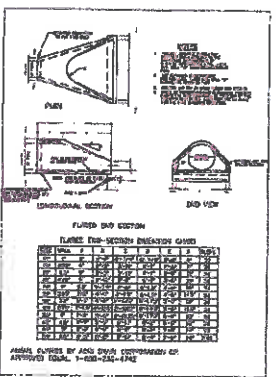
SITE PLAN & GEOMETRIC PLAN
DARIEN HEIGHTS RESIDENCES
2295 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/23	ISSUED FOR PERMITS
2	11/15/23	ISSUED FOR PERMITS
3	11/15/23	ISSUED FOR PERMITS
4	11/15/23	ISSUED FOR PERMITS
5	11/15/23	ISSUED FOR PERMITS
6	11/15/23	ISSUED FOR PERMITS
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49	11/15/23	ISSUED FOR PERMITS
50	11/15/23	ISSUED FOR PERMITS



BCI BUILDING CONSULTANTS, INC. 2500 W. 120th Street Chicago, IL 60648 TEL: 773.865.8000 FAX: 773.865.8001 WWW.BCI-CO.COM		PROJECT NO.: SHEET NO.: DATE:
AUTOTURN EXHIBITS DARREN HEIGHTS RESIDENCES 2005 SOKOL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS		PREPARED BY: CHECKED BY: DATE:
SCALE: 1" = 40'-0" DATE: 11-17-05 DRAWN BY:		PROJECT: 05-178 SHEET: 111 DATE: 11-17-05
9.1		11

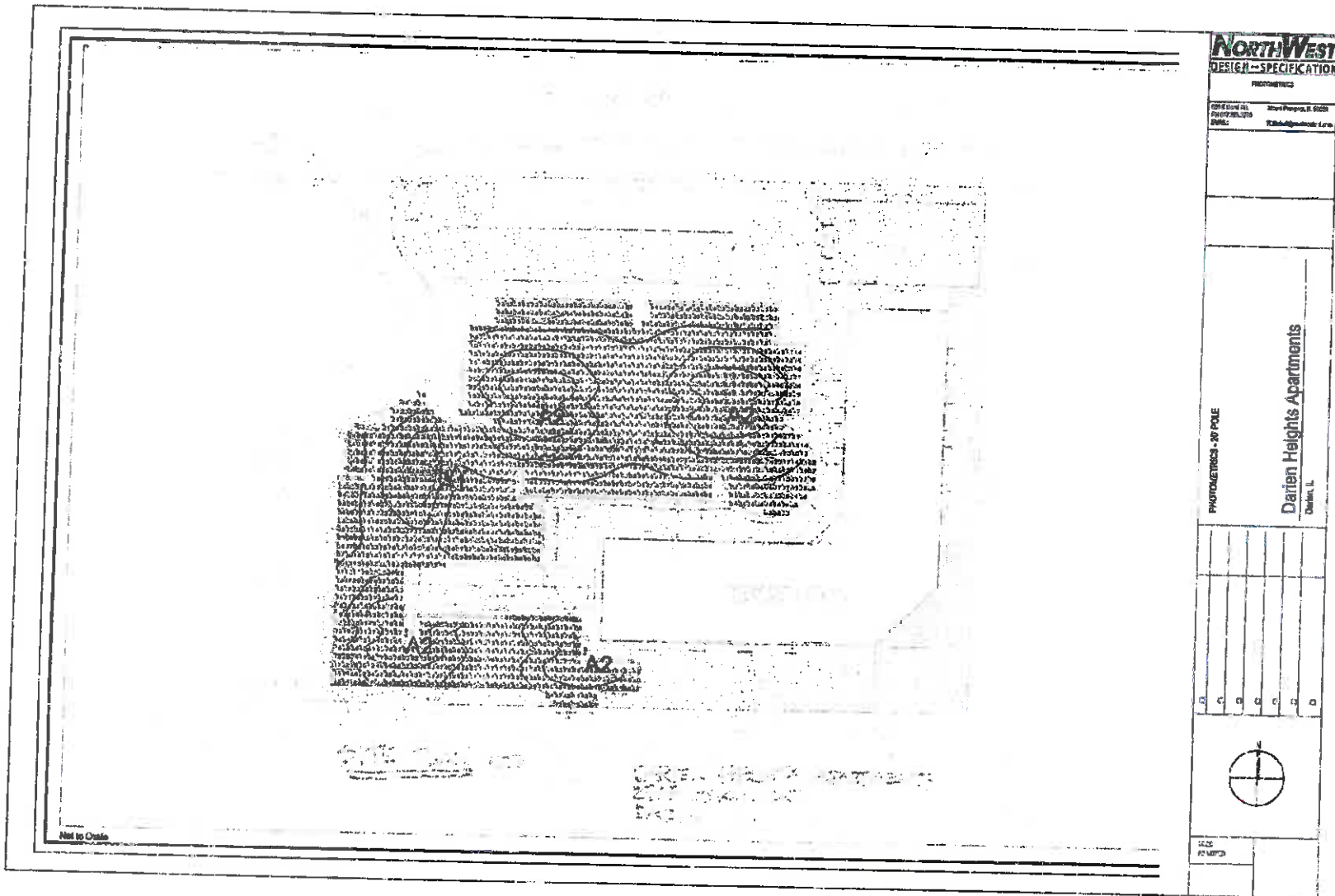


AS SPECIFIED & APPROVED FROM

BCI
BONDING CONTRACTORS, INC. OF ILLINOIS
ONE BROADWAY
CHICAGO, ILLINOIS 60601
PHONE: 312-467-8800
FAX: 312-467-8801
WWW.BCI-ILL.COM

STANDARD DETAILS
DARIEN HEIGHTS RESIDENCES
2005 BOKAL COURT, DARIEN, DUPAGE COUNTY, ILLINOIS

DATE: 11/11
SCALE: AS SHOWN
SHEET NO: 11 OF 11



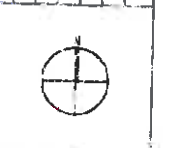
NORTHWEST
DESIGN - SPECIFICATION

PHOTOMETRICS
 CONSULTANT: **PHOTOMETRICS - 30 POLE**
 DATE: **10/11/2011**

PROJECT: **Darien Heights Apartments**

DATE: **10/11/2011**

PHOTOMETRICS - 30 POLE
Darien Heights Apartments
 Dallen, L.



SCALE
 AS SHOWN

Not to Scale

Label	Cell #/Type	Units	Avg	Min	Max	Avail	Min	Max	Description	Phase 1	Phase 2	Notes
Lot Calculations		P2	2.78	0.0	0.3	0.17		21.33		5	5	Horizontal

Symbol	Qty	Tag	Label	Arrangement	Lot Area	Av. Lot Area	Lot Area	LLF	Description	Lot Area	Av. Area	Total Area	Phase	Notes
1-1	1	A1	ALEST110N	SINGLE	1833	1833	1833	1.00	ALEST110N - RWLEST110N - RWLEST110SPH - WRES 4	1833	1833	1833	ALEST110N - NORTH - RAIL STS	8-11-08
1-2	4	A2	ALEST110N 2/4 100	BACK/BACK	1833	3288	3288	1.00	ALEST110N - RWLEST110N - RWLEST110SPH - WRES 4	7152	2911	12672	ALEST110N - NORTH - RAIL STS	8-11-08

- 5- PS4-11-20D2
- 5- BOL34/11
- 5- BCK-S4

Lot	Tag	Area	Permit	Area	Permit	Area	Permit	Area	Permit
1	A1	1833	1833	1833	1833	1833	1833	1833	1833
2	A2	7152	3288	3288	3288	3288	3288	3288	3288
Total County: 9									

NOTES

- The lot to be built shall be a minimum of 100 feet wide and 100 feet deep. The lot shall be a minimum of 100 feet wide and 100 feet deep.
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NORTHWEST
DESIGN - SPECIFICATION

PROJECT NO. 11-08-001
DATE: 8-11-08
SCALE: AS SHOWN

PHOTOMETRICS - 20 POLE

Darien Heights Apartments

PLAN

Scale: 1" = 10'-0"

North Arrow

Legend

Notes

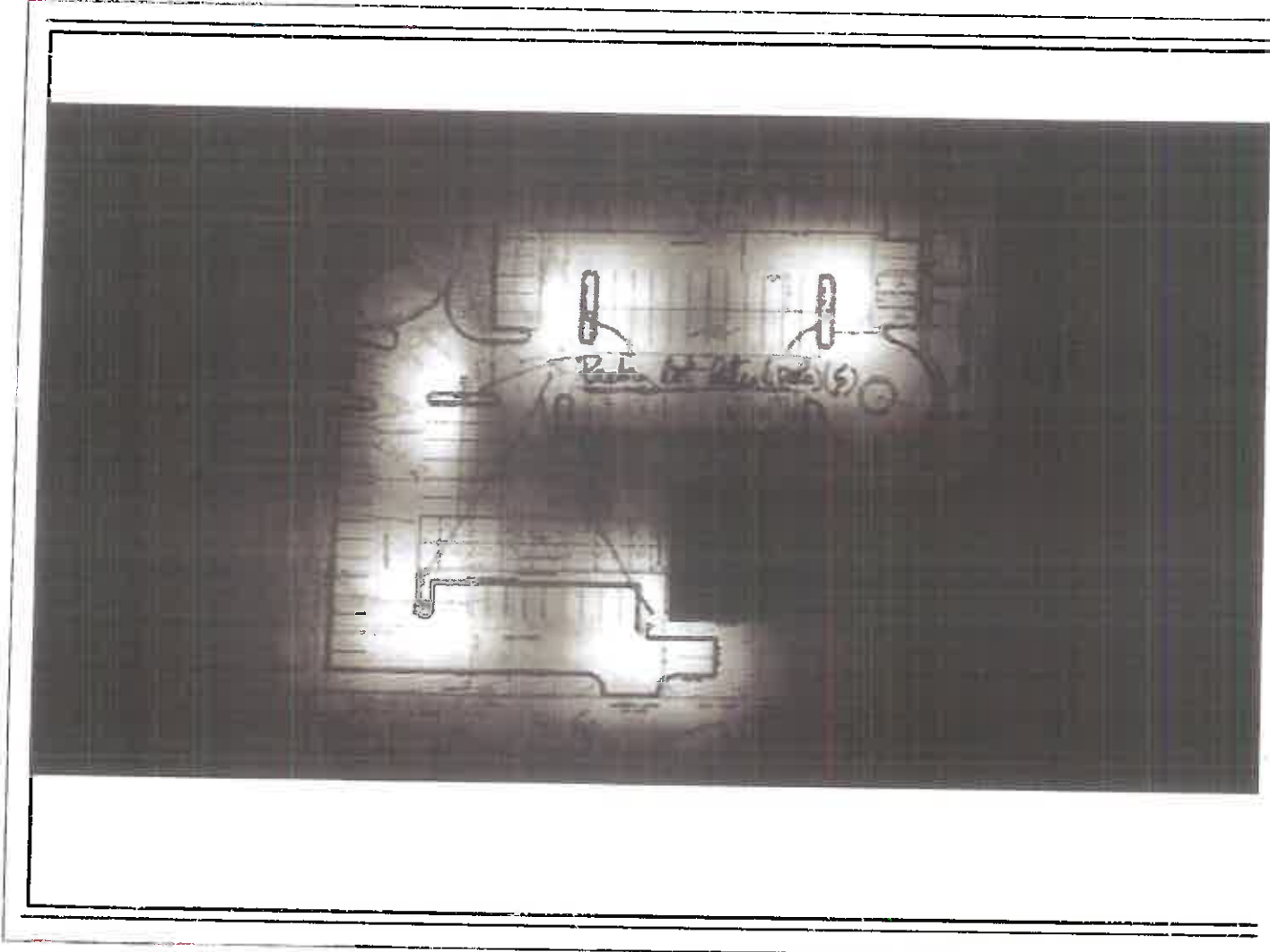
Legend

Notes

Legend

Notes

Legend



NORTHWEST
DESIGN-SPECIFICATION

PROJECT NO. 2006-001

DATE: 10/10/06

PHOTOGRAPHIC - 20' SCALE

Darien Heights Apartments
Floor 1, 1

1	2	3	4	5	6	7	8	9	10

SCALE:
AS SHOWN

Submitted by NW Electrical		Catalog Number:	Type:
NORTHWEST ELECTRICAL SUPPLY	Job Name:	ALED3T150N	
	Darien Heights Apartments	Notes:	NWSES1-10280

ALED3T150N

RAB



Color: Bronze

Weight: 36.7 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	1.31A
200V	0.80A
240V	0.69A
277V	0.60A
Input Watts	153.4W

LED Info

Watts	150W
Color Temp	4000K (Neutral)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	16,253
Efficacy	106 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: PE01688W

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens

Mounting:

Die-cast aluminum housing, lens frame and mounting arm

IP Rating:

Ingress protection rating of IP66 for dust and water

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

Reflector:

Spherical vacuum-metallized polycarbonate

Need help? Tech help line: (888) 722-1900 Email: custserv@rablighting.com Website: www.rablighting.com
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Page 1 of 2

Index Page

Submitted by NW Electric

NORTHWEST
ELECTRICAL SUPPLY

Job Name:
Darien Heights Apartments

Catalog Number:
ALED3T150N

Type:

Notes:

NW857-10255

ALED3T150N

RAB

Technical Specifications (continued)

Construction

Gaskets:

High-temperature silicone gaskets

EPA:

- 1 Fixture: 0.75
- 2 Fixtures at 90°: 1.2
- 7 Fixtures at 180°: 2.4
- 3 Fixtures at 90°: 2.4
- 4 Fixtures at 90°: 1.0

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipse Binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C70.377-2017.

Electrical

Drivers:

One Driver, Constant Current, Class 2, 2100mA 19V-277V, 50-60Hz, Power Factor 99%

THD:

7.7% at 120V

Power Factor:

99.5% at 120V, 93.5% at 277V

Surge Protection:

4kV

Optical

BUG Rating:

B1 U0 G2

Other

BAA Compliance:

Click [here](#) for BAA compliance.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [www.rablighting.com/warranty](#).

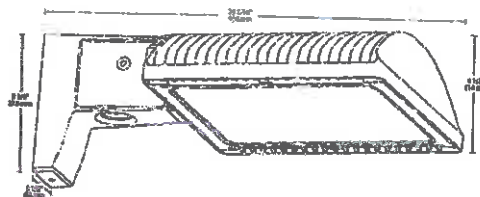
Equivalency:

Equivalent to 400W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty

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Page 2 of 3

inkjet Page

Submitted by NW Electrical	Job Name: Darien Heights Apartments	Catalog Number: ALED3T150N	Type:
NORTHWEST ELECTRICAL SUPPLY		Notes:	NWES21-10250

ALED3T150N



Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	3T	150		N				
	4T = Type IV	50 = 50W 75 = 75W	Blank = Pole mount SP = Slipfitter	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze RG = Roadway Gray W = White K = Black	Block = 120-277V MS0 = 480V /BL = Bi-Level /D10 = 0-10V Dimming /80/D10 = 480V, 0-10V Dimming	Blank = No Option /LC = LightCircuit Controller /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCS4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = SAA Compliant
	3T = Type III	105 = 105W 125 = 125W 150 = 150W						

Need help? Tech help line: (888) 732-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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Submitted by NW Electrical		Catalog Number:	Type:
NORTHWEST ELECTRICAL SUPPLY	Job Name:	PS4-11-20D2	
	Darien Heights Apartments	Notes:	NW2021-0220

PS4-11-20D2

RAB



Project: _____ Type: _____

Prepared By: _____ Date: _____

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stacked vertically for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 136.7 lbs

Technical Specifications

Compliance

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Release:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

20 FT

Weight:

137 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

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Landscape Plan

2305 SOKOL COURT

Darien, Illinois

July 26, 2021

CONSULTANTS:



LANDSCAPE ARCHITECT:
 GARY H. WEBER ASSOCIATES, INC
 402 W. LIBERTY DRIVE
 WHEATON, ILLINOIS 60187

ENGINEER:

BONO CONSULTING CIVIL ENGINEERS
 1318 BUSSE HWY
 PARK RIDGE, ILLINOIS 60068



LOCATION MAP
 SCALE: 1"=200'

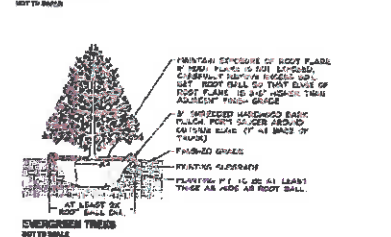
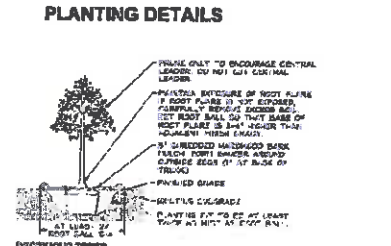
INDEX OF SHEETS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
0	COVER SHEET
1.1	OVERALL LANDSCAPE PLAN
1.2	LANDSCAPE DETAILS
1.3	LANDSCAPE DETAILS
1.4	LANDSCAPE SPECIFICATIONS

NATIVE SEED MIXES

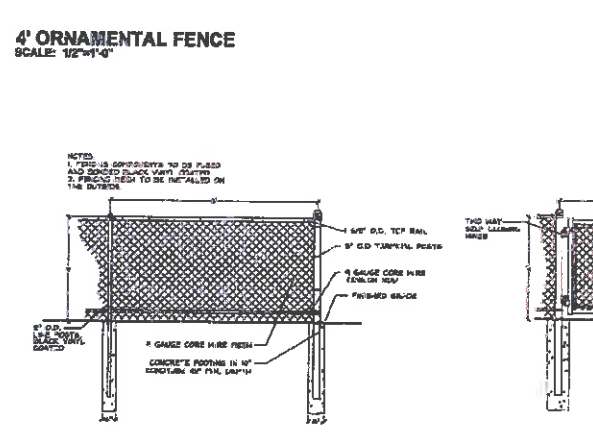
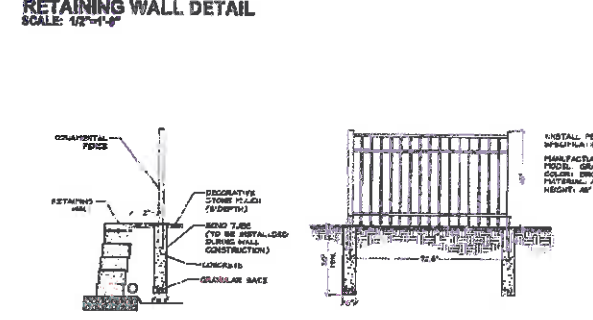
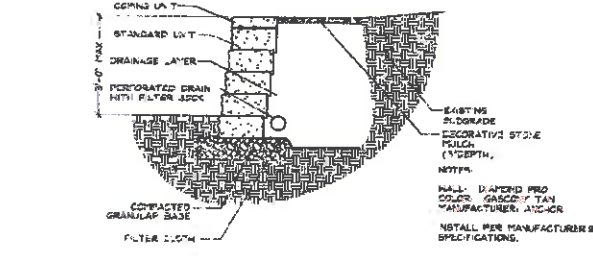
Standard Name	Common Name	No./AC
Native Seed Mixes		
Level to 10' or Less		
Commons / Sodas		
Green Berm	Green Berm Sodas	0.050
Green Berm	Green Berm Sodas	0.100
Green Berm	Green Berm Sodas	0.200
Green Berm	Green Berm Sodas	0.300
Green Berm	Green Berm Sodas	0.400
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Green Berm	Green Berm Sodas	9.700
Green Berm	Green Berm Sodas	9.800
Green Berm	Green Berm Sodas	9.900
Green Berm	Green Berm Sodas	10.000



GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall verify dimensions and location of any utilities.
- Material quantities shown are for contractor's convenience only. The Contractor must verify all materials and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs prior to plant or grade or at any time before or during the construction with the exception of weather, job and safety.
- Work shall conform to American Standard for Nursery Stock, Class A, unless otherwise specified.
- Contractor shall assume all pay for all permits, fees, and expenses necessary for the proper installation of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



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2305 SOKOL COURT
DARIEN, ILLINOIS
LANDSCAPE DETAILS

DATE: 07.28.2011
PROJECT NO.: 0212001
ISSUED: 1/23/2011
SHEET NO.: 021
TOTAL SHEETS: 021

L-2

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

- 1. The establishment of trees, shrubs, perennials, annual and lawn areas as shown on attached Plans;
2. The provision of maintenance materials as specified in Part 1.02;
3. Any special operations necessary in accordance with the plans as specified in this document;
4. Items which may be required.

1.2 QUALITY ASSURANCE

- A. All seed and plants are to be of highest quality. Seeds and plants must be of the highest quality.
B. Supply Control Procedures:
1. All landscape materials with specifications for inspection are required by government authorities. Generally, with government, regulations applicable to landscape materials.
2. Do not receive materials, if specified landscape material is not acceptable, submit to landscape architect proof of non-acceptability and proceed for use of substitute material.
3. All plants and shrubs, include detailed products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Furnish schedule
B. Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
C. Maintenance Instructions - Landscape work
Submit two (2) copies of written instructions recommending procedures to be maintained by the Owner for the maintenance of landscape work for one full year. Submit prior to completion of required maintenance period.
Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for mowing, fertilizing and seeding grass areas shall be provided for (10) days prior to mowing for final acceptance. Landscape Architect shall receive copies of all instructions when issued.
C. Submit two (2) copies of soil test of existing soil with recommendations for soil additive requirements to Landscape Architect for review and written approval.
D. Submit two (2) copies of structural landscape work, mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
E. Supply planting lists including the species and quantities of material to be planted to be provided to the Owner under Part 1.02.

1.4 SOIL CONDITIONS

- A. Examine and analyze species, soils and water quality. Examine the conditions under which water is to be delivered and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected to an acceptable degree.
B. Watering: Remove water courses which impede trees and plants, notify local utility water service department of any encroachment of utility locations and notify appropriate authority for the protection of utility during course of work. Contractor shall be responsible for any damage to utilities or property.
C. Excavation: When conditions determined to plant growth are unsatisfactory such as rutting, fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee period and conditions shown through the specific maintenance items and under final acceptance.
B. Guarantee period, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by nature or unusual circumstances or conditions which are beyond Landscape Architect's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOIL

Provide temporary erosion control mat over topsoil and free of weeds and obstructions within grounds. Provide any soil capable of growth not developed when planted. Exposed, not disturbed, and in 100% soil cover over 10" with a 1" top. Provide not less than 1/4" of a 1/2" top of Kentucky Bluegrass such as Mahogany, Atlanta, Vase, Huntington, Queeny.

2.2 LAWN SOIL FERTILIZER

Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysis of North America. Provide seed of the same species, proportions and minimum percentages of same type, as specified.

- A. Lawn Seed Fertilizer - 5 (lb./1000 sq. ft.)
100% Kentucky Bluegrass (KBS)
100% Coastal Perennial Ryegrass
100% Smooth Stalk Fescue
100% Biga Perennial Ryegrass
100% Biga Perennial Ryegrass
100% Perennial Orchard Grass
100% Perennial Orchard Grass
B. Temporary Lawn Seed Fertilizer - 5 (lb./1000 sq. ft.)
100% Kentucky Bluegrass (KBS)
100% Perennial Ryegrass
100% Annual Ryegrass

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in reasonable containers or alternate pot mix and with root balls from the minimum number and length of runners required by ANSI Z601 for the site and situation or listed.

2.4 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material trees to name and variety.
B. Quality: Provide trees, shrubs and other plants complying with the recommendations of ANSI Z601 "Standard for Nursery Stock" and as further specified.
C. Tree and Shrub: Provide trees of height and other listed or shown and with branching configuration recommended by ANSI Z601 for type and species required. Provide single stem trees except where species forms one stem or more. Provide all top and backbone (BBS) deciduous trees.
D. Deciduous Shrubs: Provide species of the height shown or listed and with less than the minimum number of stems required by ANSI Z601 for the type and height of shrub required. Provide balled and burlapped (BBS) deciduous shrubs.
E. Deciduous Evergreens: Provide evergreens of the size shown or listed. Provide minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality nursery grown well-established form complying with requirements for similar size material. Provide all top and backbone (BBS) deciduous shrubs.
F. Inspection: All plants shall be subject to inspection and removal at the place of growth or upon delivery and satisfactory to specification requirements as to quality, type of specimen and condition upon delivery at the site or during the progress of the work for size and condition of ball or roots, diseases, insects and stem defects or injuries. Damaged plants shall be removed immediately from the site.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean washed topsoil (classified as 10) for all planting sites, amended, organic and granularized manure. Topsoil shall be analyzed and approved in writing by the Landscape Architect.

2.6 EROSION CONTROL

- A. Lawn Seed Areas Erosion Control Blanket: North American Green D95, or equivalent approved equal.

2.7 MULCH

Provide mulch consisting of premium shredded hardwood bark. Provide samples to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

As soon after final site plan as the planting of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTING

- A. Site and Soil Tests
1. Determine existing water, vegetation and soil. Slopes of each existing site shall be noted and soil testing programs for soils.
2. If it is a slope of less than 2% study soil composition in regard to drainage and erosion. If it is a slope of 2% or more, study soil composition in regard to drainage, erosion, and soil testing. Dispose of topsoil material as specified.
3. Subsoil tests shall include an application of granular fertilizer at the rate of 10 lbs. per 1000 sq. ft. and shall have an analysis of 16-8-8.
4. Lay out within 24 hours from time of planting.
5. Lay out to form a ball mix with tightly fitted joints. Ball mix and sides of soil shall be not over 1/2" deep. Slope shall be offset 1/2" or 1" from center. If it is a slope of 2% or more, study soil composition in regard to drainage, erosion, and soil testing. Dispose of topsoil material as specified.
6. Water and thoroughly with a fine spray immediately after planting.
B. Existing Site Work
1. Remove existing grass, vegetation and turf. Slopes of such material shall be left as is. Do not turn over into soil being prepared for lawn.
2. Till to a depth of not less than 6" apply soil amendments, remove high areas and fill in depressions, fill soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material as specified.
3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 1/2 lb. per 1000 sq. ft. and shall be 16-24-24. Fertilizer shall be uniformly spread and worked into the soil to a depth of 1" inches.
4. Do not use soil seed or seed which is moldy or otherwise damaged in transit or storage.

- 3. Do not seed with a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by moving equal quantity in two directions at right angles to each other.
4. Do not seed less than specified rate.
5. Roll out seed lightly into top 1" of soil, roll lightly and water with a fine spray.
6. Grasses and Perennial Grass

Groundcover, perennials, and annuals shall be planted in accordance with planting soil mixture a minimum of 1/2" deep. Water in per spacing indicated on plan.

- A. Trees and Shrubs
1. Ball balled and burlapped (BBS) stock plants and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed above finished and matching. Remove bark from top and sides of balls, retain on ball, when set, place additional topsoil around base and sides of ball and water each layer to settle ball and eliminate voids and air pockets. When available is approximately 2/3 full, water thoroughly before placing remainder of ball. Repeat watering until no more is absorbed. Water after after placing final layer of ball.
2. Dig top of ball to allow for mulching. Provide additional ball/burlap barrier around edge of excavation to form water seal to collect water.
3. Mulch pits, trenches and other areas. Provide not less than 2" thickness of mulch over top of ball/burlap and finish level with adjacent finish grade. Maintain exposed root flare at all times.
4. Prune only injured or dead branches from flowering trees, if any. Prune main stems of trees during shaping or pruning operations. Prune should be near natural character in accordance with standard horticultural practices.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper training.
6. The Contractor shall be held responsible for ensuring that all trees are planted in a vertical and sturdy position and remain so throughout the life of this contract and warranty period. Trees may be set at an angle and gapped depending upon the individual preference of the Contractor. However, any bending procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until first acceptance. A minimum of 10 (10) days.
B. Maintain planted and seeded areas by watering, mowing, weeding, replanting and implementing erosion control as required to maintain vegetation free of weeds or bare areas.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep materials clean and work areas and adjoining areas in a neat condition.
B. Protect landscape work and materials from damage due to landscape operations operated by other trades or contractors. Obtain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs prior to time of growth or at any time before planting for compliance with requirements for name, variety, size, quality, health and site protection.
B. Supply written affidavit certifying composition of soil mixtures and quantity of plant materials with respect to species, variety and quality.
C. Notify the Landscape Architect within five (5) days after completion initial order supplemental planting in each area.
D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.

GARY R. WEBER ASSOCIATES, INC. LANDSCAPE ARCHITECTS

PAUL SPANIO ASSOCIATES, INC. CIVIL ENGINEERS

BOHO CONSULTING CIVIL ENGINEERS

2305 SOKOL COURT DARIEN, ILLINOIS LANDSCAPE SPECIFICATIONS

Table with columns for DATE, PREPARED BY, CHECKED BY, and SHEET NO. Includes values like 07.20.2017 and 07.21.2017.



L-3



TRAFFIC MEMO

To: Paul Swanson
Paul Swanson Associates, Inc.

From: Kim Lask, P.E., PTOE, CFM

Date: March 10, 2021
Revised April 5, 2021

RE: Darien Heights Residences
2305 Sokol Court, Darien, Illinois
Haeger File No.: 20-174

RECEIVED
APR 23 2021
Community Development
City of Darien

1 - INTRODUCTION

Haeger Engineering LLC has prepared a Traffic Memo for the proposed Darien Heights Residences development located at 2305 Sokol Court in Darien, Illinois. This study was conducted to assess the impact the proposed development would have on traffic conditions, evaluate the anticipated parking demand to determine if sufficient parking will be provided, and to evaluate traffic circulation through the development. The subject property is in Section 5, Township 37N, Range 11E. The project area is 2.81 acres, and the P.I.N.s are 10-05-404-002 and 10-005-404-024. The location map and aerial photograph of the site vicinity are illustrated on *Exhibit 1 in Appendix A*.

The project consists of a 4-story, 68-unit apartment development with interior and exterior parking. Access to the site will consist of one full access drive along Sokol Court. The site plan is illustrated on *Exhibit 2 in Appendix A*. A traffic impact study for the previously proposed development was prepared by Metro Transportation Group, Inc., dated 01-18-2005. The traffic study evaluated a 104-unit condominium development; however, the development was thereafter approved to contain only 66 units.

2 - LAND USE

The subject property is currently vacant. Major land uses in the vicinity of the development include an extended stay hotel to the west, a park to the east, and multi-family residential (Waterfall Glen Condominiums and Townhouses) to the east and south.

3 - EXISTING ROADWAY NETWORK

A field investigation was conducted along the adjacent segments of Sokol Court and S. Frontage Road. The following information was obtained about the existing roadway network.



S. FRONTAGE ROAD

- An east-west local roadway providing one lane in each direction that is under the jurisdiction of the City of Darien.
- At its unsignalized T-intersection with Sokol Court, S. Frontage Road provides one through lane at both east and west approaches.
- The posted speed limit is 45 mph. West of Sokol Court, the speed limit reduces to 35 mph along the curved section of the roadway.

SOKOL COURT

- A north-south local roadway providing one lane in each direction that is under the jurisdiction of the City of Darien.
- At its unsignalized T-intersection with S. Frontage Road, Sokol Court provides a single general-purpose outbound lane and one inbound lane, operating under Stop sign control.
- Sokol Court is not a through street. It ends in a cul-de-sac.

4 – EXISTING TRAFFIC

The average annual daily traffic volume on S. Frontage Road, published by Illinois Department of Transportation (IDOT) in 2012, is 2,200 vehicles per day (vpd). To estimate the current pre-pandemic traffic, a growth factor of 1% per year was used, for an estimated volume of 2,408 vpd. The peak hour volume was determined by assuming 12% of the total traffic drives by the site during the peak hour. D-factors of 0.4 for westbound traffic and 0.6 for eastbound traffic were used to establish the directional distribution. The estimated existing traffic volumes are summarized in *Table 1* and *Exhibit 3*. Estimated traffic generated by the existing adjacent hotel are included on the exhibit (refer to section 5-Peak Hour Trip Generation).

Table 1 – Estimated Existing S. Frontage Road Peak Hour Volume

Direction of Travel	Peak Hour Volume (veh)
Westbound on S. Frontage Road	116
Eastbound on S. Frontage Road	173
Total	289

CRASH HISTORY

Crash data was obtained for S. Frontage Road and Sokol Court near the proposed development. During a 3-year time period (2017 to 2019), there was only 1 crash at the intersection involving a vehicle traveling eastbound on S. Frontage Road and a vehicle turning left from Sokol Court. A review of the data indicated that there were no fatalities reported, and the frequency of accidents compared to the traffic traveling along S. Frontage Road and Sokol Court is very low.

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



5 - PEAK HOUR TRIP GENERATION

In order to accurately estimate the traffic that will be generated by the proposed development, data compiled by the Institute of Transportation Engineers (ITE) in the 10th Edition of the *Trip Generation Manual* was utilized. Trip generation for a proposed development depends on the size and characteristics of the anticipated land use. The volume of traffic generated by the number of units of the proposed facility was used to determine anticipated traffic volume. The ITE land use code that was consulted for this analysis is indicated in *Table 2* along with the estimated weekday AM peak hour, weekday PM peak hour, and weekday daily traffic volumes.

The adjacent extended stay hotel also has its only access driveway at Sokol Court. The hotel was contacted on April 1, 2021 to obtain information on the total number of rooms. As a conservative approach, traffic estimated to be generated by the existing extended stay hotel was determined based on the total number of rooms (104 rooms) instead of the average number of occupied rooms.

Table 2 – ITE Land Use Codes and Peak Hour Trip Generation

Land Use	ITE Code	Units	Peak Hour Traffic Volumes				Weekday Daily Trips	
			AM Peak		PM Peak		In	Out
			In	Out	In	Out		
Proposed Multi-family Housing (Mid-Rise)	221	68	7	18	19	13	184	185
Existing All Suites Hotel	311	104	13	11	16	17	211	211
Total			20	29	35	30	395	396

TRIP GENERATION COMPARISON

As stated, the site was previously approved for a 66-unit condominium development. An analysis was done to compare the previously approved trips with the proposed trips. The trip generation comparison is shown in *Table 3*.

Table 3 – Trip Generation Comparison of Previously Approved Volumes and Proposed Volumes

Land Use	ITE Code	Units	Peak Hour Traffic Volumes				Weekday Daily Trips	
			AM Peak		PM Peak		in	Out
			In	Out	In	Out		
Previously Approved Condominium Development	221	66	6	17	18	12	179	179
Proposed Multi-family Housing (Mid-Rise)	221	68	7	18	19	13	184	185
Difference		+2	+1	+1	+1	+1	+5	+6



As indicated in *Table 3*, there will be a slight increase in trips from the previously approved condominium development to the proposed apartment development. Only 2 additional trips are expected during the peak hours.

6 – TRAFFIC STATEMENT OF OPINION

S. Frontage Road is a low volume roadway with sufficient gaps to allow for traffic turning from Sokol Court. It is anticipated that Sokol Court traffic will experience minimal queues and delays. It is the opinion of Haeger Engineering LLC that the proposed development can be constructed with minimal impact to the traffic volumes along S. Frontage Road and at the intersection.

7 – PARKING DEMAND ANALYSIS

Parking demand is the amount of parking that will be used at a particular time and place. Parking demand is affected by various factors such as type of use, time of day, parking duration, and geographic location. Parking adequacy was reviewed and determined based on the review of two (2) criteria: City of Darien City Code parking requirements and *ITE Parking Generation Manual*, 5th Edition recommendations.

The proposed development will include 68 apartments with 27 interior / underground parking spaces and 110 exterior parking spaces. The total proposed parking is 137 spaces, and the proposed parking ratio is 2.01 spaces per unit.

CITY OF DARIEN CITY CODE PARKING CRITERIA

Requirements for off-street parking are included in City of Darien City Code Chapter 11, Section 5A-11-5, Off-Street Parking and Loading Table. Based on Code requirements, multiple family dwellings must provide a minimum of 2.0 parking spaces for each dwelling unit. For a 68-unit multi-family development, the standard parking requirement is 136 parking spaces.

ITE PARKING GENERATION

According to the *ITE Parking Generation Manual*, the average peak parking demand for a 68-unit multi-family mid-rise development is 89 parking spaces (1.31 spaces per unit) on weekdays and 112 parking spaces (1.64 spaces per unit) on weekends.

Based on the above, the proposed 137 parking spaces at a ratio of 2.01 spaces per unit will adequately meet the future parking needs of the residents.

8 – INTERNAL CIRCULATION

The proposed site plan is designed for efficient traffic flow. The two-way drive aisles are designed at a minimum of 24-ft wide to accommodate the projected traffic volumes safely and efficiently. The drive aisles allow sufficient room for vehicles to back out of parking spaces. Access to the site will consist of one full access drive connecting to Sokol Court. An emergency vehicle access is located at the back of the property.



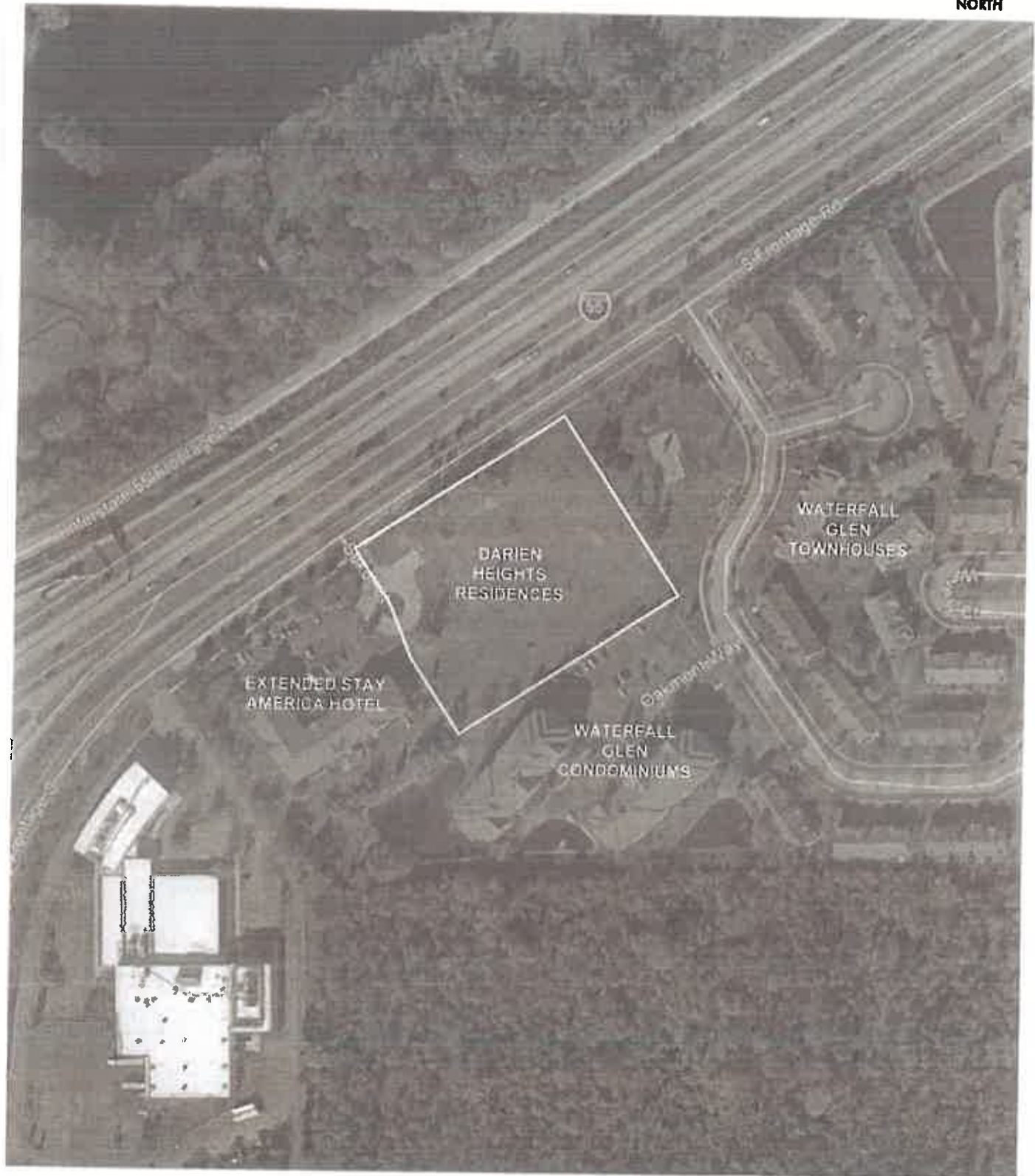
9 – RECOMMENDATIONS AND CONCLUSION

Based on the traffic analyses for Darien Heights Residences, the recommendations and conclusions are summarized below:

- The proposed multi-family residential development will generate a slight increase in traffic volume when compared with the previously approved condominium development.
- The proposed development will have sufficient parking available to accommodate the parking generated and will exceed the Darien City Code and the *ITE Parking Generation Manual*.
- The site plan allows adequate site access and on-site circulation.



APPENDIX A - Exhibits

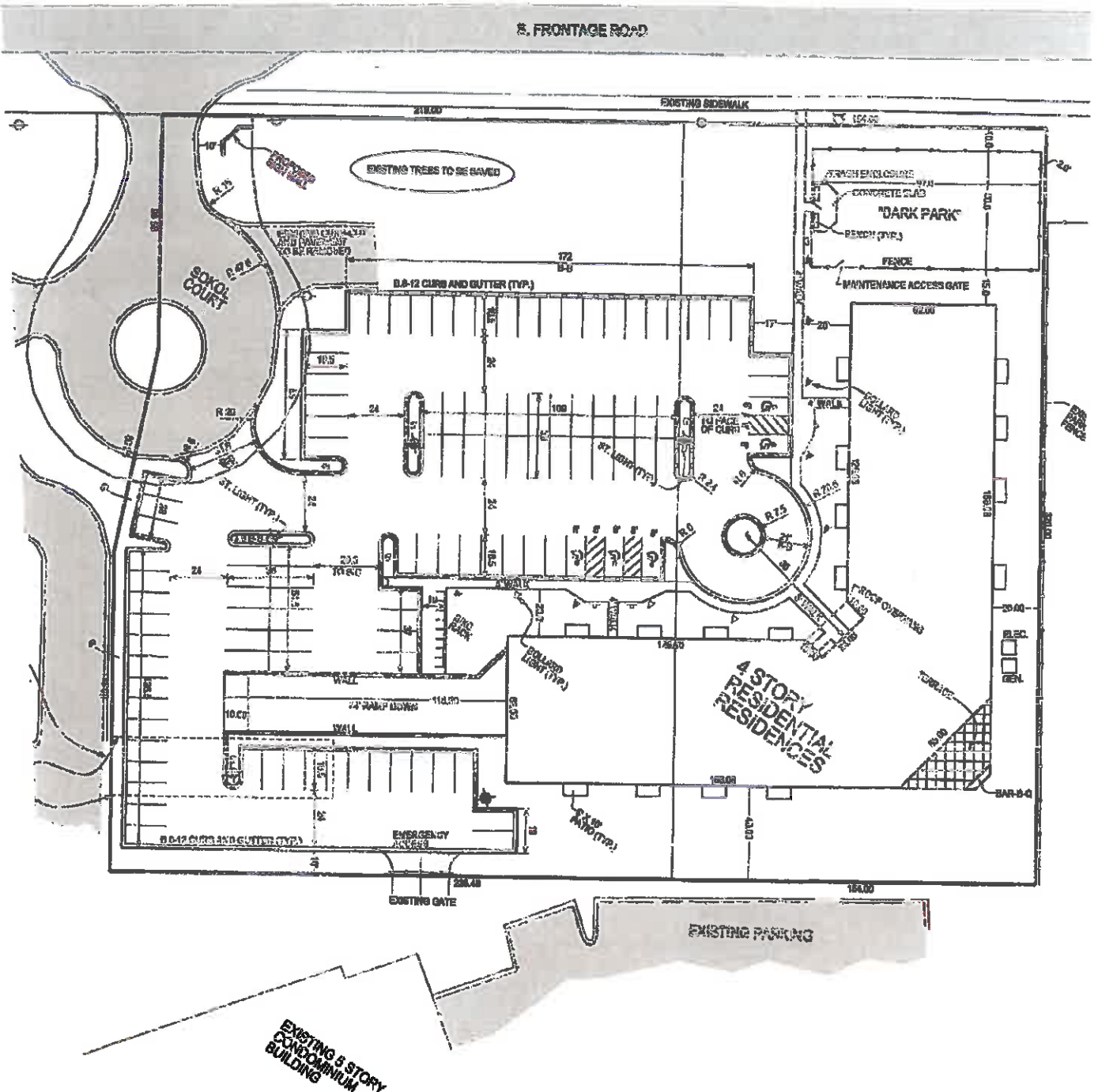


AERIAL PHOTO EXHIBIT
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS

HAEGER ENGINEERING
 consulting engineers • land surveyors
 102 East State Parkway, Schaumburg, IL 60173 Tel 817 394 8600 Fax 817 394 8200
 Illinois Professional Geomatic License No 304-0831a2 www.HaegerEngineering.com

Project Manager KML
 Engineer KML
 Date 03-10-2021
 Project No. 20-174
 Sheet 1 / 5

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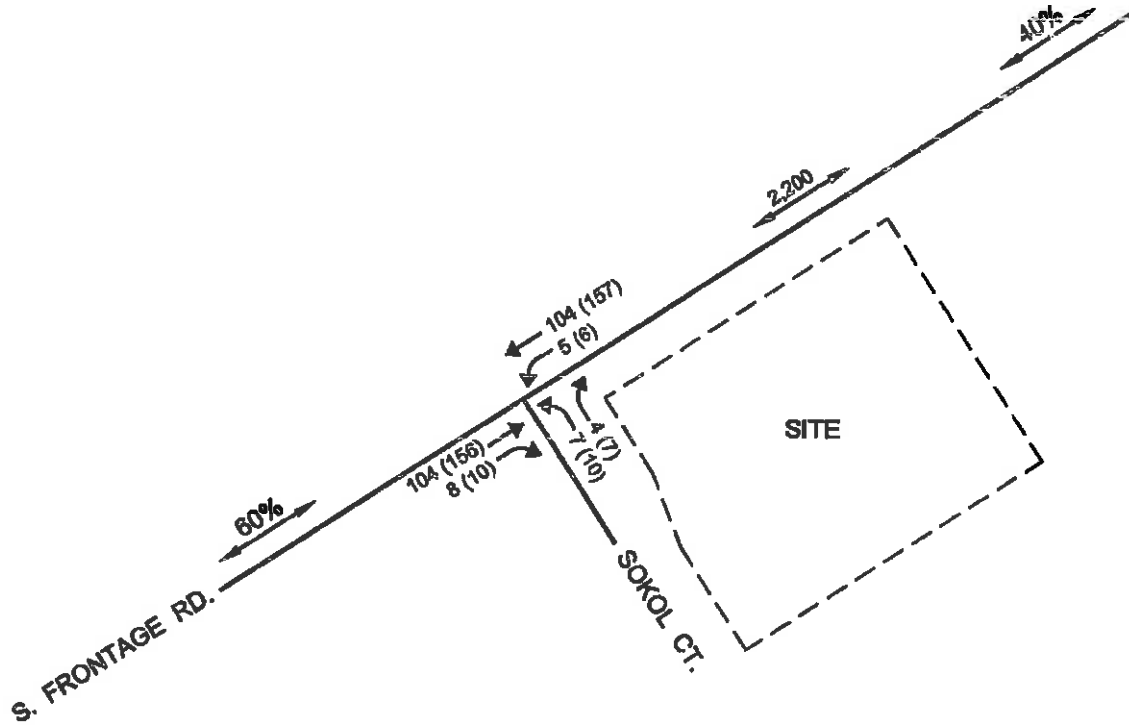


Site Plan prepared by Pearson, Brown & Associates, Inc., dated 01-19-2021

**SITE PLAN
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS**

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East Sixth Parkway, Schaumburg, IL 60173 Tel: 647-384-0800 Fax: 647-384-0808
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Project Manager: KML
Engineer: KML
Date: 03-10-2021
Project No: 20-174
Sheet: 2 / 5



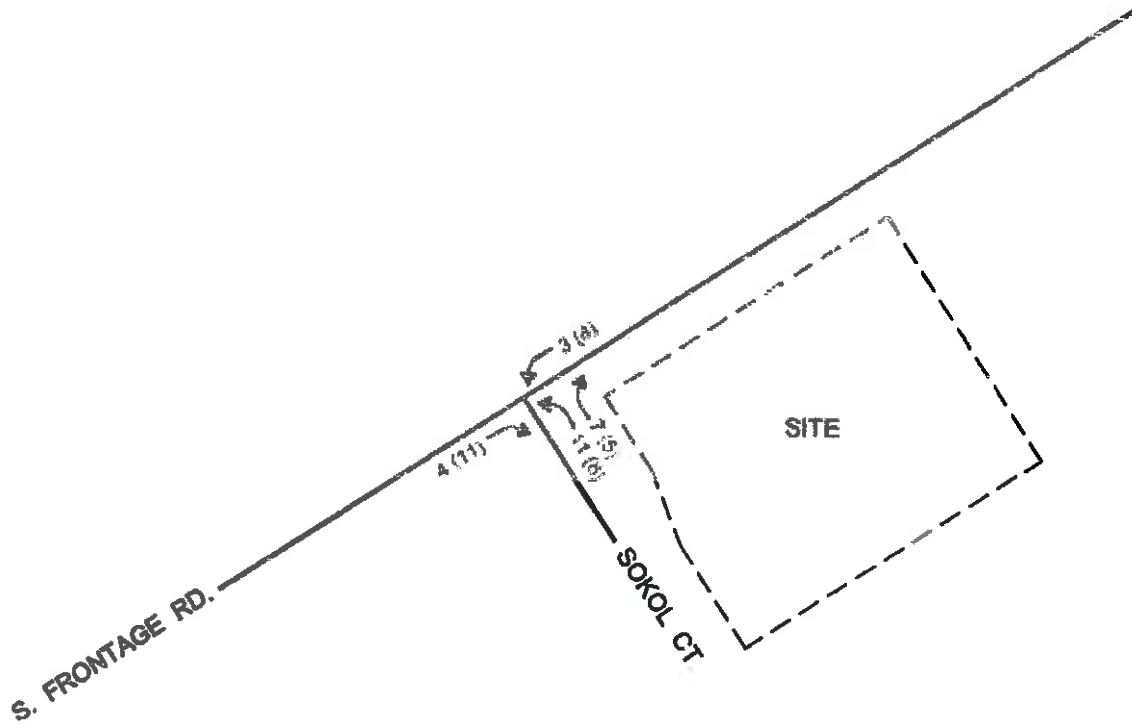
LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour
- XX% Percent Distribution
- XXX IDOT's 2012 Average Daily Traffic (ADT)

**ESTIMATED EXISTING VOLUMES
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS**

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Engineer KML
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Project No 20-174
Sheet 3 / 5



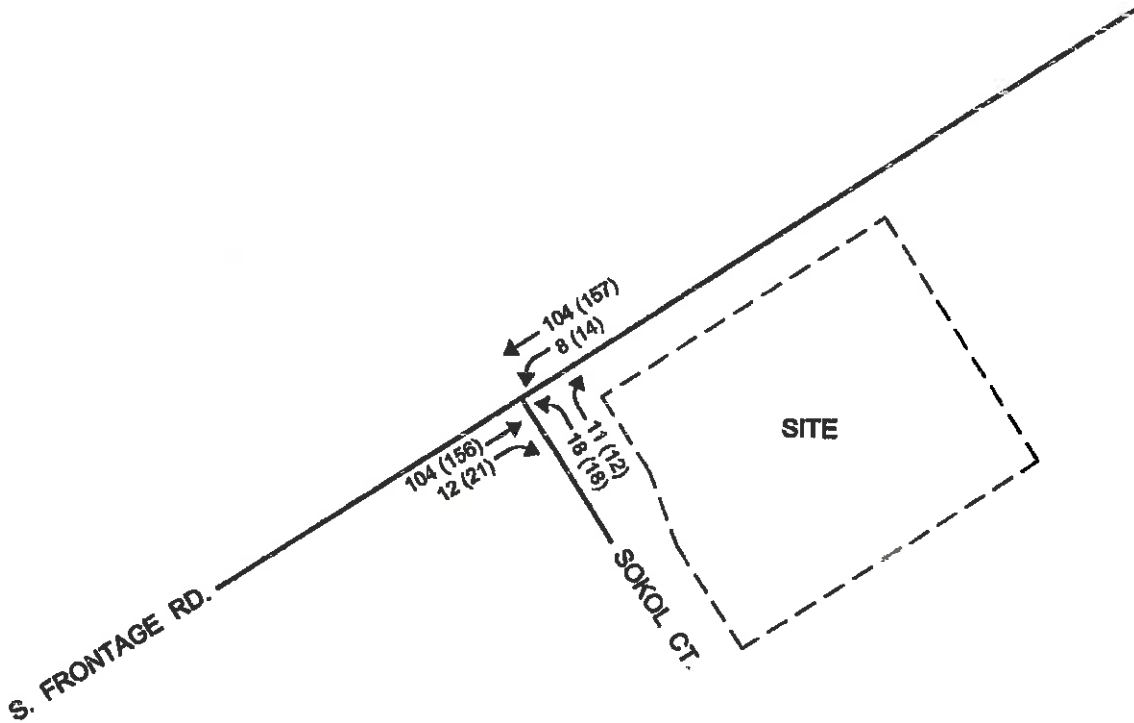
LEGEND

- xx Estimated Weekday AM Peak Hour
- (xx) Estimated Weekday PM Peak Hour

SITE GENERATED TRAFFIC VOLUMES
DARIEN HEIGHTS
RESIDENCES
DANEN, ILLINOIS

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Project Manager KML
Engineer KML
Date 04-05-2021
Project No. 20-174
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LEGEND

- XX Estimated Weekday AM Peak Hour
- (XX) Estimated Weekday PM Peak Hour

**TOTAL ESTIMATED TRAFFIC VOLUMES
DARIEN HEIGHTS
RESIDENCES
DAREN, ILLINOIS**

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Project Manager: KML
Engineer: KML
Date: 04-05-2021
Project No.: 20-174
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APPENDIX B – ITE Trip and Parking Generation Graphs

Multifamily Housing (Mid-Rise) (221)

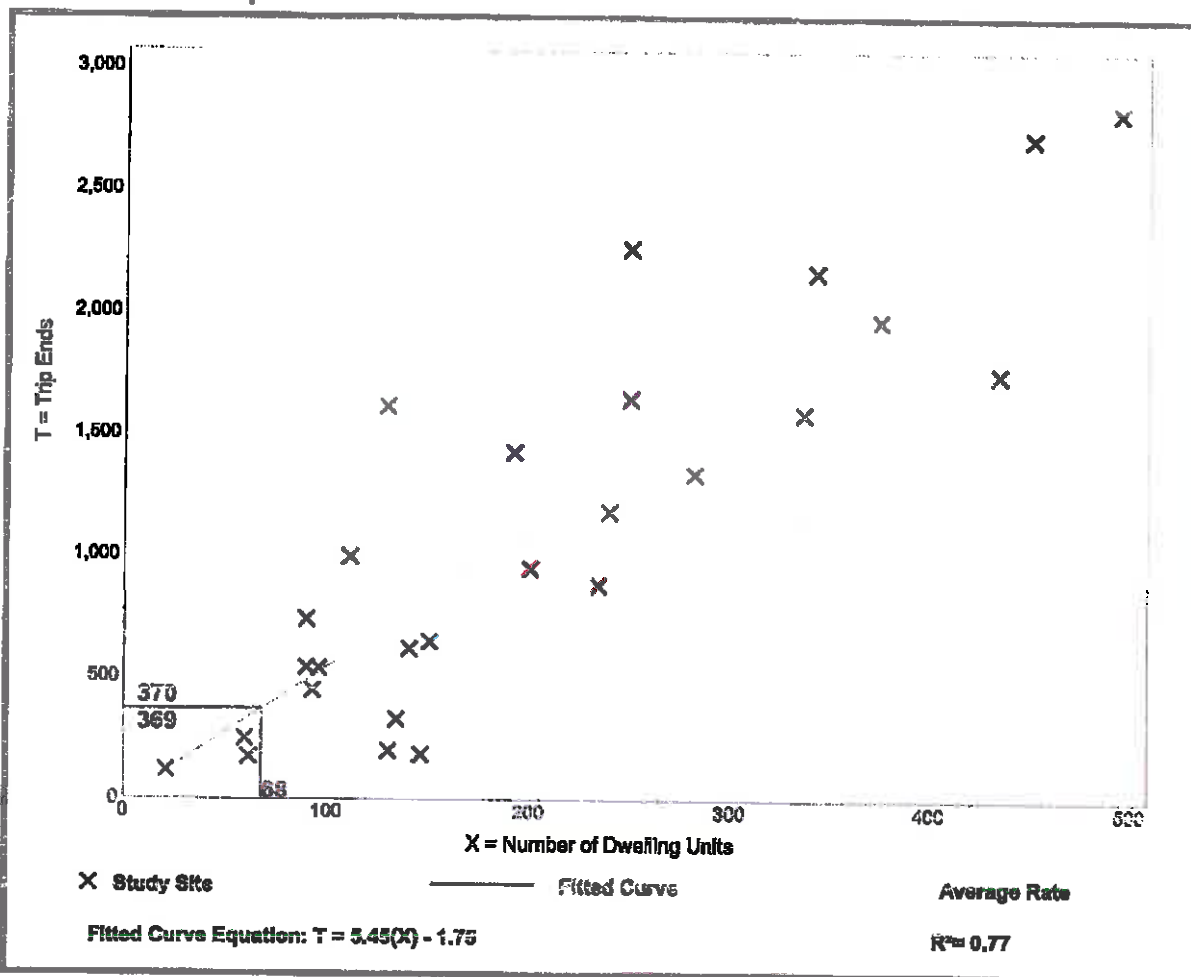
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 27
Avg. Num. of Dwelling Units: 205
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
5.44	1.27 - 12.50	2.03

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

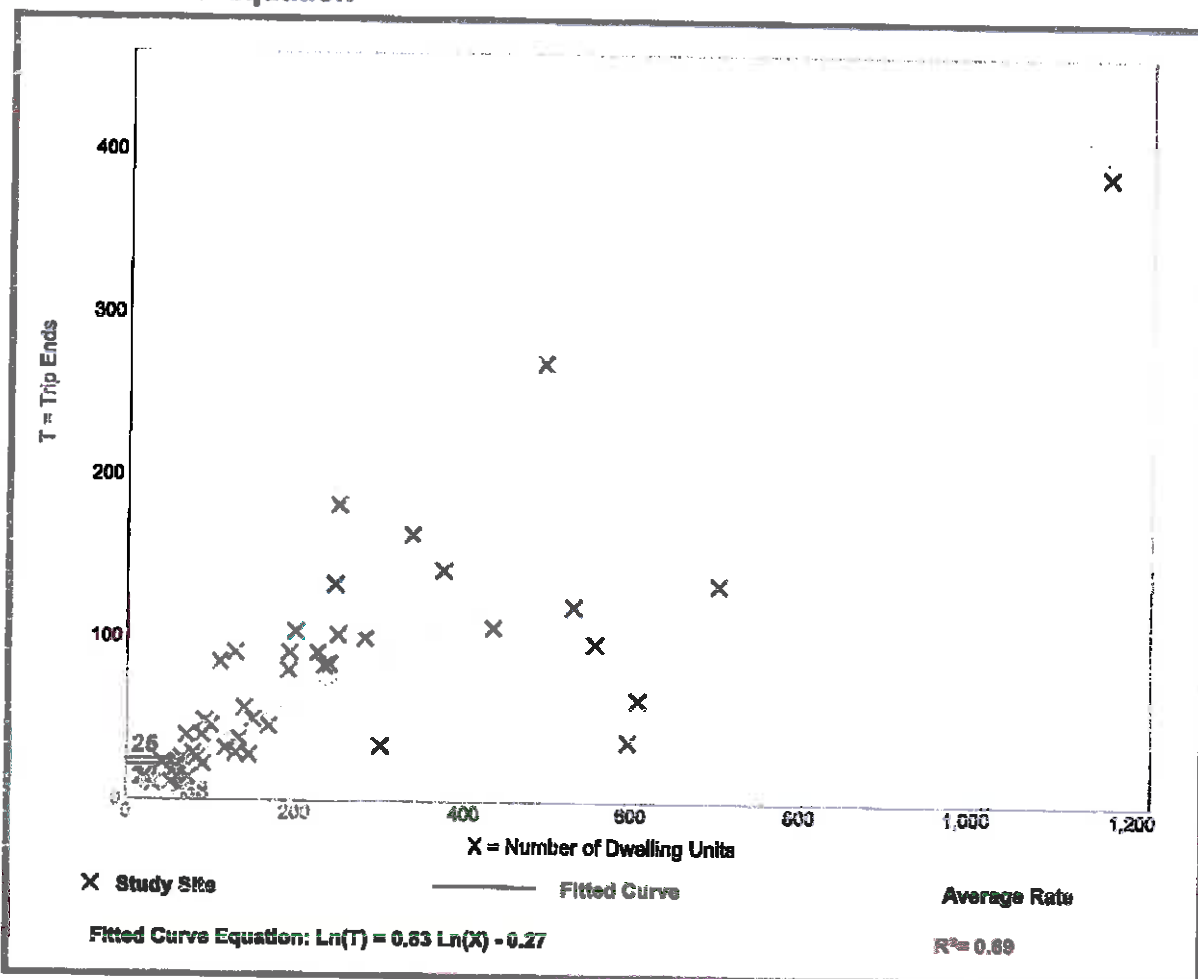
Vehicle Trip Ends vs: **Dwelling Units**
 On a: **Weekday,**
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 48
Avg. Num. of Dwelling Units: 225
Directional Distribution: 27% entering, 73% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.32	0.06 - 0.77	0.17

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

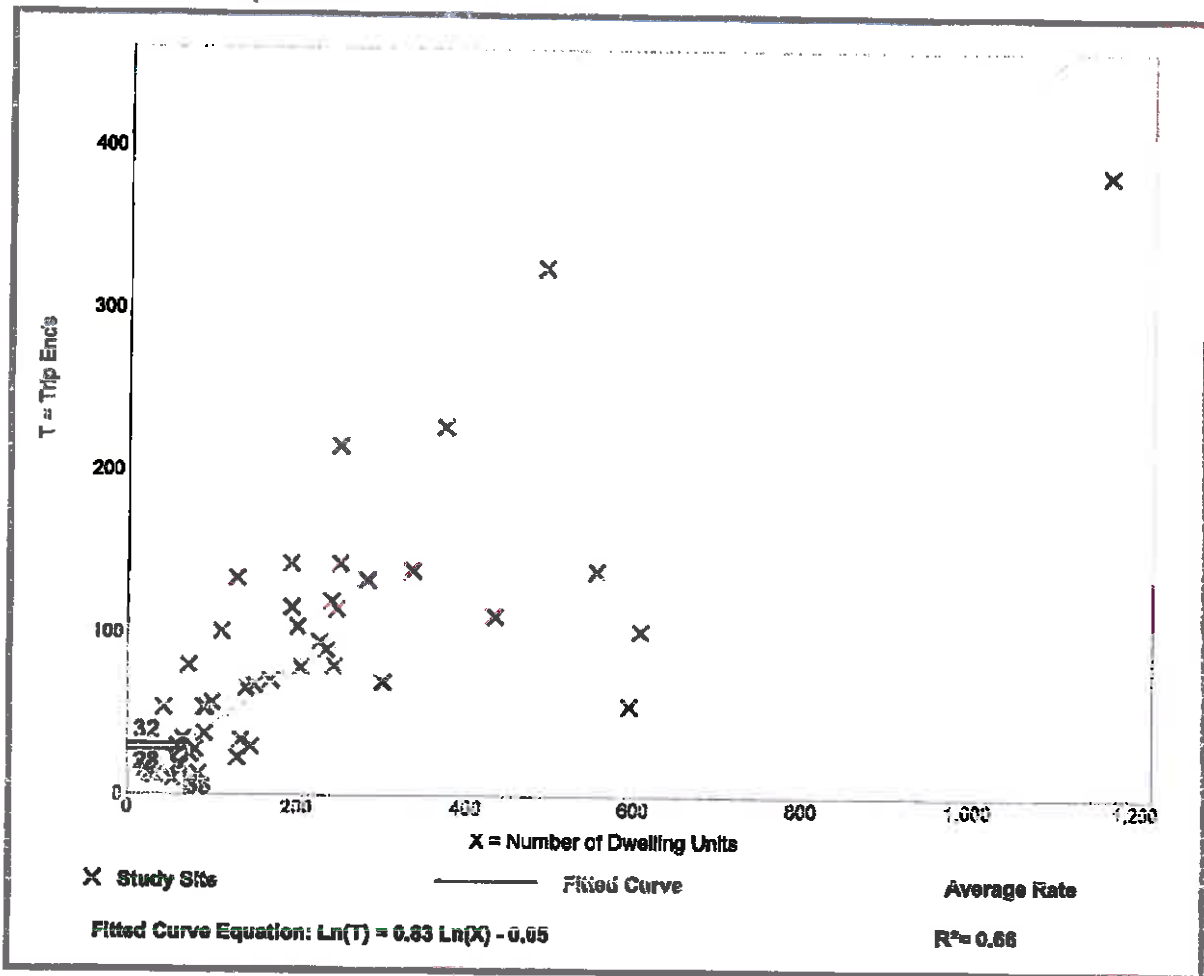
Vehicle Trip Ends vs: Dwelling Units
 On a: Weekday,
 PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 47
 Avg. Num. of Dwelling Units: 211
 Directional Distribution: 60% entering, 40% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.41	0.09 - 1.26	0.22

Data Plot and Equation



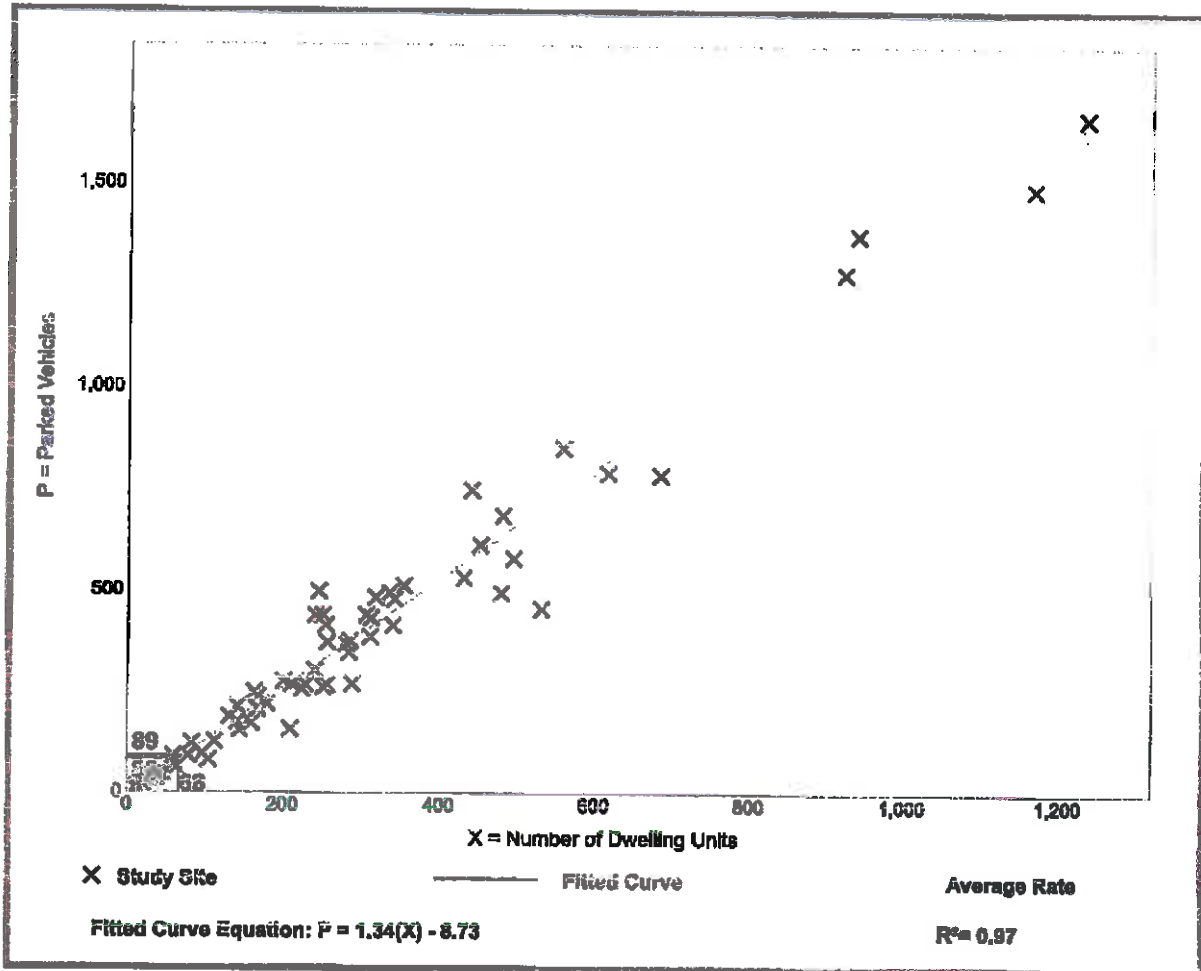
Multifamily Housing (Mid-Rise) (221)

Peak Period Parking Demand vs: Dwelling Units
On a: Weekday (Monday - Friday)
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.
Number of Studies: 73
Avg. Num. of Dwelling Units: 261

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.31	0.75 - 2.03	1.13 / 1.47	1.26 - 1.36	0.22 (17%)

Data Plot and Equation



Multifamily Housing (Mid-Rise) (221)

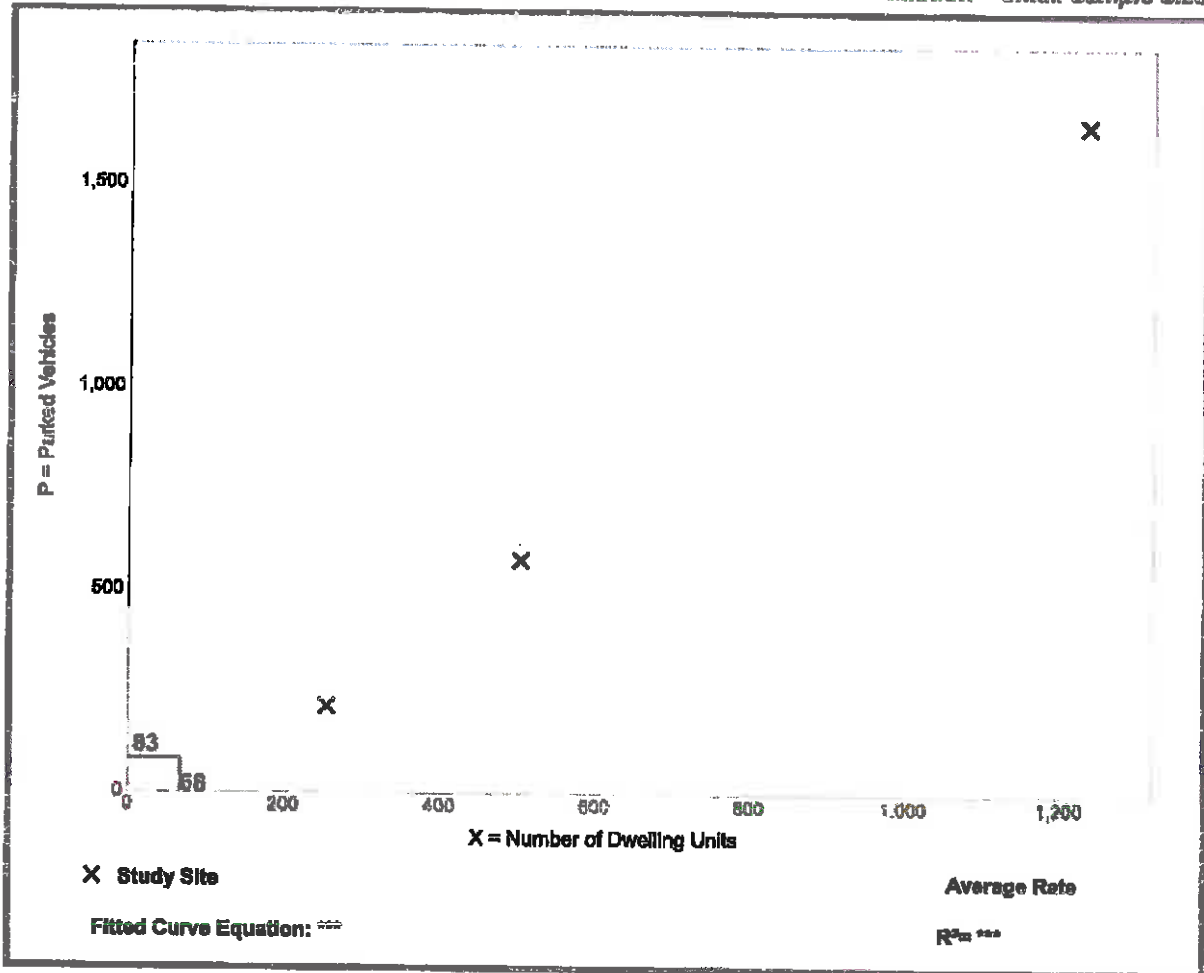
Peak Period Parking Demand vs: Dwelling Units
On a: Saturday
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.
Number of Studies: 3
Avg. Num. of Dwelling Units: 665

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.22	0.84 - 1.33	0.94 / 1.33	***	0.20 (16%)

Data Plot and Equation

Caution - Small Sample Size



Parking Generation Manual, 5th Edition • Institute of Transportation Engineers

Multifamily Housing (Mid-Rise) (221)

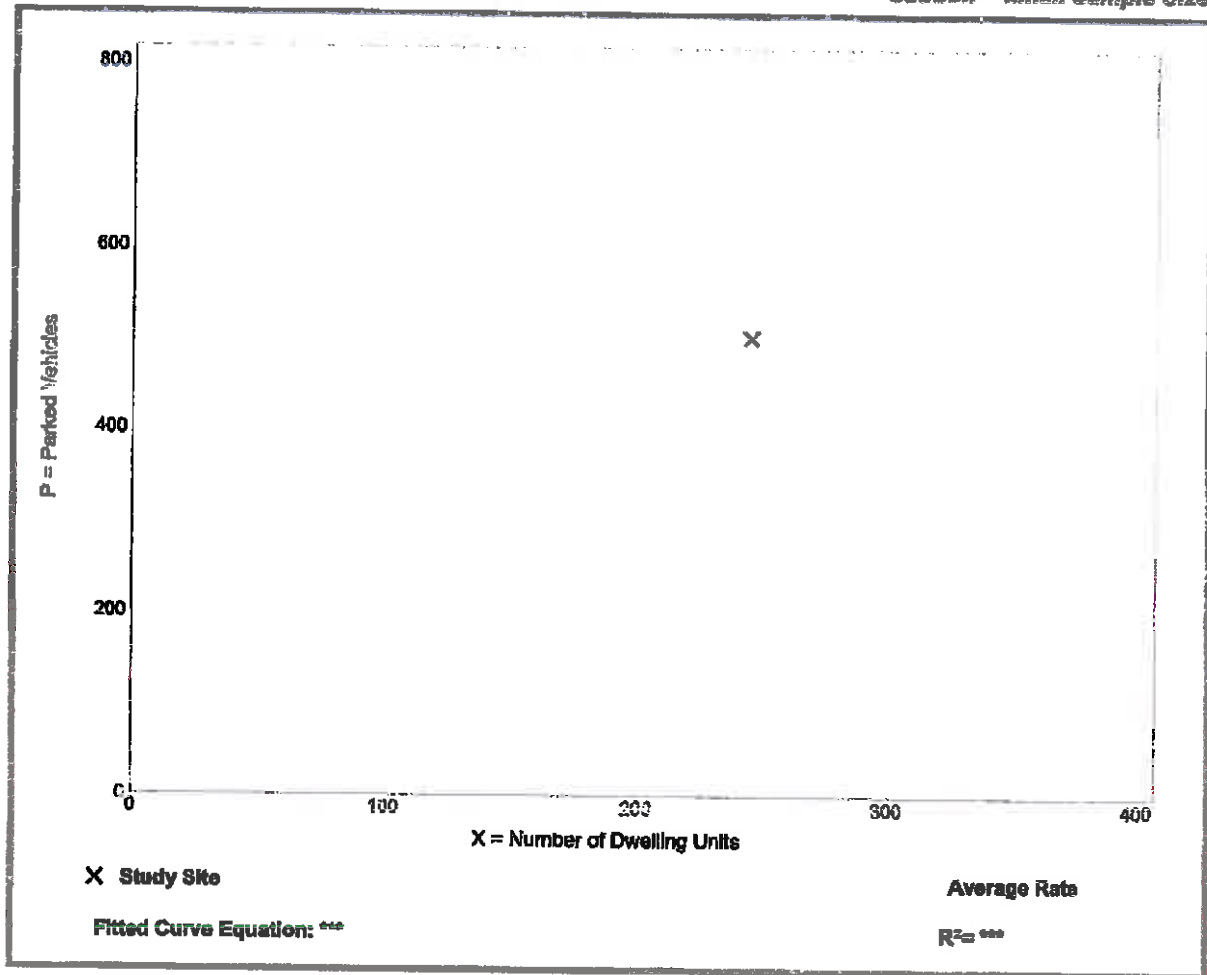
Peak Period Parking Demand vs: Dwelling Units
On a: Sunday
Setting/Location: General Urban/Suburban (no nearby rail transit)
Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.
Number of Studies: 1
Avg. Num. of Dwelling Units: 245

Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.05	2.05 - 2.05	*** / ***	***	***

Data Plot and Equation

Caution – Small Sample Size



Parking Generation Manual, 5th Edition • Institute of Transportation Engineers



APPENDIX C – Crash Data

2018 Crashes





Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887589.931 | YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

Date	Weather	Roadway	Injuries			Killed	Type of Crash	Light Condition	Mile	XCoordinate YCoordinate	Vehicle Type	DRP	Manner	Event 1	Loc 1	Event 2	Loc 2	Event 3	Loc 3	Unit
			A	B	C															
201801270827																				
07/20/18 4:35 PM	Rain	Wet	0	0	1	0	Turning	Daylight	0.65	2887479 74382571 1847480 73741874	Passenger	Northwest	Turning Left	Motor Vehicle In Traffic	Intersection	(UNK)	(UNK)	(UNK)	(UNK)	1
											Van/Mini-Van	East	Straight Ahead	Motor Vehicle In Traffic	Intersection	(UNK)	(UNK)	(UNK)	(UNK)	2
201801270835																				
07/20/18 1:48 PM	Clear	Dry	0	0	0	0	Front to Rear	Daylight	271.25	2887548.27827145 1847633.23481887	Passenger	North	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	1
											Van/Mini-Van	North	Slow/Stop in Traffic	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	2
201801287181																				
07/20/18 6:48 AM	Clear	Dry	0	0	0	0	Front to Rear	Dawn	271.26	2887790.42124149 1847767.21473018	Passenger	East	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	1
											Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	2
											Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	3
											Unknown	Unknown	Unknown	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	4
											SUV	East	Straight Ahead	Motor Vehicle In Traffic	On Pavement (Roadway)	(UNK)	(UNK)	(UNK)	(UNK)	5

Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887589.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

TOTAL CRASHES	FATAL CRASHES	A INJURY CRASHES	B INJURY CRASHES	C INJURY CRASHES	PROPERTY DAMAGE CRASHES	TOTAL KILLED	TOTAL INJURED	A INJURIES	B INJURIES	C INJURIES
3	0	0	0	1	2	0	1	0	0	1

Type of Crash	Total	%	Day of Wk	Total	%	Hour of Day	Total	%	Vehicle Type	Total	%
Front to Rear	2	66.7%	Monday	1	33.3%	05 AM	1	33.3%	Passenger	3	33.3%
Turning	1	33.3%	Friday	1	33.3%	1 PM	1	33.3%	SUV	1	11.1%
TOTAL:	3		Saturday	1	33.3%	4 PM	1	33.3%	Unknown	3	33.3%
			TOTAL:	3		TOTAL:	3		Van/Mini-Van	2	22.2%
									TOTAL:	3	

Weather Cond	Total	%	Light Cond	Total	%	Road Surface	Total	%	DIRP	Total	%
Clear	2	66.7%	Dark	1	33.3%	Dry	2	66.7%	East	3	33.3%
Rain	1	33.3%	Daylight	2	66.7%	Wet	1	33.3%	North	2	22.2%
TOTAL:	3		TOTAL:	3		TOTAL:	3		Northwest	1	11.1%
									Unknown	3	33.3%
									TOTAL:	3	



Coordinate Collision Diagram Report

1/1/2018 to 12/31/2018

For XCoordinate 2887589.931 : YCoordinate 1847572.488 | Foot Tolerance : 250 | County : DuPage | Intersection Related: Non-Intersections | *See Notes at End of Report.

Notes

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.

MEMORANDUM TO: Jordan Yanke
City of Darien

FROM: Michael A. Werthmann, PE, PTOE
Principal

DATE: April 29, 2021

SUBJECT: Review of Revised Traffic Evaluation
Darien Heights Residences
Darien, Illinois

On behalf of the City of Darien, Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) has reviewed the revised traffic and parking analysis for the proposed Darien Heights Residences to be located in Darien, Illinois. As part of this evaluation, KLOA, Inc. reviewed the following documents:

- The revised traffic memorandum dated April 5, 2021, prepared by Haeger Engineering.
- The proposed grade level site plan dated March 10, 2021, prepared by Haeger Engineering and included in the Appendix of the traffic study.

The traffic memorandum summarized the existing roadway conditions, estimated the traffic and parking to be generated by the development, provided an opinion as to the impact of the development on the existing traffic conditions and the adequacy of the parking conditions, and provided a brief discussion of the internal circulation.

Based on our review, we offer the following comments:

- The revised traffic memorandum was performed based on the established methods within the industry.
- The revised traffic memorandum has addressed the comments raised in the KLOA, Inc. March 29, 2021 review memorandum, except one comment which will be addressed below.
- The analysis and evaluation have been performed correctly and KLOA, Inc. generally agrees with the findings of the traffic memorandum.
- It should be noted that the revised surface level plan continues to have one dead-end parking aisle and the two easternmost parking spaces along the southern parking aisle may still be difficult to exit. Further, a basement plan was not included as part of the traffic memorandum and, as such, we were not able to confirm if the parking aisle in the basement continues to have dead-end parking.

VIA Email

April 30, 2021

Mr. Jordan Yanke
Senior Planner
City of Darien
1702 Plainfield Road
Darien, Illinois 60561

RE: Darien Heights Residences – 2305 Sokol Court, Darien
Response to KLOA Comments
Haeger File No.: 20-174

Dear Jordan,

Haeger Engineering ("Haeger") is in receipt of the review memorandum prepared by Michael A. Werthmann of KLOA dated April 29, 2021. The original review comment is included below, shown in *italics*, with our response followed in **bold**.

- *It should be noted that the revised surface level plan continues to have one dead-end parking aisle and the two easternmost parking spaces along the southern parking aisle may still be difficult to exit. Further, a basement plan was not included as part of the traffic memorandum and, as such, we were not able to confirm if the parking aisle in the basement continues to have dead-end parking.*

The surface level plan was revised. One parking space at the end of the dead-end parking aisle will be striped to allow for vehicle maneuvering. The curb at the emergency access will be bumped out to allow for vehicles to backout of the last two parking spaces. It should be noted that a parking space along the northern row will be replaced with a landscaped island. There will be 108 surface parking spaces and 28 garage spaces for a total of 136 spaces which complies with City Code.

The basement plan has not changed. A vehicle parked in the last parking space will need to do some back and forth maneuvering to exit the space.

See the revised plan prepared by Arthur Swanson & Associates and the attached markup showing the changes.

Should you require further information or have any questions, please do not hesitate to contact me.

Sincerely,

HAEGER ENGINEERING LLC



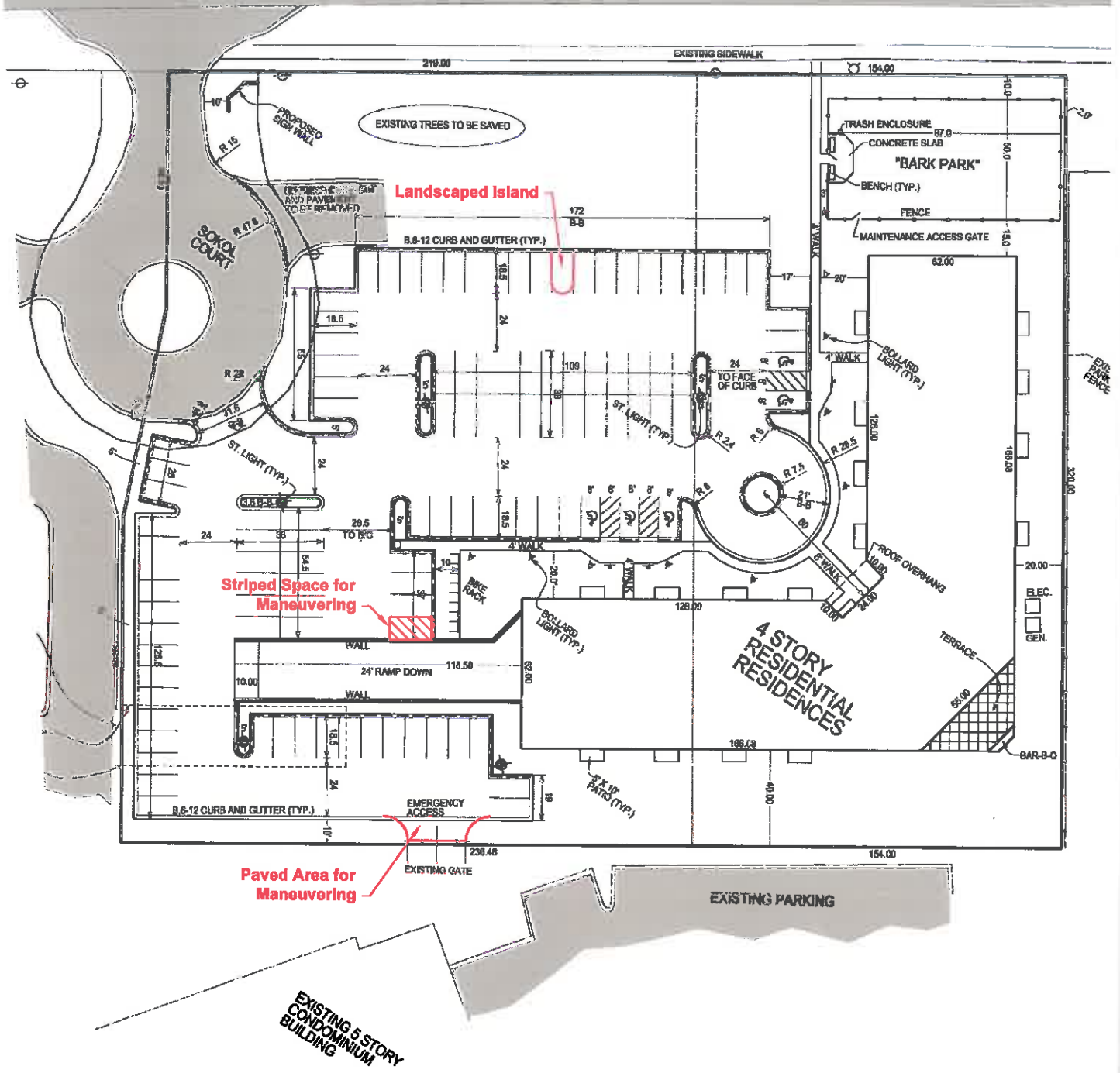
Kim Lask, P.E., PTOE, CFM
Project Manager

cc: Paul Swanson



0 60
Scale: 1" = 60'

S FRONTAGE ROAD



Landscaped Island

Striped Space for Maneuvering

Paved Area for Maneuvering

Site Plan prepared by Pearson, Brown & Associates, Inc., dated 01-19-2021

SITE PLAN
DARIEN HEIGHTS
RESIDENCES
DARIEN, ILLINOIS

HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
 Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager:	KML
Engineer:	KML
Date:	03-10-2021
Project No.	20-174
Sheet	2 / 5



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

August 11, 2021

City of Darian
1702 Plainfield Road
Darien, Illinois

Attention: Jordan Yanke

Subject: 2305 Sokol Court
4 Story Residences
(CBBEL Project No. 950323.H0232)

Dear: Jordan

As requested on August 3, 2021, we have reviewed the final engineering plans and supporting documents for the above project prepared by Bono Consulting, Inc., and dated August 2, 2021. In our opinion the Site Improvement Plans are now in general compliance with Village Code and standard engineering methods, subject to the following comments:

Site Improvement Plans

No Comments

Engineers Opinion of Cost

1. Inlet protection shall be added to the estimate.
2. Include the stormwater lift station in the estimate.

Stormwater Report

No comments

Plat of Consolidation

The plat was received separately, directly from the developer and the following comments must be addressed:

1. A 20 foot wide Public Utility and Drainage Easement must be granted over the proposed watermain which loops through this site.
2. A Stormwater Easement must be granted over the proposed detention basin on the north end of the site.

General Comments

1. We understand that structural calculations for the retaining wall will be submitted before construction begins.
2. A site lighting and photometric plan shall be submitted.
3. We presume that the plan has been submitted to and reviewed by the fire protection district with respect to the location of the building fire suppression connection, fire hydrant location, and access to the site.
4. A development security amount will be established once the engineer's estimate is updated
5. A permit is required from Du Page County Public Works for the sanitary sewer connection.

If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in green ink, appearing to read "Daniel Lynch".

Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department

Cc Dan Gombac, City of Darien

**CITY OF DARIEN
DU PAGE COUNTY, ILLINOIS**

ORDINANCE NO. 0-08-21

**AN ORDINANCE APPROVING A MAJOR CHANGE IN A
PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)**

**ADOPTED BY THE
MAYOR AND CITY COUNCIL
OF THE
CITY OF DARIEN**

THIS 3rd DAY OF MAY, 2021

**Published in pamphlet form by authority
of the Mayor and City Council of the City
of Darien, DuPage County, Illinois, this
4th day of May, 2021.**

**AN ORDINANCE APPROVING A MAJOR CHANGE IN A
PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT
AND GRANTING PRELIMINARY PUD APPROVAL
(DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)**

RECITALS

- A. The Subject Property of this Ordinance is approximately 2.81 acres in area with a common address of 2305 Sokol Court and 2345 S Frontage Road and is legally described on **EXHIBIT 1** attached hereto and made a part hereof (the "Subject Property").
- B. The Subject Property is part of a larger parcel annexed to the City in 1996.
- C. Pursuant to Ordinances No. 0-31-05 and 0-33-05, the City granted preliminary and final PUD approval for development of the Subject Property consisting of 66 condominium units in two buildings.
- D. No development has taken place on the Subject Property since the 2005 approvals.
- E. The contract purchaser of the Subject Property ("Developer") has petitioned the City for a major change to the approved 2005 PUD Plan. Specifically, Developer proposes to improve the Subject Property with one 4-story multi-family building containing sixty-eight (68) rental units.
- F. Developer also proposes that in connection with the development plan, the City grant waivers from certain of the bulk standards of the Zoning Ordinance.
- G. Pursuant to notice as required by law, the City's Planning and Zoning Commission conducted a public hearing on Developer's proposal. The Commission recommended against Developer's proposal.

H. The City Council Municipal Services Committee further reviewed Developer's proposal. Following such review, a motion to recommend approval of Developer's proposal to the full City Council failed for lack of a second.

I. The City Council has further reviewed Developer's proposal and has determined that granting this major change to the previously approved PUD is reasonable and will support the sound growth and development of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, ILLINOIS, as follows:

SECTION 1: Major Change Approval. The City Council hereby approves a major change in the previously approved Planned Unit Development for the Subject Property, which change would allow the development of the Subject Property as a 4-story 68-unit multi-family rental development, subject to the terms, conditions, and limitations set forth in this Ordinance.

SECTION 2: Preliminary Plan Approved; Approved Preliminary Plan Identified. In accordance with Section 5A-3-2-2 of the Darien City Code, the City Council approves the preliminary plan for the Subject Property. The following submittals constitute the approved preliminary plan for the Subject Property, copies of which documents are on file with the City:

- A. Site Plan, 1 Sheet, prepared by Arthur Swanson & Associates, LTD., latest version dated January 19, 2021.
- B. Floor Plan, 2 Sheets, prepared by Arthur Swanson & Associates, LTD., latest version dated January 19, 2021.
- C. Building Elevations, 1 Sheet, prepared by Arthur Swanson & Associates, LTD., latest

ORDINANCE NO. 0-08-21

version dated January 19, 2021.

- D. Preliminary Engineering Plan (Includes Existing Conditions, Geometric Site Plan, Engineering Plan), 3 Sheets, prepared by Fearson, Brown, & Associates, Inc., latest version dated January 19, 2021.
- E. Landscape Plan, 3 Sheets, prepared by Gary R. Weber Associates, Inc., latest version dated January 19, 2021.

SECTION 3: Waivers. As part of the approved preliminary plan, the following waivers are granted in connection with the development of the Subject Property:

- A. A waiver from Section 5A-3-3-4 of the Zoning Ordinance is granted to allow a residential density of 9.9 du/residential acre.
- B. A waiver from Section 5A-3-3-5 of the Zoning Ordinance is granted to waive the requirement for the required one off-street loading berth.
- C. A waiver from Section 5A-3-3-9(B) of the Zoning Ordinance is granted to allow a setback from the eastern property line of 20 feet instead of the required 40 feet.
- D. A waiver from Section 5A-3-3-10 of the Zoning Ordinance is granted to allow a four-story structure with a maximum building height of 40 feet instead of a maximum of three-story building of 35 feet in height.

SECTION 4: Additional Development Condition. Except as provided herein, the development of the Subject Property shall proceed in accordance with all applicable ordinances of the City, including but not limited to ordinances relating to final PUD Plan approval.

SECTION 5: Effective Date. This Ordinance shall be in full force and effect upon its passage, approval, and publication as required by law.

ORDINANCE 0-08-21

PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of May, 2021.

AYES 4 - Belczak, Schauer, Vaughan, Mayor Marchese

NAYS: 3 - Gustafson, Kenny, Sullivan

ABSENT: 1 - Chlystek

APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 3rd day of May, 2021.



JOSEPH MARCHESE, MAYOR

ATTEST:



JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM:



CITY ATTORNEY



EXHIBIT 1

Legal Description of 2305 Sokol Court & 2345 S Frontage Road

PARCEL 1: LOT 2 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN RESUBDIVISION UNIT 1, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 25, 1959 AS DOCUMENT 916621, IN DUPAGE COUNTY, ILLINOIS, SAID SOUTHWEST CORNER BEING ALSO THE NORTHWEST CORNER OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, AND RUNNING THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS EAST ALONG THE SOUTH LINE OF LOT 1 OF HOMER GLEN SUBDIVISION, BEING ALSO THE NORTH LINE OF THE SOUTH 30 ACRES OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 5, A DISTANCE OF 369.80 FEET TO THE SOUTHEAST CORNER OF LOT 1 OF HOMER ANDRUS SUBDIVISION; THENCE NORTH 33 DEGREES 36 MINUTES 05 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 1 OF HOMER ANDRUS SUBDIVISION, A DISTANCE OF 578.33 FEET TO THE SOUTH LINE OF FORMER ROUTE 66 PER DOCUMENT NO. 931792 AND DOHLMAN'S RESUBDIVISION (DOCUMENT NO. 967060), BEING ALSO THE SOUTH LINE OF FEDERAL AID HIGHWAY ROUTE 98 PER DOCUMENTS 524869 AND 524870; THENCE NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST, A DISTANCE OF 19.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 56 DEGREES 45 MINUTES 57 SECONDS EAST ALONG SAID SOUTH LINE OF FORMER ROUTE 66, A DISTANCE OF 373.00 FEET; THENCE SOUTH 33 DEGREES 14 MINUTES 03 SECONDS EAST, A DISTANCE OF 320.00 FEET; THENCE SOUTH 56 DEGREES 45 MINUTES 57 SECONDS WEST, A DISTANCE OF 297.48 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST, A DISTANCE OF 160.50 FEET; THENCE NORTH 84 DEGREES 18 MINUTES 21 SECONDS WEST, A DISTANCE OF 97.08 FEET; THENCE NORTH 33 DEGREES 14 MINUTES 03 SECONDS WEST, A DISTANCE OF 98.50 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. WHICH PROPERTY IS ALSO KNOWN AS LOT 31 IN BURNSIDE'S PRESERVES OF WATERFALL GLEN, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 25, 1998 AS DOCUMENT R98-125986, IN DUPAGE COUNTY, ILLINOIS.

PIN: 10-05-404-002/024. The property is located at 2305 Sokol Court & 2345 S Frontage Road, Darien, Illinois 60561.

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

I, JoAnne E. Ragona, do hereby certify that I am the duly qualified CITY CLERK of the CITY OF DARIEN of DuPage County, Illinois, and as such officer I am the keeper of the records and files of the City;

I do further certify that the foregoing constitutes a full, true and correct copy of **ORDINANCE NO. O-08-21 "AN ORDINANCE APPROVING A MAJOR CHANGE IN A PREVIOUSLY APPROVED PLANNED UNIT DEVELOPMENT AND GRANTING PRELIMINARY PUD APPROVAL (DARIEN HEIGHTS/2305 SOKOL COURT & 2345 S FRONTAGE ROAD)"** of The City Of Darien, Du Page County, Illinois, Duly Passed and Approved by the Mayor and City Council at a Meeting Held on May 3, 2021.

IN WITNESS WHEREOF, I have hereunto affixed my official hand and seal this 3rd day of May, 2021.




City Clerk