

**AGENDA**  
**Municipal Services Committee**  
**August 22, 2016**  
**6:30 P.M. – Council Chambers**

- 1. Call to Order & Roll Call**
- 2. Establishment of Quorum**
- 3. New Business**
  - a. **Issue Statement** – Aldi’s Food Market seeks approval of a final site plan and a minor PUD amendment to construct an addition onto their existing building at 2251 75<sup>th</sup> Street
  - b. **Issue Statement** – Review Study Results Mid-Block Crosswalk on Clarendon Hills Rd between 67<sup>th</sup> Street and Plainfield Road.
  - c. **Resolution** – Approval to accept the unit price proposal from Acres Group for the purchase and installation of the 50/50 Parkway Tree Program and the Parkway Tree Replacement Program in an amount not to exceed \$70,500.00
  - d. **Resolution** – Approval of a resolution accepting a proposal from Midwest Office Interiors to replace the City Council chairs, conference room chairs, and task chairs in City Hall in an amount not to exceed \$11,090.50
  - e. **Resolution** – Approval of a resolution authorizing the purchase of one new 2017 Ford F350 XL 4x2, cab and chassis from Landmark Ford in the amount of \$39,169.00
  - f. **Resolution** – Approval of a resolution authorizing the purchase of a service body equipment package, lighting accessories, and hydraulic controls for the 2017 Ford F350 XL 4x2, cab and chassis, Unit 404 in the amount of \$37,139.00
  - g. Minutes – July 18, 2016 Municipal Services Committee
- 4. Director’s Report**
- 5. Next scheduled meeting – September 26, 2016**
- 6. Adjournment**

**AGENDA MEMO**  
**MUNICIPAL SERVICES COMMITTEE**  
**August 22, 2016**

**Issue Statement**

Aldi's Food Market seeks approval of a final site plan and a minor PUD amendment to construct an addition onto their existing building at 2251 75<sup>th</sup> Street.

**General Information**

Property Owner And Petitioner:	Aldi Inc. 1200 N. Kirk Road Batavia, IL 60510
Property Location:	2251 75 <sup>th</sup> Street
PIN:	09-29-400-024
Zoning / Land Use	Site: B-3 PUD / food store (Aldi's) North: R-6 PUD (Downers Grove)/ townhouses (Fairmount Village) East: B-3 PUD / bank (Citibank) South: B-3 PUD / retail (Walmart) West: B-3 PUD / bank (BMO Harris Bank)
Comprehensive Plan:	Commercial
Size of Property:	380' x 220' = 83,600 square feet = 1.92 acres
Natural Features:	Perimeter landscaping with no floodplain or wetlands
Transportation:	Driveway from 75 <sup>th</sup> Street shared with BMO Harris Bank and driveway from main east/west aisle through Darien Towne Centre.
History:	Darien Towne Centre shopping center was developed on land annexed into the City of Darien in 1993. Aldi's was built shortly thereafter on Outlot 2.

**Documents Submitted (back up)**

1. PUD Petition from Aldi, Inc., notarized July 14, 2016
2. Boundary and Topographic Survey, prepared by Gentile and Associates, Inc., certified June 2, 2016 (one sheet)
3. Final Engineering Plans prepared by RWG Engineering, Inc. dated 7/13/16 (seven sheets)
4. Concept Exterior Elevations, prepared by APD Engineering and Architecture, PLLC, dated 07/07/16 (one sheet)
5. Stormwater Management Report, prepared by RWG Engineering, Inc., dated July 7, 2016

6. Tree Inventory, prepared by McCallum Associates, dated 08.12.16

**Development Description**

Aldi's plan includes a 19.35 foot wide addition along the north side of the building. The one story building would increase 3,297 square feet from 14,858 to 18,155 square feet. This would reduce the front setback (measured to the building wall) from 94.5 feet to 75 feet. They would replace the entry façade to include wider doors, more windows, a new canopy without corner posts, and the "Food Store" sign mounted on the building wall instead of on the canopy. The same brick and glass materials would be used for the new façade. New bollards, 4' tall and 10" diameter, would be placed between the driving aisles and the sidewalk along the building entry. The number of parking stalls would be reduced by 34 from 107 to 73, including 31 along the north edge of the site, 1 at the southwest corner of the parking lot, and 2 east of the entrance (widened into 2 handicapped parking stalls). Paved areas would be re-surfaced and re-stripped along the north side and east side of the building and in the loading dock area.

**Plan Review Comments**

Zoning code section 5A-2-2 requires site plan approval and section 5A-3-2-5 requires minor PUD approval by City Council, but not Planning and Zoning Commission hearing or review.

The existing Aldi's development is in substantial conformance to the plans and conditions approved by the Annexation Agreement (Ordinance O-16-93) and the Special Use PUD (Ordinance O-18-93). Relevant sections of these two ordinances are attached to this report.

The proposed addition would comply with the current required minimum front set back of 50 feet, Zoning Code section 5A-8-4-8A1.

The proposed number of parking stalls would equal the current required minimum of 4 per 1000 square feet of gross building area, per Zoning Code section 5A-11-5. The size of stalls and aisle width comply with the 1993 plans, however the width of the north and south parking aisles is 22.42 and 22.02 feet respectively where 24 feet would currently be required, per Zoning Code section 5A-11-3B1b, if they were being built today. This is an existing non-conforming condition. It appears there is not space available to expand aisle width.

All other aspects of the proposed plan conform to the zoning and sign codes.

The approved 1993 conceptual landscaping plan is attached to this report. The Aldi's landscaping existing today appears to conform to the 1993 plan, with the exception of trees on the parking lot islands. Two trees are shown on each of the four double islands, where none exist today. The attached 2014 aerial photo show existing trees on the islands. The City does not have an express requirement to replace trees that had died. The City landscape standards

have been upgraded since 1993. Although not required, Aldi's had been asked to consider supplementing their existing landscaping. Current City standards, per Zoning Code section 5A-10, include the following.

- 2 trees and 32 low shrubs per double parking lot islands
- 1 shade tree and 37 shrubs per 100 feet of parking lot frontage
- 10 foot wide foundation landscaping with a variety of plant types along at least 50% of each building face
- 4 foot wide landscaping with a variety of plant types around the base of ground sign

Aldi's has requested City approval of the existing landscaping without supplement.

City consulting engineer, Dan Lynch of Christopher B. Burke Engineering, Ltd., has reviewed the plans and in their opinion said plans are in general compliance with City Code.

Lt. Karasek of the Darien-Woodridge Fire Protection District reviewed and accepted the site plan.

**Motion:**

To recommend approval to the City Council of the Site Plan Review and Minor PUD amendment to Ordinances O-16-93 and O-18-93 for the Aldi's Food Store at 2251 75<sup>th</sup> Street to be in substantial conformance with the plans as presented.

**Decision Mode**

Municipal Services Committee:	August 22, 2016
City Council:	September 6, 2016

CITY OF DARIEN, ILLINOIS, Community Development Department

PLANNED UNIT DEVELOPMENT petition to the Mayor and City Council of the City of Darien:

PETITIONER INFORMATION

Staff Use Only	
Case No.:	
Date Received:	
Fee Paid:	
Check No.:	
Hearing Date:	

Aldi, Inc  
Petitioner's Name

(SBAUS)  
Owner's Name

Peter Thomas  
Contact Name

Address, City, State, Zip Code

1200 Alton Kings Road, Romeoville, IL 60519  
Address, City, State, Zip Code

Phone #

630-761-2327  
Phone #

Email

630-400-9270  
Fax #

PETER.THOMAS@ALDI.US  
Email

City of Darien  
Received  
JUL 14 2016  
Community Development

PROPERTY INFORMATION

2251 75<sup>TH</sup> STREET, DARIEN, IL 60561  
Property address

1.92 ACRES  
Acreage

09-29-400-029  
PIN(s)

PUD  
Zoning

Provide legal description on a separate sheet and attach, such as the plat of survey.

REQUEST

Darien Town Center  
PUD Name

- Preliminary PUD
- PUD Amendment
- Final PUD

Brief description of the proposed development:

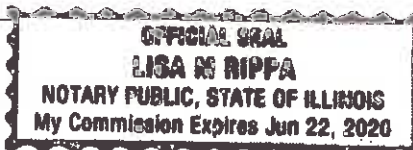
Please see attached sheet.

I, Peter Thomas, do hereby certify that I am the <sup>Official Representative of the</sup> owner of record (or one of the owners of record or the attorney for the owners of record of the aforesaid described property) and I hereby make application as such.

Signature

Subscribed and sworn to before this 14 day of July, 2016

Notary Public





**Engineering, LLC**  
Civil Engineering • Real Estate Consulting • Project Management

975 E. 22<sup>nd</sup> Street, Suite 400,  
Wheaton IL 60189  
630.480.7889  
[www.rwg-engineering.com](http://www.rwg-engineering.com)

ALDI, Inc. would like to improve the existing ALDI store in Darien Town Center by expanding the store to the north and putting a new façade on the building. The proposed expansion will add approximately 3,297 S.F. to the building for a total square footage of approximately 18,155 S.F. As a result of the building expansion, the parking along the drive aisle on the north side of the building will be eliminated and this area will serve only as a drive aisle. There will be a net loss of 34 parking stalls, but with 73 stalls remaining, the parking stalls provided are more than adequate for a grocery store of this size. There will also be a +/- 2,267 S.F. reduction in impervious surface area with the loss of these parking stalls. The undisturbed areas of the parking lot will be resurfaced and there will be one storm sewer inlet added to the drive aisle. Overall, the proposed work is believed to be a minor change to the P.U.D. and will be an improvement to the look in Darien Town Center.



 Parcel Viewer









CITY OF DARIEN  
DU PAGE COUNTY, ILLINOIS

ORDINANCE NO. 0-16-93

AN ORDINANCE AUTHORIZING THE EXECUTION OF AN  
ANNEXATION AGREEMENT (DARIEN TOWNE CENTRE)

RECORDER  
DU PAGE COUNTY

R93-183581

ADOPTED BY THE CITY COUNCIL

OF THE

CITY OF DARIEN

THIS 19th DAY OF April, 1993.

*Handwritten signature*

93 AUG 17 AM 9:00

Published in pamphlet form  
by authority of the City  
Council of the City of Darien,  
DuPage County, Illinois this  
20th day of April,  
1993.

MAIL TO: (SLS  
1515 Woodfield Rd Ste 910)  
Schaumburg, IL 60173

87  
77  
JN

RETURN TO:  
JOANNE F. COLEMAN, CITY CLERK

**CITY OF DARIEN**

1702 Plainfield Road | Darien, Illinois ~~60559~~  
60561

D.. The Owners and Developer have jointly petitioned to annex the Subject Property ("Petition") to the City pursuant to 65 ILCS 5/7-1-8, subject to the execution of this Agreement.

E. In connection with the Petition, Developer has submitted a proposed Development Plan for a portion of the Subject Property and a Preliminary Plat of Subdivision for the entire Subject Property. The Development Plan ("Development Plan") consists of the following, and is incorporated herein by reference as Group Exhibit "C":

- (i) Final Site Plan prepared by the Balsamo/Olson Group revised as of March 30, 1993.
- (ii) East elevation drawings prepared by Balsamo/Olson Group dated March 22, 1993.
- (iii) Final Landscape Plan prepared by Balsamo/Olson Group dated March 4, 1993.
- (iv) TGIF and Aldi architectural drawing dated March 22, 1993.
- (v) Darien Towne Centre elevation/architectural rendering dated March 22, 1993.
- (vi) Darien Towne Centre building materials sample plan revised as of March 22, 1993.
- (vii) Preliminary Engineering Plans prepared by Balsamo/Olson Group and revised as of November 15, 1991.
- (viii) Darien Towne Centre sign elevation rendering dated as of March 22, 1993.

The Development Plan provides for the development of a portion of the Subject Property (the "Commercial Property") for commercial and retail uses, including without limitation a shopping center and other retail or commercial facilities aggregating not to exceed 400,000 square feet in area, including expansion areas and Outlots, all in accordance with the Development Plan. No development plans

governed by the showings and designations appearing on the applicable aspect of the Development Plan.

C. Development Plan Modifications. Any changes to the Final Development Plan for the Commercial Property shall be handled in accordance with Section 5A-3-2.5 of the City Code.

SECTION 6: LIMITATION ON REZONING.

Upon the annexation and zoning of the Subject Property pursuant to this Agreement, the City shall not take any action to rezone the Subject Property or any portion thereof except upon application of the party to this Agreement actually holding title thereto. However, if Developer has not received a building permit from the City with respect to the development of the Commercial Property by May 1, 1994, this limitation upon the City's ability to rezone the Subject Property shall become null and void.

SECTION 7: DEVELOPER'S OBLIGATION TO CONSTRUCT ROAD IMPROVEMENTS; DEDICATIONS; EASEMENTS.

A. Lyman Avenue Improvement. (i) Upon annexation, Developer shall improve Lyman Avenue (the "Lyman Avenue Improvement") from existing 75th Street, running southerly so that it connects with the improved portion of Manning Road. The Lyman Avenue Improvement shall be a two lane road, constructed as a collector road pursuant to Section 5B-1-8 of the City Code (except that Developer's sidewalk obligation shall be limited as set forth in Section 7 D hereof), and in accordance with all other applicable provisions of the City's Subdivision Control Ordinance. The final plans for the improvements will include turning lanes, traffic signals, signage and other safety improvements as shown in the Preliminary



such time as said signalization is operational. In addition, Developer shall reimburse City for all costs incurred by the City in providing traffic control (including but not limited to reimbursement for police or other security services) to the Commercial Property from the date of issuance of the first Certificate of Occupancy until the date the signalization becomes operational.

SECTION 9: LANDSCAPING; PROJECT LIGHTING.

A. Landscaping. Developer shall landscape the Commercial Property in accordance with the Final Landscape Plan. Developer, its successors and assigns shall bear the cost and responsibility of maintaining said landscaping during the term of this Agreement. Developer shall grade, seed and maintain each of the Outlot parcels provided for in the Site Plan. Landscape plans for Outlots 2 and 4 (Aldi's and T.G.I. Friday) are hereby approved. Each additional Outlot Owner shall be responsible for submitting a separate landscape plan in accordance with the City's Codes, prior to obtaining a building permit. Developer or its successor shall be obligated to maintain landscaping on Outlot parcels which are leased or sold to other parties.

B. Lighting. All lights installed in the Project shall be designed to avoid off-site spillage.

SECTION 10: OUTLOTS.

A. The development of the Commercial Property shall include four so-called "Outlots." The location and approximate square



CITY OF DARIEN  
DU PAGE COUNTY, ILLINOIS

ORDINANCE NO. 0-18-93

AN ORDINANCE ZONING CERTAIN PROPERTY NEWLY  
ANNEXED TO THE CITY OF DARIEN, GRANTING  
PRELIMINARY AND FINAL SITE PLAN APPROVAL,  
ATTACHING CONDITIONS THERETO, AND APPROVING  
A PRELIMINARY PLAT OF SUBDIVISION (DARIEN  
TOWNE CENTRE)

RECORDER  
DU PAGE COUNTY  
R 93-183583

ADOPTED BY THE CITY COUNCIL  
OF THE  
CITY OF DARIEN

THIS 19th DAY OF April, 1993.

93 AUG 17 AM 9:00  
*Blaney*

Published in pamphlet form  
by authority of the City  
Council of the City of Darien,  
DuPage County, Illinois this  
20th day of April,  
1993.

MAIL TO: SLS  
1518 Woodfield Rd Ste 910  
Schmaburg IL 60173

RETURN TO:  
JOANNE F. COLEMAN, CITY CLERK  
**CITY OF DARIEN**  
1702 Plainfield Road | Darien, Illinois 60551  
60561

published in THE DARIEN MET and DARIEN PROGRESS, being newspapers of general circulation within the City on March 3 and 10 (MET) and March 4 and 11 (PROGRESS), 1993.

F. The Plan Commission has submitted its report and recommendation with respect to the development of the Subject Property.

G. The proposed Final Development Plan involves a subdivision of land.

H. The Development Plan and Subdivision Plat have been reviewed by the City's Planning and Development Committee, as well as the entire City Council.

I. The City Council has now determined to approve the Development Plan, subject to the terms, conditions and limitations set forth hereinbelow.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: ZONING; SPECIAL USE. Pursuant to Section 5A of the Agreement, and pursuant to Section 5A-3-2 of the Darien City Code, that portion of the Subject Property identified as Lots 1-4 and 6-9 on the Subdivision Plat referred to herein, is hereby zoned within the B-3 District, with a special use for Commercial Planned Development, including as permitted uses therein those uses permitted within the B-1 and B-2 Zoning Districts, but in no event including the sales of new or used cars. That portion of the Subject Property shown as Lot 5 on the Subdivision Plat referred to herein, is hereby zoned into the R-2 Zoning District.

CANTONMENT PLACE

R-3  
DOWNS GROVE  
FARMHAY VILLAGE APARTMENTS  
SPECKLEY ROAD

R-3  
DOWNS GROVE  
VILLAGE GROVE APARTMENTS

P2-6  
DOWNS GROVE  
FARMHAY NORTH APARTMENTS PHASE 1

R-3  
DOWNS GROVE  
FARMHAY PLAZA

PROPOSED  
RECONSTRUCTION

75TH STREET

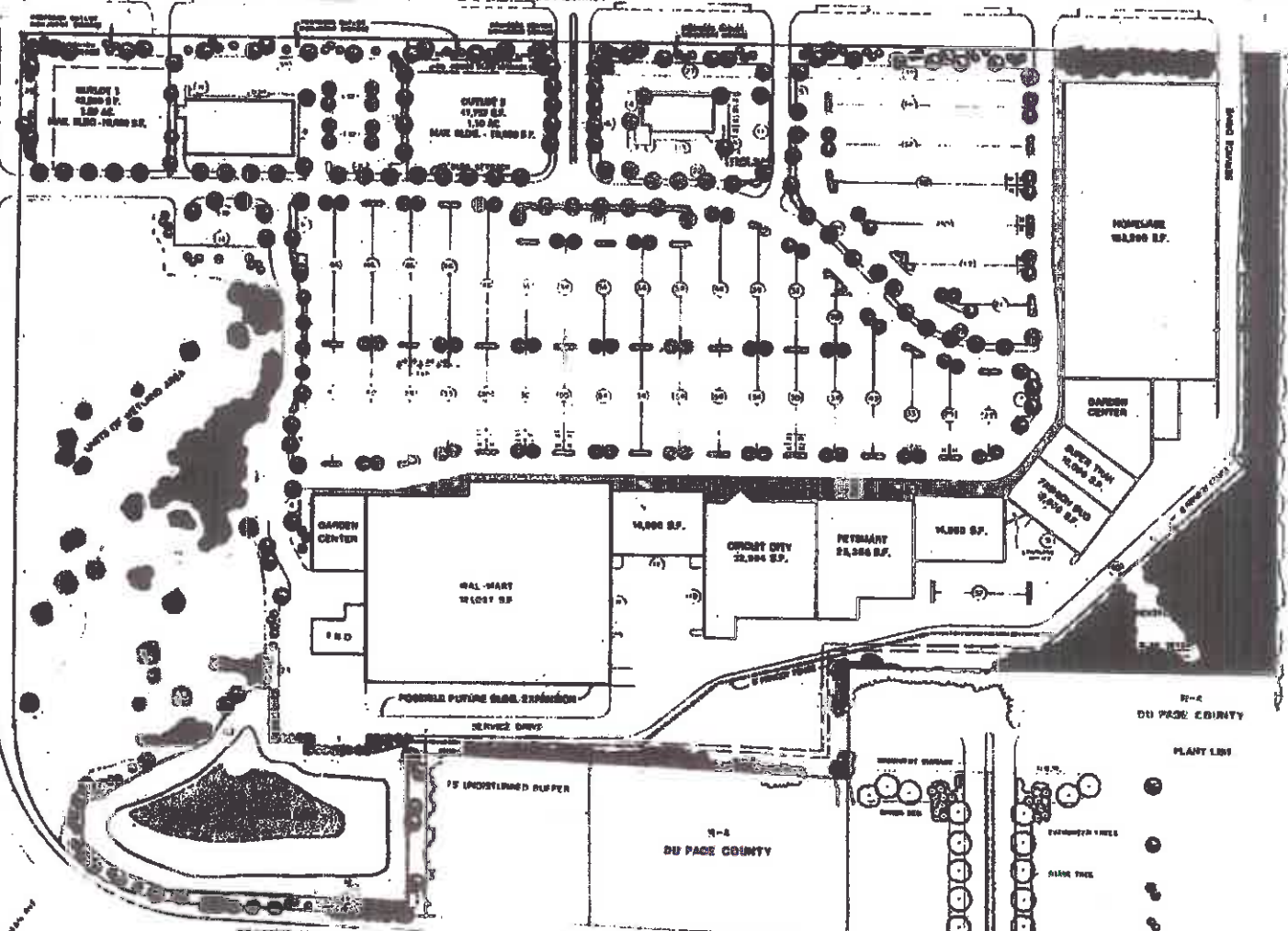
PROPOSED  
RECONSTRUCTION

R-4  
DU PAGE COUNTY

LYMAN AVENUE

R-2  
DARIEN

LYMAN AVENUE



R-2  
DARIEN

HANMER RD.

R-2  
DARIEN  
SINGLE FAMILY BLOCK

HOMEWARE  
18,000 S.F.

DARIEN CENTER

WAL-MART  
14,000 S.F.

CREDIT DEPT  
22,000 S.F.

PAYMART  
24,500 S.F.

14,000 S.F.

GARDEN CENTER

WAL-MART  
14,000 S.F.

14,000 S.F.

CREDIT DEPT  
22,000 S.F.

PAYMART  
24,500 S.F.

14,000 S.F.

3RD

POSSIBLE FUTURE SUB. EXPANSION

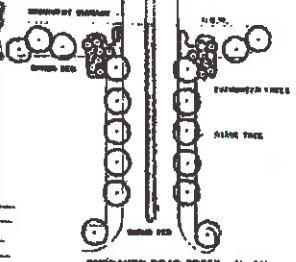
SERVICE DRIVE

15' INCLINED BUFFER

R-2  
DU PAGE COUNTY

R-4  
DU PAGE COUNTY

PLANT LEG



ENTRANCE ROAD DETAIL 1" = 40'



DEVELOPER  
DARIEN TOWNE CENTRE LIMITED PARTNERSHIP  
370022 RIG. 04 @ GRID SUITE 201  
ST. CHARLES, IL 60174

THE SALBANO/OLSON GROUP, INC.  
1100 SOUTH WASHINGTON ST. SUITE 200  
CHICAGO, ILLINOIS 60607

815-466-1-600

R-2  
DARIEN  
FARMHAY NORTH S.F. BLOCK

# Darien Towne Centre

LANDSCAPE PLAN Darien, Illinois



**CHRISTOPHER B. BURKE ENGINEERING, LTD.**

9575 West Higgins Road Suite 800 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

July 27, 2017

City of Darien  
1702 Plainfield Road  
Darien, Illinois 60561

Attention: Steve Manning

Subject: Aldi's – 2251 75<sup>th</sup> Street  
(CBBEL Project No. 95-323 H203)

Dear Steve:

As requested, we have reviewed the proposed plans dated July 13, 2016 and stormwater report dated July 7, 2016 for the aforementioned property prepared by RWG Engineering, LLC. In our opinion, the documents are in general compliance with City Code subject to the following items:

1. Add to the plans a handicapped parking stall striping detail.
2. Submit an engineer's opinion of cost for storm sewer and erosion control items.

If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dan Lynch'.

Daniel L. Lynch, PE, CFM  
Head, Municipal Engineering Department



# CITY OF DARIEN

In the County of DuPage and the State of Illinois  
Incorporated 1969

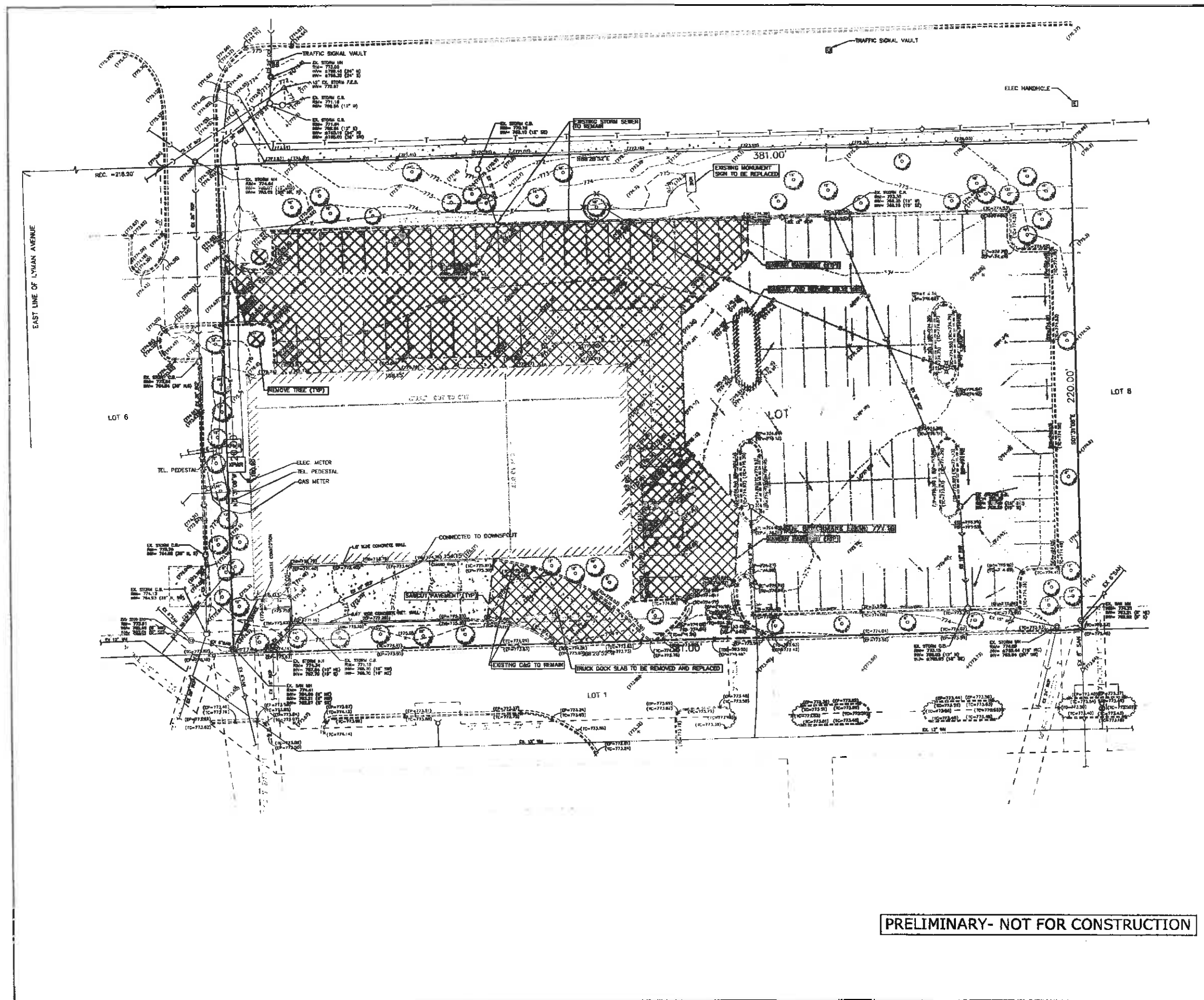
## SPECIAL USE CRITERIA

Special Use approvals must be based on the following factors  
per Zoning Code Section 5A-2-2-6G

1. That the special use is deemed necessary for the public convenience at the location specified.
2. That the establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, or general welfare.
3. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
4. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
5. That the exterior architectural design, landscape treatment, and functional plan of any proposed structure will not be a variation with either the exterior architectural design, landscape treatment, and functional plan of the structures already constructed or in the course of construction in the immediate neighborhood or the character of the applicable district, as to cause a substantial depreciation in the property values within the neighborhood.
6. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.
7. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
8. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the planning and Zoning Commission and the Planning and Development Committee.







**PRELIMINARY- NOT FOR CONSTRUCTION**

- DEMOLITION NOTES:**
1. SHPP/EROSION CONTROL INSTALLATION SHALL BE DONE PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
  2. EXISTING ELECTRICAL AND PHONE CABLES MAY BE LOCATED WITHIN THE PROPOSED IMPROVEMENT AREA. APPROXIMATE KNOWN LOCATIONS ARE SHOWN HEREON. THE CONTRACTOR SHALL ARRANGE FOR PRECISE LOCATION OF EXISTING CABLE SERVICES AND EXERCISE EXTREME CARE WHEN WORKING AROUND THE SAME.
  3. ALL STRUCTURAL PAVEMENT MATERIALS (ASPHALT, CONCRETE SIDEWALK, CURB/GUTTER) THAT CANNOT BE CRUSHED TO AN APPROVED DOT SPECIFICATION FOR USE AS STRUCTURAL FILL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN OFFSITE LOCATION. RE-USE OF MILLED ASPHALT AND PROPERLY CRUSHED CONCRETE AS STRUCTURAL FILL IS ACCEPTABLE AND ENCOURAGED.
  4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING UTILITIES SCHEDULED TO REMAIN. PROPER SAWCUTTING SHALL BE ACCOMPLISHED AT ALL POINTS OF CONNECTION OR INTERFERENCE BETWEEN EXISTING AND PROPOSED IMPROVEMENTS.
  5. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL UNDERGROUND UTILITIES (EVEN IF NOT SHOWN ON THESE PLANS) LOCATED PRIOR TO DEMOLITION BEGIN. SANITARY SERVICE, WATERMAIN SERVICE, GAS, ELECTRIC, ETC. SHALL BE CUT-OFF. CONTRACTOR TO COORDINATE WITH RESPECTIVE MUNICIPAL AGENCY TO ARRANGE FOR DISCONNECT.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITIES, STREET LIGHTS, SIGNS, ETC. THAT ARE NOT INTENDED TO BE PERMANENTLY REMOVED.
  7. CONTRACTOR SHALL NOTIFY THE CITY OF GARDEN PUBLIC WORKS DEPARTMENT, ALL UTILITY COMPANIES, AND THE FIRE DEPARTMENT TWO TO START UP.
  8. ON-SITE DISTURBED AREAS TO REMAIN AS GREENSPACE SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL AND SEED.

**DEMOLITION LEGEND**

	REMOVE EXISTING PAVEMENT/SIDEWALK/STRUCTURE/C&G (INCL. SAWCUT)
	US" MILL AND PREP FOR RESURFACING
	TREE/BUSH/STRUCTURE REMOVAL
	TREE PROTECTION FENCE
	REMOVE EXISTING UTILITY LINE
	REMOVE EXISTING CURB AND GUTTER

DRAWN BY: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**ALDI INC. - STORE #80**  
**DARIEN, ILLINOIS**  
**EXISTING CONDITIONS/DEMOLITION PLAN**

**Engineering, LLC**  
 Civil Engineering & Real Estate Consulting & Project Management

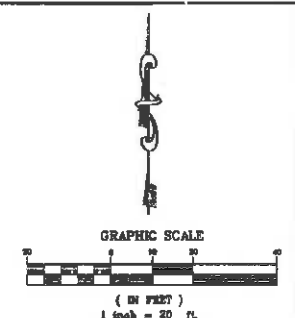
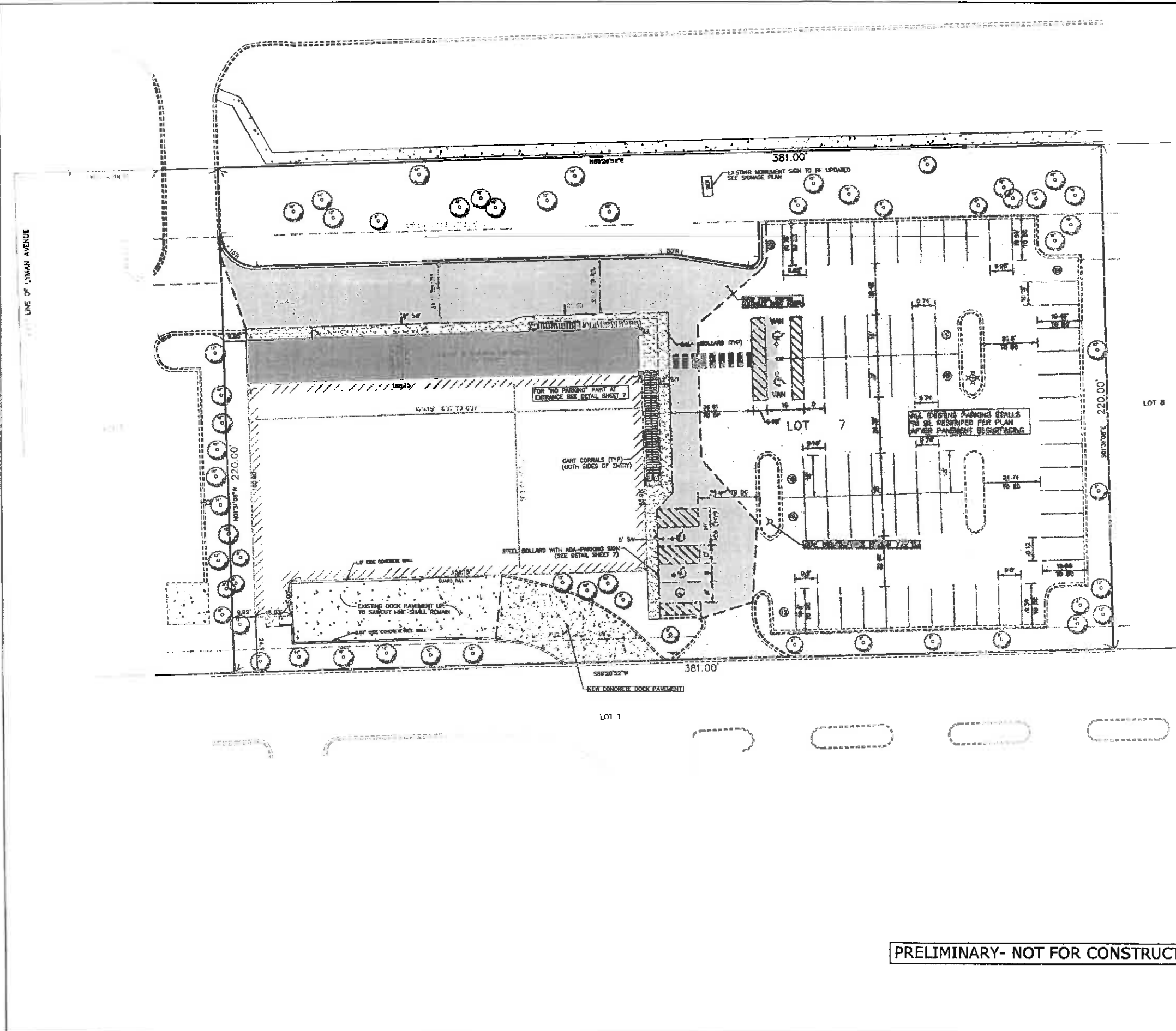
972 E. 22nd St. Suite 400  
 Wheaton, IL 60189  
 630-467-7859  
 www.rwg-engineering.com

PROJECT NO. \_\_\_\_\_  
 DATE: 07/13/2016  
 SCALE: 1"=20'  
 PROJ. MGR. \_\_\_\_\_  
 PROJ. ASSOC. \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_

SHEET  
**2 of 7**

Jul 13, 2016 2:55:47 p.m. AutoCAD 2016  
 Drawing: S:\22889716 - ALDI STORES - 800 - GARDEN\300\_Demolition\ALDI\_STORE\_800.dwg

© COPYRIGHT 2015



**ABBREVIATIONS LEGEND (IN ADDITION TO TITLE SHEET LEGEND)**

- EX = EXISTING
- PR = PROPOSED
- BC = BACK OF CURB
- FC = FACE OF CURB
- EP = EDGE OF PAVEMENT
- PL = PROPERTY LINE
- FB = FACE OF BUILDING
- ROW = RIGHT OF WAY
- BC/BC = BACK OF CURB TO BACK OF CURB
- SW = SIDEWALK
- R = RADIUS
- (TYP) = TYPICAL

- SITE GEOMETRIC AND PAVING NOTES:**
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE.
  - UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE 8x12 CONCRETE CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.)
  - UNLESS OTHERWISE NOTED, ALL CURB RADIUS ARE 4' TO BACK OF CURB.
  - ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN FOR THE SUBDIVISION (OR SITE) PLAT PREPARED BY GENTLE AND ASSOCIATES, INC AND DATED JUNE 2, 2016.
  - BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN. PREPARATION CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBS, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, CLAMPSTOPS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS. THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAYS. CONTRACTOR TO VERIFY ACTUAL DRIVEWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
  - UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL SIGNAGE, ETC AS SHOWN HEREON. PAVEMENT MARKINGS SHALL BE YELLOW. ALL DRIVE PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH BEST SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. HANDICAP STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
  - PRIOR TO OPENING TO THE PUBLIC, ALL TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED AS INDICATED. SIGNS SHALL BE INSTALLED WITH 3" SQUARE ALUMINUM POSTS WITH A BARED ON GRAVEL FINISH, SET 1" INTO CONCRETE PIER AND SHALL INCLUDE A POST CAP.

**SURFACE IMPROVEMENT LEGEND:**

- EXISTING ASPHALT PAVEMENT - MAINTENANCE
- 18" HLL & RESURFACE WITH HOT MIX ASPHALT SURFACE COURSE, MIX 10", 850 RESURFACE PAVEMENT AS SHOWN
- ASPHALT PAVEMENT (STANDARD)
- 18" - HOT MIX ASPHALT SURFACE COURSE, MIX 10", 850 BRUSHWOOD TACK COAT (0.05 GAL/SY)
- 28" HOT-MIX ASPHALT BINDER COURSE, 2-16, 850 BRUSHWOOD PRIME COAT 10-20 (0.30 GAL/SY)
- 18" AGGREGATE BASE COURSE CA-6, TYPE B
- CONCRETE SLAB DECK
- 8" PORTLAND CEMENT CONCRETE (4,000 PSI) (OR MATCH EXISTING) W/ 6"x6" No. 6 WELDED WIRE MESH DOBEL NEW SLAB INTO EXISTING USING 3"x18" SMOOTH DOBEL BARS 18" O.C.
- 6" AGGREGATE BASE COURSE CA-6, TYPE B
- CONCRETE SIDEWALKS (PUBLIC AND/OR PRIVATE)
- 5" - PCC SIDEWALK
- 3" - AGGREGATE BASE COURSE TYPE B, CA-6
- PROPOSED 8x12 CONCRETE CURB AND GUTTER
- PROPOSED REVERSE FINISH 8x12 CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING DEPRESSED CURB AND GUTTER

**SITE DATA**

TOTAL LOT SIZE	63,820 S.F. (1.82 AC)
<b>EXISTING SITE CONDITIONS:</b>	
EXISTING BUILDING FOOTPRINT	14,858 S.F. (17.73%)
EXISTING PAVT./SIDEWALK	48,054 S.F. (57.33%)
EXISTING GREENSPACE	20,908 S.F. (24.94%)
EXISTING CONDITION IMPERVIOUS AREA	62,912 S.F. (1.44 AC)
<b>PROPOSED SITE CONDITIONS:</b>	
EXPANDED BUILDING FOOTPRINT	18,156 S.F. (21.63%)
PROPOSED PAVT./SIDEWALK	42,490 S.F. (50.59%)
PROPOSED GREENSPACE	23,175 S.F. (27.65%)
PROPOSED IMPERVIOUS AREA	60,645 S.F. (1.39 AC)
<b>EXISTING PARKING SUMMARY:</b>	
STALLS	= 104
ADA ACCESSIBLE STALLS	= 1
TOTAL STALLS	= 107
<b>PROPOSED PARKING SUMMARY:</b>	
STALLS	= 69
ADA ACCESSIBLE STALLS	= 4
TOTAL STALLS PROVIDED	= 73 (4.02/1,000 SF)

**PRELIMINARY- NOT FOR CONSTRUCTION**

DRAWN BY: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_  
DATE: \_\_\_\_\_

**ALDI INC. - STORE #80**  
DARIEN, ILLINOIS  
**SITE GEOMETRIC AND PAVING PLAN**

PROJECT NO. 22509219  
DATE: 07/03/18  
SCALE: 1"=20'  
PROJ. MGR. \_\_\_\_\_  
PROJ. ASSOC. \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_

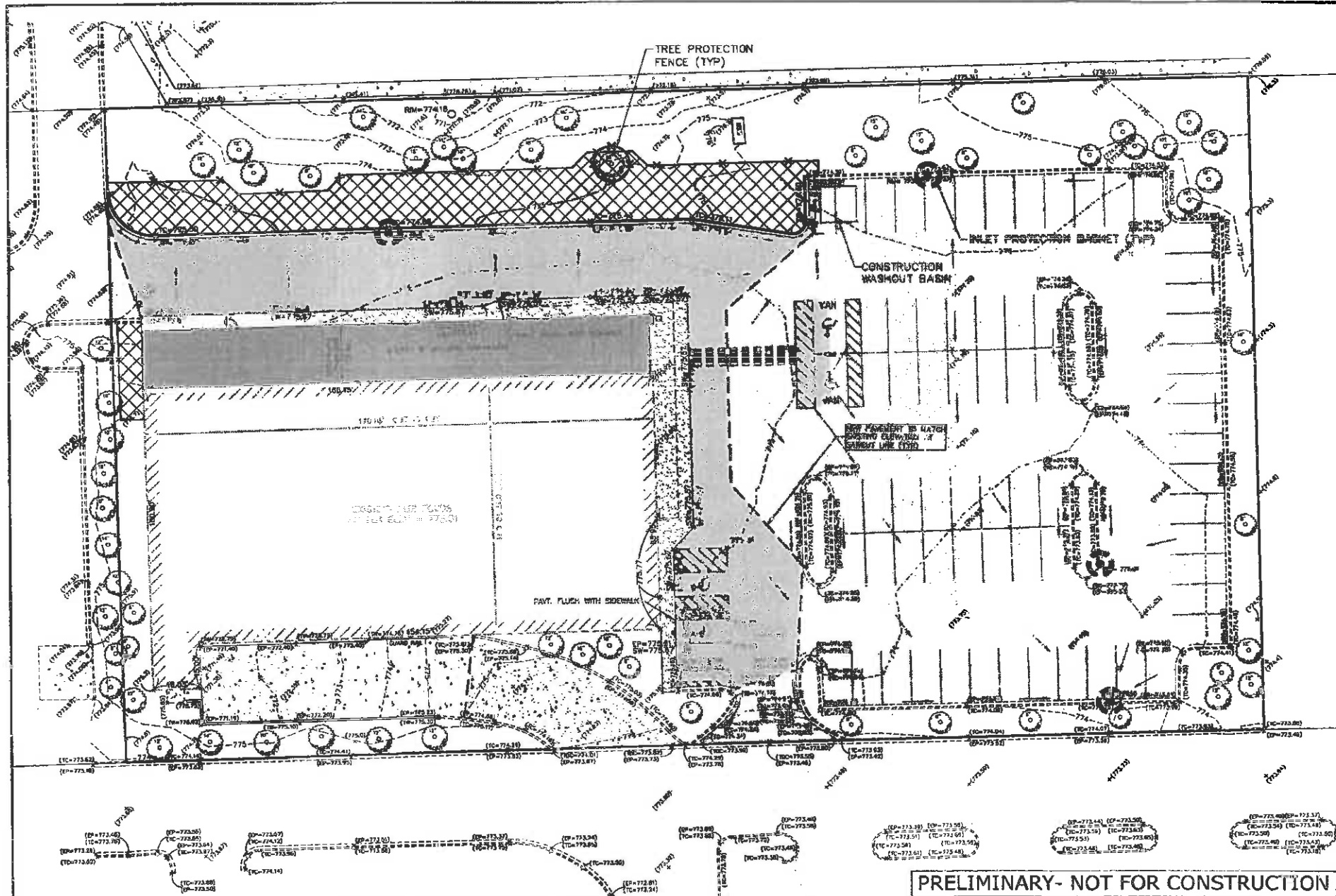
**Engineering, LLC**  
975 E. 22nd St., Suite 400  
Wheaton, IL 60189  
630.490.7859  
www.rwge-engineering.com

**Engineering, LLC**  
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SHEET  
**3 of 7**

July 13, 2018 2:52:47 AM. Admin: R.D. (LMS Tool)  
Drawing: S:\22509219 - ALDI STORE #80 - 000 DARIEN\002\_Docs\DWG\ALDI\_CAD\DWG\Site\_Plan.dwg

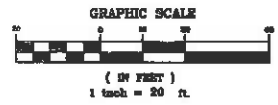
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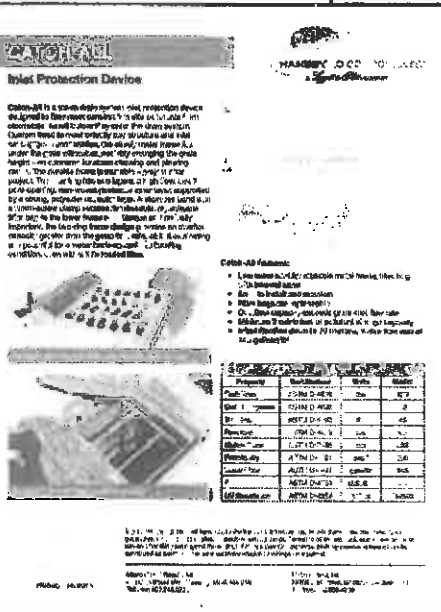
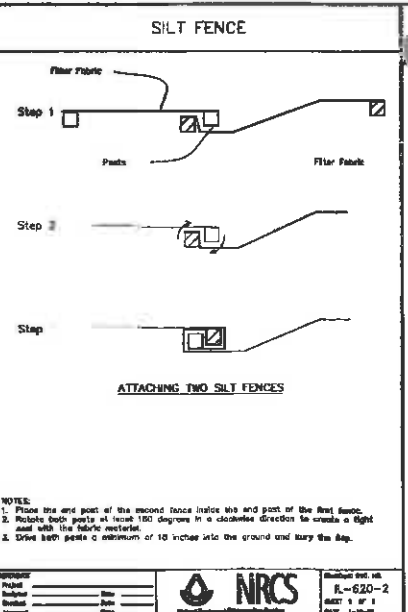
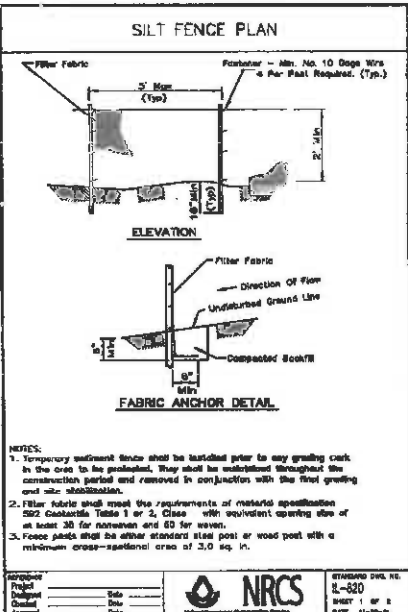
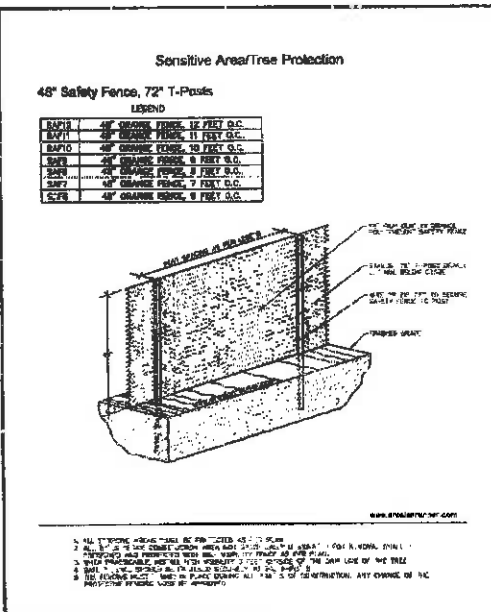
EROSION CONTROL LEGEND	
	STONE DRAINAGE STRUCTURE
	SILT PROTECTION
	TREE PROTECTION FENCE
	SILT FENCE & GRADING CONSTRUCTION FENCE
	PERMANENT HARDSCAPE AND LANDSCAPING

EROSION CONTROL LEGEND	
	CONCRETE HEADWALL
	PRECAST FLARED END SECTION
	STORM DRAINAGE STRUCTURE
	RETAINING WALL
	CONTOUR
	5' CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	OVERFLOW RELIEF ROUTING
	SLOPE BANK
	RR-3 ROCK RIP-RAP



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### SOIL EROSION CONTROL CONSTRUCTION SCHEDULE

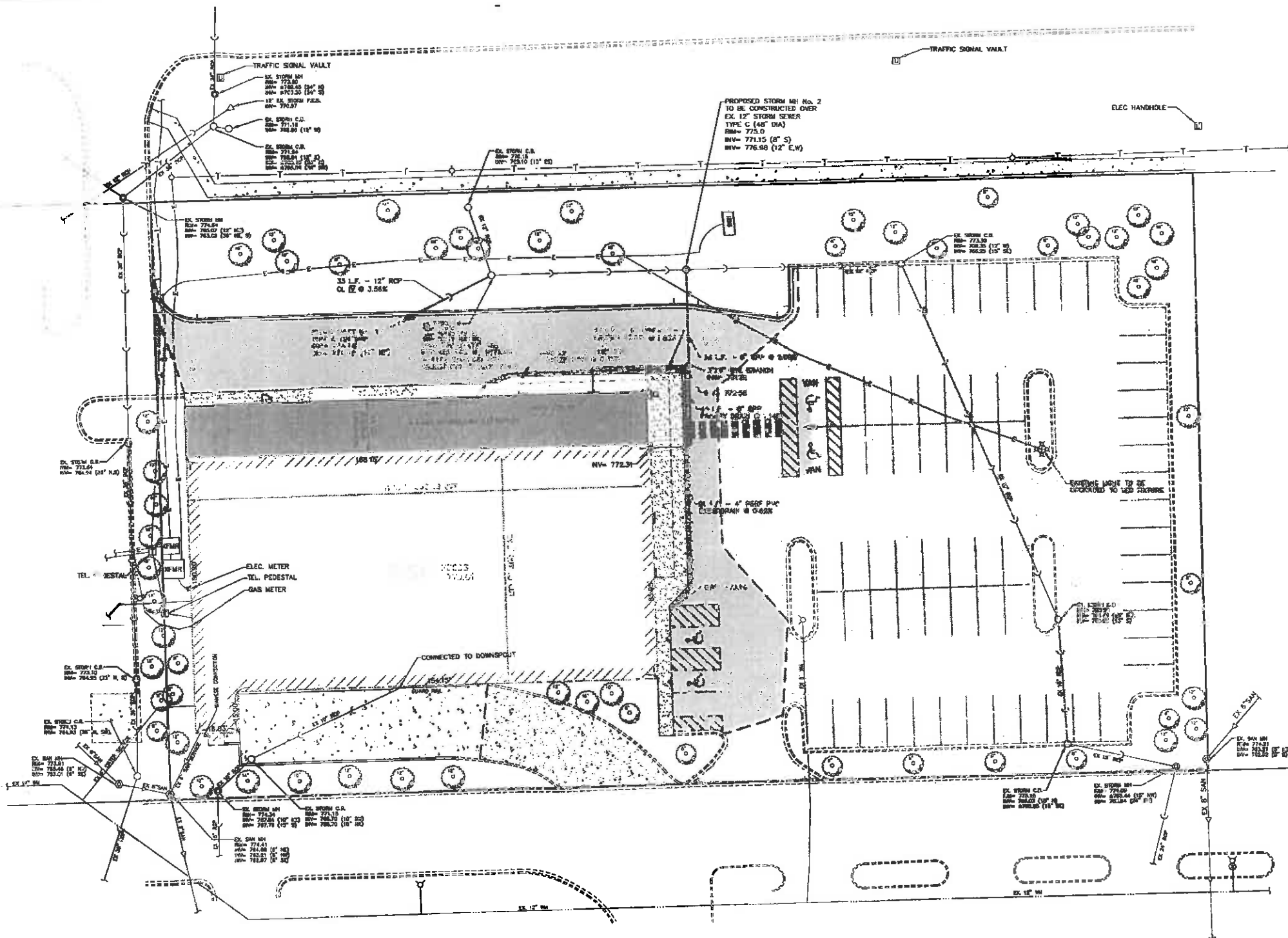
- INSTALL SEDIMENT CONTROL MEASURES
- INSTALL DRAINAGE STRUCTURES
- GRADE SITE/SURFACE TOPSOIL
- INSTALL STORM SEWER MANAGEMENT MEASURES
- TEMPORARY VEGETATIVE STABILIZATION CONTROL MEASURES
- INSTALL ROAD SUB-BASE
- INSTALL CONSTRUCTION WORK CURB & GUTTER PAVING
- PERMANENT VEGETATIVE STABILIZATION OF ALL EXPOSED AREAS
- INSTALL PERMANENT LANDSCAPING
- PERFORM CONTINUING MAINTENANCE

### CONCRETE WASHOUT NOTE

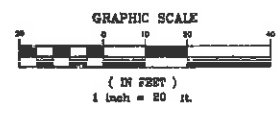
CONCRETE WASHOUT SHALL BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHALL NOT BE ALLOWED TO ENTER STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ALL WASTE SHALL BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT SHALL BE DESIGNATED WITH PROPER SIGNAGE (SEE PLAN).

### GRADING NOTES

- PAVEMENT SLOPES WITHIN HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
- HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT TO EXCEED 2.00%.
- UNLESS SPECIFICALLY INDICATED OTHERWISE, EXISTING GRADES ARE TO BE MET AT PROJECT PERIMETER LINES.
- UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AND PROPOSED CONTOURS REFLECT THE FINISHED PAVEMENT SURFACE GRADE, TOP OF CURB GRADE, OR FINISHED GROUND ELEVATION AS APPLICABLE.
- RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE GUTTER, PAVEMENT OR DRAINAGE SWALE (AS APPLICABLE).
- WHEREVER THE DESIGN FOR SURFACE FLOW OF DRAINAGE IS DIRECTED AWAY FROM A CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER PITCH.



- UTILITY NOTES:**
1. RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FINISH LINE ELEVATIONS OF THE OUTLET PAVEMENT, OR UNPAVED SHALE (AS APPLICABLE).
  2. UNLESS OTHERWISE NOTED, ALL UTILITY DIMENSIONS ARE CENTER TO CENTER OF STRUCTURES (OR TO END OF FLARED END SECTION - IE INCLUDING LENGTH OF FLARED END SECTION).
  3. CONNECTIONS TO EXISTING SEWERS OR WATERMAINS (OR EXISTING SERVICE LINES) AT POINTS OTHER THAN MANHOLE STRUCTURES ARE APPROXIMATE. THE CONTRACTOR SHALL EXCAVATE AND VERIFY EXISTING SEWER OR WATERMAIN LOCATIONS, DEPTHS, ELEVATIONS, AND PIPE CONDITIONS AT PROPOSED CONNECTION POINTS PRIOR TO CONSTRUCTING UTILITY EXTENSIONS, AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT OR DISCREPANCIES.
  4. EXISTING UNDERGROUND PIPE, CONDUIT AND/OR CABLES (LIGHTING, ELECTRIC, GAS, CABLE, ETC) ARE SHOWN FROM RECORD INFORMATION AND ARE APPROXIMATE IN NATURE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION IN THE FIELD AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT.
  5. SELECT GRANULAR TRENCH BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES UNDER EXISTING OR PROPOSED PAVEMENT, DRIVEWAYS, PARKING LOTS, AND SIDEWALKS, AND EXTENDED A MINIMUM OF 2' EACH SIDE OF SAME. GRANULAR TRENCH BACKFILL SHALL BE COMPACTED IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
  6. BUILDING DIMENSIONS AND ADJACENT UTILITY SERVICE LOCATIONS HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE TIME OF DRAWING PREPARATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THE CONTRACTOR SHALL REFER TO THE CURRENT ARCHITECTURAL PLANS FIRST, FOR PRECISE BUILDING DIMENSIONS AND UTILITY SERVICE CONNECTION LOCATIONS AND NOTIFY THE ENGINEER AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  7. ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR DEVELOPER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SERVICE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- SPECIAL NOTES REGARDING UTILITY CONSTRUCTION:**
1. THE EXISTING SANITARY SEWER SHALL REMAIN. CONTRACTOR TO EXERCISE CAUTION DURING ALL RECONSTRUCTION TO PRESERVE THIS SERVICE.
  2. THE EXISTING WATERMAIN SERVICE LINES SHALL REMAIN. CONTRACTOR TO EXERCISE CAUTION DURING ALL RECONSTRUCTION TO PRESERVE THIS SERVICE.
  3. EXISTING STORM SEWER SYSTEM SHALL REMAIN. REFER TO THE STORM SEWER UTILITY SCHEDULE FOR DETAILED INFORMATION ON EXISTING/PROPOSED STORM SEWER INFRASTRUCTURE. CONTRACTOR TO EXERCISE CAUTION DURING ALL RECONSTRUCTION TO PRESERVE STORM SEWER INFRASTRUCTURE SCHEDULED TO REMAIN.
- STORM SEWER DRAINAGE STRUCTURE LEGEND:**
- | EXISTING | PROPOSED | DESCRIPTION                    |
|----------|----------|--------------------------------|
| □        | ■        | STORM INLET - OPEN GRATE       |
| ○        | ⊙        | STORM CATCH BASIN - OPEN GRATE |
| ⊙        | ⊙        | STORM MANHOLE - CLOSED LID     |



**PRELIMINARY- NOT FOR CONSTRUCTION**

DRAWN BY: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**ALDI INC. - STORE #80  
 DARIEN, ILLINOIS  
 UTILITY PLAN**

975 E. 22nd St., Suite 400  
 Wheaton, IL 60189  
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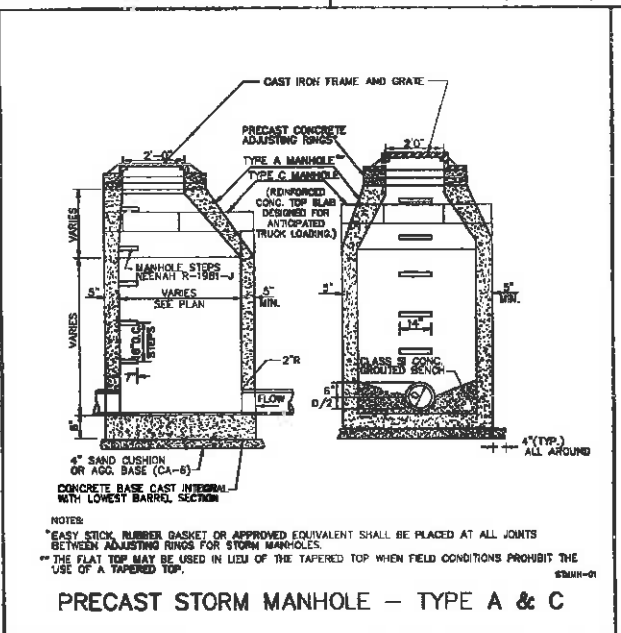
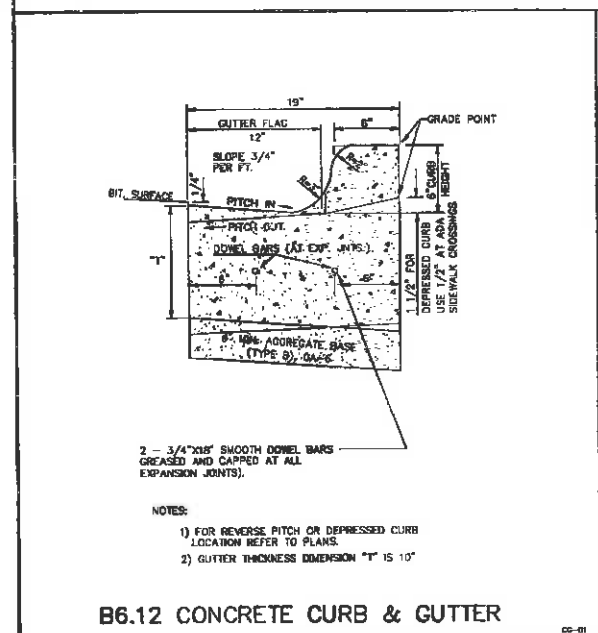
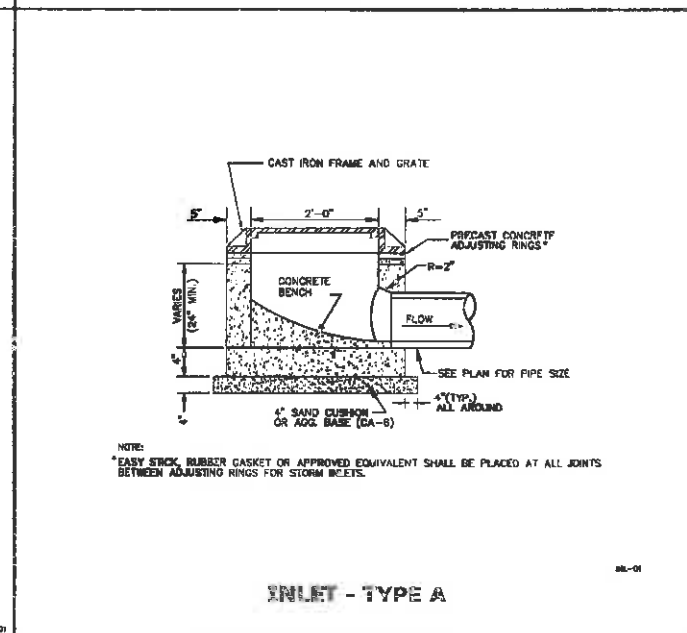
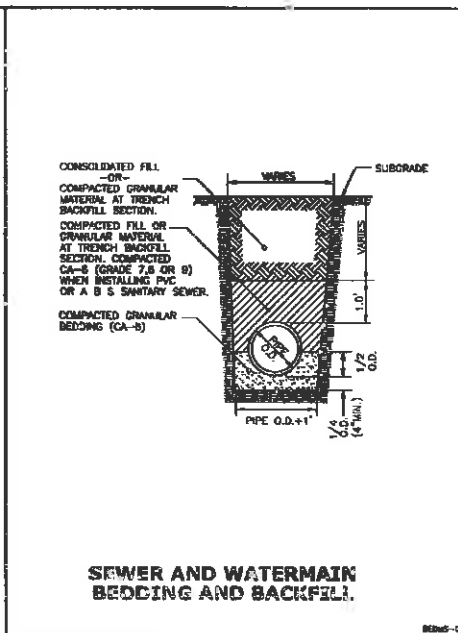
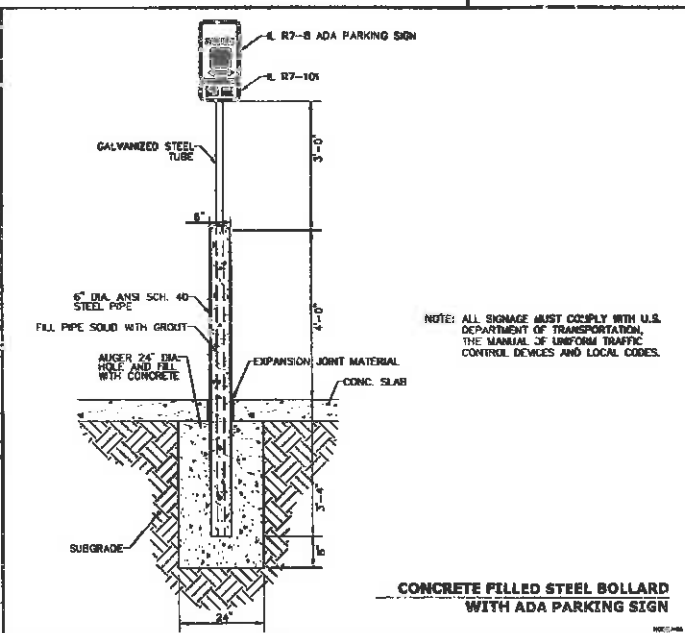
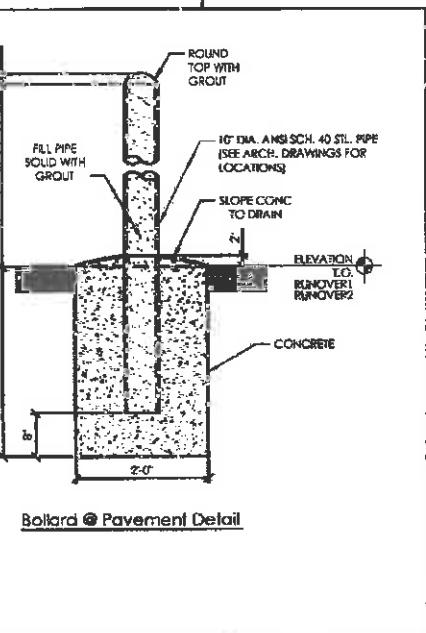
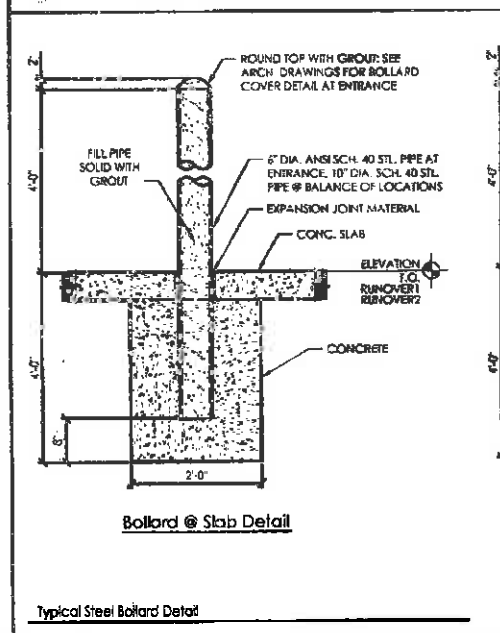
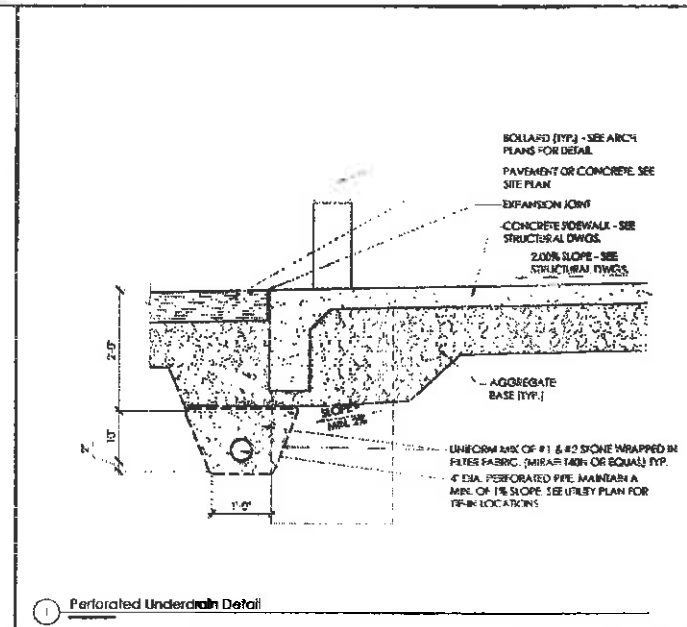
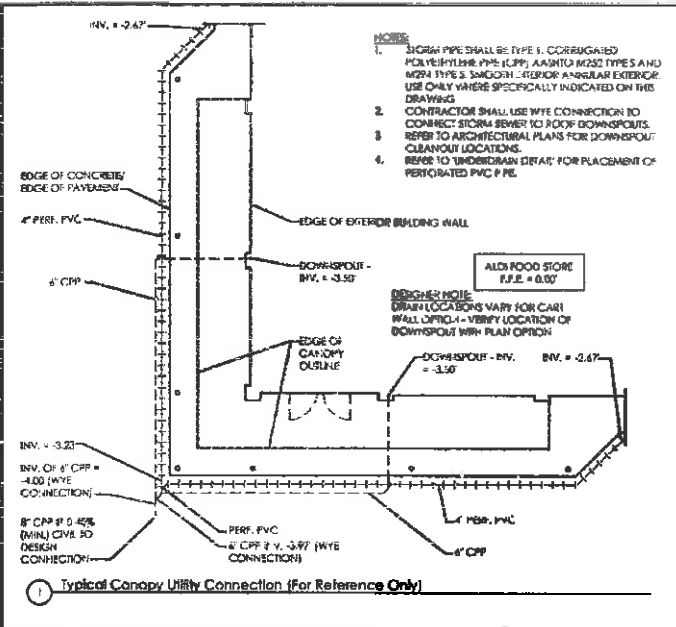
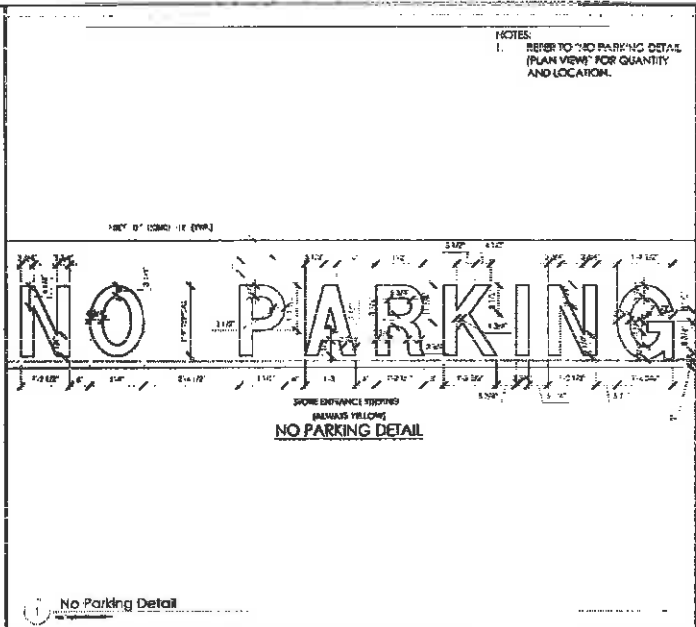
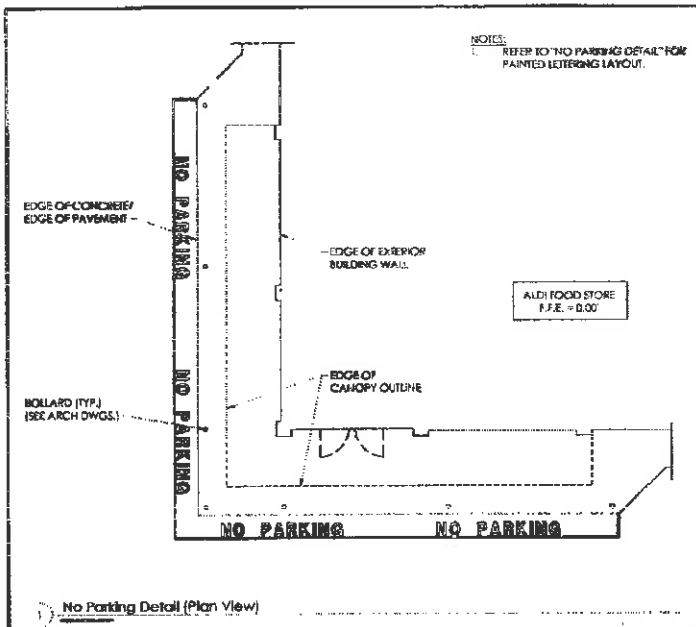
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 DATE 07/13/16  
 SCALE 1"=20'  
 PROJ. MGR. HEK  
 PROJ. ASSOC. RWG  
 DRAWN BY JMS

SHEET  
**5 of 7**

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ENGINEER  
DATE

**ALDI INC. - STORE #80**  
DARIEN, ILLINOIS

**Engineering, LLC**  
Civil Engineering • Land Survey Consulting • Project Management

975 E. 22nd St., Suite 400  
Villa Park, IL 60181  
630.463.7889  
www.rwg-engineering.com

PROJECT NO. 22808215  
DATE 07/13/18  
SCALE NONE  
PROJ. MGR. JMS  
PROJ. ASSOC. JMS  
DRAWN BY JMS

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Aldi  
Store No. 80

221 7th Street  
Darien, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
1000 W. Madison Street, Suite 1000, Chicago, IL 60604  
Tel: 312.467.1000

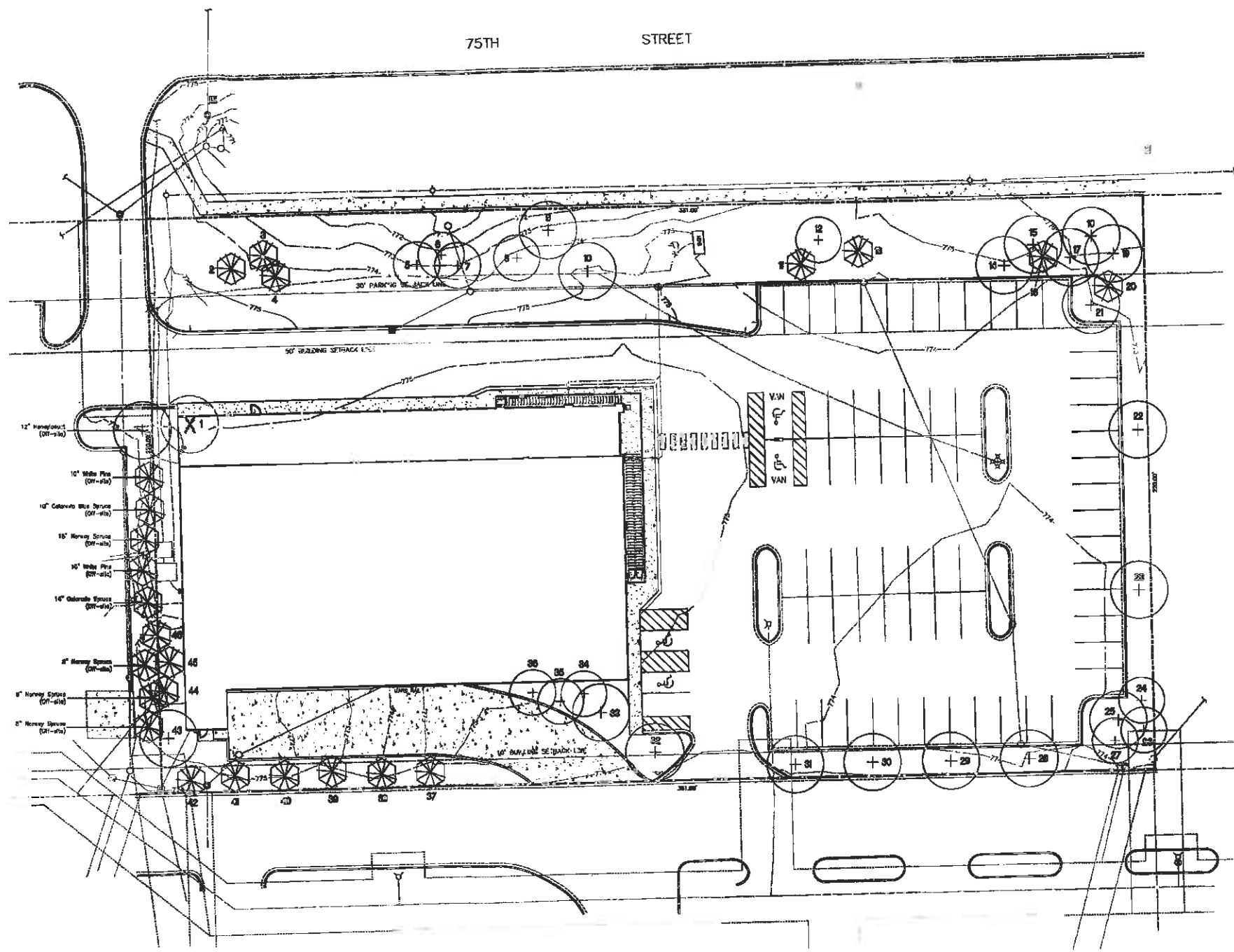


RWG ENGINEERING, LLC

1000 W. Madison Street, Suite 1000, Chicago, IL 60604  
Tel: 312.467.1000

Tag	Size	Botanical Name	Common Name	Plant/Condition	Action
1	8"	Acer rubrum	Red Maple	3/2	Remove
2	12"	Quercus prinus	White Oak	3/2	To remain
3	12"	Quercus prinus	White Oak	3/2	To remain
4	12"	Quercus prinus	White Oak	3/2	To remain
5	12"	Quercus prinus	White Oak	3/2	To remain
6	12"	Quercus prinus	White Oak	3/2	To remain
7	12"	Quercus prinus	White Oak	3/2	To remain
8	12"	Quercus prinus	White Oak	3/2	To remain
9	12"	Quercus prinus	White Oak	3/2	To remain
10	12"	Quercus prinus	White Oak	3/2	To remain
11	12"	Quercus prinus	White Oak	3/2	To remain
12	12"	Quercus prinus	White Oak	3/2	To remain
13	12"	Quercus prinus	White Oak	3/2	To remain
14	12"	Quercus prinus	White Oak	3/2	To remain
15	12"	Quercus prinus	White Oak	3/2	To remain
16	12"	Quercus prinus	White Oak	3/2	To remain
17	12"	Quercus prinus	White Oak	3/2	To remain
18	12"	Quercus prinus	White Oak	3/2	To remain
19	12"	Quercus prinus	White Oak	3/2	To remain
20	12"	Quercus prinus	White Oak	3/2	To remain
21	12"	Quercus prinus	White Oak	3/2	To remain
22	12"	Quercus prinus	White Oak	3/2	To remain
23	12"	Quercus prinus	White Oak	3/2	To remain
24	12"	Quercus prinus	White Oak	3/2	To remain
25	12"	Quercus prinus	White Oak	3/2	To remain
26	12"	Quercus prinus	White Oak	3/2	To remain
27	12"	Quercus prinus	White Oak	3/2	To remain
28	12"	Quercus prinus	White Oak	3/2	To remain
29	12"	Quercus prinus	White Oak	3/2	To remain
30	12"	Quercus prinus	White Oak	3/2	To remain
31	12"	Quercus prinus	White Oak	3/2	To remain
32	12"	Quercus prinus	White Oak	3/2	To remain
33	12"	Quercus prinus	White Oak	3/2	To remain
34	12"	Quercus prinus	White Oak	3/2	To remain
35	12"	Quercus prinus	White Oak	3/2	To remain
36	12"	Quercus prinus	White Oak	3/2	To remain
37	12"	Quercus prinus	White Oak	3/2	To remain
38	12"	Quercus prinus	White Oak	3/2	To remain
39	12"	Quercus prinus	White Oak	3/2	To remain
40	12"	Quercus prinus	White Oak	3/2	To remain
41	12"	Quercus prinus	White Oak	3/2	To remain
42	12"	Quercus prinus	White Oak	3/2	To remain
43	12"	Quercus prinus	White Oak	3/2	To remain
44	12"	Quercus prinus	White Oak	3/2	To remain
45	12"	Quercus prinus	White Oak	3/2	To remain
46	12"	Quercus prinus	White Oak	3/2	To remain

GRADE	DESCRIPTION	GENERAL CRITERIA
1	Excellent	The tree is typical of the species, has less than 10% dieback in the crown but is otherwise in normal shape, has no other observed problems, and requires no remedial action.
2	Good to Fair	The tree is typical of the species and/or has less than 25% dieback in the crown, only one or two other problems, but no other observed problems, and requires no remedial action.
3	Fair	The tree is typical of the species and/or has less than 50% dieback in the crown, one or two other problems, but no other observed problems, and requires no remedial action.
4	Fair to Poor	The tree is not typical of the species and/or has significant problems such as 50-75% dieback in the crown, serious decay or structural defects, trunk damage or other problems that may be corrected by pruning or other remedial action, or other problems that may be corrected by pruning or other remedial action.
5	Poor	The tree is not typical of the species and/or has more than 75% dieback in the crown, or other decay or structural defects, or other problems that may be corrected by pruning or other remedial action, or other problems that may be corrected by pruning or other remedial action.
6	Dead	Less than 10% of the tree shown signs of life.



Tree Inventory

Mark	Description	Grade
+	Existing tree to remain	02E-0
2	Existing emergency tree to remain	02E-0
X1	Existing tree to be removed	02E-0

Number: 45486  
Scale: 1" = 20'  
File: 45486.dwg  
Sheet: L10



# DARIEN-WOODRIDGE

Fire Protection District

---

7550 Lyman Avenue, Darien, Illinois 60561, (630) 910-2200 - Fax (630) 910-2203

August 16, 2016

City of Darien  
Community Development  
1702 Plainfield Road  
Darien, IL 60561

RE: Aldi's 2251 75<sup>th</sup> (addition)

Steve Manning  
Senior Planner City of Darien

The following comments pertain to the above review:

- The site plan has been reviewed and is accepted as submitted.

Sincerely,

Lt. James Karasek  
Fire Prevention Director  
Darien-Woodridge  
Fire Prevention Bureau

**AGENDA MEMO**  
Municipal Services  
August 22, 2016

**Issue Statement**

Review Study Results-Mid-Block Crosswalk on Clarendon Hills Rd between 67<sup>th</sup> Street and Plainfield Road.

**Background/History**

The FYE17 Budget included funding for a mid-block crosswalk study to determine whether a crosswalk was warranted within the Clarendon Hills corridor between 67<sup>th</sup> Street and Plainfield Rd. The study was initiated in response to a resident's concern for crossing Clarendon Hills Road to reach Community Park.

The City commissioned Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA), traffic engineering consultants, to provide a study for the pedestrian crosswalk. Attached and labeled as Attachment A, is the full report. **In summary, the study concludes a mid-block pedestrian crossing on Clarendon Hills Road is *not* warranted.**

The study included:

Traffic Counts

Accident Data

Pedestrian Count

Intersection Evaluations along the corridor

Evaluation of mid-block pedestrian crossings through State and Federal guidelines

Warrants Analysis

Recommendation

The study area segment of Clarendon Hills Road carries approximately 11,700 vehicles per day and is comprised primarily of automobiles and small vans. The common peak hour when traffic levels were the highest were between 4:45 and 5:45 P.M. The report further suggests that Community Park has a high use between the hours of 3:00pm and 6:00 pm Monday through Friday.

The study concludes a mid-block pedestrian crossing on Clarendon Hills Road is not warranted. The conclusion is based on Transit Cooperative Research Program (TCRP) 112/National Cooperative Highway Research Program (NCHRP) 562 guidelines and Institute of Transportation Engineers (ITE) criteria. Guidance from the Manual on Uniform Traffic Control Devices, MUTCD, however, leaves the determination on the appropriateness of a crosswalk on the findings of an engineering study, which is represented by the attached report. Based on the gathered information, the City could install the crosswalk, and it is recommended to be installed at Roger Road.

The recommendation is contingent upon the installation of several supplemental measures that will increase pedestrian safety, improve visibility of the crossing to motorists, calm traffic speeds, and draw pedestrians to the crosswalk instead of crossing Clarendon Hills Road at other



unmarked locations. These measures include a raised refuge island, pedestrian crossing signs, advance pedestrian crossing and/or Park Zone signs, and sidewalk extensions and relocations. It is estimated that the cost of the crosswalk enhancement will be \$32,000.

**STAFF RECOMMENDATION**

No further action be taken

**ALTERNATE CONSIDERATION**

As recommended by the Municipal Services Committee.

**DECISION MODE**

To be determined.

MEMORANDUM TO: Daniel Gombac  
Director of Municipal Services and Community Development  
City of Darien

FROM: Eric D. Russell, P.E., PTOE, PTP, LEED AP ND  
Principal

Michael A. Werthmann, P.E., PTOE  
Principal

DATE: August 17, 2016

SUBJECT: Pedestrian Crossing Assessment  
Clarendon Hills Road between 67<sup>th</sup> Street and Plainfield Road  
Darien, Illinois

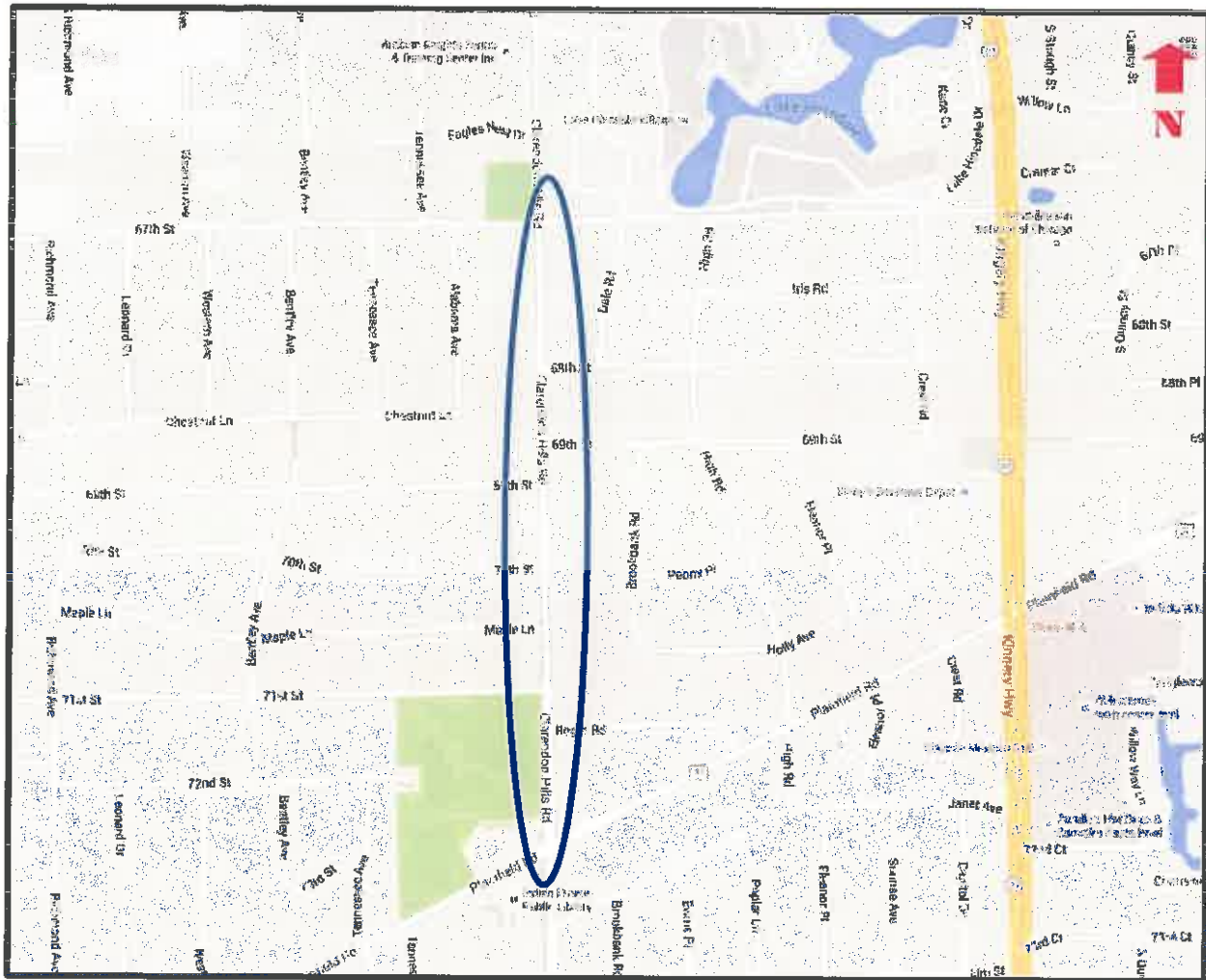
This memorandum summarizes the results of a Pedestrian Crossing Assessment of the applicability and need for a crosswalk along an uncontrolled 2/3-mile segment of Clarendon Hills Road from 67<sup>th</sup> Street on the north to Plainfield Road on the south, as shown in Figure 1. The intent of the crosswalk is to enhance pedestrian safety across Clarendon Hills Road and to/from Darien Community Park. Clarendon Hills Road is controlled and maintained by the City of Darien, and the City has ultimate authority on whether to install a new crosswalk(s) on the roadway. As such, the assessment evaluates various potential crossing locations to identify a preferred location should the City decide to install the crosswalk. The assessment also includes concept renderings of supplemental measures that can support a new pedestrian crossing.

The following sections of this report describe the land uses and roadway characteristics in the Clarendon Hills Road corridor, summarize public transportation services and traffic/pedestrian volume data, detail vehicular-pedestrian crash history, evaluate pedestrian crossing treatments against Federal and State guidelines, and illustrate conceptual renderings of potential new pedestrian crossings. The concept plans were developed to conform to Federal Highway Administration design guidelines, as contained in the *Manual on Uniform Traffic Control Devices for Streets and Highways* (MUTCD).

## Land Use

The land uses to the east and west of this section of Clarendon Hills Road are primarily residential. In addition, Darien Community Park is located along the west side of Clarendon Hills Road between 71<sup>st</sup> Street and Plainfield Road. The 19.35-acre park is the Darien Park District's second largest park and features two playgrounds, two basketball courts, four tennis courts, a soccer field, a lighted baseball diamond, two volleyball courts, two pavilions, and walking/jogging paths. The park is used for a variety of youth programming including the Park District's Darien Dash Running Club and the Darien Youth Club's T-ball, Pinto baseball and

Minors softball programs. The park is also used for Darien's annual Darien Dash fundraising event. Other land uses in the area include a gas station/convenience store and animal clinic at the northwest corner of Clarendon Hills Road/Plainfield Road.



**Figure 1**  
**Crosswalk Study Area**

The residential neighborhoods to the east and west of Clarendon Hills Road are located at the east end of the Darien School District 61 boundary area. These homes are served by Mark Delay School (Kindergarten-2<sup>nd</sup> Grade) at 6801 Wilmette Avenue, located just north of 69<sup>th</sup> Street approximately ¾-mile west of Clarendon Hills Road, Lace School (Grades 3-5) at 7414 S. Cass Avenue, and Eisenhower Junior High School (Grades 6-8) at 1410 W. 75<sup>th</sup> Street. For residents located to the east of Clarendon Hills Road, these schools are located beyond a typical comfortable walking distance for primary schools. These residential neighborhoods are also within the boundary area of Hinsdale Township High School District 86's Hinsdale South High School, which is located along the east side of Clarendon Hills Road to the south of Plainfield Road, approximately 1/3-mile south of Roger Road.

## **Roadway Characteristics**

Within the 2/3-mile study segment of Clarendon Hills Road between 67<sup>th</sup> Street and Plainfield Road there are seven points of intersection with adjoining cross streets. A description of these roadways follows.

### Clarendon Hills Road

Clarendon Hills Road is classified as a major collector road under the jurisdiction of the City of Darien. There are seven local streets that intersect Clarendon Hills Road between 67<sup>th</sup> Street and Plainfield Road, including 68<sup>th</sup> Street, 69<sup>th</sup> Street (east leg and west leg), 70<sup>th</sup> Street, Maple Lane, 71<sup>st</sup> Street and Roger Road. Within this corridor there are no stop controls or marked crosswalks on Clarendon Hills Road north of the signalized intersection with Plainfield Road. There are, however, several unmarked crossings of Clarendon Hills Road where the sidewalk extends to the roadway, including at 67<sup>th</sup> Street, 69<sup>th</sup> Street (west leg), 70<sup>th</sup> Street, Maple Lane, 71<sup>st</sup> Street and Roger Road.

To the south of 71<sup>st</sup> Street, Clarendon Hills Road has an approximately 40-foot wide urban cross section (curb and gutter) with one lane in each direction and a striped median. To the north of 71<sup>st</sup> Street, Clarendon Hills Road has an approximately 24-foot wide rural cross section (paved shoulder and ditch) with one lane in each direction. The posted speed limit on Clarendon Hills Road is 30 miles per hour (mph) and parking is not permitted on the roadway south of 71<sup>st</sup> Street. Clarendon Hills Road is a posted bike route north of 71<sup>st</sup> Street and the route continues west along 71<sup>st</sup> Street. Along the west side of the road, there is a continuous 5-foot wide sidewalk from 67<sup>th</sup> Street south to 71<sup>st</sup> Street and a continuous 10-foot wide multi-use path along the park frontage from 71<sup>st</sup> Street south to Plainfield Road. Along the east side of the road there is a 5-foot wide sidewalk that is not continuous through the corridor as there are gaps between 67<sup>th</sup> Street and 69<sup>th</sup> Street, 69<sup>th</sup> Street and 71<sup>st</sup> Street, and 71<sup>st</sup> Street and Roger Road.

### 67<sup>th</sup> Street

67<sup>th</sup> Street is a major collector road at the north end of the Clarendon Hills Road study area. This two-lane roadway has a 25 mph posted speed limit and is under stop control at Clarendon Hills Road. There is a sidewalk along the north side of 67<sup>th</sup> Street to the east of Clarendon Hills Road and a faded parallel-line crosswalk on the east leg of 67<sup>th</sup> Street at Clarendon Hills Road. Sidewalk extensions at this intersection lead pedestrians to the 67<sup>th</sup> Street crosswalk as well as to an unmarked crossing on the south leg of Clarendon Hills Road.

### 68<sup>th</sup> Street

68<sup>th</sup> Street is a local two-lane roadway that extends east of Clarendon Hills Road. Its intersection with Clarendon Hills Road is under stop control on 68<sup>th</sup> Street. The posted speed limit on 68<sup>th</sup> Street is 25 mph and there are no sidewalks along the roadway.

### 69<sup>th</sup> Street

69<sup>th</sup> Street is a local two-lane roadway with a 25 mph posted speed limit. The east leg of 69<sup>th</sup> Street is offset from the west leg of 69<sup>th</sup> Street by approximately 225 feet and both legs of 69<sup>th</sup> Street are under stop control at Clarendon Hills Road. There are no sidewalks along the east leg of 69<sup>th</sup> Street. Along the west leg of 69<sup>th</sup> Street there are sidewalks along both sides of the road which extend to unmarked crossings at Clarendon Hills Road.

### 70<sup>th</sup> Street

70<sup>th</sup> Street is a local two-lane roadway that extends west of Clarendon Hills Road. Its intersection with Clarendon Hills Road is under stop control on 70<sup>th</sup> Street. There are sidewalks along both sides of 70<sup>th</sup> Street which extend to unmarked crossings at Clarendon Hills Road.

### Maple Lane

Maple Lane is a local two-lane roadway that extends west of Clarendon Hills Road. Its intersection with Clarendon Hills Road is under stop control on 70<sup>th</sup> Street. The posted speed limit on Maple Lane is 25 mph and there are sidewalks along both sides of the road which extend to unmarked crossings at Clarendon Hills Road.

### 71<sup>st</sup> Street

71<sup>st</sup> Street is a posted bike route and local two-lane roadway that extends west of Clarendon Hills Road. Its approach to Clarendon Hills Road is under stop control and is channelized with separate left- and right-turn lanes and a parallel-line crosswalk. The posted speed limit on 71<sup>st</sup> Street is 25 mph and there is a sidewalk along the north side of the road which extends to an unmarked crossing at Clarendon Hills Road.

### Roger Road

Roger Road is a local two-lane roadway that extends east of Clarendon Hills Road to Plainfield Road and provides access to 17 homes. Its intersection with Clarendon Hills Road is under stop control on Roger Road and there is a ladder-style crosswalk on Roger Road. The posted speed limit on Roger Road is 25 mph and there are no sidewalks along the roadway. There are sidewalk extensions located on both sides of Clarendon Hills Road, immediately south of Roger Road, which lead pedestrians to an unmarked crossing on Clarendon Hills Road. These sidewalk extensions are offset from each other by approximately 15 feet. There are no sidewalks on Roger Road.

### Plainfield Road

Plainfield Road is a minor arterial roadway at the south end of the Clarendon Hills Road study area. This four-lane roadway has a 40 mph posted speed limit and is under traffic signal control at Clarendon Hills Road with push-button actuated pedestrian signals and high visibility continental-style crosswalks on all four legs of the intersection. There are also sidewalks along both sides of Plainfield Road.

Figure 2 through 5 show aerial views of the Clarendon Hills Road corridor from Plainfield Road north to 67<sup>th</sup> Street. Street level photographs of this segment of Clarendon Hills Road are contained in the Appendix.

Figure 6 shows the existing roadway characteristics in the Clarendon Hills Road corridor, including lane configurations, traffic controls, speed limits, and pedestrian and bicycle facilities.



**Figure 2**  
**Clarendon Hills Road**  
**(Plainfield Road-Roger Road)**



**Figure 3**  
**Clarendon Hills Road**  
**(70<sup>th</sup> Street-71<sup>st</sup> Street)**

## **Public Transportation**

There are two Pace bus routes that operate along Clarendon Hills Road. There are no bus stops or shelters along the road but buses will stop if a rider gives a hand-signal to the driver at any intersection along the route.

Route 663 (Darien-Clarendon Hills) provides weekday rush hour peak-direction service from Plainfield Road/Clarendon Hills Road to the Clarendon Hills Metra station via Clarendon Hills Road and 71<sup>st</sup> Street. There are four northbound trips in the morning between 5:17 A.M. and 7:43 A.M. and three southbound trips in the afternoon between 5:30 P.M. and 7:01 P.M. No weekend or holiday service is offered.

Route 664 (Willowbrook-Clarendon Hills) provides weekday rush hour peak-direction service from Mockingbird Lane/Clarendon Hills Road to the Clarendon Hills Metra station via Clarendon Hills Road. There are three northbound trips in the morning between 6:06 A.M. and 7:45 A.M. and three southbound trips in the afternoon between 5:30 P.M. and 7:01 P.M. No weekend or holiday service is offered.





**Figure 4**  
**Clarendon Hills Road**  
**(at 69<sup>th</sup> Street)**



**Figure 5**  
**Clarendon Hills Road**  
**(67<sup>th</sup> Street-68<sup>th</sup> Street)**

### Traffic Volumes and Vehicle Classification

Traffic volumes and vehicle classification data were collected over a 24-hour period on Tuesday, May 24, 2016 on Clarendon Hills Road between 69<sup>th</sup> Street and 70<sup>th</sup> Street. The traffic volume and classification data was averaged and is summarized in Table 1.

Table 1

**CLARENDON HILLS ROAD TRAFFIC VOLUMES/CLASSIFICATIONS (69<sup>th</sup> St-70<sup>th</sup> St)**

Roadway Section	Volume	Vehicle Classification			
	ADT	Passenger Cars/Vans	Buses	Single-Unit Trucks	Articulated Trucks
Clarendon Hills Rd - NB	6,352	98.1%	1.0%	0.8%	0.1%
Clarendon Hills Rd - SB	5,313	97.9%	0.8%	1.2%	0.1%
Two-Way Traffic	11,665	98.0%	0.9%	1.0%	0.1%

Notes: ADT = Average Daily Traffic    NB-Northbound    SB-Southbound



As shown in Table 1, the study area segment of Clarendon Hills Road carries approximately 11,700 vehicles per day and is comprised primarily of automobiles and small vans.

Additional traffic volume data was collected on the same day at the intersections of Clarendon Hills Road with 69<sup>th</sup> Street, 68<sup>th</sup> Street and Roger Road. These volumes were collected during the afternoon after-school period from 3:00 P.M. to 6:00 P.M. when pedestrians would likely be traveling to and from Darien Community Park. The common peak hour when traffic levels were highest occurred between 4:45 and 5:45 P.M. The peak hour traffic volumes from this time period are shown in Figure 7.

## Bicycle Volumes

Bicycle volumes on this segment of Clarendon Hills Road were also counted over the same 24-hour period on May 24, 2016 and at the same location as the traffic count between 69<sup>th</sup> Street and 70<sup>th</sup> Street. As noted previously, this segment of Clarendon Hills Road is a posted bike route.

Table 2  
CLARENDON HILLS ROAD BICYCLE VOLUMES (69<sup>th</sup> St-70<sup>th</sup> St)

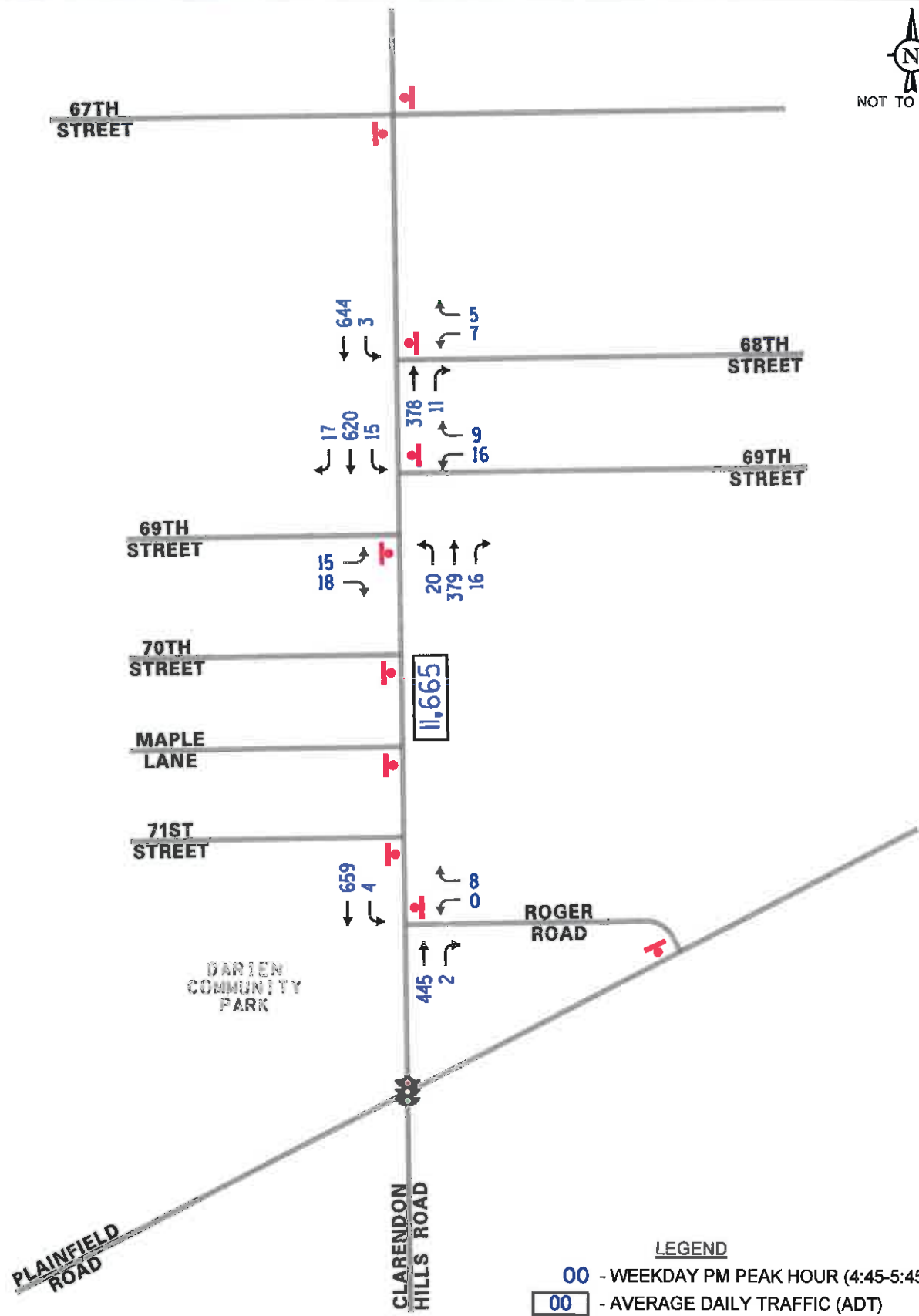
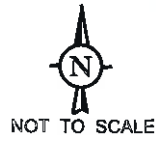
Roadway Section	Bicycle Volume (24-Hour)
Clarendon Hills Rd - NB	38
Clarendon Hills Rd - SB	33
Two-Way Bicycle Volumes	71
Notes: NB-Northbound SB-Southbound	

## Pedestrian Volumes

Pedestrian volumes crossing Clarendon Hills Road were collected on two separate days. The first count was performed on the same day as the traffic counts (Tuesday, May 24, 2016) during the afternoon after-school period from 3:00 P.M. to 6:00 P.M. at the intersections of Clarendon Hills Road with 69<sup>th</sup> Street, 68<sup>th</sup> Street and Roger Road. The second count was performed on Saturday, July 9, 2016 from 10:00 A.M. to 5:00 P.M. at all intersections between 68<sup>th</sup> Street and Roger Road. Weather conditions were clear and warm on both occasions.

The pedestrian crossing volumes are summarized in Table 3. In general, the pedestrian crossing volumes were higher on the Saturday count when compared with the weekday evening count. In total, 36 pedestrians were observed crossing this segment of Clarendon Hills Road over a 7-hour period on July 9, 2016 with the majority crossing the roadway at 69<sup>th</sup> Street and 71<sup>st</sup> Street. Approximately 42 percent of the pedestrians crossings were by school-age children, approximately one-half of which were unaccompanied by an adult. All adults and accompanied children had sufficient time to walk across the roadway. Almost all unaccompanied children ran across the roadway.

Figure 8 shows the pedestrian crossing volumes at the cross streets along Clarendon Hills Road.



**LEGEND**  
 00 - WEEKDAY PM PEAK HOUR (4:45-5:45 PM)  
 00 - AVERAGE DAILY TRAFFIC (ADT)

PROJECT:  
 Pedestrian Crossing  
 Assesment  
 Darien, Illinois

TITLE:  
 Existing Traffic Volumes



Figure: 7

**Table 3**  
**CLARENDON HILLS ROAD PEDESTRIAN CROSSINGS**

Date of Count	Time Period	Count Location						Total
		Roger Rd	71 <sup>st</sup> St	Maple Ln	70 <sup>th</sup> St	69 <sup>th</sup> St	68 <sup>th</sup> St	
Tuesday, May 24, 2016 (weather: warm, clear)	3 PM–6 PM	3	*	*	*	0	0	3
Saturday, July 9, 2016 (weather: warm, clear)	10 AM–5 PM	4	11	2	6	13	0	36

\* No data collected at this location

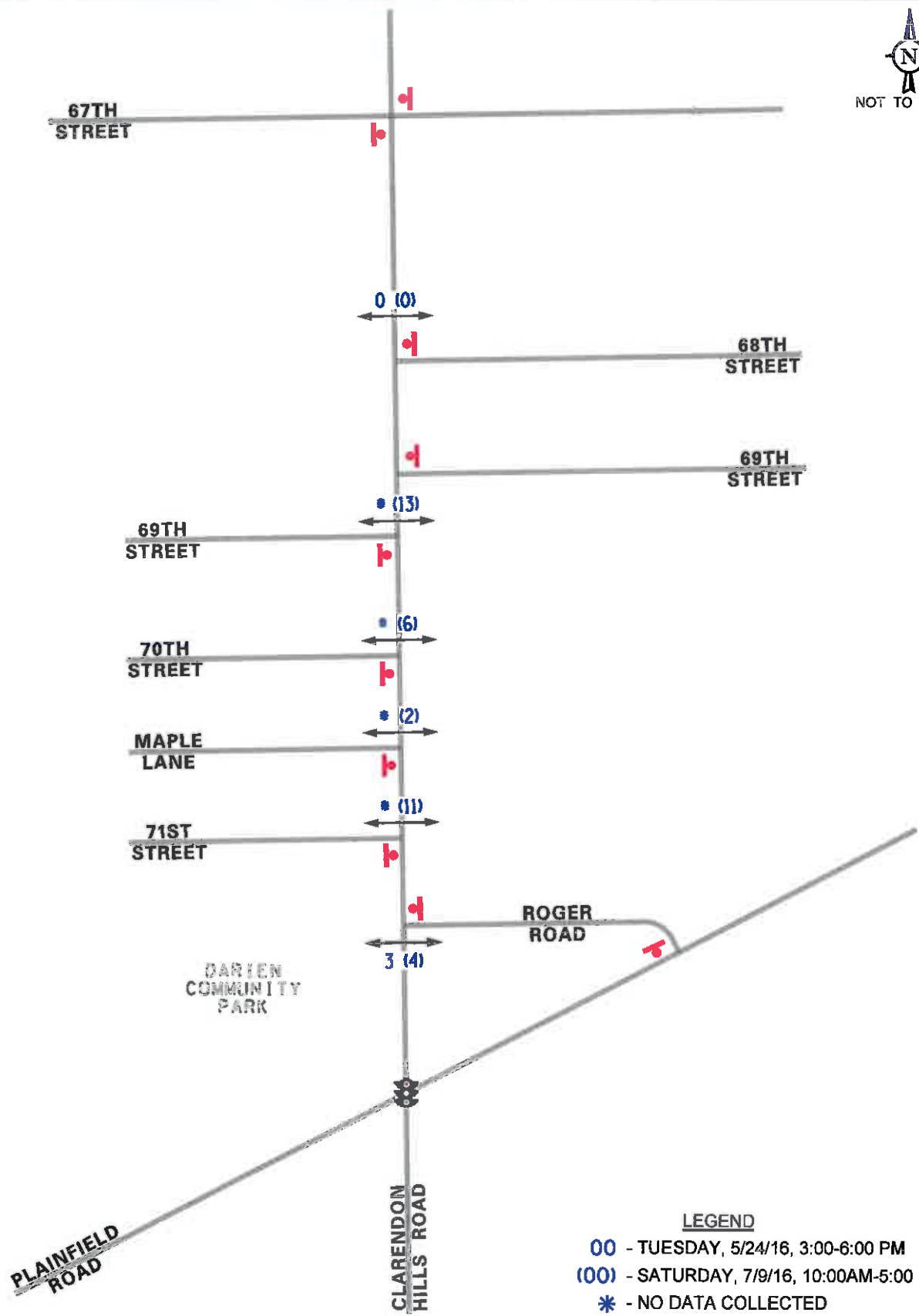
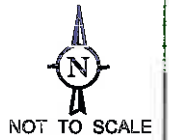
### Traffic Crash Data

Traffic crash data was obtained from IDOT for a five-year period from January 1, 2010 through December 31, 2014 for the uncontrolled segment of Clarendon Hills Road between 67<sup>th</sup> Street and Plainfield Road. The data indicated that over this five-year period there has been one vehicle-pedestrian crash by a vehicle hitting a pedestrian crossing the road, which occurred at 69<sup>th</sup> Street where there are presently no crosswalks or pedestrian signage. This crash resulted in a non-capacitating injury to the pedestrian, as shown in Table 4. There were also three vehicle-bicycle crashes over this five-year period, one occurring on Maple Lane and two on Plainfield Road, but none were by bicyclists crossing Clarendon Hills Road.

**Table 4**  
**VEHICLE-PEDESTRIAN CRASH HISTORY ON CLARENDON HILLS ROAD**  
**(67<sup>th</sup> STREET-PLAINFIELD ROAD, 2010-2014)**

Date	Location	Severity				
		Fatality	Incapacitating Injury	Non-Incapacitating Injury	Possible Injury	No Injury
6/13/2013	Clarendon Hills Road at 69 <sup>th</sup> Street	<u>0</u>	<u>0</u>	<u>1</u>	<u>0</u>	<u>0</u>
	Total	0	0	1	0	0
	Average/Year	0.0	0.0	0.2	0.0	0.0





- LEGEND**
- 00 - TUESDAY, 5/24/16, 3:00-6:00 PM
  - (00) - SATURDAY, 7/9/16, 10:00AM-5:00 PM
  - \* - NO DATA COLLECTED

PROJECT:  
**Pedestrian Crossing  
 Assesment  
 Darien, Illinois**

TITLE:  
**Existing Pedestrian and Bicycle  
 Traffic Volumes**

**KLOA**  
 Job No: 16-155  
 Figure: 8

## **Pedestrian Crossing Analysis**

The pedestrian crossings along the study segment of Clarendon Hills Road were evaluated against applicable Federal and State standards and pedestrian crossing guidelines to determine if a marked crosswalk is warranted, and if so, to determine the ideal location for the crosswalk and the type of safety measures that could be installed to supplement the crossing. The evaluation assumes that a new marked crosswalk would concentrate the pedestrian crossings into a single location along the corridor although this assumption would be contingent upon the infill of sidewalk gaps along the east side of the roadway.

### **Reference Resources**

Several resources were referenced in evaluating the appropriateness of a marked crosswalk and associated pedestrian crossing treatments, including the following publications:

- *Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD)*, Federal Highway Administration, 2009 Edition.
- *Illinois Supplement to the National Manual on Uniform Traffic Control Devices (MUTCD)*, Illinois Department of Transportation, 2009
- *Improving Pedestrian Safety at Unsignalized Crossings* (TCRP Report 112/NCHRP Report 562), Transportation Research Board, 2006.
- *Safety Effects of Marked Versus Unmarked Crosswalks at Uncontrolled Locations*, Federal Highway Administration, September 2005.
- *Design and Safety of Pedestrian Facilities*, Institute of Transportation Engineers, 1998
- *Guidelines for the Installation of Crosswalk Markings*, Steven A. Smith and Richard L. Knoblauch, Transportation Research Record 1141, Transportation Research Board, 1987.

### **Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD)**

The Federal *Manual on Uniform Traffic Control Devices (MUTCD)* indicates the following guidance regarding the installation of a marked crosswalk:

*“Crosswalk lines should not be used indiscriminately. An engineering study should be performed before a marked crosswalk is installed at a location away from a traffic control signal or an approach controlled by a STOP or YIELD sign. The engineering study should consider the number of lanes, the presence of a median, the distance from adjacent signalized intersections, the pedestrian volumes and delays, the average daily traffic (ADT), the posted or statutory speed limit or 85th percentile speed, the geometry of the location, the possible consolidation of multiple crossing points, the availability of street lighting and other appropriate factors.”*

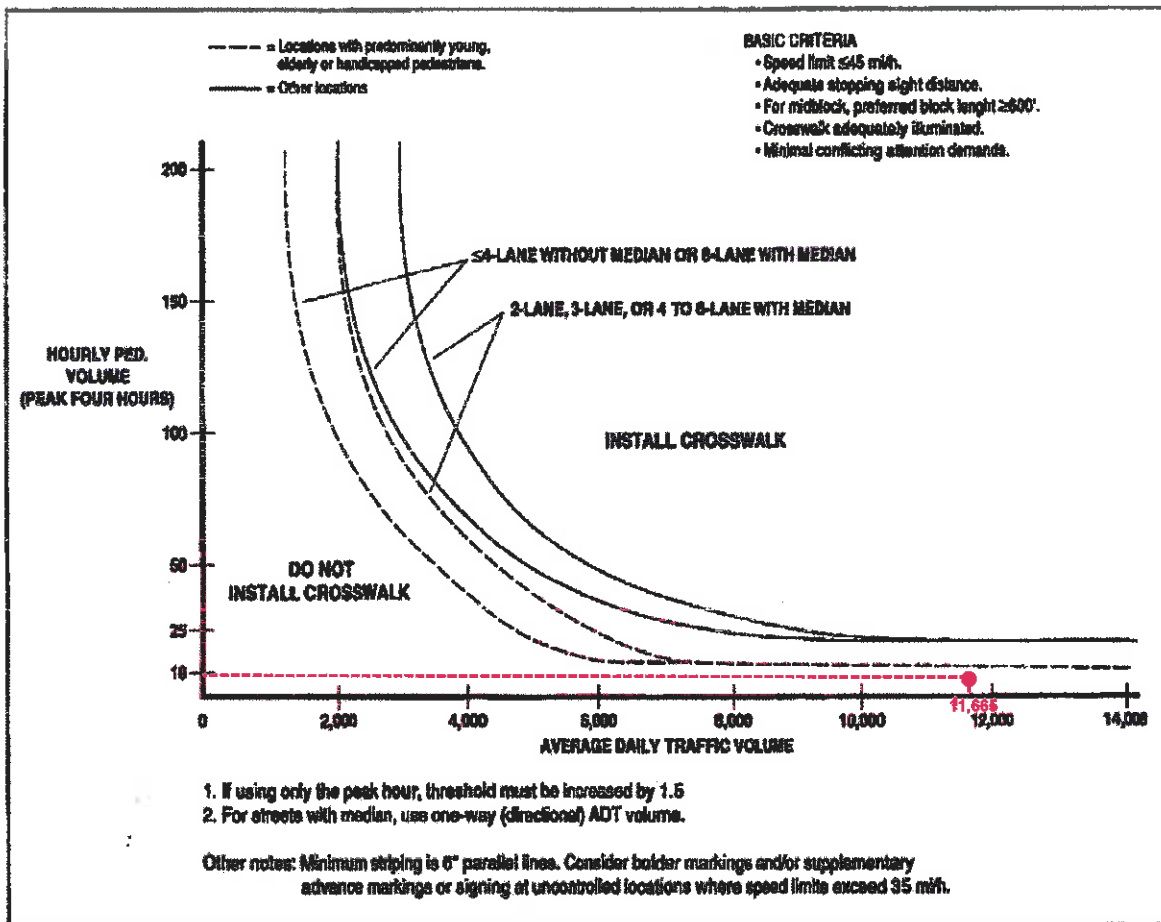
### **TCRP Report 112/NCHRP Report 562**

The TCRP 112/NCHRP 562 report includes guidelines and a worksheet for the selection of pedestrian crossing treatments at unsignalized and mid-block locations based on several variables, including traffic volume and speed, pedestrian volume and walking speed, and street

width/crossing distances. Data input into the worksheet, which is attached to this memorandum for reference, includes the peak hour traffic counts on Clarendon Hills Road and a pedestrian crossing volume of 5-10 pedestrians per hour, which conservatively assumes that all pedestrian crossings could be consolidated into a single location along the roadway. *The worksheet indicates that a marked crosswalk is not appropriate on Clarendon Hills Road, due primarily to the low pedestrian crossing volume, and other treatments should be considered instead such as raised median islands and/or curb extensions.*

### ITE Design and Safety of Pedestrian Facilities

The ITE publication *Design and Safety of Pedestrian Facilities* includes criteria developed by the Transportation Research Board for determining when crosswalk markings should be considered, based on roadway width, traffic and pedestrian volumes, presence of a median, and composition of pedestrians (i.e., adults, children, elderly, disabled). The criteria graph from this publication, shown below, indicates that an hourly pedestrian volume of 15 crossings per hour would be required for at least four hours for a marked crosswalk to be appropriate at a location along Clarendon Hills Road. *The observed pedestrian crossings on Clarendon Hills Road, in total, are around 5-10 pedestrians per hour, indicating that a crosswalk is not appropriate.*



Source: Guidelines for the Installation of Crosswalk Markings, Steven A. Smith & Richard L. Knoblauch, Transportation Research Record 1141, Transportation Research Board, Washington, D.C., 1987.

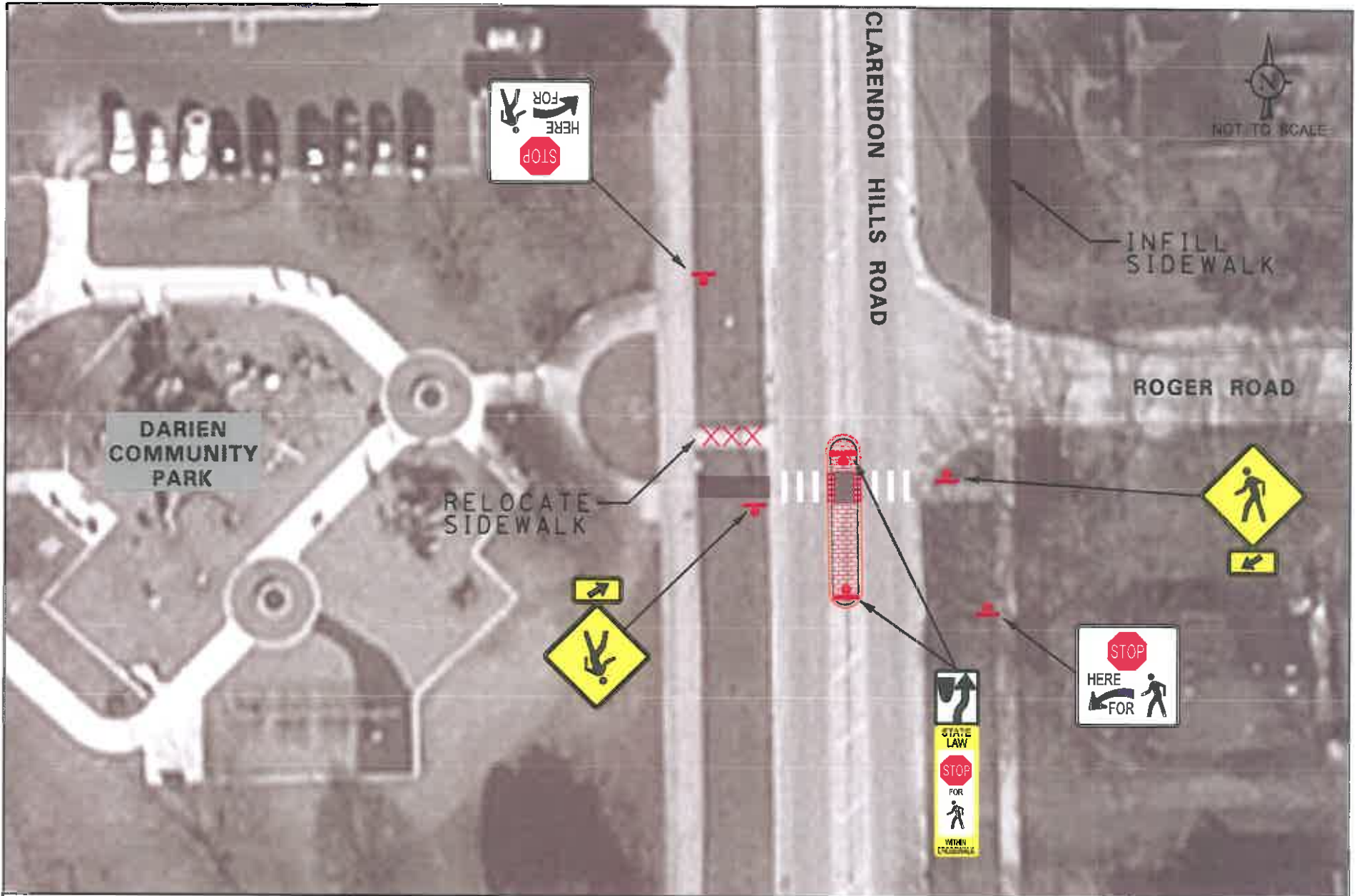
## Summary of Analysis

*The TCRP 112/NCHRP 562 guidelines and ITE criteria indicated that a marked crosswalk is not appropriate at any one location on Clarendon Hills Road between 67<sup>th</sup> Street and Plainfield Road. While these guidelines and criteria indicate a crosswalk is not appropriate, KLOA, Inc. understands the City's desire to improve pedestrian safety along Clarendon Hills Road. The MUTCD guidance leaves the determination on the appropriateness of a crosswalk on the findings of an engineering study, which is represented by this report. Based on the data collected and the variables evaluated in the TCRP 112/NCHRP 562 and ITE analysis, if the City still desires to pursue a marked crosswalk along Clarendon Hills Road, it is the recommendation of KLOA, Inc. that the crosswalk be installed at Roger Road for the reasons discussed below. **This recommendation, however, is contingent on the installation of several supporting safety measures discussed in the next section, such as a raised refuge island, pedestrian crossing signs, and sidewalk extensions and relocations.***

- The proximity of Darien Community Park currently draws pedestrians across Clarendon Hills Road on a regular basis, including a high proportion of children, as demonstrated in the pedestrian count.
- Typical travel speeds on Clarendon Hills Road are likely in the 30-40 mph range due to the 30 mph posted speed limit. The fact that children are running across the road suggests concern about the danger of traffic moving at these speeds.
- The crossing at Roger Road would be adjacent to, and in direct alignment with, the largest playground at Darien Community Park.
- The cross section of Clarendon Road at Roger Road includes a painted median which can be retrofitted with a raised pedestrian refuge island to harbor pedestrians crossing the street without having to widen the roadway as would be required to the north of Roger Road. With a refuge island, pedestrians at Roger Road would only have to cross one 12-foot lane at a time as opposed to having to cross both lanes of traffic (24 feet) at the same time further to the north on Clarendon Hills Road where no median is present.
- There are already sidewalk extensions in place at the Roger Road location that lead pedestrians to a crossing point on Clarendon Hills Road.
- If a continuous sidewalk could be installed along the east side of Clarendon Hills Road, it is likely that many of the current pedestrian crossings at the various cross streets to the north of Roger Road would be consolidated at a marked crossing at Roger Road instead.

## Recommended Crosswalk Design

Figure 9 presents a concept plan of the potential crosswalk on Clarendon Hills Road at Roger Road. The supporting safety measures that are recommended to supplement the crosswalk are listed below, as are measures to draw pedestrians to the crosswalk instead of crossing Clarendon Hills Road at other unmarked locations. The crosswalk treatments shown in Figure 9 would accommodate pedestrians with physical impairments by including detectable warning strips with truncated domes across the curb ramps leading up to the crosswalk and through the refuge island.



PROJECT:  
 Pedestrian Crossing  
 Assessment  
 Darien, Illinois

TITLE:  
 Pedestrian Crossing Improvements

**KLOA**  
 Job No: 16-155  
 Figure: 9

Figures 10 and 11 show concept plans of two advance pedestrian crossing signage options to further supplement the crosswalk treatment in Figure 9. Option 1 utilizes advance pedestrian crossing signs while Option 2 utilizes a reduced speed Park Zone instead.

### **Pedestrian Crossing Improvements**

- Relocate the sidewalk extension/curb ramp on the west side of the road to align with the existing sidewalk extension/curb ramp on the east side of the road.
- Install a raised pedestrian refuge island with ADA-accessible pass-through within the median of Clarendon Hills Road and aligned with the sidewalk extensions.
- Install In-Street fluorescent yellow-green pedestrian crossing signs (R1-6a) and Keep Right signs (R4-7) at each end of the island
- Install crosswalk with high-visibility, continental-style crosswalk markings
- Install two-sided fluorescent yellow-green pedestrian crossing signs (W11-2) with diagonal downward pointing arrow (W16-7p) at the crosswalk on both sides of the roadway.
- Install Stop Here for Pedestrians signs (R1-5b) in advance of the crosswalk in both directions of travel on Clarendon Hills Road. Signs should be offset from the pedestrian crossing signs so as not to impair the line of sight to the pedestrian crossing signs.

### **Advance Pedestrian Crossing Signage (Option 1)**

- Install advance fluorescent yellow-green pedestrian crossing signs (W11-2) with AHEAD plaque (W16-9p) in advance of the crosswalk on the northbound and southbound sides of Clarendon Hills Road.
- Install playground signs (W15-1) along Clarendon Hills Road, similar to the signs on 71<sup>st</sup> Street, or Park Zone (W15-I100) signs.

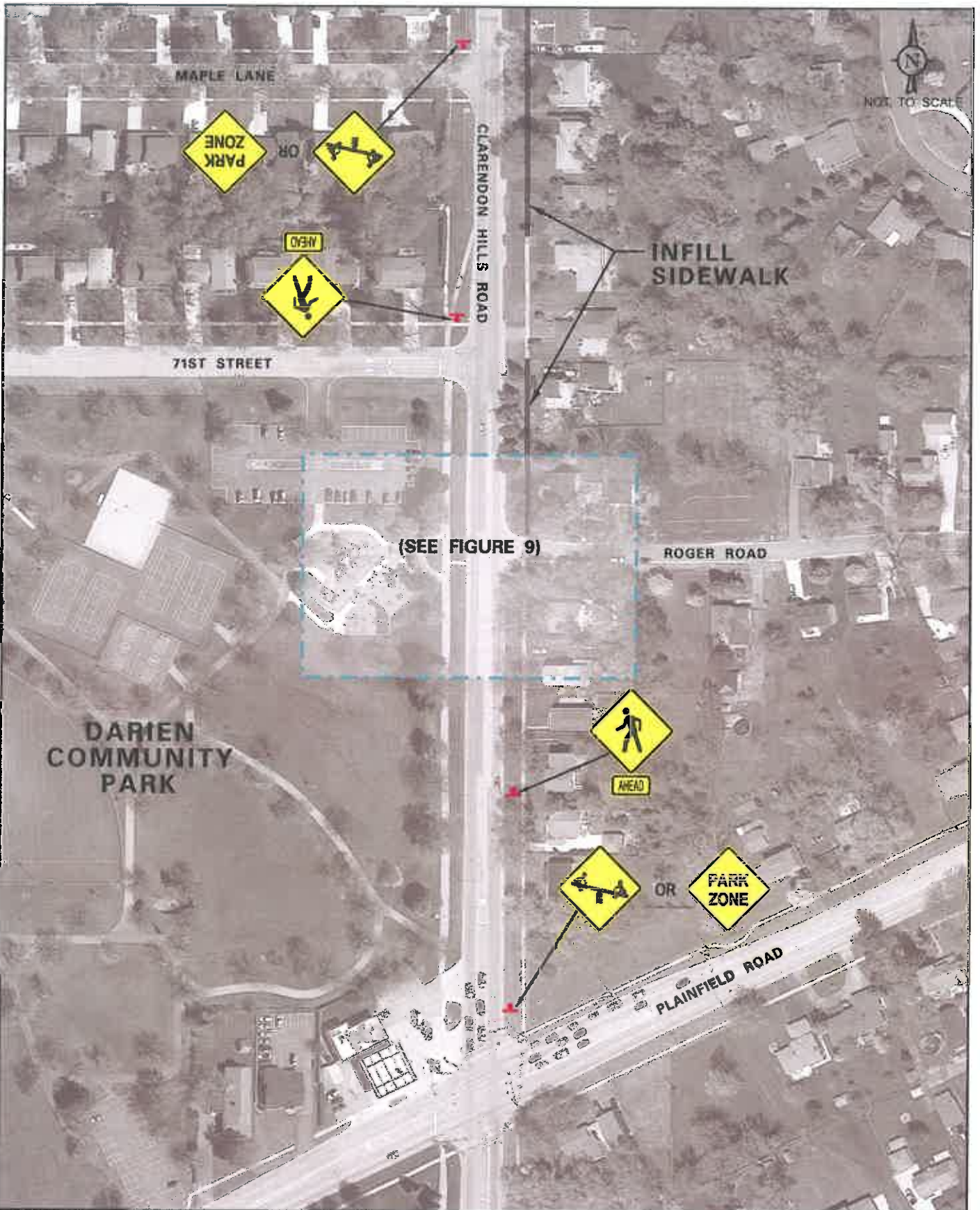
### **Advance Pedestrian Crossing Signage (Option 2)**

- Work with the Darien Park District to enact a “Park Zone Speed Limit” policy by ordinance or resolution per Section 5/11-605.3 of the Illinois Vehicle Code and the Illinois Supplement of the *MUTCD*. Then establish a Park Speed Zone adjacent to Darien Community Park.
- Install *Park Zone Speed Limit 20 MPH When Children Are Present* signs (R2-I108) along Clarendon Hills Road in advance of the proposed crosswalk at Roger Road.
- Install Reduced Speed Limit Ahead signs (W3-5) with a Park Zone plaque (W15-I100p) in advance of the park zone speed limit sign.

### **Sidewalk Continuity Improvements**

- Install sidewalk along the east side of Clarendon Hills Road to infill gaps in the pedestrian system between Roger Road and 67<sup>th</sup> Street.





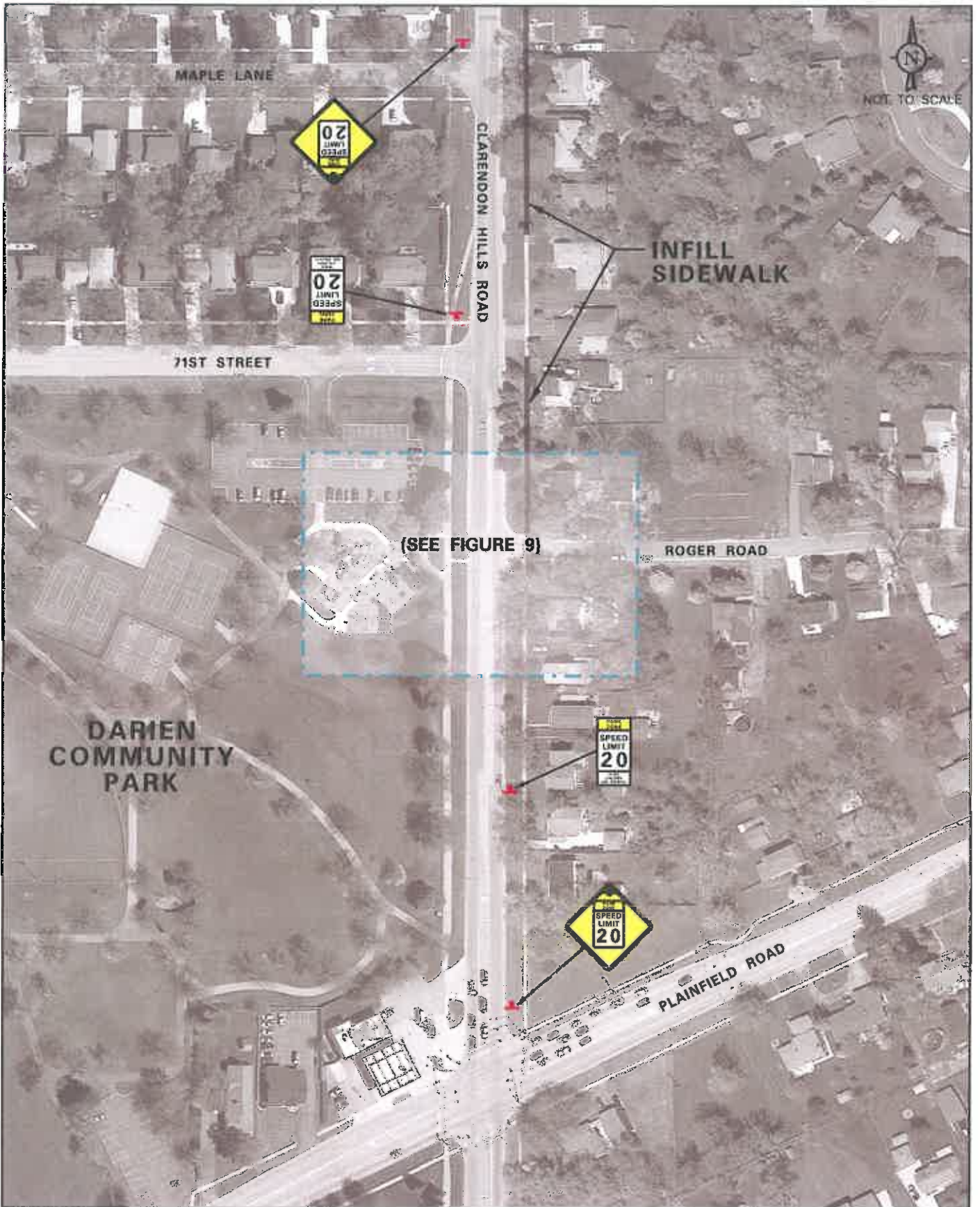
PROJECT:  
**Pedestrian Crossing  
 Assessment  
 Darien, Illinois**

TITLE:  
**Advance Pedestrian Crossing Signage  
 (Option 1)**

**KLOA**  
 Job No: 16-155

Figure: 10





PROJECT:  
**Pedestrian Crossing  
 Assessment  
 Darien, Illinois**

TITLE:  
**Advance Pedestrian Crossing Signage  
 (Option 2)**

**KLOA**  
 Job No: 16-155  
 Figure: 11

Figure 12 shows an example of the recommended mid-block pedestrian crossing treatment from a similar-sized roadway to Clarendon Hills Road. This example crosswalk is on Old US 63 in Columbia, Missouri, adjacent to Stephens Lake Park. The roadway in this section has a 35 mph speed limit and is a bicycle route with shared-lane (sharrow) markings.



**Figure 12**  
**Example of Recommended Midblock Pedestrian Crossing Treatment**

## **Conclusions**

This Pedestrian Crossing Assessment of the segment of Clarendon Hills Road between 67<sup>th</sup> Street and Plainfield Road has concluded that a mid-block pedestrian crossing on Clarendon Hills Road is not appropriate based on TCRP 112/NCHRP 562 guidelines and ITE criteria.

Guidance from the MUTCD, however, leaves the determination on the appropriateness of a crosswalk on the findings of an engineering study, which is represented by this report. Based on the data collected and the variables evaluated in the TCRP 112/NCHRP 562 and ITE analysis, if the City still desires to pursue a marked crosswalk along Clarendon Hills Road, it is the recommendation of KLOA, Inc. that the crosswalk be installed at Roger Road for the reasons discussed in this report.

The recommendation is contingent upon the installation of several supplemental measures that will increase pedestrian safety, improve visibility of the crossing to motorists, calm traffic speeds, and draw pedestrians to the crosswalk instead of crossing Clarendon Hills Road at other unmarked locations. These measures include a raised refuge island, pedestrian crossing signs, advance pedestrian crossing and/or Park Zone signs, and sidewalk extensions and relocations.

# **APPENDIX**

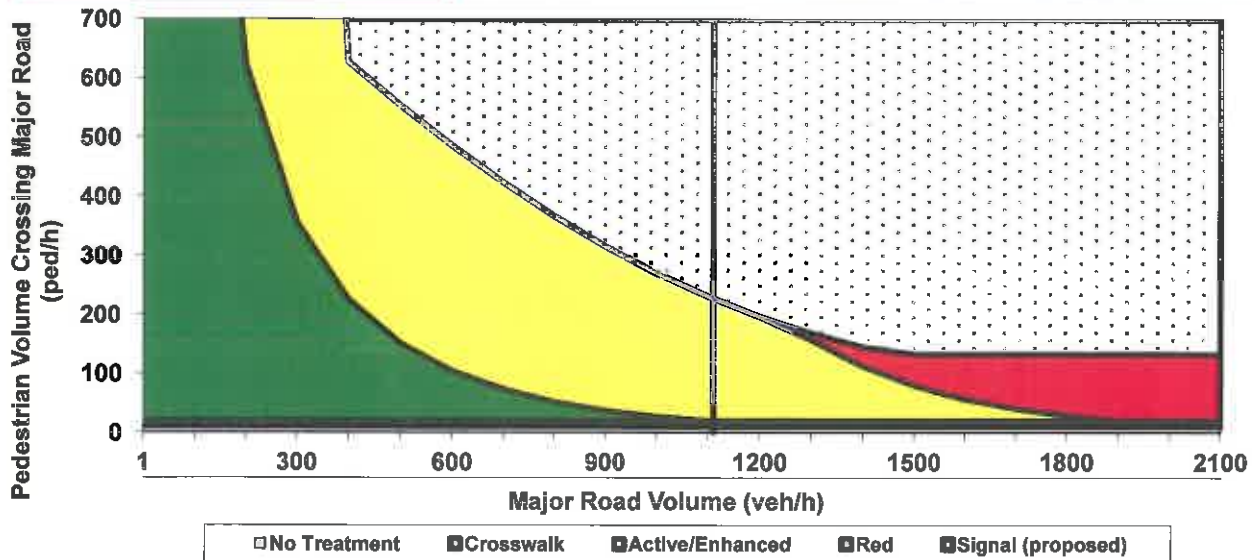


## GUIDELINES FOR PEDESTRIAN CROSSING TREATMENTS

This spreadsheet combines Worksheet 1 and Worksheet 2 (Appendix A, pages 69-70) of TCRP Report 112/NCHRP Report 562 (*Improving Pedestrian Safety at Unsignalized Intersections*) into an electronic format. This spreadsheet should be used in conjunction with, and not independent of, Appendix A documentation.

<b>Key</b>	This spreadsheet is still under development, please inform TTI if errors are identified.
	Blue fields contain descriptive information.
	Green fields are required and must be completed.
	Tan fields are adjustments that are filled out only under certain conditions (follow instructions to the left of the cell).
	Gray fields are automatically calculated and should not be edited.

Analyst and Site Information			
Analyst	EDR	Major Street	Clarendon Hills Road
Analysis Date	July 15, 2016	Minor Street or Location	Roger Road
Data Collection Date		Peak Hour	
Step 1: Select worksheet:			
Posted or statutory speed limit (or 85th percentile speed) on the major street (mph)	1a		30
Is the population of the surrounding area <10,000? (enter YES or NO)	1b		No
Step 2: Does the crossing meet minimum pedestrian volumes to be considered for a traffic control device?			
Peak-hour pedestrian volume (ped/h), V <sub>p</sub>	2a		10
Result: Consider raised median islands, curb extensions, traffic calming, etc. as feasible.			
Step 3: Does the crossing meet the pedestrian warrant for a traffic signal?			
Major road volume, total of both approaches during peak hour (veh/h), V <sub>major</sub>	3a		1110
[Calculated automatically] Preliminary (before min. threshold) peak hour pedestrian volume to meet warrant	3b		10
[Calculated automatically] Minimum required peak hour pedestrian volume to meet traffic signal warrant	3c		10
Is 15th percentile crossing speed of pedestrians less than 3.5 ft/s (1.1 m/s)? (enter YES or NO)	3d		No
If 15th percentile crossing speed of pedestrians is less than 3.5 ft/s (1.1 m/s), then reduce 3c by up to 50%.	% rate of reduction for 3c (up to 50%)	3e	
	Reduced value or 3c	3f	10
Result:			
Step 4: Estimate pedestrian delay.			
Pedestrian crossing distance, curb to curb (ft), L	4a		40
Pedestrian walking speed (ft/s), S <sub>p</sub> (suggested speed = 3.5 ft/s)	4b		3.5
Pedestrian start-up time and end clearance time (s), t <sub>s</sub> (suggested start-up time = 3 sec)	4c		3
[Calculated automatically] Critical gap required for crossing pedestrian (s), t <sub>c</sub>	4d		10
Major road volume, total both approaches OR approach being crossed if raised median island is present, during peak hour (veh/h), V <sub>major-d</sub>	4e		1110
Major road flow rate (veh/s), v	4f		3.1
Average pedestrian delay (s/person), d <sub>p</sub>	4g		3.0
Total pedestrian delay (h), D <sub>p</sub> The value in 4h is the calculated estimated delay for all pedestrians crossing the major roadway without a crossing treatment (assumes 0% compliance). If the actual total pedestrian delay has been measured at the site, that value can be entered in 4i to replace the calculated value in 4h.	4h		1.0
	4i		
Step 5: Select treatment based up on total pedestrian delay and expected motorist compliance.			
Expected motorist compliance at pedestrian crossings in region: enter HIGH for High Compliance or LOW for Low Compliance	5a		HIGH
<b>Treatment Category:</b>	<b>Consider raised median islands, curb extensions, traffic calming, etc. as feasible.</b>		



This worksheet provides general recommendations on pedestrian crossing treatments to consider at unsignalized intersections; in all cases, engineering judgment should be used in selecting a specific treatment for installation. This worksheet does not apply to school crossings. In addition to the results provided by this worksheet, users should consider whether a pedestrian treatment could present an increased safety risk to pedestrians, such as where there is poor sight distance, complex geometrics, or nearby traffic signals.





**View Looking North on Clarendon Hills Road at Roger Road**



**View Looking South on Clarendon Hills Road at 71<sup>st</sup> Street**



**View Looking South on Clarendon Hills Road at Maple Lane**



**View Looking North on Clarendon Hills Road at 70<sup>th</sup> Street**



**View Looking North on Clarendon Hills Road at 69<sup>th</sup> Street (West Leg)**



**View Looking North on Clarendon Hills Road at 69<sup>th</sup> Street (East Leg)**





**View Looking North on Clarendon Hills Road at 68<sup>th</sup> Street**



**View Looking North on Clarendon Hills Road at 67<sup>th</sup> Street**



**View Looking South on Clarendon Hills Road at Plainfield Road**

**AGENDA MEMO**  
**Municipal Services Committee**  
**August 22, 2016**

**ISSUE STATEMENT**

A resolution accepting the unit price proposal from Acres Group for the purchase and installation of the 50/50 Parkway Tree Program and the Parkway Tree Replacement Program in an amount not to exceed \$70,500.00

**BACKGROUND/HISTORY**

The 2016 Tree Planting Program calls out for the following:

- **City and Resident 50/50 Parkway Tree Planting Program**  
Staff has included \$4,000 (\$2,000 City funding and \$2,000 Resident funding) cost for residents that would like to participate in the 50/50 program.
- **Storm, Ash Tree, and Project Related Replacement and 75<sup>th</sup> Street**  
The program would allow for the planting of 2.5-inch and 4-inch caliper trees as part of the replacement of trees removed due to the Emerald Ash Borer, dead tree replacement and project related tree planting.

Staff had advertised and sent out invitations to bid and received four (4) sealed bids on July 20, 2016, attached and labeled as Attachment A. Acres Group was the lowest bidder.

The program includes various selections of 2 ½ - 4 inch caliper trees, planting, mulching and a one-year guarantee. The program again includes a Private Property Tree Planting Program for residents at a pass through cost, see Attachment B. While the City is administering the Private Property Tree Planting Program, the property owner would be responsible for ordering and providing a payment directly to the awarded vendor.

The program is targeted to begin in late September, pending weather and will be advertised through the City's various media portals thus affording residents ample time to participate in the program.

**STAFF RECOMMENDATION**

Staff recommends approval accepting the unit price proposal from Acres Group for the purchase and installation of the 50/50 Parkway Tree Program and the planting of various parkway trees in an amount not to exceed \$70,500.

**ALTERNATE CONSIDERATION**

As directed by Municipal Services

**DECISION MODE**

This item will be placed on the September 6, 2016 City Council agenda for formal consideration.



## 2016 CITY OF DARIEN TREE BID - PARKWAYS &amp; PRIVATE PROPERTY

## BID OPENING RESULTS JULY 20, 2016

VENDOR			Grounds Keeper Landscape Care	Acres Group	Brancato Landscaping	Beary Landscaping
VARIABLE QUANTITY	DIAMETER	SPECIES	PRICE PER TREE PLANTED PARKWAYS	PRICE PER TREE PLANTED PARKWAYS	PRICE PER TREE PLANTED PARKWAYS	PRICE PER TREE PLANTED PARKWAYS
1-10	4"	American Linden	\$ 611.50	\$ 528.00	\$ 500.00	\$ 590.00
11-20	4"	American Linden	\$ 611.50	\$ 518.00	\$ 500.00	\$ 590.00
1-10	4"	Norway Maple	\$ 652.75	\$ 500.00	\$ 500.00	\$ 590.00
11-20	4"	Norway Maple	\$ 652.75	\$ 490.00	\$ 500.00	\$ 590.00
1-10	4"	Thomless Honeylocust	\$ 611.50	\$ 605.00	\$ 500.00	\$ 590.00
11-20	4"	Thomless Honeylocust	\$ 611.50	\$ 595.00	\$ 500.00	\$ 590.00
1-10	4"	Red Maple	\$ 628.00	\$ 695.00	\$ 525.00	\$ 615.00
11-20	4"	Red Maple	\$ 628.00	\$ 685.00	\$ 525.00	\$ 615.00
1-10	4"	Chanticleer Pear	\$ 660.00	\$ 580.00	\$ 525.00	\$ 595.00
11-20	4"	Chanticleer Pear	\$ 660.00	\$ 570.00	\$ 525.00	\$ 595.00
1-10	4"	Freeman Maple	\$ 660.00	\$ 605.00	\$ 525.00	\$ 605.00
11-20	4"	Freeman Maple	\$ 660.00	\$ 595.00	\$ 525.00	\$ 605.00
1-10	4"	Sugar Maple	\$ 661.00	\$ 540.00	\$ 565.00	\$ 605.00
11-20	4"	*Sugar Maple	\$ 661.00	\$ 530.00	\$ 565.00	\$ 605.00
11-20	2.5"	American Linden	\$ 398.40	\$ 320.00	\$ 420.00	\$ 375.00
1-10	2.5"	Norway Maple	\$ 408.30	\$ 300.00	\$ 420.00	\$ 375.00
11-20	2.5"	Norway Maple	\$ 408.30	\$ 300.00	\$ 420.00	\$ 375.00
1-10	2.5"	Honeylocust Skyline	\$ 388.50	\$ 310.00	\$ 420.00	\$ 375.00
11-20	2.5"	Honeylocust Skyline	\$ 388.50	\$ 300.00	\$ 420.00	\$ 375.00
1-10	2.5"	Red Maple	\$ 380.25	\$ 310.00	\$ 420.00	\$ 390.00
11-20	2.5"	Red Maple	\$ 380.25	\$ 300.00	\$ 420.00	\$ 390.00
1-10	2.5"	Chanticleer Pear	\$ 421.50	\$ 310.00	\$ 420.00	\$ 380.00
11-20	2.5"	Chanticleer Pear	\$ 421.50	\$ 310.00	\$ 420.00	\$ 380.00
1-10	2.5"	Freeman Maple	\$ 446.25	\$ 310.00	\$ 450.00	\$ 390.00
11-20	2.5"	Freeman Maple	\$ 446.25	\$ 300.00	\$ 450.00	\$ 390.00
1-10	2.5"	Sugar Maple	\$ 424.80	\$ 315.00	\$ 420.00	\$ 385.00
11-20	2.5"	Sugar Maple	\$ 424.80	\$ 305.00	\$ 420.00	\$ 385.00
1-15	6-foot high	Colorado Blue Spruce	\$ 343.95	\$ 250.00	\$ 340.00	\$ 320.00
<b>Sub Total Cost - Parkway</b>			<b>\$ 14,651.05</b>	<b>\$ 12,276.00</b>	<b>\$ 13,140.00</b>	<b>\$ 13,665.00</b>
VARIABLE QUANTITY	DIAMETER	SPECIES	PRICE PER TREE PLANTED PARKWAYS	PRICE PER TREE PLANTED PARKWAYS	PRICE PER TREE PLANTED PARKWAYS	PRICE PER TREE PLANTED PARKWAYS
1-20	2.5"	American Linden	\$ 473.50	\$ 330.00	\$ 420.00	\$ 445.00
1-20	2.5"	Norway Maple	\$ 483.30	\$ 350.00	\$ 420.00	\$ 445.00
1-20	2.5"	Honeylocust Skyline	\$ 463.50	\$ 340.00	\$ 420.00	\$ 445.00
1-20	2.5"	Red Maple	\$ 455.25	\$ 340.00	\$ 420.00	\$ 460.00
1-20	2.5"	Chanticleer Pear	\$ 496.50	\$ 340.00	\$ 420.00	\$ 450.00
1-20	2.5"	Aristocrat Pear	\$ 496.50	\$ 360.00	\$ 420.00	\$ 450.00
1-20	2.5"	Swamp White Oak	\$ 489.90	\$ 365.00	\$ 420.00	\$ 490.00
1-20	2.5"	Freeman Maple	\$ 521.25	\$ 360.00	\$ 420.00	\$ 460.00
1-20	2.5"	Sugar Maple	\$ 499.80	\$ 373.00	\$ 420.00	\$ 455.00
1-20	2.5"	Kentucky Coffeetree	\$ 532.80	\$ 370.00	\$ 420.00	\$ 450.00
1-20	2.5"	Purple Maple	\$ 587.25	\$ 370.00	\$ 420.00	\$ 475.00
1-20	2.5"	Northern Red Oak	\$ 489.90	\$ 380.00	\$ 420.00	\$ 490.00
1-20	2.5"	Littleleaf Linden	\$ 473.40	\$ 360.00	\$ 420.00	\$ 445.00
1-20	2.5"	Smoothleaf Elm	\$ 491.55	\$ 360.00	\$ 420.00	\$ 450.00
<b>Sub Total Cost - Private Property</b>			<b>\$ 6,954.40</b>	<b>\$ 4,998.00</b>	<b>\$ 5,880.00</b>	<b>\$ 6,410.00</b>

<b>A. Sub Total Cost Parkways</b>	<b>\$ 14,651.05</b>	<b>\$ 12,276.00</b>	<b>\$ 13,140.00</b>	<b>\$ 13,665.00</b>
<b>B. Sub Total Cost Private Property</b>	<b>\$ 6,954.40</b>	<b>\$ 4,998.00</b>	<b>\$ 5,880.00</b>	<b>\$ 6,410.00</b>
<b>Total Cost A+B</b>	<b>\$ 21,605.45</b>	<b>\$ 17,274.00</b>	<b>\$ 19,020.00</b>	<b>\$ 20,075.00</b>

**CITY OF DARIEN TREE PLANTING PROGRAM SCHEDULE 2016  
CITY TREE REPLACEMENTS-50/50 TREE PROGRAM  
ACRES GROUP**

50/50 TREE PROGRAM							
50/50 PARTICIPATION TO BE CONFIRMED	DIAMETER	SPECIES	PLANTED PRICE PER TREE	TOTAL TREE COST	50/50 PROGRAM	CITY COSTS	RESIDENT COST
1	2.5"	American Linden	\$330.00	\$ 330.00	1	\$ 165.00	\$ 165.00
2	2.5"	Norway Maple	\$350.00	\$ 700.00	2	\$ 350.00	\$ 350.00
2	2.5"	Honeylocust Skyline	\$340.00	\$ 680.00	2	\$ 340.00	\$ 340.00
1	2.5"	Red Maple	\$340.00	\$ 340.00	1	\$ 170.00	\$ 170.00
2	2.5"	Chanticleer Pear	\$340.00	\$ 680.00	2	\$ 340.00	\$ 340.00
1	2.5"	Freeman Maple	\$360.00	\$ 360.00	1	\$ 180.00	\$ 180.00
1	2.5"	Sugar Maple	\$373.00	\$ 373.00	1	\$ 186.50	\$ 186.50
				<b>\$ 3,463.00</b>	<b>10</b>	<b>\$ 1,731.50</b>	<b>\$ 1,731.50</b>

PARKWAY TREE REPLACEMENTS-2.5 INCH					
QUANTITY	DIAMETER	SPECIES	PLANTED PRICE PER TREE	TOTAL TREE COST	CITY COSTS
15	2.5"	American Linden	\$320.00	\$ 4,800.00	\$ 4,800.00
10	2.5"	Norway Maple	\$300.00	\$ 3,000.00	\$ 3,000.00
10	2.5"	Honeylocust Skyline	\$310.00	\$ 3,100.00	\$ 3,100.00
50	2.5"	Red Maple	\$310.00	\$ 15,500.00	\$ 15,500.00
20	2.5"	Chanticleer Pear	\$310.00	\$ 6,200.00	\$ 6,200.00
25	2.5"	Freeman Maple	\$310.00	\$ 7,750.00	\$ 7,750.00
20	2.5"	Sugar Maple	\$315.00	\$ 6,300.00	\$ 6,300.00
<b>150</b>				<b>\$ 46,650.00</b>	<b>\$ 46,650.00</b>

PARKWAY TREE REPLACEMENTS 75 STREETS -4 INCH					
QUANTITY	DIAMETER	SPECIES	PLANTED PRICE PER TREE	TOTAL TREE COST	CITY COSTS
0	4"	American Linden	\$528.00	\$0.00	\$ -
1	4"	Norway Maple	\$500.00	\$500.00	\$ 500.00
1	4"	Honeylocust Skyline	\$605.00	\$605.00	\$ 605.00
1	4"	Red Maple	\$695.00	\$695.00	\$ 695.00
0	4"	Chanticleer Pear	\$580.00	\$0.00	\$ -
0	4"	Freeman Maple	\$605.00	\$0.00	\$ -
0	4"	Sugar Maple	\$540.00	\$0.00	\$ -
<b>3</b>				<b>\$ 1,800.00</b>	<b>\$ 1,800.00</b>

TOTAL TREE PROGRAM COST	TOTAL TREE COST	2.5 INCH PARKWAY TREE REPLACEMENT CITY COSTS	4-INCH 75TH Street AND PARKWAY TREES CITY COSTS	CITY COST 50/50 PROGRAM	RESIDENT COST 50/50 PROGRAM
<b>\$ 51,913.00</b>	<b>\$ 46,650.00</b>	<b>\$ 1,800.00</b>	<b>\$ 1,731.50</b>	<b>\$ 1,731.50</b>	<b>\$ 1,731.50</b>

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY 16/17 BUDGET	PROPOSED EXPENDITURE	REINBURSEMENT	PROPOSED BALANCE
01-30-4350	FORESTRY-RESIDENTIAL 50/50 PROGRAM - AND PARKWAY REPLACEMENTS City Expense	\$4,000.00	\$ 1,731.50	\$ 1,731.50	\$2,268.50
01-30-4350	FORESTRY-RESIDENTIAL 50/50 PROGRAM - Resident Reimbursement Expense	\$2,000.00	\$ 1,731.50	\$ 1,731.50	\$268.50
01-30-4350	Forestry - Parkway Replacement Trees-City Removals	\$62,500.00	\$ 46,650.00	N/A	\$15,850.00
01-30-4350	Forestry -Replacement Trees - 75th Street	\$2,000.00	\$ 1,800.00	N/A	\$200.00
<b>TOTALS</b>		<b>\$70,500.00</b>	<b>\$51,913.00</b>	<b>\$3,463.00</b>	<b>\$18,587.00</b>

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT THE UNIT PRICE PROPOSAL FROM ACRES GROUP FOR THE PURCHASE AND INSTALLATION OF THE 50/50 PARKWAY TREE PROGRAM AND THE PARKWAY TREE REPLACEMENT PROGRAM IN AN AMOUNT NOT TO EXCEED \$70,500.00**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, as follows:

**SECTION 1:** The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept the unit price proposal from Acres Group for the purchase and installation of the 50/50 Parkway Tree Program and the Parkway Tree Replacement Program in an amount not to exceed \$70,500.00, a copy of which is attached hereto as "**Exhibit A**".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 6<sup>th</sup> day of September, 2016.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS**, this 6<sup>th</sup> day of September, 2016.

\_\_\_\_\_  
KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

\_\_\_\_\_  
CITY ATTORNEY

## CITY OF DARIEN

## CONTRACT

This Contract is made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ by and between the City of Darien (hereinafter referred to as the "CITY") and \_\_\_\_\_ (hereinafter referred to as the "CONTRACTOR").

**WITNESSETH**

In consideration of the promises and covenants made herein by the CITY and the CONTRACTOR (hereinafter referred to collectively as the "PARTIES"), the PARTIES agree as follows:

**SECTION 1: THE CONTRACT DOCUMENTS:** This Contract shall include the following documents (hereinafter referred to as the "CONTRACT DOCUMENTS") however this Contract takes precedence and controls over any contrary provision in any of the CONTRACT DOCUMENTS. The Contract, including the CONTRACT DOCUMENTS, expresses the entire agreement between the PARTIES and where it modifies, adds to or deletes provisions in other CONTRACT DOCUMENTS; the Contract's provisions shall prevail. Provisions in the CONTRACT DOCUMENTS unmodified by this Contract shall be in full force and effect in their unaltered condition.

The Invitation to Bid

The Instructions to the Bidders

This Contract

The Terms and Conditions

The Bid as it is responsive to the CITY'S bid requirements

All Certifications required by the City

Certificates of insurance

Performance and Payment Bonds as may be required by the CITY

**SECTION 2: SCOPE OF THE WORK AND PAYMENT:** The CONTRACTOR agrees to provide labor, equipment and materials necessary to provide the services as described in the CONTRACT DOCUMENTS and further described below:

**Tree Planting and Mulching for parkways within the City of Darien and Tree Planting and Mulching for private properties-Unit Pricing**

(Hereinafter referred to as the "WORK") and the CITY agrees to pay the CONTRACTOR pursuant to the provisions of the Local Government Prompt Payment Act (50 ILCS 505/1 *et seq.*) the following amount for performance of the described unit prices.

**SECTION 3: ASSIGNMENT:** CONTRACTOR shall not assign the duties and obligations involved in the performance of the WORK which is the subject matter of this Contract without the written consent of the CITY.

**SECTION 4: TERM OF THE CONTRACT:** This Contract shall commence on the date of its execution. The WORK shall commence upon receipt of a Notice to Proceed and continue expeditiously for 30 days from that date until final completion. This Contract shall terminate upon completion of the WORK, but may be terminated by either of the PARTIES for default upon failure to cure after ten (10) days prior written notice of said default from the aggrieved PARTY. The CITY, for its convenience, may terminate this Contract with thirty (30) days prior written notice.

**SECTION 5: INDEMNIFICATION AND INSURANCE:** The CONTRACTOR shall indemnify and hold harmless the CITY, PARK DISTRICT, its officials, officers, directors, agents, employees and representatives and assigns, from lawsuits, actions, costs (including attorneys' fees), claims or liability of any character, incurred due to the alleged negligence of the CONTRACTOR, brought because of any injuries or damages received or sustained by any person, persons or property on account of any act or omission, neglect or misconduct of said CONTRACTOR, its officers, agents and/or employees arising out of, or in performance of any

of the provisions of the CONTRACT DOCUMENTS, including any claims or amounts recovered for any infringements of patent, trademark or copyright; or from any claims or amounts arising or recovered under the "Worker's Compensation Act" or any other law, ordinance, order or decree. In connection with any such claims, lawsuits, actions or liabilities, the CITY, its officials, officers, directors, agents, employees, representatives and their assigns shall have the right to defense counsel of their choice. The CONTRACTOR shall be solely liable for all costs of such defense and for all expenses, fees, judgments, settlements and all other costs arising out of such claims, lawsuits, actions or liabilities. The Contractor shall not make any settlement or compromise of a lawsuit or claim, or fail to pursue any available avenue of appeal of any adverse judgment, without the approval of the City and any other indemnified party. The City or any other indemnified party, in its or their sole discretion, shall have the option of being represented by its or their own counsel. If this option is exercised, then the Contractor shall promptly reimburse the City or other indemnified party, upon written demand, for any expenses, including but not limited to court costs, reasonable attorneys' and witnesses' fees and other expenses of litigation incurred by the City or other indemnified party in connection therewith. Execution of this Contract by the CITY is contingent upon receipt of Insurance Certificates provided by the CONTRACTOR in compliance with the CONTRACT DOCUMENTS.

**SECTION 6: COMPLIANCE WITH LAWS:** The bidder shall at all times observe and comply with all laws, ordinances and regulations of the federal, state, local and City governments, which may in any manner affect the preparation of bids or the performance of the Contract. Bidder hereby agrees that it will comply with all requirements of the Illinois Human Rights Act, 775 ILCS 5/1-101 et seq., including the provision dealing with sexual harassment and that if awarded the Contract will not engage in any prohibited form of discrimination in employment as defined in that Act and will require that its subcontractors agree to the same restrictions. The contractor shall maintain, and require that its subcontractors maintain, policies of equal employment opportunity which shall prohibit discrimination against any employee or applicant for employment on the basis of race, religion, color, sex, national origin, ancestry, citizenship status, age, marital status, physical or mental disability unrelated to the individual's ability to perform the essential functions of the job, association with a person with a disability, or unfavorable discharge from military service. Contractors and all subcontractors shall comply with all requirements of the Act and of the Rules of the Illinois Department of Human Rights with regard to posting information on employees' rights under the Act. Contractors and all subcontractors shall place appropriate statements identifying their companies as equal opportunity employers in all advertisements for workers to be employed in work to be performed. Not less than the Prevailing Rate of Wages as found by the City of Darien or the Department of Labor shall be paid to laborers, workmen, and mechanics performing work under the Contract. If awarded the Contract, contractor must comply with all provisions of the Illinois Prevailing Wage Act, including, but not limited to, providing certified payroll records to the Municipal Services Department. Contractor and subcontractors shall be required to comply with all applicable federal laws, state laws and regulations regarding minimum wages, limit on payment to minors, minimum fair wage standards for minors, payment of wage due employees, and health and safety of employees. Contractor and subcontractor are required to pay employees all rightful salaries, medical benefits, pension and social security benefits pursuant to applicable labor agreements and federal and state statutes and to further require withholdings and deposits therefore. The CONTRACTOR shall obtain all necessary local and state licenses and/or permits that may be required for performance of the WORK and provide those licenses to the CITY prior to commencement of the WORK if applicable.

**SECTION 7: NOTICE:** Where notice is required by the CONTRACT DOCUMENTS

it shall be considered received if it is delivered in person, sent by registered United States mail, return receipt requested, delivered by messenger or mail service with a signed receipt, sent by facsimile or e-mail with an acknowledgment of receipt, to the following:

City of Darien  
1702 Plainfield Road  
Darien, IL 60561

Attn: Director of Municipal Services

**SECTION 8: STANDARD OF SERVICE:** Services shall be rendered to the highest professional standards to meet or exceed those standards met by others providing the same or similar services in the Chicagoland area. Sufficient competent personnel shall be provided who with supervision shall complete the services required within the time allowed for performance. The CONTRACTOR'S personnel shall, at all times present a neat appearance and shall be trained to handle all contact with City residents or City employees in a respectful manner. At the request of the City Administrator or a designee, the CONTRACTOR shall replace any incompetent, abusive or disorderly person in its employ.

**SECTION 9: PAYMENTS TO OTHER PARTIES:** The CONTRACTOR shall not obligate the CITY to make payments to third parties or make promises or representations to third parties on behalf of the CITY without prior written approval of the City Administrator or a designee.

**SECTION 10: COMPLIANCE:** CONTRACTOR shall comply with all of the requirements of the Contract Documents, including, but not limited to, the Illinois Prevailing Wage Act where applicable and all other applicable local, state and federal statutes, ordinances, codes, rules and regulations.

**SECTION 11: LAW AND VENUE:** The laws of the State of Illinois shall govern this Contract and venue for legal disputes shall be DuPage County, Illinois.

**SECTION 12: MODIFICATION:** This Contract may be modified only by a written amendment signed by both PARTIES.

FOR: THE CITY

FOR: THE CONTRACTOR

By: \_\_\_\_\_

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: Mayor

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_



July 6, 2016

**ADDENDUM 1**

**Scaled Bid for 2016 Tree Planting**

**Bid Date: July 20, 2016**

**Bid Time: 10:00 AM**

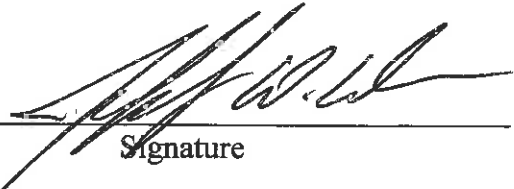
The following question was submitted for consideration on July, 6, 2016 "Does prevailing wage apply to this contract?"

**RESPONSE:**

Upon review it has been determined that prevailing wage does not apply for tree planting maintenance.

**This sheet Addendum 1 must be signed, dated and returned with the bid package.**

**I hereby am in receipt of the Addendum 1.**

  
\_\_\_\_\_  
Signature

7-18-16  
\_\_\_\_\_  
Dated

ACRES GROUP  
\_\_\_\_\_  
Company Name

**SECTION II**

**BIDDER SUMMARY SHEET**

**Tree Planting and Mulching for parkways within the City of Darien and Tree Planting and Mulching for private properties-Unit Pricing 2016**

IN WITNESS WHEREOF, the parties hereto have executed this Bid as of date shown below.

Firm Name: ACRES GROUP

Address: 23940 W. ANDREW RD.

City, State, Zip Code: PLAINFIELD, IL 60585

Contact Person: JEFF DUMAS

FEIN #: 36-3291867

Phone: (630) 975-1426 Fax: ( )

E-mail Address: JEFF.DUMAS@ACRESGROUP.COM

**RECEIPT OF ADDENDA:** The receipt of the following addenda is hereby acknowledged:

Addendum No. 1, Dated 7-6-16

Addendum No. \_\_\_\_\_, Dated \_\_\_\_\_

**CITY OF DARIEN TREE QUOTE - PARKWAYS**

VARIABLE QUANTITY	DIAMETER	SPECIES	PRICE PER TREE PLANTED
1 - 10	4"	American Linden	528 <sup>-</sup>
11 - 20	4"	American Linden	518 <sup>-</sup>
1 - 10	4"	Norway Maple	500 <sup>-</sup>
11 - 20	4"	Norway Maple	490 <sup>-</sup>
1 - 10	4"	Thornless Honeylocust	605
11 - 20	4"	Thornless Honeylocust	595
1 - 10	4"	Red Maple	695
11 - 20	4"	Red Maple	685
1 - 10	4"	Chanticleer Pear	580 <sup>-</sup>
11 - 20	4"	Chanticleer Pear	570
1 - 10	4"	Freeman Maple	605
11 - 20	4"	Freeman Maple	595 <sup>-</sup>
1 - 10	4"	Sugar Maple	540 <sup>-</sup>
11 - 20	4"	Sugar Maple	530 <sup>-</sup>
11 - 20	2.5"	American Linden	320 <sup>-</sup>
1 - 10	2.5"	Norway Maple	300 <sup>-</sup>
11 - 20	2.5"	Norway Maple	300 <sup>-</sup>
1 - 10	2.5"	Honeylocust Skyline	310 <sup>-</sup>
11 - 20	2.5"	Honeylocust Skyline	300 <sup>-</sup>
1 - 10	2.5"	Red Maple	310 <sup>-</sup>
11 - 20	2.5"	Red Maple	300 <sup>-</sup>
1 - 10	2.5"	Chanticleer Pear	310 <sup>-</sup>

11 - 20	2.5"	Chanticleer Pear	310 <sup>-</sup>
1 - 10	2.5"	Freeman Maple	310 <sup>-</sup>
11 - 20	2.5"	Freeman Maple	300 <sup>-</sup>
1 - 10	2.5"	Sugar Maple	315 <sup>-</sup>
11 - 20	2.5"	Sugar Maple	305 <sup>-</sup>
1 - 15	6-foot high	Colorado Blue Spruce	250 <sup>-</sup>

<b>B. Sub Total Cost Parkway</b>			12,276 <sup>-</sup>
--------------------------------------	--	--	---------------------

**CITY OF DARIEN TREE QUOTE - PRIVATE**

VARIABLE QUANTITY	DIAMETER	SPECIES	PRICE PER TREE PLANTED
1 - 20	2.5"	American Linden	330 <sup>-</sup>
1 - 20	2.5"	Norway Maple	350 <sup>-</sup>
1 - 20	2.5"	Honeylocust Skyline	340 <sup>-</sup>
1 - 20	2.5"	Red Maple	340 <sup>-</sup>
1 - 20	2.5"	Chanticleer Pear	340 <sup>-</sup>
1 - 20	2.5"	Aristocrat Pear	360 <sup>-</sup>
1 - 20	2.5"	Swamp White Oak	365 <sup>-</sup>
1 - 20	2.5"	Freeman Maple	360 <sup>-</sup>
1 - 20	2.5"	Sugar Maple	373 <sup>-</sup>
1 - 20	2.5"	Kentucky Coffeetree	370 <sup>-</sup>
1 - 20	2.5"	Purple Maple	370 <sup>-</sup>
1 - 20	2.5"	Northern Red Oak	380 <sup>-</sup>
1 - 20	2.5"	Littleleaf Linden	360 <sup>-</sup>

1 - 20	2.5"	Smoothleaf Elm	360-
<b>B. Sub Total Cost Private Property</b>			4,998-

<b>A. Sub Total Cost Parkways</b>	12,276-
<b>B. Sub Total Cost Private Property</b>	4,998-
<b>Total Cost of A+B</b>	\$ 17,274-

The quote will be awarded on a total sum of A and B

Firm Name: ACRES GROUP  
 Signature of Authorized Representative: [Signature]  
 Title: VICE PRESIDENT Date: 7-18-16

**ACCEPTANCE:** This proposal is valid for 45 calendar days from the date of submittal.

(NOTE: At least 30 days should be allowed for evaluation and approval.)

**BUSINESS ORGANIZATION:**

\_\_\_\_\_ Sole Proprietor: An individual whose signature is affixed to this bid.

\_\_\_\_\_ Partnership: Attach sheet and state full names, titles and address of all responsible principals and/or partners. Provide percent of ownership and a copy of partnership agreement.

✓ Corporation: State of incorporation: DELAWARE

Provide a disclosure of all officers and principals by name and business address, date of incorporation and indicate if the corporation is authorized to do business in Illinois. In submitting this bid, it is understood that the City of Darien reserves the right to reject any or all bids, to accept an alternate bid, and to waive any informalities in any bid. In compliance with your Invitation to Bid, and subject to all conditions thereof, the undersigned offers and agrees, if this bid is accepted, to furnish the services as outlined.

ACRES (Corporate Seal)  
Business Name

[Signature]  
Signature

JEFF DUMAS  
Print or type name

VICE-PRESIDENT  
Title

7-15-16  
Date

JAMES K SCHWARTZ  
610 W. LIBERTY ST  
WAUCONDA, IL 60881

Authorized to do Business in Ill



**CERTIFICATION OF ELIGIBILITY TO ENTER INTO PUBLIC CONTRACTS**

**IMPORTANT: THIS CERTIFICATION MUST BE EXECUTED.**


I, JEFF DUMAS, being first duly sworn certify

and say that I am VICE-PRESIDENT

(insert "sole owner," "partner," "president," or other proper title) of

ARES GROUP, the Prime Contractor

submitting this proposal, and that the Prime Contractor is not barred from contracting with any unit of state or local government as a result of a violation of either Section 33E-3, or 33E-4 of the Illinois Criminal Code, or of any similar offense of "bid-rigging" or "bidrotating" of any state or of the United States.

  
\_\_\_\_\_  
Signature of Person Making Certification

Subscribed and Sworn To  
Before Me This 14th Day

of July, 2016

  
Notary Public



**AGENDA MEMO**  
**Municipal Services Committee**  
**August 22, 2016**

**ISSUE STATEMENT**

Approval of a resolution accepting a proposal from Midwest Office Interiors to replace the City Council chairs, conference room chairs, and task chairs in City Hall in an amount not to exceed \$11,090.50.

**BACKGROUND/HISTORY**

The proposed chairs would be replacing the ten (10) office task chairs, ten (10) conference room chairs, twelve (12) City Council member chairs and four (4) council chairs purchased in the 1980's. Current chairs have deteriorated, possess broken locking mechanisms, and lack lumbar support. The existing chairs will be declared as surplus through a separate forthcoming agenda memo.

Both, Allsteel and HON chairs, provide lumbar support, proper circulation, and comfort.

Staff has selected Midwest Office Interiors to provide Allsteel and HON chairs. Allsteel and HON are the awarded vendors for the Cooperative Purchasing Network (TCPN) for equipment sales to municipalities nationally. Attached and labeled, Attachment A, pages 1-5, is information regarding the National IPA, TCPN and the cost breakdown of the various task chairs. HON is the awarded vendor for the National IPA/TCPN – Contract R142208, attached and labeled as Attachment B.

Below please find the breakdown by equipment and price.

<b>VENDOR</b>	<b>QUANTITY</b>	<b>UNIT COST</b>	<b>TOTAL COST</b>
Hon (Council Chairs)	12	235.84	\$ 2,830.08
Hon (Department Head Chairs)	4	225.28	901.12
Allsteel (Task Chairs)	10	475.02	4,750.20
Allsteel (Conference Chairs)	10	260.91	2,609.10
<b>Total</b>			<b>\$ 11,090.50</b>

The proposed expenditure is over budget and the shortfall would be covered through the City Administrator's contingency fund. The funds would be pended from the following line accounts:

<b>ACCOUNT #</b>	<b>ACCOUNT DESCRIPTION</b>	<b>FY 16-17 BUDGET</b>	<b>PROPOSED EXPENDITURE</b>	<b>PROPOSED BALANCE</b>
30-4815	Capital Purchases	\$7,650.00	\$ 11,090.50	\$ (3,440.50)
10-4330	Contingency Fund	\$10,000.00	\$ 3,440.50	\$ 6,559.50

**STAFF RECOMMENDATION**

Staff recommends approval of a resolution accepting a proposal from Midwest Office Interiors to replace the City Council chairs, conference room chairs, and task chairs in City Hall in an amount not to exceed \$11,090.50

**ALTERNATE DECISION**

As recommended by the Committee.

**DECISION MODE**

This item will be on the September 6, 2016 City Council agenda for formal consideration

# Allsteel



## Overview of TCPN (The Cooperative Purchasing Network)

Allsteel is proud to hold a contract with The Cooperative Purchasing Network (TCPN). TCPN is a Group Purchasing Organization (GPO's).

The purpose of a GPO is to allow its members to join together to leverage purchases in order to acquire goods and services at lower prices. GPO's are not resellers, but rather contract negotiators. End users are entitled to purchase through these negotiated contracts at the price and terms so specified.

GPO's are a non-profit instrumentality of government that assists public agencies in reducing the cost of goods and services through pooling the purchasing power of public agencies nationwide. This is accomplished through competitively solicited contracts for quality products through lead public agencies.

The advantages of participating with a GPO include most favorable public agency pricing, no cost to participate and a broad range of high quality products. Participation in a GPO is not required of public entities. However participation by government entities provides the legally required competition for contracts for commonly purchased items thereby saving the public entity the cost of going through the competitive process. Vendors with GPO awarded contracts have agreed to provide the best pricing, terms and conditions available to similar customers. Purchasing agencies often find that purchasing through a GPO offers price levels that a single agency cannot achieve on their own.

The total cost of the GPO contracts with Allsteel is funded through a fee paid by Allsteel that is based on a percentage of sales. The GPO does not charge any membership fees to participating entities.

Public agencies can use the program without going out for solicitation. All Allsteel GPO contracts have been competitively solicited by a lead public agency in

accordance with their public purchasing rules and regulations. Each solicitation contains language which advises all suppliers that the subsequent contract may be used by other government agencies throughout the United States. This language is based on the lead jurisdiction, "Joint Powers Authority" or "Cooperative Procurement" program. Although each government may have different purchasing procedures to follow, applying these competitive principals satisfies the competitive solicitation requirements of most state and local government agencies.

State statutes and, if applicable, local ordinances generally allow one government agency to purchase from contracts competitively solicited by another government agency ("Lead Public Agency"). This requires the consent of all parties including Allsteel, the Lead Public Agency and the government agency purchasing from the Lead Agency Contract. Allsteel TCPN contract is established to meet both the competitive solicitation and consent requirements.

This contract is available to public and private schools, colleges and universities, cities and counties, states and other public entities. They are also available to 501(C) (3) non profit agencies providing a service on behalf of a government entity.

TCPN provides a website that details the Lead Public Agency Authority, participating suppliers, discounts, FAQ's, and contact information.

For additional information, or to become a member of TCPN please go to: [www.tcpn.org](http://www.tcpn.org)

Your local Allsteel Sales Representative and your Authorized Allsteel Dealer is at your service to explain the TCPN program, discuss planning options and to provide quotes for products and services.



## Allsteel Workplace Solutions

At Allsteel, we start with the premise that creating a better work environment isn't about designing furniture. It's about understanding the business environment and finding ways to help customers adapt quickly to the changing times. It's about understanding people and designing solutions that not only meet their needs, but also inspire them at work. It's about having a commitment to the environment and finding ways to do more with less by choosing processes and materials that reduce, reuse, recycle, and extend durability, without compromising functionality or aesthetics.

Allsteel has developed relevant workplace solutions and resourceful business practices that differentiate our company from our competitors and make us a leader in our industry.

### Why TCPN?

TCPN is a national government purchasing cooperative whose contracts have been competitively bid and awarded by a governmental entity serving in the lead agency role for commonly purchased goods and services. For additional information, or to become a member of TCPN, please go to [www.tcpn.org](http://www.tcpn.org).



**Acuity**<sup>®</sup>  
Model # AWM5  
Grade A fabric  
List: \$1,549  
Sell: \$648.90



**Relate**<sup>®</sup>  
Model # RL-MHW  
Grade A fabric  
List: \$1,218  
Sell: \$475.02



**Access**<sup>™</sup>  
Model # ESW-MF  
Grade A fabric  
List: \$704  
Sell: \$274.56



**Seek**<sup>®</sup>  
Model # K-MPCO  
List: \$661  
Sell: \$257.79



**Inspire**<sup>®</sup>  
Model # INST-NCO  
List: \$500  
Sell: \$195



**Aware**<sup>®</sup>  
Model # AW3LT1872T &  
AW2TSPC\_72  
List: \$916  
Sell: \$329.76



#### Allsteel's TCPN Contract Information:

- Allsteel Contract Number: #R142201
- Contract Term: May 1, 2015 through April 30, 2018
- Pricing: Discounted from Allsteel current commercial price lists in effect at time of order entry
- Delivery: Lead times are 60 days ARO, but standard commercial lead times will apply
- Freight: All orders shall be freight prepaid, F.O.B destination

Your local Allsteel Sales Representative and your Authorized Allsteel Dealer are at your service to explain the TCPN program, discuss planning options, and to provide quotes for products and services.



# Task Seating

## Executive Task



**Acuity®**  
**AWMS**  
 List Price: \$1,567  
 TCPN Price: \$658.14

- Intuitive controls
- AcuFit® ergonomics
- Upholstered jacket available
- Seat depth/height adjustments
- Recline tension

## Administrative Task



**Relate®**  
**RLA-MHP**  
 List Price: \$1,483  
 TCPN Price: \$578.37

- High-back
- Fully adjustable arms
- Lumbar support
- Variety of design options
- Quick Tension lever
- Body Adaptive Control™ ergonomics

## General Task



**Lyric™**  
**CBW-MHH**  
 List Price: \$735  
 TCPN Price: \$308.70

- High-back
- Lumbar support
- Three control options
- Variety of design choices, including two frame finishes and six mesh options

## Executive Task



**Mimeo™**  
**MIW-KWNO**  
 List Price: \$1,140  
 TCPN Price: \$478.80

- Lumbar support
- Weight-activated motion
- Dimension 3D Knit back
- Lightweight and intuitive design
- Fully adjustable arms

## Administrative Task



**Trooper®**  
**TR-HWK**  
 List Price: \$1,037  
 TCPN Price: \$373.32

- Lumbar support
- Adjustable seat height
- Adjustable arm height
- Adjustable tension, recline, and tilt
- Large and Tall model
- Durable construction

## General Task



**Access™**  
**ESW-MW**  
 List Price: \$778  
 TCPN Price: \$303.42

- Lumbar support
- Fully adjustable arms
- Synchro-tilt and Basic Synchro models
- Variety of back and arm styles

Prices shown in base grades and finishes. Please confirm pricing prior to placing an order.

Visit [allsteeloffice.com/products/seating](http://allsteeloffice.com/products/seating) to learn more about each chair.



# Conference Seating

## Board Room



**Acuity<sup>®</sup>**  
AFMS  
List Price: \$1,630  
TCPN Price: \$684.60

- Intuitive controls
- AcuFit<sup>®</sup> ergonomics
- Upholstered jacket available
- Seat depth/height adjustments
- Recline tension
- Fixed arms

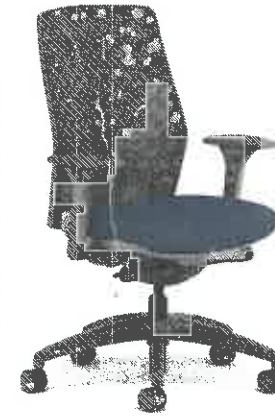
## Conference Room



**Sum<sup>®</sup>**  
SUM-HO  
List Price: \$1,376  
TCPN Price: \$536.64

- Adaptive ergonomic technology
- AutoFit<sup>®</sup> lumbar system
- Adjustable seat depth
- Fixed arms

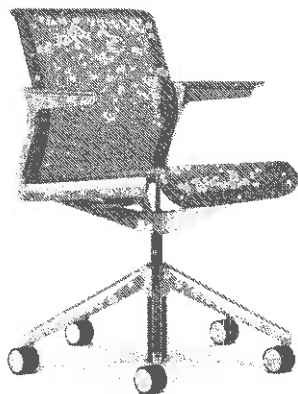
## Breakout Area



**Lyric<sup>™</sup>**  
CBW-MHF  
List Price: \$742  
TCPN Price: \$311.64

- High-back
- Lumbar support
- Three control options
- Variety of design choices, including two frame finishes and six mesh options

## Board Room



**Clarity<sup>®</sup>**  
C50MFC  
List Price: \$863  
TCPN Price: \$422.87

- Sleek aesthetic
- Intuitive functionality
- Seat height adjustment
- Variety of frame finishes

## Conference Room



**Mimeo<sup>™</sup>**  
MIW-KFNO  
List Price: \$1,080  
TCPN Price: \$441

- Lumbar support
- Weight-activated motion
- Dimension 3D Knit back
- Lightweight and intuitive design
- Fixed arms

## Breakout Area



**Inspire<sup>®</sup>**  
INTK-NO  
List Price: \$647  
TCPN Price: \$252.33

- TriFit<sup>™</sup> motion recline
- Seat height adjustment
- Continuous lumbar support
- Durable construction
- Sled and four-leg stackable options

Prices shown in base grades and finishes. Please confirm pricing prior to placing an order.

Visit [allsteeloffice.com/products/seating](http://allsteeloffice.com/products/seating) to learn more about each chair.

**National IPA Discount Matrix**  
**Allsteel Inc. National IPA Bid #P15-150-DT**

Products	List per Order	Discount From List
Stride Systems, Terrace, Concensys, Optimize, Further, Involve Casegoods, Stride Desking, Stride Benching, Pedestals, Overheads, Worksurfaces, Electrical & Accessories, Altitude Tables	\$1 - \$100,000	69.5%
	\$100,001 - \$400,000	71.0%
	\$400,001 & Above	Negotiable
Lateral Files, Vertical Files, Storage (Towers, Bookcases, & Cabinets), Align Laterals, Align Storage, Align Credenzas, Stride Storage, Involve Storage	\$1 - \$100,000	64.0%
	\$100,001 - \$400,000	65.0%
	\$400,001 & Above	Negotiable
Trooper, Tolleson, & Nimble Seating	\$1 - \$100,000	64.0%
	\$100,001 - \$400,000	64.0%
	\$400,001 & Above	Negotiable
#19, Relate, Sum, Scout, Seek, Inspire, & Access Seating	\$1 - \$100,000	61.0%
	\$100,001 - \$400,000	61.0%
	\$400,001 & Above	Negotiable
Acuity, Mimeo & Lyric Seating	\$1 - \$100,000	58.0%
	\$100,001 - \$400,000	58.0%
	\$400,001 & Above	Negotiable
Merge & Aware Tables	\$1 - \$100,000	64.0%
	\$100,001 - \$400,000	64.0%
	\$400,001 & Above	Negotiable
Wood Casegoods (Align Wood), Stride Painted Wood Casegoods Veneer	\$1 - \$100,000	60.0%
	\$100,001 - \$400,000	60.0%
	\$400,001 & Above	Negotiable
Gather Seating, Gather Tables, Harvest Tables, Clarity Seating, Parallel Seating, New Product Offering	\$1 - \$100,000	51.0%
	\$100,001 - \$400,000	54.0%
	\$400,001 & Above	Negotiable
Accessories (Wand & Link Lights, Ergonomic tools)	\$1 - \$100,000	55.0%
	\$100,001 - \$400,000	57.0%
	\$400,001 & Above	Negotiable





# HON

National IPA/TCPN  
Contract R142208



Ignition® Seating and 10500 Series™ Desking



SmartLink® Seating and Desks

## THE POWER OF ONE

That's what HON and National IPA/TCPN deliver together. One call, one vendor, one purchase order. The HON Company's product portfolio spans a wide array of furniture applications in the market, from office environments, to training areas, to archival storage. Our product breadth provides you with a single access point to the most robust selection of seating, desks, workstations, storage, tables and education furniture backed by an unprecedented nationwide distribution network. We take pride in setting ourselves apart from the competition by providing you with the best possible experience.

NATIONAL IPA™

TCPN®  
The Cooperative Purchasing Network



Motivate® Seating and Tables



Flock™ Seating and Tables

## Strong Foundation

As a leading designer and manufacturer of workplace furniture for government, public sector and non-profits since 1982 - HON provides a comprehensive, integrated product offering that satisfies your total workplace environment. High quality workstations, seating and storage at lower prices, all backed by the strongest warranty in the industry.

## Better Together

By utilizing the National IPA/TCPN contract, you can leverage the combined purchasing power of over 37,000 government agencies and save at least 50% on every HON order. The Cooperative Purchasing Network (TCPN) has led to lower prices and greater options, as well as additional monitoring, auditing, and regularly scheduled reviews to ensure vendor accountability.

The partnership between HON and TCPN offers you unmatched value when purchasing furniture.

**Save Time.  
Reduce Cost.  
Minimize Hassles.**

Leverage the buying power of our partnership today!

Tier	Total Order at List	Systems & Pedestals	Vertical & Lateral Files, Storage	Tables, Desking, Casegoods	HON Branded Seating	basyx Branded Products	Education
1	\$0 - \$100,000	67.0%	58.0%	56.0%	56.0%	58.0%	56.0%
2	\$100,001 - \$250,000	69.0%	65.0%	61.0%	61.0%	60.0%	58.0%
3	\$250,001 and above	Negotiated	Negotiated	Negotiated	Negotiated	Negotiated	Negotiated

Please contact HON Government Customer Support with any questions.

Phone 800.466.8694

Fax 800.833.3902

E-mail [hongstate@m@honcompany.com](mailto:hongstate@m@honcompany.com)



The HON Company  
200 Oak Street  
Muscatine, IA 52761  
800.833.3964  
[hon.com](http://hon.com)

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RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM  
MIDWEST OFFICE INTERIORS TO REPLACE THE CITY COUNCIL CHAIRS,  
CONFERENCE ROOM CHAIRS AND TASK CHAIRS IN CITY HALL IN AN  
AMOUNT NOT TO EXCEED \$11,090.50**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE  
COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Midwest Office Interiors to replace the City Council chairs, conference room chairs and task chairs in City Hall in an amount not to exceed \$11,090.50, a copy of which is attached hereto as "**Exhibit A**".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY,  
ILLINOIS, this 6<sup>th</sup> day of September, 2016.**

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY,  
ILLINOIS, this 6<sup>th</sup> day of September, 2016.**

\_\_\_\_\_  
KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

\_\_\_\_\_  
CITY ATTORNEY





10330 Argonne Woods Dr., Suite 600  
Woodridge, IL 60517

Phone: (630) 850-8700  
Fax: (630) 783-2143

PROPOSAL:	36424
DATE:	08/10/16
PROJECT#:	742-63

<b>PROPOSAL FOR:</b>	<b>INSTALL AT:</b>
City of Darien Attn: Lisa Klemm 1702 Plainfield Road Darien, IL 60561	City of Darien 1702 Plainfield Road Attn: Lisa Klemm Darien, IL 60561
<b>SALESPERSON</b> Cheryl Fischer	<b>CUSTOMER P/O.:</b>
	<b>QUOTE VALID</b> 09/30/16

QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
		Make PO out to: Hon C/O Midwest Office Interiors Cheryl Fischer NIPA Contract # P15-150DT		
4	H2092	Pillowsoft 2090 Mgr Mid-back Swivel Tilt Arms	225.28	901.12
	~ \$(1) ~ .T	Undecided CASTER Option Gr 1 UPH Undecided FABRIC Option FRAME: Black		
		Tag(s): Council Chairs List Price: 512.00 Discount Off List: 56.00 %		
12	H2091	Pillowsoft 2090 Exec High-Back Swivel Tilt Arms	235.84	2,830.08
	~ \$(1) ~ .T	Undecided CASTER Option Gr 1 UPH Undecided FABRIC Option FRAME: Black		
		Tag(s): City Council Members List Price: 536.00 Discount Off List: 56.00 %		

PROPOSAL



10330 Argonne Woods Dr., Suite 600  
Woodridge, IL 60517

Phone: (630) 850-8700  
Fax: (630) 783-2143

PROPOSAL:	36424
DATE:	08/10/16

PROJECT#: 742-63

<b>PROPOSAL FOR:</b>	<b>INSTALL AT:</b>
City of Darien Attn: Lisa Klemm 1702 Plainfield Road Darien, IL 60561	City of Darien 1702 Plainfield Road Attn: Lisa Klemm Darien, IL 60561

**SALESPERSON**  
Cheryl Fischer

**CUSTOMER P/O.:**

**QUOTE VALID**  
09/30/16

QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
		Labor on Proposal # 36423		
			SUBTOTAL . . . . :	3,731.20
ACCEPTED BY _____			TOTAL	----- 3,731.20 =====
DATE ACCEPTED _____		PAGE 2 OF 2		

Thank you for the opportunity to quote on your requirements!  
Installation available from Midwest Office Interiors

PROPOSAL



10330 Argonne Woods Dr., Suite 600  
Woodridge, IL 60517

Phone: (630) 850-8700  
Fax: (630) 783-2143

PROPOSAL:	36423
DATE:	08/10/16
PROJECT#:	742-63

<b>PROPOSAL FOR:</b>	<b>INSTALL AT:</b>
City of Darien Attn: Lisa Klemm 1702 Plainfield Road Darien, IL 60561	City of Darien 1702 Plainfield Road Attn: Lisa Klemm Darien, IL 60561

**SALESPERSON** Cheryl Fischer      **CUSTOMER P/O...:**      **QUOTE VALID** 09/30/16

QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
		Make PO out to: Allsteel C/O Midwest Office Interiors Cheryl Fischer NIPA Contract # P15-150DT		
3	RL-MHW	Relate Std Mesh High-Bk/Adj Arms	475.02	1,425.06
	~	Undecided CYLINDER Option		
	~	Undecided CASTER Option		
	.L	Lumbar		
	-	Undecided FRAME Option		
	\$(1)	GRD 1 UPH		
	~	Undecided FABRIC Option		
		Tag(s): Executive Desk Chairs List Price: 1218.00 Discount Off List: 61.00 %		
7	RL-MHW	Relate Std Mesh High-Bk/Adj Arms	475.02	3,325.14
	~	Undecided CYLINDER Option		
	~	Undecided CASTER Option		
	.L	Lumbar		
	-	Undecided FRAME Option		
	\$(1)	GRD 1 UPH		
	~	Undecided FABRIC Option		
		Tag(s): Deluxe Task Chairs List Price: 1218.00 Discount Off List: 61.00 %		

**PROPOSAL**



10330 Argonne Woods Dr., Suite 600  
Woodridge, IL 60517

Phone: (630) 850-8700  
Fax: (630) 783-2143

<b>PROPOSAL:</b> 36423
<b>DATE:</b> 08/10/16
<b>PROJECT#:</b> 742-63

<b>PROPOSAL FOR:</b>	<b>INSTALL AT:</b>
City of Darien Attn: Lisa Klemm 1702 Plainfield Road Darien, IL 60561	City of Darien 1702 Plainfield Road Attn: Lisa Klemm Darien, IL 60561
<b>SALESPERSON</b> Cheryl Fischer	<b>CUSTOMER P/O. #:</b>
	<b>QUOTE VALID</b> 09/30/16

QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED
10	EBW-MFNO	Access Mesh Wk Chr Basic SyncTlt Fxd C Arm	260.91	2,609.10
	.2	Standard Cylinder		
	-	Undecided CASTER Option		
	.BLK	Black		
	~	Undecided BASE Option		
	.AM10	Black		
	\$(1)	GRD 1 UPH		
	~	Undecided FABRIC Option		
		Tag(s): Conference Room List Price: 669.00 Discount Off List: 61.00 %		
1	Labor	Receive, Deliver & Install - 36 Chairs, Normal Business Hours (Proposals # 36423 & 36424)	435.00	435.00

PROPOSAL



10330 Argonne Woods Dr., Suite 600  
Woodridge, IL 60517

Phone: (630) 850-8700  
Fax: (630) 783-2143

PROPOSAL:	36423
DATE:	08/10/16

PROJECT#: 742-63

<b>PROPOSAL FOR:</b>	<b>INSTALL AT:</b>
City of Darien Attn: Lisa Klemm 1702 Plainfield Road Darien, IL 60561	City of Darien 1702 Plainfield Road Attn: Lisa Klemm Darien, IL 60561

**SALESPERSON**  
Cheryl Fischer

**CUSTOMER P/O..:**

**QUOTE VALID**  
09/30/16

QTY	PRODUCT	DESCRIPTION	SELL	EXTENDED

Thank you for the opportunity to quote on your requirements!  
Installation available from Midwest Office Interiors

SUBTOTAL.....:	7,359.30
OTHER.....:	435.00

ACCEPTED BY \_\_\_\_\_

DATE ACCEPTED \_\_\_\_\_

TOTAL	----- 7,794.30 =====
-------	----------------------------

**AGENDA MEMO**  
**Municipal Services Committee**  
**August 22, 2016**

**ISSUE STATEMENT**

A resolution authorizing the purchase of one new 2017 Ford F350 XL 4x2, cab and chassis from Landmark Ford in the amount of \$39,169.00

**BACKGROUND/HISTORY**

The new truck is to be utilized primarily for material hauling, snow plowing, and de-icing operations for the street division. The truck would be replacing Unit 404 which is a 2003 GMC, Model 5500. The truck has 41,204 miles and the truck and body is rusted and faded. Unit 404 was budgeted for replacement and the vehicle rating report is attached and labeled as **Attachment A**. Please recall the Vehicle Replacement Policy calls out for vehicles to be replaced at a rating of 75 or above.

The proposed cab and chassis is a 2017 Ford F350 XL 4x2 and would be purchased through the Suburban Purchasing Cooperative for fleet sales to municipalities. While the City of Darien is not a member of the Suburban Purchasing Cooperative, we are allowed to participate in the program. Attached and labeled as **Attachment B**, please find a detailed cost breakdown for the 2016 Ford Expedition Carryall Unit and information regarding the Suburban Purchasing Cooperative. The proposed vehicle will also have additional components and is referred to as the Equipment Package – consisting of a dump body, hoist, body options, lightning accessories, hydraulics, controls, snow and de-icing equipment and is covered under a separate agenda memo.

The proposed expenditure would be expended from the following line account:

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY 16/17 BUDGET	PROPOSED EXPENDITURE	PROPOSED BALANCE
02-50-4815	CAPITAL PURCHASES TRUCK REPL UNIT 404	\$ 78,500	\$ 39,169	\$ 39,331
02-50-4815	CAPITAL PURCHASES TRUCK DECALS	N/A	\$ 915	\$ 38,416

**STAFF RECOMMENDATION**

Staff recommends approval of the resolution authorizing the purchase of one new 2017 Ford F350 XL 4x2, cab and chassis from Landmark Ford in the amount of \$39,169.00.

**ALTERNATE DECISION**

As recommended by the Committee.

**DECISION MODE**

This item will be placed on the September 6, 2016 City Council agenda for formal consideration.



## CRITERIA FOR REPLACING CITY VEHICLES AND EQUIPMENT

UNIT NO	404	DEPARTMENT	Water	DATE	
MODEL YEAR	2003	MODEL	5500	10-25-15	
CURRENT MILEAGE	40,191	CURRENT HOURS			
				MAXIMUM POINTS	VEHICLE SCORE
<b>AGE</b>					
	Department	Water			
	Life Expectancy	12			
	Age as of Report Date	12			
	AGE: Meets Requirements			20	20
<b>USAGE</b>					
	MILES	40,191			
	HOURS				
	ATTACHMENT C OF THE VEHICLE REPLACEMENT POLICY				
	USAGE: Meets Requirements			20	8.04
<b>TYPE OF SERVICE</b>					
	1-LIGHT DUTY				
	15-CRITICAL DUTY				
	SERVICE: Meets Requirements			15	14
<b>RELIABILITY</b>					
	RELIABILITY: Frequency or Visits for Service				
	RELIABILITY: Meets Requirements			15	11
<b>MAINTENANCE AND REPAIR COSTS</b>					
	REPAIRS: Cost per Mile/Hours Exceeds Vehicle in Class				
	ORIGINAL PURCHASE PRICE	65,000.00			
	LIFE TO DATE REPAIR COST	11,751.20			
	PERCENTAGE OF REPAIRS TO PURCHASE PRICE	18.08%			

UNIT NO	404	DEPARTMENT		DATE
MODEL YEAR	2003	MODEL		10-25-15
CURRENT MILEAGE		CURRENT HOURS		
			MAXIMUM POINTS	VEHICLE SCORE
PERCENTAGES OF REPAIR POINTS	POINTS			
1 THROUGH 20	2			
21 THROUGH 40	4			
41 THROUGH 60	6			
61 THROUGH 80	8			
81 THROUGH 100	10			
	REPAIRS: Meets Requirements		10	2
CONDITION				
	CONDITION OF ENGINE COMPONENTS (MAJOR REPAIRS NEEDED OR ANTICIPATED), BODY (BODY SHEET METAL RUSTED, STRUCTURAL COMPONENTS)			
	CONDITION: Meets Requirements		15	15
TECHNOLOGICAL ADVANCEMENTS	FUEL EMISSIONS, SAFETY FEATURES, ERGONOMICS		5	5
TOTAL POINTS			100	75.04



5  
PM  
000

41204







GMC  
5500  
404

CITY OF DARIEN  
WATER DEPARTMENT





T.G. SMITH  
EQUIPMENT CO.  
DES PLAINES, ILL.  
817-824-0117







# Landmark

## SPC CONTRACT #144

**2017 FORD F350 XL 4X2 CAB & CHASSIS**

**Call Steve Decker (800)798-9912**

**E-Mail [steve.decker@landmarkauto.com](mailto:steve.decker@landmarkauto.com)**

### STANDARD PACKAGE

**\$23,102.00**

#### POWERTRAIN/FUNCTIONAL

- Alternator – 157 Amp, Heavy-Duty
- Brakes – Power 4-wheel disc/4-wheel anti-lock
- Fuel tank
  - 28 gallon mid ship (F-350 SRW)
  - 40 gallon aft axle (F-350 DRW)
- Oil minder system
- Shock absorbers – heavy-duty gas
- Springs, rear auxiliary
- Stabilizer bar – front and rear
- Stationary Elevated Idle Control (SEIC)
- Steering damper
- Steering – power
- Trailer wiring – 7 wire harness w/relays, blunt cut & labeled

#### EXTERIOR

- Door handles – Black
- Doors: 2
- Glass
  - Solar-tinted
- Lights – roof clearance
- Trailer Tow hooks – front (2)

#### INTERIOR

- Convenience
  - Coat hooks, RH/LH color-coordinated
  - Dash top tray
- RH/LH door activated & I/P switch operated w/delay
- Grab handles, driver & front-passenger

- Powerpoint, auxiliary
- Door-trim – color-coordinated molded w/grab handle & reflector
- Headliner – color-coordinated cloth
- Hood release
- Horn – dual electric
- Instrument panel – color-coordinated w/glove box, (4 air registers w/positive shut-off, powerpoint and upfitter switches
- Instrumentation – Multi-function switch message center with Ice Blue® Lighting three button message control on steering wheel for XL

- Scuff plates – color-coordinated
- Windshield wipers – interval control

#### SAFETY/SECURITY

- Airbags
    - Driver and Passenger frontal and side airbag/curtain
    - Passenger side airbag deactivation switch
  - Belt-Minder®, chime & flashing warning lights on I/P if belts not buckled
  - Child tethers Cab front-passenger
  - Safety Belts – Color-coordinated safety belts w/height adjustment (front-outboard seating positions only)
  - SOS Post-Crash Alert
- Manufacturer D&D

DELIVERY Within 50 Miles from Dealership

**3 Year 36,000 Mile Limited Bumper to Bumper Warranty**

**5 Year 60,000 Mile Powertrain Warranty**

**ORDER CUT OFF DATE ????**

**ADDITIONAL  
2017 FORD**

PLEASE  
FORD  
CONT.  
PHONI  
PURCH  
STATE

Quantity

1

*Chassis*

0 \*  
23,102 \* +  
147 \* +  
~~7,390 \* +~~  
3,454 \* +  
332 \* +  
308 \* +  
158 \* +  
69 \* +  
259 \* +  
214 \* +  
64 \* +  
73 \* +  
115 \* +  
249 \* +  
295 \* +  
107 \* +  
41 \* +  
214 \* +  
289 \* +  
249 \* +  
200 \* +  
175 \* +  
270 \* +  
795 \* +

**FORM  
SSIS**

Check desired options

<input type="checkbox"/>	Super Cab 4X2		\$2190
<input type="checkbox"/>	Crew Cab 4X2		\$2997
<input checked="" type="checkbox"/>	84" Cab To Axle		\$147
<input type="checkbox"/>	Single Rear Wheel Chassis		(\$326.0)
<input checked="" type="checkbox"/>	6.7L OHV Power Strike Diesel	99T	\$7990
<input checked="" type="checkbox"/>	4X4 with Manual Transfer Case		\$3454
<input checked="" type="checkbox"/>	Limited Slip Axle	X4L	\$332
<input checked="" type="checkbox"/>	Diesel	X4N	\$308.0
<input type="checkbox"/>	Gaseous Prep	98F	\$268.0
<input checked="" type="checkbox"/>	Electronic Shift On The Fly Requires 4x4	213	\$158.0
<input checked="" type="checkbox"/>	Engine Block Heater	41H	\$69.4
<input checked="" type="checkbox"/>	PTO Provision Requires	99T 62R	\$259.0
<input checked="" type="checkbox"/>	Engine Idle Shut Down Requires	99T	\$214.0
<input type="checkbox"/>	Dual Alternators Requires	99T	\$324.0
<input checked="" type="checkbox"/>	Extra HD Alternator	67D	\$64.0
<input type="checkbox"/>	Fuel Tank-28.5 Gallon Mid-Ship		\$107.0
<input type="checkbox"/>	Dual Fuel Tanks Requires	99T & 585 Radio	\$626.00
<input checked="" type="checkbox"/>	Snow Plow Prep Package Requires	4X4 473	\$73.00
<input checked="" type="checkbox"/>	Heavy Duty Front Suspension	67H	\$115.00
<input type="checkbox"/>	Colors		
<input type="checkbox"/>	Race Red	PQ	
<input type="checkbox"/>	Caribou	H5	
<input checked="" type="checkbox"/>	Oxford White	Z1	
<input type="checkbox"/>	Magnetic Metallic	J7	
<input type="checkbox"/>	Green Gem Metallic	W6	
<input type="checkbox"/>	Shadow Black	G1	
<input type="checkbox"/>	Blue Jeans Metallic	N1	
<input type="checkbox"/>	Ingot Silver Metallic	1X	

024.....  
39,169 \* 0  
024.....  
39,169 \* 0

ions

	52B	\$249.00	
	512	\$299.00	
	61J	\$48.00	
	18B	\$295.00	
	76C	\$107.00	
	942	\$41.00	
	433	\$107.00	
	96V	\$663.00	
	90L	\$841.00	
	0L	76S	\$180
	99T	\$214.00	
	96v xl value group	91M	\$1002.00
	requires 91M & 585 62D		\$60.00
			(\$726.00)
	556		(\$166.00)
	557		(\$166.00)

<input type="checkbox"/>	Cruise Control	525	\$235.00
<input type="checkbox"/>	Radio Delete	58Y	(\$44.00)
<input type="checkbox"/>	Powertrain Care 3 Years or 100,000 miles 4X2		\$1615.00
<input checked="" type="checkbox"/>	Rustproof & Undercoat		\$289.00
<input checked="" type="checkbox"/>	Detailed CD Rom Shop Manual		\$249.00
<input checked="" type="checkbox"/>	Delivery Greater Than 50 Miles from Dealership		\$200.00
<input checked="" type="checkbox"/>	License & Title Municipal Plate		\$175.00
<input checked="" type="checkbox"/>	Am/Fm Stereo/Single-CD/MP3 Player	585	\$270.00
<input checked="" type="checkbox"/>	4-corner strobe lights		795.00
<input type="checkbox"/>	Interior		
<input type="checkbox"/>	Steel	AS	

**RESOLUTION NO.** \_\_\_\_\_

**A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM LANDMARK FORD FOR THE PURCHASE OF ONE NEW 2017 FORD F350 XL 4X2, CAB AND CHASSIS IN THE AMOUNT OF \$39,169.00**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Landmark Ford for the purchase of one new 2017 Ford F350 XL 4x2, cab and chassis in the amount of \$39,169.00, a copy of which is attached hereto as "**Exhibit A**".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of September, 2016.**

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of September, 2016.**

\_\_\_\_\_  
KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

\_\_\_\_\_  
CITY ATTORNEY

**Landmark**   
**SPC CONTRACT #144**

**2017 FORD F350 XL 4X2 CAB & CHASSIS**

**Call Steve Decker (800)798-9912**

**E-Mail [steve.decker@landmarkauto.com](mailto:steve.decker@landmarkauto.com)**

**STANDARD PACKAGE**

**\$23,102.00**

**POWERTRAIN/FUNCTIONAL**

- Alternator – 157 Amp, Heavy-Duty
- Brakes – Power 4-wheel disc/4-wheel anti-lock
- Fuel tank
  - 28 gallon mid ship (F-350 SRW)
  - 40 gallon aft axle (F-350 DRW)
- Oil minder system
- Shock absorbers – heavy-duty gas
- Springs, rear auxiliary
- Stabilizer bar – front and rear
- Stationary Elevated Idle Control (SEIC)
- Steering damper
- Steering – power
- Trailer wiring – 7 wire harness w/relays, blunt cut & labeled

**EXTERIOR**

- Door handles – Black
- Doors: 2
- Glass
  - Solar tinted
- Lights – roof clearance
- Trailer Tow hooks – front (2)

**INTERIOR**

- Convenience
  - Coat hooks, RH/LH color-coordinated
  - Dash top tray
  - RH/LH door activated & I/P switch operated w/delay
- Grab handles, driver & front-passenger

- Powerpoint, auxiliary
- Door-trim – color-coordinated molded w/grab handle & reflector
- Headliner – color-coordinated cloth
- Hood release
- Horn – dual electric
- Instrument panel – color-coordinated w/glove box, (4 air registers w/positive shut-off, powerpoint and upfitter switches
- Instrumentation – Multi-function switch message center with Ice Blue® Lighting three button message control on steering wheel for XL
- Scuff plates – color-coordinated
- Windshield wipers – interval control

**SAFETY/SECURITY**

- Airbags
  - Driver and Passenger frontal and side airbag/curtain
  - Passenger side airbag deactivation switch
- Belt-Minder®, chime & flashing warning lights on I/P if belts not buckled
- Child tethers Cab front-passenger
- Safety Belts – Color-coordinated safety belts w/height adjustment (front-outboard seating positions only)
- SOS Post-Crash Alert

Manufacturer D&D

DELIVERY Within 50 Miles from Dealership

**3 Year 36,000 Mile Limited Bumper to Bumper Warranty**

**5 Year 60,000 Mile Powertrain Warranty**

**ORDER CUT OFF DATE ????**



**ADDITIONAL  
2017 FORD**

0 \*  
23,102 \* +  
147 \* +  
~~7,390 \* +~~  
3,454 \* +  
332 \* +  
308 \* +  
158 \* +  
69 \* +  
259 \* +  
214 \* +  
64 \* +  
73 \* +  
115 \* +  
249 \* +  
295 \* +  
107 \* +  
41 \* +  
214 \* +  
289 \* +  
249 \* +  
200 \* +  
175 \* +  
270 \* +  
795 \* +

**FORM  
CHASSIS**

PLEASE  
FORD  
CONT.  
PHONI  
PURCH  
STATE

*CAD 1/2  
CHASSIS*

Quantity

1

Check desired options

<input type="checkbox"/>	Super Cab 4X2		\$2190
<input type="checkbox"/>	Crew Cab 4X2		\$2997
<input checked="" type="checkbox"/>	84" Cab To Axle		\$147
<input type="checkbox"/>	Single Rear Wheel Chassis		(\$326.0)
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<input checked="" type="checkbox"/>	4X4 with Manual Transfer Case		\$3454
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<input checked="" type="checkbox"/>	Engine Block Heater	41H	\$69.0
<input checked="" type="checkbox"/>	PTO Provision Requires	99T 62R	\$239.0
<input checked="" type="checkbox"/>	Engine Idle Shut Down Requires	99T	\$214.0
<input type="checkbox"/>	Dual Alternators Requires	99T	\$324.00
<input checked="" type="checkbox"/>	Extra HD Alternator	67D	\$64.00
<input type="checkbox"/>	Fuel Tank-28.5 Gallon Mid-Ship		\$107.00
<input type="checkbox"/>	Dual Fuel Tanks Requires 99T & 585 Radio		\$626.00
<input checked="" type="checkbox"/>	Snow Plow Prep Package Requires 4X4	473	\$73.00
<input checked="" type="checkbox"/>	Heavy Duty Front Suspension	67H	\$115.00
<input type="checkbox"/>	Colors		
<input type="checkbox"/>	Race Red	PQ	
<input type="checkbox"/>	Caribou	H5	
<input checked="" type="checkbox"/>	Oxford White	Z1	
<input type="checkbox"/>	Magnetic Metallic	J7	
<input type="checkbox"/>	Green Gem Metallic	W6	
<input type="checkbox"/>	Shadow Black	G1	
<input type="checkbox"/>	Blue Jeans Metallic	N1	
<input type="checkbox"/>	Ingot Silver Metallic	UX	

024.....  
39,169 \* +  
024.....  
39,169 \* +

ions

	52B	\$249.00	
	512	\$299.00	
	61J	\$48.00	
	18B	\$295.00	
	76C	\$107.00	
	942	\$41.00	
	433	\$107.00	
	96V	\$663.00	
	90L	\$841.00	
00L	76S	\$180	
es 99T		\$214.00	
96v xl value group	91M	\$1002.00	
requires 91M & 585 62D		\$60.00	
		(\$726.00)	
	556	(\$166.00)	
	557	(\$166.00)	
<input checked="" type="checkbox"/>	Cruise Control	525	\$235.00
<input type="checkbox"/>	Radio Delete	58Y	(\$44.00)
<input type="checkbox"/>	Powertrain Care 3 Years or 100,000 miles 4X2		\$1615.00
<input checked="" type="checkbox"/>	Rustproof & Undercoat		\$289.00
<input checked="" type="checkbox"/>	Detailed CD Rom Shop Manual		\$249.00
<input checked="" type="checkbox"/>	Delivery Greater Than 50 Miles from Dealership		\$200.00
<input checked="" type="checkbox"/>	License & Title Municipal Plate		\$175.00
<input checked="" type="checkbox"/>	Am/Fm Stereo/Single-CD/MP3 Player	585	\$270.00
<input checked="" type="checkbox"/>	4-corner strobe lights		795.00
<input type="checkbox"/>	Interior		
<input type="checkbox"/>	Steel	AS	

**AGENDA MEMO**  
**City Council**  
**August 22, 2016**

**ISSUE STATEMENT**

Approval of a resolution accepting a proposal from Henderson Products for the purchase of a service body equipment package, lighting accessories, and hydraulic controls, for the 2017 Ford F350 XL 4x2, cab and chassis, Unit 404 in the amount of \$37,139.

**BACKGROUND/HISTORY**

The proposed equipment package would be installed on the 2017 Ford F350 XL 4x2, cab and chassis, Unit 404. Please note, the cab and chassis is covered under a separate agenda memo. The vehicle would be utilized by the Water Division for material hauling, snow plowing and de-icing operations.

The Equipment Package would be purchased through the National Joint Powers Alliance (NJPA) with the awarded vendor, Henderson Products, in the amount of \$37,139 and as per the attached specs labeled as Attachment A. Attached and labeled as Attachment B, is the National Joint Powers Alliance.

The proposed expenditure would be expended from the following line account:

ACCOUNT NUMBER	ACCOUNT DESCRIPTION	FY 16/17 BUDGET	PROPOSED EXPENDITURE	PROPOSED BALANCE
02-50-4815	CAPITAL PURCHASES TRUCK REPL UNIT 404	\$ 78,500	\$ 39,169	\$ 39,331
02-50-4815	CAPITAL PURCHASES TRUCK DECALS	N/A	\$ 915	\$ 38,416
02-50-4815	CAPITAL PURCHASES EQUIPMENT PACKAGE	N/A	\$ 37,139	\$ 1,277

**STAFF RECOMMENDATION**

Staff recommends approval of a resolution accepting a proposal from Henderson Products for the purchase of a service body equipment package, lighting accessories, and hydraulic controls, for the 2017 Ford F350 XL 4x2, cab and chassis, Unit 404 in the amount of \$37,139.

**ALTERNATE DECISION**

As recommended by the Committee.

**DECISION MODE**

This item will be placed on the September 6, 2016 City Council agenda for formal consideration.



Henderson Products - Illinois  
11921 Smith Drive  
Huntley, IL. 61042

Toll Free: 888-360-7483  
Office: 847-836-4996

## Quote

Date: 7/29/2016  
To: Kris Throm c/o Village of Darien  
By: Norm LaValla  
Re: Equipment for F350 4WD NJPA

8-15-16 Revised plow text

Henderson Products-Illinois is pleased to quote the following equipment:

### Henderson Products MK3 201 SS Dump Body 201 Stainless steel

Inward Tapered cab shield  
Capacity to be (3.5/4.7 ) yd<sup>3</sup> struck.  
Inside length of (9 ) feet.  
Inside width to be (85)" ; (95)" outside.  
Side height of (18) inches.  
Tailgate height of (24) inches.

### SIDES & HEADSHEET

Double Wall 12 ga 201 ss with boxed dirt shedding top rail

### FLOOR

One-piece 3/16" AR-400 steel with formed in 2" floor to side radius.  
Cross member Design  
One-piece 8" x #10.0 I-beam long sills. A lower center of gravity is achieved with an 9" mounting height.  
One-piece 4" subframe with module cradle and rear hinge assembly for quick installation

### TAILGATE

Quick release tailgate.  
Single handle quick release tailgate  
3/8" x 1-1/2" handle, located in center of tailgate, is spring loaded with vinyl grip.  
10 gauge tailgate sheet  
Two 1" release pins w/ grease zerks, attached to 1/2" x 1-1/4"  
Bar running from center release handle.

### HOIST

The dump body hoist system shall be a scissor-type underbody hoist featuring a single stage 5.5 bore x 20" stroke x 2" rod cylinder. The hoist shall be NTEA class 50 rated at a 12" overhang. The lift cylinder shall carry a minimum 2 year warranty.

### REAR HINGE

4"x 3" x 1/4" structural angle rear hinge assembly with 1-1/4" 1045 CR pins.  
Connected through 4" bushing with grease zerks.

### PAINT PREPARATION

All surfaces are high pressure cleaned.  
underside to be primed black.

### Henderson Products TGS Undertailgate Spreader

All hydraulic Drive

Henderson Products

- 6" Bi-directional
- 3/8" auger flighting
- 18" poly spinner
- Hydraulic safety inter-lock
- Self leveling spinner does not require stabilizer bar
- Anti flow plate

**SNOW PLOW**

- Western Pro Plus 9' Steel Snow Plow
- Power Unit w/In-Cab Hand Controls
- Rubber Snow Deflector
- Blade Guides
- HD Cast Skid Shoes
- Curb Guards

**CENTRAL HYDRAULICS**

- CW Mills Fan Belt Clutch Pump Kit w/Parker Pump
- 20 Gallon Valve tank Combo
- 1 Spool valve for hoist w/ Spreader manifold
- Freedom 2 Manual Electric Spreader Controller
- Push -Pull cable
- RVC tower
- SS tubing to Rear

**LIGHT PACKAGE**

- 2 Front facing Rubber mounted, shock resistant Oval LED warning lights
- 2 Rear facing Rubber mounted, shock resistant Oval LED Warning lights
- Rubber mounted, shock resistant stop/turn/tail combination B/U light in each rear corner post.
- Highly visible, yet recessed for protection. Four red rear, two side mounted red rear reflectors, and two side mounted amber front reflectors.
- Includes a one piece sealed wiring harness.

**TOWING**

- 5/8" thick Pintle plate
- 2" reciver
- 2-5/16 combination Pintle Hook
- 7 pin rv style trailer plug
- D Rings

**MISC**

- Wash & clean truck & vacuum inside of cab
- P/u and re-deliver truck to City of Darien.

---

Price per Unit:	\$37,139.00
Number of Units	1
Extended Price	\$37,139.00
Total Quote Price	\$37,139.00

FOB Huntley, IL

**Please note the following regarding installation quotes:**

A clean truck frame without obstruction is assumed in the pricing of our quote. Re-positioning of air tanks, fuel tanks or other obstacles to the ease of installation may require additional charges. Henderson will notify you before modification if this occurs.

# PROPOSAL

CITY OF DARIEN  
MUNICIPAL SERVICES  
1041 S. FRONTAGE ROAD  
DARIEN, ILLINOIS 60561

December 1, 2015

QUOTE Estimate for graphics for 2016.

## PUBLIC WORKS TRUCK GRAPHICS PACKAGE

PER: LAYOUT SUBMITTED

ALL GRAPHICS WILL BE PRINTED & REFLECTIVE

REAR White conspicuity safety striping

THREE SETS OF UNIT NUMBERS

A protective gloss laminate coating will be applied to all printed format

Please note:

Removal of any old graphics will be based on a additional quote

MATERIALS & WORKMANSHIP IS GUARANTEED FOR 5 YEARS

PRICE BASED ON 1 UNITS Smaller Units

\$715.00 PER UNIT

Larger Dumps with 5" lettering and additional safety stripes. Add

\$200.00 PER UNIT

ACCEPTED: \_\_\_\_\_ DATE \_\_\_\_\_

If you have any questions please do not hesitate to call me. Thank You.

SINCERELY



JAKE M. ZAAGMAN



EMERGENCY VEHICLE GRAPHICS

Ph. 630.879.2525  
JAKETHESTRIPER.COM  
JAKETHESTRIPER@aol.com



Contract Award  
RFP #080114

FORM D



**Formal Offering of Proposal**  
(To be completed Only by Proposer)

**SNOW AND ICE HANDLING EQUIPMENT WITH RELATED ACCESSORIES, SERVICES, AND SUPPLIES**

In compliance with the Request for Proposal (RFP) for SNOW AND ICE HANDLING EQUIPMENT WITH RELATED ACCESSORIES, SERVICES, AND SUPPLIES the undersigned warrants that I/we have examined this RFP and, being familiar with all of the instructions, terms and conditions, general specifications, expectations, technical specifications, service expectations and any special terms, do hereby propose, fully commit and agree to furnish the defined equipment/products and related services in full compliance with all terms, conditions of this RFP, any applicable amendments of this RFP, and all Proposer's Response documentation. Proposer further understands they accept the full responsibility as the sole source of responsibility of the proposed response herein and that the performance of any sub-contractors employed by the Proposer in fulfillment of this proposal is the sole responsibility of the Proposer.

Company Name: HENDERSON PRODUCTS INC Date: AUG 16 2011

Company Address: 1085 SOUTH 3RD STREET PO BOX 10

City: MANCHESTER State: IA Zip: 52057

Contact Person: GLENN BECK Title: VP SALES & MARKETING

Authorized Signature (ink only): *[Handwritten Signature]* GLENN BECK  
(Name printed or typed)



Contract Acceptance and Award

(To be completed only by NJPA)

**NJPA 000114 SNOW AND ICE HANDLING EQUIPMENT WITH RELATED ACCESSORIES, SERVICES, AND SUPPLIES**

HENDERSON PRODUCTS, INC.

Proposer's full legal name

Your proposal is hereby accepted and awarded. As an awarded Proposer, you are now bound to provide the defined products/equipment and services contained in your proposal offering according to all terms, conditions, and pricing set forth in this RFP, any amendments to this RFP, your Response, and any exceptions accepted or rejected by NJPA on Form C.

The effective start date of the Contract will be October 21, 2014 and continue for four years from the board award date. This contract has the consideration of a fifth year renewal option at the discretion of NJPA.

National Joint Powers Alliance (NJPA)

NJPA Authorized signature:

NJPA Executive Director

Dr. Chad Crowette

(Name printed or typed)

Awarded this

21<sup>st</sup> day of October, 2014

NJPA Contract Number 000114-HPI

NJPA Authorized signature:

NJPA Board Member

Scott Vernon

(Name printed or typed)

Executed this

21<sup>st</sup> day of October, 2014

NJPA Contract Number 000114-HPI

Proposer hereby accepts contract award including all accepted exceptions and NJPA clarifications identified on FORM C.

Vendor Name Henderson Products Inc

Vendor Authorized signature:

Glenn Beck

(Name printed or typed)

Title: VP Sales & Marketing

Executed this

23<sup>rd</sup> day of October, 2014

NJPA Contract Number 000114-HPI

**NO HIDDEN CHARGES**

**NJPA AWARDED  
CONTRACT**

**Henderson®**

**ALL-INCLUSIVE PACKAGES:  
PRICING INCLUDES EQUIPMENT, HYDRAULICS, INSTALLATION,  
AND DELIVERY!**



**NO LIABILITY • NO COST • NO OBLIGATION**  
**JOIN FREE**

**REGISTER TODAY  
TO PURCHASE OFF THE CONTRACT!**

<http://www.njpacoop.org/national-cooperative-contract-solutions/join-njpa/>

**CONTRACT 080114-HPI**

**NJPA AWARDED CONTRACT**

CONTRACT NUMBER

**080114-HPI**

**PRICING INCLUDES EQUIPMENT, HYDRAULICS, INSTALLATION AND DELIVERY!**

**PORTS AVAILABLE**

**RSP - REVERSIBLE SNOW PLOW**  
AVAILABLE IN POLY, MILD STEEL OR STAINLESS STEEL MOLDBOARD

**MARK-E SINGLE AXLE DUMP BODY**  
AVAILABLE IN MILD OR STAINLESS STEEL

**MARK-E TANDEM AXLE DUMP BODY**  
AVAILABLE IN MILD OR STAINLESS STEEL

**MUNIBODY (22° OR 35° SLOPED SIDES)**  
COMBINATION DUMP BODY & SPREADER  
AVAILABLE IN MILD OR STAINLESS STEEL

**BLACKBELT MAXX ALL-SEASON MULTI-PURPOSE BODY**  
AN ADVANCED COMBINATION BODY

**HENDERSON WING SYSTEMS (CABLE OR HYDRAULIC)**  
AVAILABLE WITH MILD OR STAINLESS STEEL MOLDBOARD

**UNDERBODY SCRAPER (FIXED OR REVERSING)**  
AVAILABLE WITH MILD OR STAINLESS STEEL MOLDBOARD

**FSH - HEAVY-DUTY SALT/SAND SPREADER**  
AVAILABLE IN MILD OR STAINLESS STEEL

**TGS - TAILGATE SPREADER**  
LOW MAINTENANCE SPREADER  
AVAILABLE IN MILD OR STAINLESS STEEL

**PRE-WETTING SYSTEMS**  
HYDRAULIC OR ELECTRIC CONTROLS

**FIRST RESPONSE SYSTEM**  
4-IN-1 ADVANCED ANTI-ICING & DEICING SYSTEM

**LAS - LIQUID APPLICATION SYSTEM**  
YEAR ROUND USE, EASILY SLIPS INSIDE EXISTING DUMP BODIES

**DIRECT CAST - PRECISION PLACEMENT SPINNER**  
ON-THE-GO DIRECTIONAL CONTROL PRECISION CAST

**BRINEXTREME PRO**  
CONTINUOUS BRINE PRODUCTION SYSTEM-UP TO 6,000 GPH

**BRINEXTREME ULTIMATE**  
100% AUTOMATION, REPEATABILITY & SELF CLEANING WITH  
CONTINUOUS BRINE PRODUCTION UP TO 9,800 GPH

**BRINEXTREME MOBILE UNIT**  
MOBILIZE! 100% AUTOMATION, REPEATABILITY  
& SELF CLEANING WITH CONTINUOUS  
BRINE PRODUCTION UP TO 9,800 GPH

**TO OUR CONTACT:**

**Henderson**

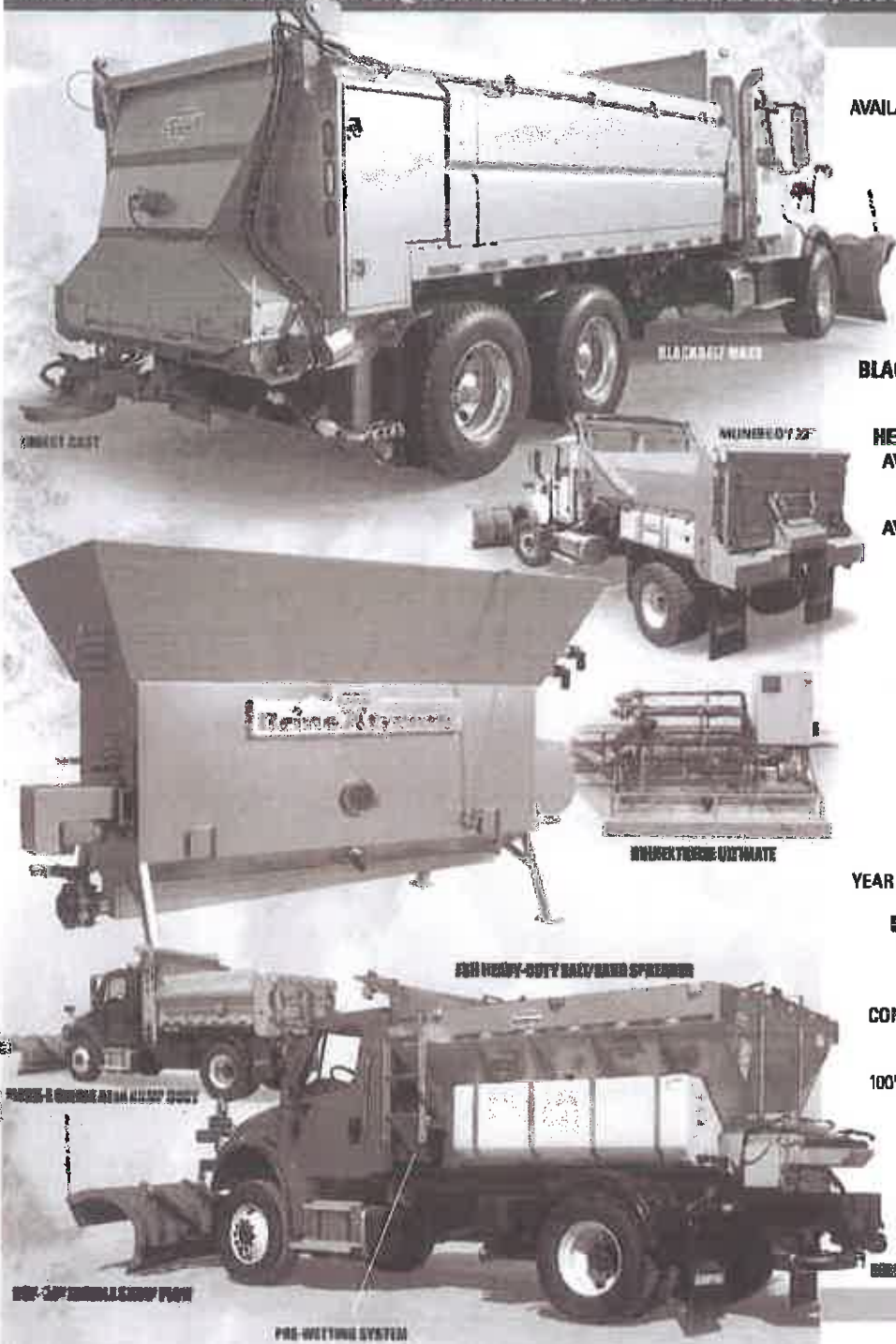
**HENDERSON PRODUCTS, INC.**

JANET TOBIN | CONTRACT ADMINISTRATOR  
(563) 927-7267

1085 South Third Street, Manchester, IA 52057

[jtobin@hendersonproducts.com](mailto:jtobin@hendersonproducts.com)

[www.hendersonproducts.com](http://www.hendersonproducts.com)



**201 STAINLESS STEEL**  
**304 STAINLESS STEEL**  
**409 STAINLESS STEEL**  
**MILD STEEL GRADE 50**  
**AR400**  
**POLYMER MOLDBOARD**

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM HENDERSON PRODUCTS FOR THE PURCHASE OF A SERVICE BODY EQUIPMENT PACKAGE, LIGHTING ACCESSORIES, AND HYDRAULIC CONTROLS FOR THE 2017 FORD F350 XL 4X2, CAB AND CHASSIS, UNIT 404 IN THE AMOUNT OF \$37,139**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, as follows:**

**SECTION 1:** The City Council of the City of Darien hereby authorizes the Mayor and City Clerk to accept a proposal from Henderson Products for the purchase of a service body equipment package, lighting accessories, and hydraulic controls for the 2017 Ford F350 XL 4x2, cab and chassis, Unit 404 in the amount of \$37,139.00, a copy of which is attached hereto as "Exhibit A".

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of September, 2016.**

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**APPROVED BY THE MAYOR OF THE CITY OF DARIEN, DU PAGE COUNTY, ILLINOIS, this 6<sup>th</sup> day of September, 2016.**

\_\_\_\_\_  
KATHLEEN MOESLE WEAVER, MAYOR

ATTEST:

\_\_\_\_\_  
JOANNE E. RAGONA, CITY CLERK

APPROVED AS TO FORM

\_\_\_\_\_  
CITY ATTORNEY





**Henderson Products - Illinois**  
**11921 Smith Drive**  
**Huntley, IL. 61042**

**Toll Free: 888-360-7483**  
**Office: 847-836-4996**

## Quote

**Date: 7/29/2016**  
**To: Kris Throm c/o Village of Darien**  
**By: Norm LaValla**  
**Re: Equipment for F350 4WD NJPA**

8-15-16 Revised plow Text

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Henderson Products-Illinois is pleased to quote the following equipment:

**Henderson Products MK3 201 SS Dump Body**  
**201 Stainless steel**

*Inward Tapered cab shield*  
 Capacity to be (3.5/4.7 ) yd<sup>3</sup> struck.  
 Inside length of (9 ) feet.  
 Inside width to be (85)", (95)" outside.  
 Side height of (18) inches.  
 Tailgate height of (24) inches.

**SIDES & HEADSHEET**

Double Wall 12 ga 201 ss with boxed dirt shedding top rail

**FLOOR**

One-piece 3/16" AR-400 steel with formed in 2" floor to side radius.  
 Cross member Design  
 One-piece 8" x #10.0 I-beam long sills. A lower center of gravity is achieved with an 9" mounting height.  
 One-piece 4" subframe with module cradle and rear hinge assembly for quick installation

**TAILGATE**

Quick release tailgate

Single handle quick release tailgate  
 3/8" x 1-1/2" handle, located in center of tailgate, is spring loaded with vinyl grip.  
 10 gauge tailgate sheet  
 Two 1" release pins w/ grease zerks, attached to 1/4"x 1-1/4"  
 Bar running from center release handle.

**HOIST**

The dump body hoist system shall be a scissor-type underbody hoist featuring a single stae  
 5.5 bore x 20" stroke x 2" rod cylindr. The hoist shall be NTEA class 50 rated at a 12" overhang.  
 The lift cylinder shall carry a minimum 2 year warranty.

**REAR HINGE**

4"x 3" x 1/4" structural angle rear hinge assembly with 1-1/4" 1045 CR pins.  
 Connected through 4" bushing with grease zerks.

**PAINT PREPARATION**

All surfaces are high pressure cleaned.  
 underside to be primed black.

**Henderson Products TGS Undertailgate Spreader**  
**All hydraulic Drive**

Henderson Products

6" Bi-directional  
3/8" auger flighting  
18" poly spinner  
Hydraulic safety inter-lock  
Self leveling spinner does not require stabilizer bar  
Anti flow plate

**SNOW PLOW**

Western Pro Plus 9' Steel Snow Plow  
Power Unit w/In-Cab Hand Controls  
Rubber Snow Deflector  
Blade Guides  
HD Cast Skid Shoes  
Curb Guards

**CENTRAL HYDRAULICS**

CW Mills Fan Belt Clutch Pump Kit w/Parker Pump  
20 Gallon Valve tank Combo  
1 Spool valve for hoist w/ Spreader manifold  
Freedom 2 Manual Electric Spreader Controller  
Push -Pull cable  
RVC tower  
SS tubing to Rear

**LIGHT PACKAGE**

2 Front facing Rubber mounted, shock resistant Oval LED warning lights  
2 Rear facing Rubber mounted, shock resistant Oval LED Warning lights  
Rubber mounted, shock resistant stop/turn/tail combination B/U light in each rear corner post.  
Highly visible, yet recessed for protection. Four red rear, two side mounted red rear reflectors, and two side mounted amber front reflectors.  
Includes a one piece sealed wiring harness.

**TOWING**

5/8" thick Pintle plate  
2" reciver  
2-5/16 combination Pintle Hook  
7 pin rv style trailer plug  
D Rings

**MISC**

Wash & clean truck & vacuum inside of cab  
P/u and re-deliver truck to City of Darien

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Price per Unit:	\$37,139.00
Number of Units	1
Extended Price	\$37,139.00
Total Quote Price	\$37,139.00

FOB Huntley, IL

**Please note the following regarding installation quotes:**

A clean truck frame without obstruction is assumed in the pricing of our quote. Re-positioning of air tanks, fuel tanks or other obstacles to the ease of installation may require additional charges. Henderson will notify you before modification if this occurs.

# PROPOSAL

CITY OF DARIEN  
MUNICIPAL SERVICES  
1041 S. FRONTAGE ROAD  
DARIEN, ILLINOIS 60561

December 1, 2015

QUOTE Estimate for graphics for 2016.

## PUBLIC WORKS TRUCK GRAPHICS PACKAGE

PER: LAYOUT SUBMITTED  
ALL GRAPHICS WILL BE PRINTED & REFLECTIVE  
REAR White conspicuity safety striping  
THREE SETS OF UNIT NUMBERS  
A protective gloss laminate coating will be applied to all printed format  
Please note:  
Removal of any old graphics will based on a additional quote

MATERIALS & WORKMANSHIP IS GUARANTEED FOR 5 YEARS

PRICE BASED ON 1 UNITS    Smaller Units                    \$715.00 PER UNIT  
Larger Dumps with 5" lettering and additional safety stripes. Add    \$200.00 PER UNIT

ACCEPTED: \_\_\_\_\_ DATE \_\_\_\_\_

If you have any questions please do not hesitate to call me. Thank You.

SINCERELY



JAKE M. ZAAGMAN



EMERGENCY VEHICLE GRAPHICS

Ph. 630.879.2525  
JAKETHESTRIPER.COM  
JAKETHESTRIPER@aol.com

**MINUTES**  
**CITY OF DARIEN**  
**MUNICIPAL SERVICES COMMITTEE**  
**July 18, 2016**

**PRESENT:** Joseph Marchese – Chairperson, Alderman Thomas Belczak, Alderman Thomas Chlystek, Dan Gombac – Director, Steven Manning - City Planner

**ABSENT:** None

**ESTABLISH QUORUM**

Chairperson Marchese called the meeting to order at 6:15 p.m. at the City Hall – City Council Chambers, Darien, Illinois and declared a quorum present.

**NEW BUSINESS**

- a. **PZC 2016-06: 8731 Kentwood Court: Petitioner seeks approval of an ordinance approving a zoning variation to reduce the required interior side yard setback from 10 feet to 5 feet in order to construct a deck.**

Mr. Steven Manning, City Planner reported that the petitioner proposes to construct a deck to the rear of the house extending five feet from the interior side lot line. He reported that the Ordinance requires a 10 foot setback. Mr. Manning reported that the PZC held a public hearing and recommended approval and that there were no objections from the neighbors. He further reported that he also provided the Committee with a couple of photos.

Mr. Dan Gombac, Director reported that there are no issues with drainage and that the deck will be elevated.

Alderman Chlystek questioned if the neighbors were notified.

The petitioner, Mr. Jacob Bryant stated that all of his neighbors were notified and that they are in favor of the deck.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Chlystek that based upon the submitted petition and the information presented, the request associated with PZC 2016-06 is in conformance with the standards of the Darien City Code and, move that the Municipal Services Committee approve the petition as presented.**

**Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.**

- b. **Class K and H Liquor License: Consideration of an Ordinance to amend the liquor license for Cafe Smilga at 2819 83rd Street in the Crossroads Retail Shops building from a Class K to a Class H.**

Mr. Dan Gombac, Director reported that the petitioner wishes to amend their liquor license from Class K to Class H. He reported that that the petitioner states that he has been selling beer and wine for over 11 years for consumption on the premises as

accessory to their main purpose of service food under the Class K license and now they would like to add selling specialty packaged beer and wine for carry out under the Class H license. Mr. Gombac reported that Home Run Inn and Zazzo's have Class H liquor licenses.

Chairperson Marchese questioned if the petitioner will require additional cooling units.

Mr. Gombac reported that the petitioner stated that he will make room in his present coolers if necessary but that he is not sure if he will be serving the beer and wine chilled.

There was no one in the audience wishing to present public comment.

**Alderman Chylstek made a motion and it was seconded by Alderman Belczak to approve AN ORDINANCE AMENDING SECTION 3-3-7-11, CLASS K LICENSE AND SECTION 3-3-7-8, CLASS H LICENSE OF THE DARIEN CITY CODE.**

**Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.**

- c. Resolution - Approval to accept a proposal from Suburban Laboratories for the 2016/17 Bacteriological and Chemical/Radiological/LT2 Water Sampling Program in an amount not to exceed \$6,220.00.**

Mr. Dan Gombac, Director reported that the Illinois Environmental Protection Agency recently submitted to the City of Darien the 2016 Community Water Supply testing and schedule. He reported that State 2DBP rule is intended to reduce potential cancer and reproductive and developmental health risks from disinfection byproducts in drinking water. Mr. Gombac reported that staff received three competitive quotes.

Mr. Gombac further reported that this has been done since 2007 and the cost has gone down since then. He reported that staff is anticipating approximately \$3,000 under budget.

There was no one in the audience wishing to present public comment.

**Alderman Belczak made a motion and it was seconded by Alderman Chylstek to approve A RESOLUTION AUTHORIZING THE MAYOR TO ACCEPT A PROPOSAL FROM SUBURBAN LABORATORIES FOR THE 2016/2017 BACTERIOLOGICAL AND CHEMICAL/RADIOLOGICAL/LT2 WATER SAMPLING PROGRAM IN AN AMOUNT NOT TO EXCEE \$6,220.00.**

**Upon voice vote, the MOTION CARRIED UNANIMOUSLY 3-0.**

- d. Minutes - June 20, 2016 Municipal Services Committee**

**Alderman Chylstek made a motion and it was seconded by Alderman Belczak to approve the June 20, 2016 Municipal Services Committee Meeting Minutes.**

**Upon voice vote, THE MOTION CARRIED UNANIMOUSLY 3-0.**



## DIRECTOR'S REPORT

Mr. Gombac reported that the ditching projects are going well and that staff is anticipating coming within or slightly under budget.

Mr. Gombac reported that Starbucks is officially coming to Darien and that they are expecting to open in September. He reported that the developer is working with a breakfast establishment and that the awnings maybe changing colors at the request of Starbucks.

Mr. Gombac reported that the Plainfield Road project is on schedule with a September completion. He further reported that the Speedway/Brookhaven Plaza driveway access is delayed due to Walgreen's needing to give approval. He stated that Walgreen's is unresponsive and that he is reaching out to them to move this along.

Alderman Belczak questioned who is responsible for overgrown trees along 71st and Cass. He stated that the overgrowth makes it difficult to see when making a turn.

Mr. Gombac reported that staff will reach out to the residents and if they are unresponsive that the City will contact the County. He stated that if it is minor the City staff has the right to clear. Mr. Gombac reported that he will contact the residents and/or the County and keep Alderman Belczak updated.

Alderman Chlystek questioned the length of the Starbucks lease.

Mr. Gombac reported that he was not sure but he believed it was a 20 year lease.

Mr. Gombac reported that he may want to have a meeting before the City Council meeting for tree bids to push up the project.

## NEXT SCHEDULED MEETING

Chairperson Marchese announced that the next regularly scheduled meeting is scheduled for Monday, August 22, 2016 at 6:30 p.m.

## ADJOURNMENT

**With no further business before the Committee, Alderman Marchese made a motion and it was seconded by Alderman Belczak to adjourn. Upon voice vote, THE MOTION CARRIED unanimously and the meeting adjourned at 7:00 p.m.**

**RESPECTFULLY SUBMITTED:**

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**Joseph Marchese**  
**Chairman**

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**Thomas Belczak**  
**Alderman**

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**Thomas Chlystek**  
**Alderman**