

CITY OF DARIEN
PLANNING, ZONING, AND ECONOMIC DEVELOPMENT COMMISSION

Wednesday, May 7, 2025

7:00 PM

Council Chambers

1702 Plainfield Road

AGENDA

- 1) Call to Order
- 2) Roll Call
- 3) Regular Meeting – New Business

a. PZC2025-08

8337 Grandview Lane – Daniel Dobrzynski

A petition for a variation from Section 5A-5-8-2-4 of the City Code to permit a fence 6 feet in height within the corner side and rear yard of 8337 Grandview Lane, Darien IL 60561 (PIN 09-31-401-005).

b. PZC2025-10

2330 Green Valley Road – Brennan O’Brien

A petition for a variation from Section 5A-5-8-2-4 of the City Code to permit a fence 6 feet in height within the corner side and rear yard of 2330 Green Valley Road, Darien IL 60561 (PIN 09-29-402-013).

c. PZC2025-07

6624 Richmond Avenue – Maria Saenz

A petition for a plat of subdivision to subdivide the property at 6624 Richmond Avenue (PIN 09-22-104-056) into two lots, and a variation from Section 5A-7-2-5 of the City Code to allow for the creation of a lot less than 120 feet in depth within the Single Family Residence (R-2) District, which still meets the minimum lot area requirement.

d. PZC2024-09

7511 Lemont Road – Chestnut Court Darien IL LLC

A petition for the rezoning and redevelopment of the Chestnut Court shopping center located in the B-3 (General Business) zoning district at the southeast corner of 75th Street and Lemont Road, commonly known as 7511 Lemont Road (PINs 09-29-300-008, 09-29-300-022, 09-29-300-023, 09-29-300-024, and 09-29-300-025). The project includes the following:

- A request to change the zoning for the project site from B-3 (General Business District) to M-U (Mixed-Use);

- A variation to allow for ground-floor residential for a multifamily apartment building;
- A variation to reduce the required parking ratio from 2 spaces per dwelling unit to 1 space per dwelling unit;
- A preliminary plat of subdivision to re-subdivide the site for development purposes
- The construction of three (3) retail buildings totaling 107,165 square-feet and one 151,196 square-foot four-story 156-unit multifamily apartment building comprised of studio, one-bedroom and two-bedroom units, with residential amenities including a fitness room, club room, storage, and outdoor recreation areas, with an option to increase the number of units to a total of 166-units;
- Façade improvements for the commercial center;
- On-site improvements including landscaping, fencing, walkways, parking and loading areas, on-site utilities, and drainage/stormwater facilities

4) Regular Meeting – Old Business

5) Staff Updates & Correspondence

6) Approval of Minutes April 16, 2025

7) Next Meeting May 21, 2025

8) Public Comments [On Any Topic Related to Planning and Zoning]

9) Adjournment

AGENDA MEMO
PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION
MAY 7, 2025

CASE

PZC2025-08

Variation

Daniel Dobrzynski – 8337 Grandview Lane

ISSUE STATEMENT

A petition from Daniel Dobrzynski for a variation from Section 5A-5-8-2-(A)-4 of the City Code to permit a fence six feet in height within the corner side and rear yard of 8337 Grandview Lane, Darien IL 60561 (PIN 09-31-401-005).

GENERAL INFORMATION

Petitioner:	Daniel Dobrzynski
Property Owner:	Daniel and Denine Dobrzynski
Property Location:	8337 Grandview Lane
PIN Number:	09-31-401-005
Existing Zoning:	Single-Family Residence Zoning District (R-2)
Existing Land Use:	Detached Single-Family Home
Comprehensive Plan:	Low Density Residential
Surrounding Zoning & Uses	
North:	Single-Family Residence (R-2); Single-Family
East:	Single-Family Residence (R-2); Single-Family
South:	Single-Family Residence (R-2); Single-Family
West:	Single-Family Residence (R-2); Single-Family
Size of Property:	0.26 Acres
Floodplain:	N/A
Natural Features:	Generally flat, gentle slope from east to west
Transportation:	Accessed from a driveway on Grandview Lane.

PETITIONER DOCUMENTS (ATTACHED TO MEMO)

- 1) LOCATION MAP AND AERIAL PHOTO
- 2) PLAT OF SURVEY
- 3) SITE PHOTOS
- 4) PROPOSED FENCE PLAN
- 5) FENCE PLAN WITHOUT VARIATION
- 6) HARDSHIP DIAGRAM
- 7) JUSTIFICATION NARRATIVE

BACKGROUND / ANALYSIS

Background: The subject property, 8337 Grandview Lane, is located at the northeast corner of Grandview Lane and Drover Lane in the Single-Family R-2 District (see Attachment 1). It is part of the Gallagher and Henry's Farmingdale Village Unit 3 Subdivision. The 0.26-acre parcel is improved with a single-family residence and is fairly flat, gently sloping from east to west. As depicted on the plat survey (see Attachment 2) and site photos provided by the petitioner (see Attachment 3), an existing four-foot fence bounds the corner side yard along Drover Lane, which is aligned at an acute angle from the intersection of Grandview Lane and Drover Lane.

Proposal: The petitioner proposes to construct a six-foot tall fence in the same approximate location as the existing four-foot fence, with the exception of a 10-foot deep by 13-foot wide section at the southeast corner of the lot, which will be angled to allow for sight-line safety for the rear neighbor when they exist their driveway (see Attachment 4).

Zoning Code Regulations: Section 5A-5-8-2-(A)-2 and -4 of the Darien Zoning Code states that fences six-feet in height may be constructed in corner side yards and rear yards, “*provided that the height of the fence shall not exceed four feet (4') in that part of the actual rear yard abutting a front yard of another lot.*” Under the normal zoning conditions without a variation, a fence would be restricted to four-feet in height when approaching the front yard of the neighbor to the east (see Attachment 5).

Variation: In order to allow the proposed fence plan, a variation from Section 5A-5-8-2-(A)-4 is required. The petitioner posits that the acute alignment of Drover Lane, and the elevation of Drover Lane approximately four-feet above the elevation of residence are hardships, as a fence that complies with the zoning code does not allow for the enjoyment of a private yard area that properties in the same vicinity and same zoning district enjoy. These hardships are illustrated in Attachment 6, which the petitioner prepared.

Findings of Fact: City staff has reviewed the petitioner submitted documents. The petitioner submitted a Justification Narrative (see Attachment 7). with a detailed description of the project and requested relief, in addition to Findings of Fact that would support the variation request. For reference, the criteria the Planning and Zoning Commission and City Council votes on for City Variation requests are included below.

Variation Criteria:

The City may grant variations based on the finding-of-fact that supports the following criteria outlined below by the City to be the most relevant to the subject property situation.

- a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.*
- b) The plight of the owner is due to unique circumstances.*
- c) The variation if granted will not alter the essential character of the locality.*
- d) Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.*
- e) Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.*
- f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.*
- g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.*
- h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.*
- i) Net Benefit: The positive impacts to the community outweigh the negative impacts.*

j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows: to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

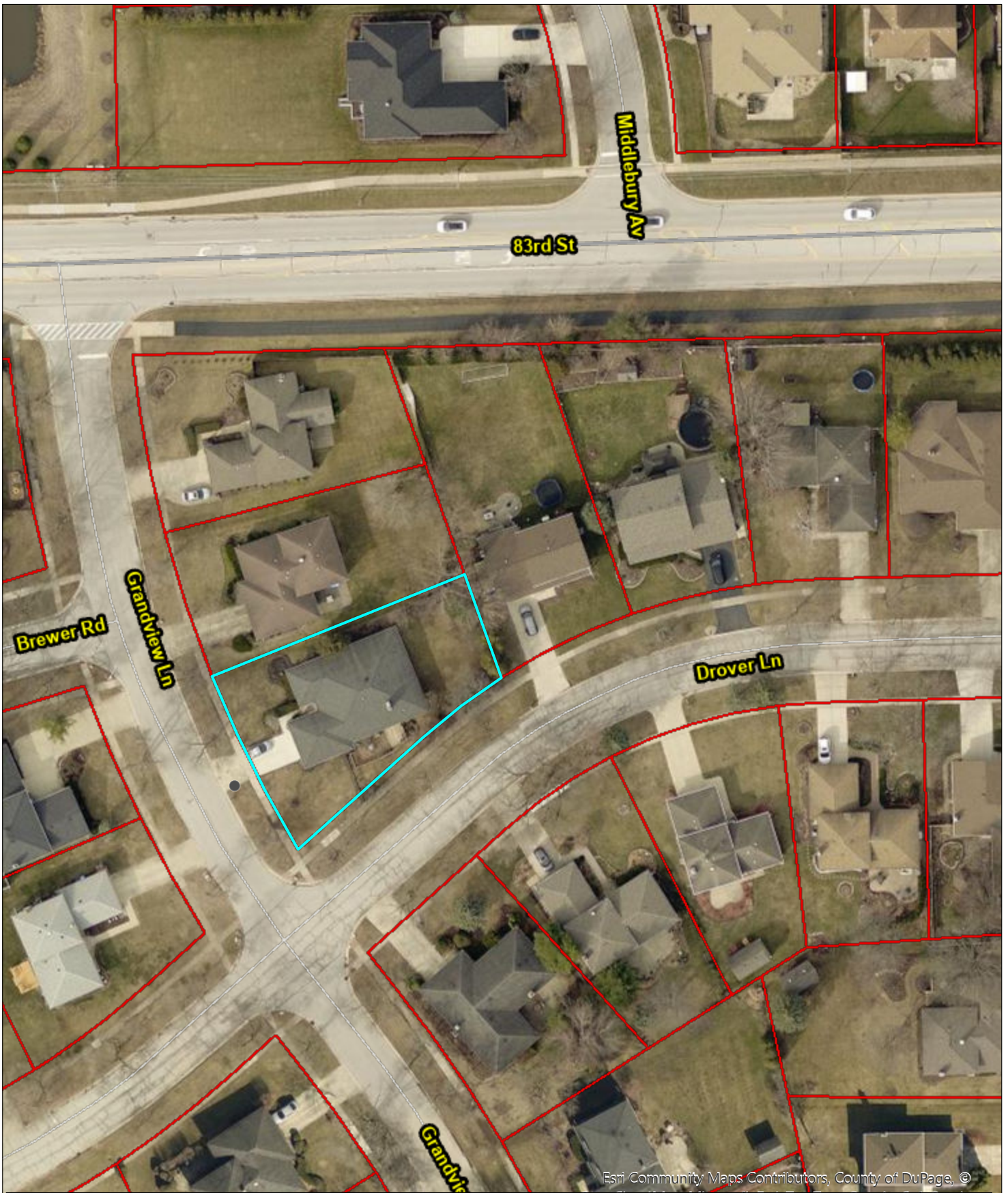
DECISION MODE

The Planning and Zoning Commission will consider this item at its meeting on May 7, 2025.

MEETING SCHEDULE

Planning and Zoning Commission
Municipal Services Committee
City Council

May 7, 2025
May 26, 2025
June 2, 2025



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421 N County Farm Rd.
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DuPage Maps Portal:
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DuPage County, Illinois Web Site:
<https://www.dupagecounty.gov>

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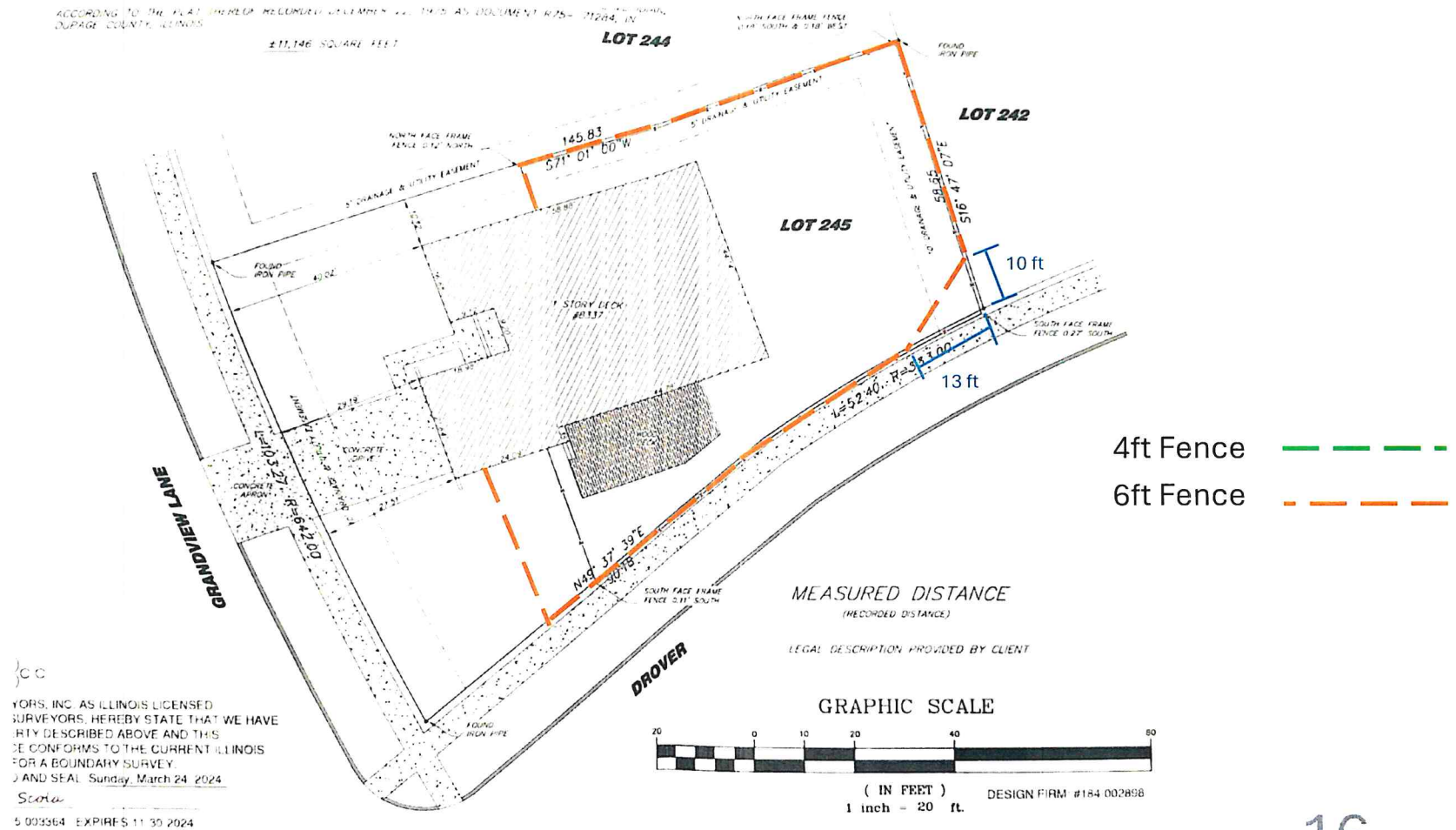
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 Cadastral Realstate	 1	 6
 Subdivision Lot Lines	 10	 7
Pavement_Centerline	 2	 8
CLASS	 3	 9
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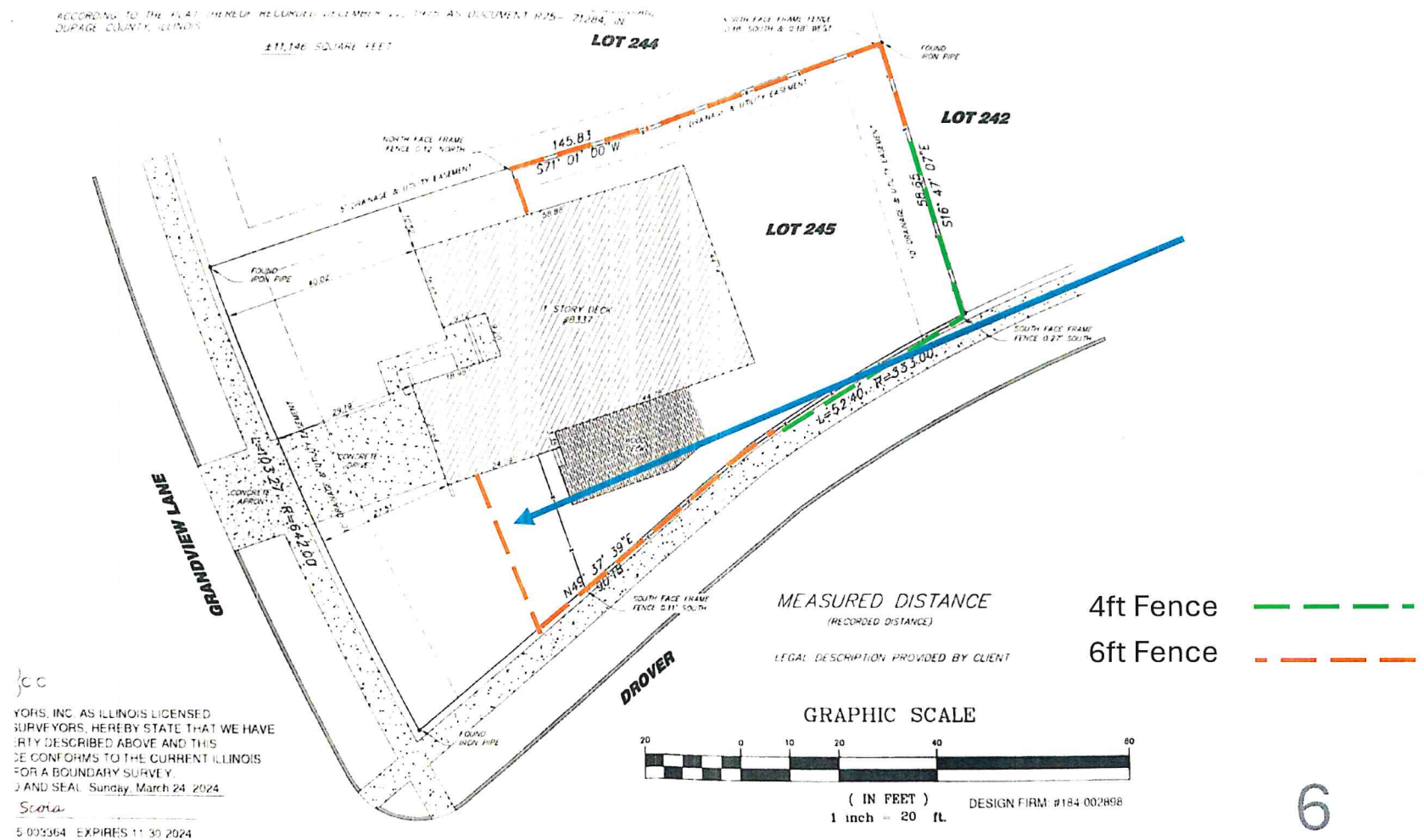
8337 Grandview Ln.
(R-2 Zoning - 3BD, 2BR)



Fence layout with proposed variance.



Hardship 1: Acute street angle prohibits any private gathering spaces in the outdoor sections of the property.



Hardship 2: Topographical street differences coupled with acute street angle and 4ft fence limit would force nighttime road traffic to shine lights directly into all bedroom windows at rear of home.



City of Darien – Zoning Variance Request

Justification Narrative

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APR 04 2025
Community Development
City of Darien

Daniel and Denine Dobrzynski
8337 Grandview Ln
Darien, IL 60561
March 30, 2025

Village of Darien - Zoning Board
Darien City Hall

1702 Plainfield Road
Darien, IL 60561

Subject: Request for Fence Height Variance

Dear Zoning Board Members,

I am writing to formally request a variance for a fence height exceeding the current zoning regulations for my property located at 8337 Grandview Lane. This request is made due to unique circumstances that impact the reasonable use and security of my property. Below, I provide justification for my request, addressing the required decision criteria as outlined in City Code Section 5A-2-2-3.

Explanation of the Request

I am requesting a variance to allow a fence height of six (6) feet instead of the currently permitted four (4) feet. The reason for this request is to enhance security, privacy, and safety due to specific conditions present on my property.

Hardship Condition

The unique conditions of my property create a hardship in adhering to the current zoning regulations. Specifically, the acute angle of the street severely limits the ability to create private gathering spaces in the outdoor sections of my property. Without the requested fence height increase, there is no suitable area for outdoor enjoyment that is shielded from public view and traffic disturbances.

Additionally, the topographical differences between my property and the street, combined with the acute street angle and the current 4-foot fence limit, result in pedestrian sightline access and nighttime road traffic shining lights directly into bedroom windows at the rear of my home. This

situation creates a substantial disruption to privacy and quality of life since all three (3) of the home's bedrooms have windows in the rear of the property. The requested fence height variance would help alleviate privacy and potential nighttime disturbances.

Impact on Neighbors

The requested fence height variance will have minimal to no negative impact on my neighbors. I have consulted with my immediate neighbor, and we have agreed that the proposed variation (outlined in more detail via supplemental plan drawings) would not create an undue hardship or be detrimental to adjacent property values. In fact, changes to the fence will require clearing of invasive trees and bushes that currently are a safety issue and nuisance to the property owner in the rear of my home. Removal of the growth and installation of a new fence will enhance privacy for both my property and neighboring properties and contribute to a more secure and aesthetically pleasing neighborhood environment.

Decision Criteria Responses

2a. Reasonable Return

Due to the unique conditions described, my property cannot yield a reasonable return if I am restricted to the currently allowed fence height. A lower fence would fail to provide the necessary security and privacy, potentially decreasing my property's value and usability.

2b. Unique Circumstances

The plight of the owner is due to unique circumstances, such as the acute street angle and topographical differences, which create privacy and security challenges not found on neighboring properties. These conditions justify the need for a higher fence.

2c. Character of Locality

The proposed fence height will not alter the essential character of the locality. Many nearby properties already have similar fence heights, or the proposed modification aligns with existing community aesthetics.

3a. Essential Need

Without the requested variance, I would experience substantial difficulty maintaining privacy and security. This is not a matter of mere inconvenience or financial gain but a necessary measure to ensure a reasonable quality of life.

3b. Property-Specific Problem

The acute street angle, coupled with topographical differences, makes it unreasonable to comply with the standard zoning requirements. These features were not created by me nor known at the time of purchase.

RECEIVED

APR 04 2025

Community Development
Space, Darien

3c. Smallest Solution

I have considered alternative solutions, including landscaping and repositioning of living spaces, but these do not sufficiently address the issues. The requested variance represents the smallest necessary deviation from zoning rules.

3d. Neighbor Impact

The variance will not cause substantial difficulty, undue hardship, or unreasonable burden to neighboring properties. I have discussed this proposal with my neighbor, and we agree that the variation will allow for a more safe condition when operating vehicles than currently and will not negatively impact property values or neighborhood cohesion.

3e. Community Impact

While similar requests may arise from other property owners, granting this variance will not create an unreasonable burden or undesirable precedent. Each case should be considered based on individual property characteristics.

3f. Net Benefit

The positive impacts of this variance, including improved security, privacy, and neighborhood aesthetics, outweigh any potential negatives.

3g. Compliance with Zoning Intent

The requested variance aligns with the intent of the Zoning Code, as it prevents nuisances, conserves property values, and enhances public safety and welfare.

Conclusion

Considering the justifications provided, I respectfully request the approval of this fence height variance. I appreciate the Board's time and consideration of my request. Please feel free to contact me if further information is needed.

Sincerely,

Daniel and Denine Dobrzynski

1-708-214-8679

dan.dobrzynski@gmail.com

AGENDA MEMO
PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION
MAY 7, 2025

CASE

PZC2025-10

Variation

Brennan O'Brien – 2330 Green Valley Road

ISSUE STATEMENT

A petition from Brennan O'Brien for a variation from Section 5A-5-8-2-(A)-4 of the City Code to permit a fence six feet in height within the corner side and rear yard of 2330 Green Valley Road, Darien IL 60561 (PIN 09-29-402-013).

GENERAL INFORMATION

Petitioner:	Brennan O'Brien
Property Owner:	Brennan and Jenna O'Brien
Property Location:	2330 Green Valley Road
PIN Number:	09-29-402-013
Existing Zoning:	Single-Family Residence Zoning District (R-2)
Existing Land Use:	Detached Single-Family Home
Comprehensive Plan:	Low Density Residential
Surrounding Zoning & Uses	
North:	Single-Family Residence (R-2); Single-Family
East:	Single-Family Residence (R-2); Single-Family
South:	Single-Family Residence (R-2); Single-Family
West:	Single-Family Residence (R-2); Single-Family
Size of Property:	0.23 Acres
Floodplain:	N/A
Natural Features:	Generally flat
Transportation:	Accessed from a driveway on Green Valley Rd.

PETITIONER DOCUMENTS (ATTACHED TO MEMO)

- 1) LOCATION MAP AND AERIAL PHOTO
- 2) PLAT OF SURVEY WITH PROPOSED FENCING
- 3) JUSTIFICATION NARRATIVE

BACKGROUND / ANALYSIS

Background and Proposal: The subject property, 2330 Green Valley Road, is located at the northwest corner of Green Valley Road and Surrey Drive in the Single-Family R-2 District (see Attachment 1). It is part of the Gallagher and Henry's Farmingdale Ridge Subdivision. The 0.23-acre parcel is improved with a single-family residence and is fairly flat. As depicted on the plat survey (see Attachment 2), there is no fencing and the house is placed such that there is little private yard area. The property owner proposes to construct a six-foot tall fence along the perimeter of the property. Due to the placement of the driveway on the property to the rear of the subject property pushed to the north, no sight-line obstructions are present.

Zoning Code Regulations and Variation: Section 5A-5-8-2-(A)-2 and -4 of the Darien Zoning Code states that fences six-feet in height may be constructed in corner side yards and rear yards,

“provided that the height of the fence shall not exceed four feet (4') in that part of the actual rear yard abutting a front yard of another lot.” Under the normal zoning conditions without a variation, a fence would be restricted to four-feet in height when approaching the front yard of the neighbor to the north. In order to allow the proposed fence plan, a variation from Section 5A-5-8-2-(A)-4 is required. The petitioner justifies the variation due to the hardship of not having a usable private yard area, as neighboring properties in the same zoning district do.

Findings of Fact: City staff reviewed the petitioner submitted documents, including a Justification Narrative (see Attachment 3) that supports the variation request. For reference, the criteria for City Variation requests are included below.

Variation Criteria:

The City may grant variations based on the finding-of-fact that supports the following criteria outlined below by the City to be the most relevant to the subject property situation.

- a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.*
- b) The plight of the owner is due to unique circumstances.*
- c) The variation if granted will not alter the essential character of the locality.*
- d) Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.*
- e) Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.*
- f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.*
- g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.*
- h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.*
- i) Net Benefit: The positive impacts to the community outweigh the negative impacts.*
- j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows: to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.*

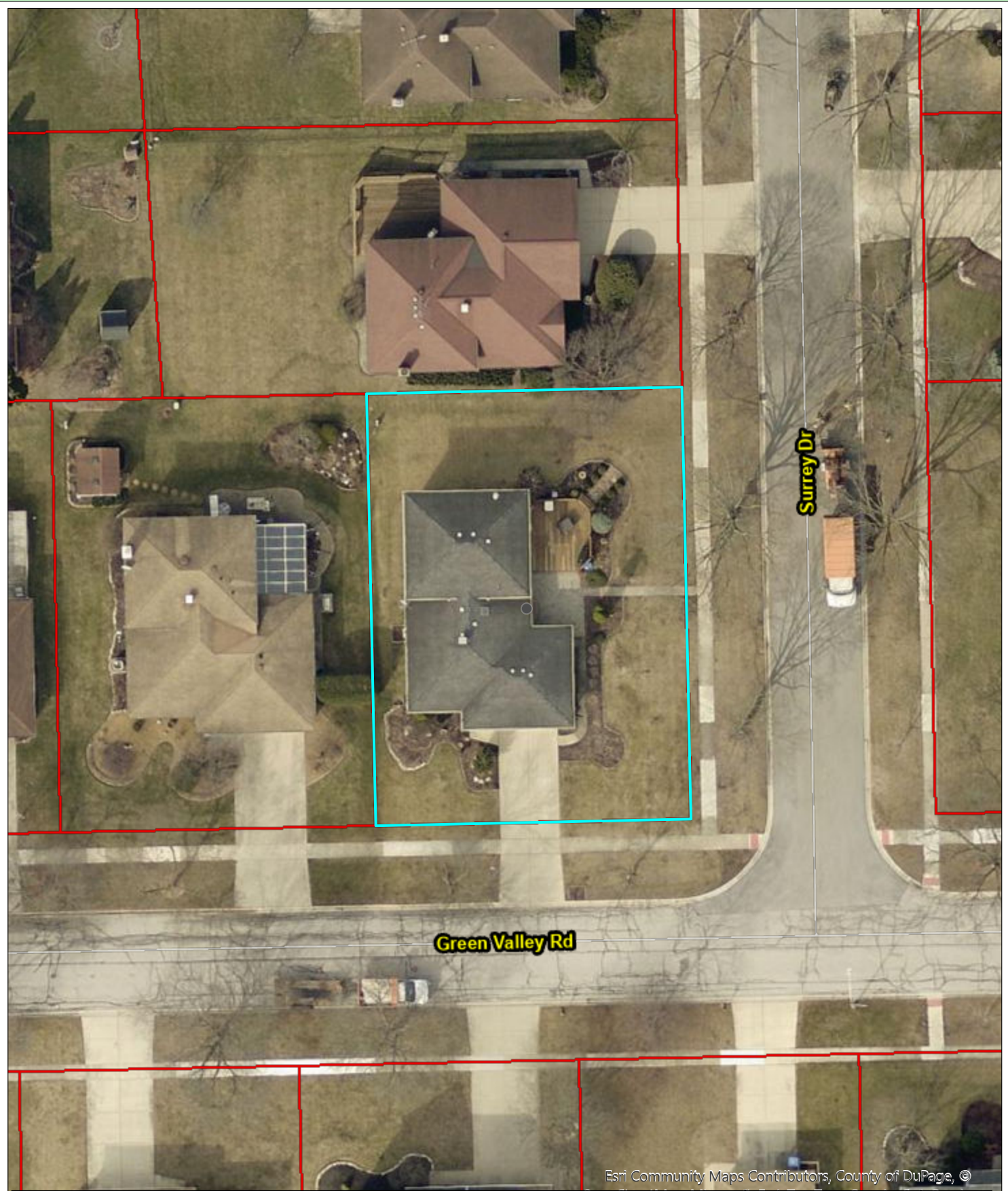
DECISION MODE

The Planning and Zoning Commission will consider this item at its meeting on May 7, 2025.

MEETING SCHEDULE

Planning and Zoning Commission
Municipal Services Committee
City Council

May 7, 2025
May 27, 2025
June 2, 2025



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DuPage County
Information Technology Department
GIS Division
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Ph# (630)407-5000
Email: gis@dupageco.org

DuPage Maps Portal:
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<div><div></div> Cadastral Realstate</div> <div><div></div> Subdivision Lot Lines</div>	<div><div></div> 1</div> <div><div></div> 10</div> <div><div></div> 2</div> <div><div></div> 3</div> <div><div></div> 4</div> <div><div></div> 5</div>	<div><div></div> 6</div> <div><div></div> 7</div> <div><div></div> 8</div> <div><div></div> 9</div>
Pavement_Centerline		
CLASS		
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PLAT OF SURVEY

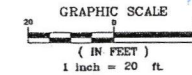
LEGAL DESCRIPTION

LOT 148 IN GALLAGHER & HENRY'S FARMINGDALE RIDGE UNIT 2, BEING A SUBDIVISION IN PART OF THE SOUTH EAST 1/4 AND THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 10, 1979 AS DOCUMENT R79-59276, IN DUFAIE COUNTY, ILLINOIS.

LOCAL MAILING ADDRESS:
2330 GREEN VALLEY ROAD
DARIEN, ILLINOIS

BUYER: O'BRIEN
SELLER: COUGHLIN

PIN: 09-29-402-013



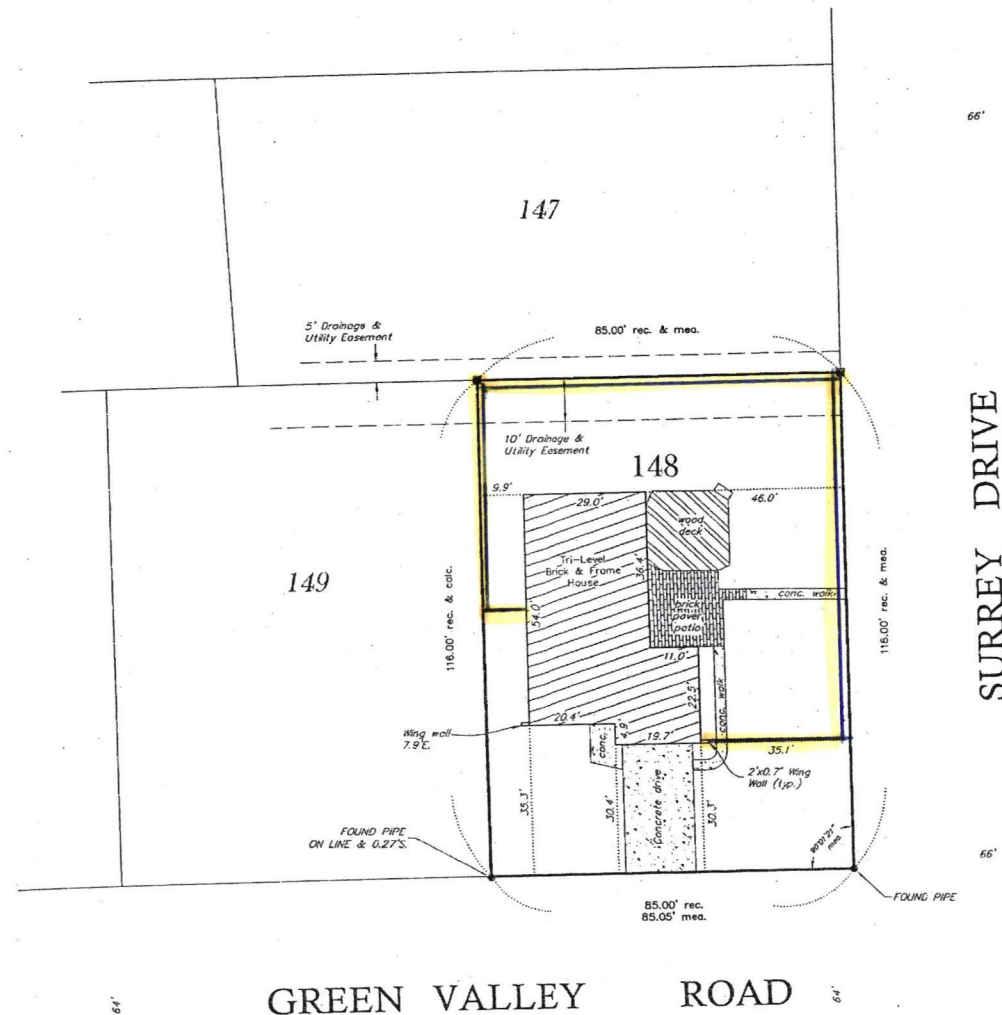
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APR 07 2025

Community Development
City of Darien

LEGEND

- mea. MEASURED
- rec. RECORDED
- calc. CALCULATED
- FOUND SURVEY WORKMENT
- SET 5/8" REBAR UNLESS OTHERWISE NOTED



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT DISCOVERED UPON THE GROUND SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT, DEED, CONTRACTS AND ZONING ORDINANCES.

STATE OF ILLINOIS }
COUNTY OF WILL } SS

RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-001251, HEREBY CERTIFIES THAT IT HAS SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND AS SHOWN ON THE ANNEXED PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

SURVEY FIELD WORK COMPLETED 08/18/2023

GIVEN UNDER MY HAND AND SEAL THIS 21ST DAY OF August 2023.

BY *[Signature]*
ILLINOIS PROFESSIONAL LAND SURVEYOR (MY LICENSE EXPIRES 11-30-2024)
TO ENSURE AUTHORITY OF THIS DRAWING, IT MUST BEAR THE DARGESSED SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO PREPARED THIS DRAWING.

LOT AREA = 0.226 ACRES more or less

REVISIONS			
No.	DATE	DESCRIPTION	BY

RT & TWiG Ruettiger, Tonelli & Associates, Inc. & TWiG Technologies Surveyors - Engineers - Planners - G.I.S. Consultants 129 Capella Drive - Shorewood, Illinois 60494 Ph: (815) 744-6600 Website: www.ruettigertonnelli.com			
DATE: 08/21/2023	SCALE: 1" = 20'	DRAWN BY: TW	CHECKED BY: KP
PREPARED FOR:	JASON PLUMMER 2330 GREEN VALLEY ROAD DARIEN, ILLINOIS 60561	FIELD BOOK: 28-45 PAGE: 50	DRAWING No.: 223-0974-LS
DRAWING TITLE: PLAT OF SURVEY			

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APR 07 2025

Community Development
City of Darien

Due to the location of our yard and outside living space facing the street on our corner lot we feel a lack of privacy and safety. We would like to build a fence to increase safety for our 3 young children and increase privacy.

Brehnnan and Jenna O'Brien
2330 Green Valley Rd. Darien, IL 60561

AGENDA MEMO
PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION
MAY 7, 2025

CASE

PZC2025-07

Plat of Subdivision, Variation
Maria Saenz – 6624 Richmond Ave

ISSUE STATEMENT

A petition from Maria Saenz for a plat of subdivision to subdivide the property at 6624 Richmond Avenue (PIN 09-22-104-056) into two lots, and a variation from Section 5A-7-2-5 of the City Code to allow for the creation of a lot less than 120 feet in depth within the Single Family Residence (R-2) District, which still meets the minimum lot area requirement.

GENERAL INFORMATION

Petitioner:	Maria Saenz
Property Owner:	Maria Saenz
Property Location:	6624 Richmond Avenue
PIN Number:	09-22-104-056
Existing Zoning:	Single-Family Residence Zoning District (R-2)
Existing Land Use:	Detached Single-Family Home
Comprehensive Plan:	Low Density Residential
Surrounding Zoning & Uses	
North:	Single-Family Residence (R-2); Single-Family
East:	Single-Family Residence (R-1); Single-Family
South:	Single-Family Residence (R-2); Single-Family
West:	Single-Family Residence (R-2); Single-Family
Size of Property:	0.58 Acres
Floodplain:	N/A
Natural Features:	Moderate cross slope of four percent (4%) from west to east
Transportation:	Accessed from a driveway on Richmond Ave. New lot would take access from High Ridge Ct.

PETITIONER DOCUMENTS (ATTACHED TO MEMO)

- 1) LOCATION MAP AND AERIAL PHOTO
- 2) EXISTING PLAT OF SURVEY
- 3) SITE PHOTOS
- 4) PRELIMINARY PLAT OF SUBDIVISION
- 5) JUSTIFICATION NARRATIVE

BACKGROUND / ANALYSIS

Background: The subject property, 6624 Richmond Avenue, is located at the southwest corner of Richmond Avenue and High Ridge Court in the Single-Family R-2 District (see Attachment 1). It is within the High Ridge Point Subdivision built in the 1995. The 0.58-acre parcel has a single-family home and was recently remodeled in 2023. As shown on the plat survey (Attachment 2) and photos available online (Attachment 3), most of the property is vacant and fronts High Ridge Court.

Proposal: The petitioner proposes to subdivide the 0.58-acre lot into two lots, summarized in the table below. Lot 1 would take access from and front High Ridge Court and remain vacant, and Lot 2 would consist of the remaining existing property, including the existing single-family home.

Table 1: Lot Summary and Analysis

Lot Number	Lot Dimensions (W x D)	Lot Size (sq ft)	Min. Required Dimensions	Min. Required Lot Size
1	121.27 ft x 99.82 ft	12,106 sq ft	75W x 120D	10,000 sq ft
2	99.85 ft x 130 ft	12,979 sq ft	75W x 120D	10,000 sq ft

Zoning Variation: As shown in the analysis table above, Section 5A-7-2-5 of the City's Zoning Regulations requires a minimum width of 75 feet, a minimum depth of 120 feet, and a minimum lot size of 10,000 square feet. While Lot 1 exceeds the minimum required lot size, it does not meet the required lot depth. In order to allow the proposed subdivision, a variation from Section 5A-7-2-5 is required. The petitioner states that the configuration of the lot is uncharacteristic of the neighboring properties which are in the same zoning district and will meet the intent of the Zoning Code.

Findings of Fact: City staff has reviewed the petitioner submitted documents. The petitioner submitted a Justification Narrative (see Attachment 5) with a detailed description of the project and requested relief, in addition to Findings of Fact that would support the variation request. For reference, the criteria the Planning and Zoning Commission and City Council votes on for City Variation requests are included below.

Variation Criteria:

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- b) The plight of the owner is due to unique circumstances.*
- c) The variation if granted will not alter the essential character of the locality.*
- d) Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.*
- e) Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.*
- f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.*
- g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.*
- h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.*
- i) Net Benefit: The positive impacts to the community outweigh the negative impacts.*

j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows: to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

DECISION MODE

The Planning and Zoning Commission will consider this item at its meeting on May 7, 2025.

MEETING SCHEDULE

Planning and Zoning Commission

May 7, 2025

Municipal Services Committee

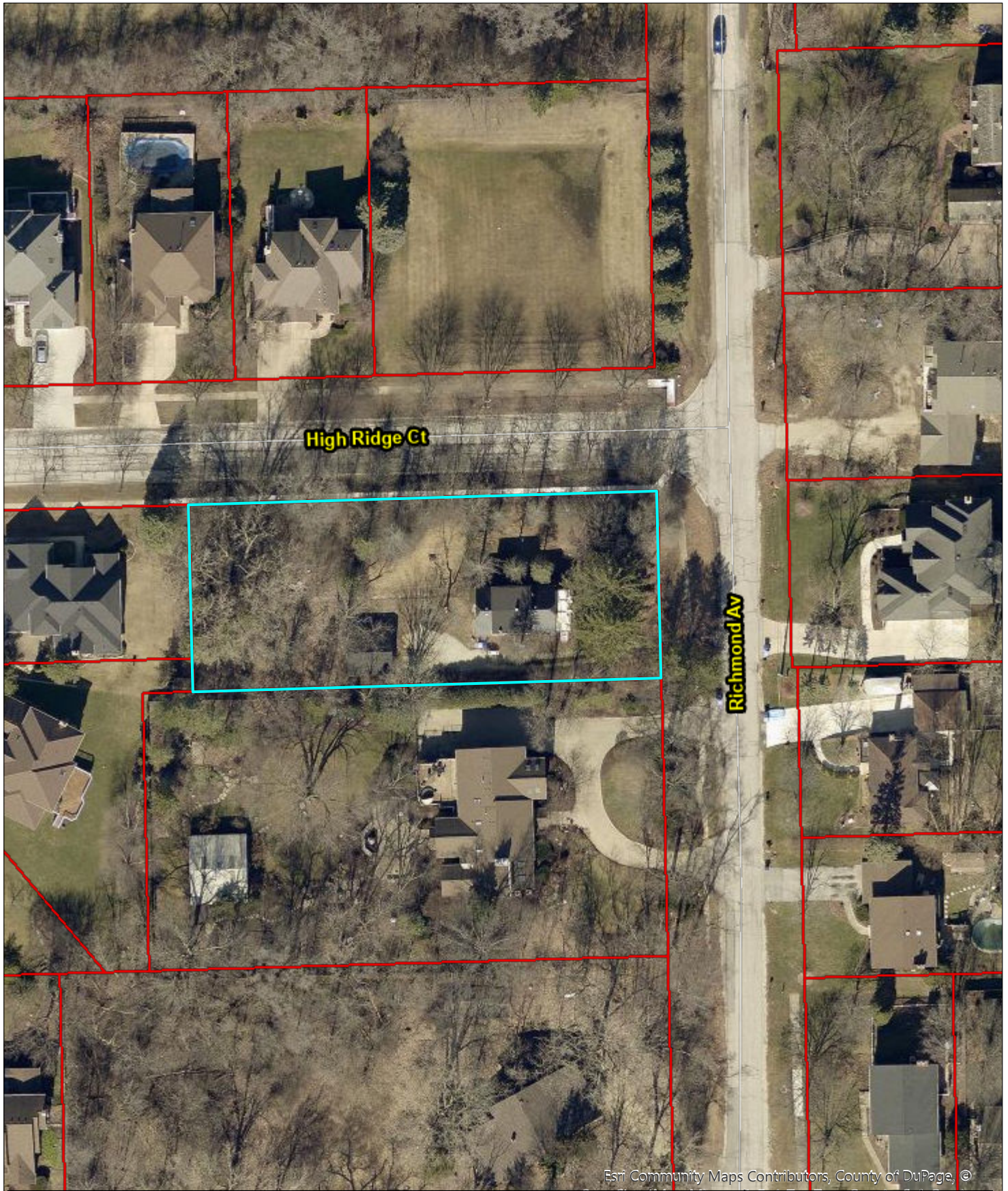
May 27, 2025

City Council

June 2, 2025

PORTRAIT

DuPage Web Mapping Application - DuPage County, Illinois



Esri Community Maps Contributors, County of DuPage, ©

DuPage County
Information Technology Department
GIS Division
 421 N County Farm Rd.
 Wheaton, IL 60187
 Ph# (630)407-5000
 Email: gis@dupageco.org

DuPage Maps Portal:
<https://www.dupage.maps.arcgis.com/home>

DuPage County, Illinois Web Site:
<https://www.dupagecounty.gov>

This map is for assessment purposes only.



Copyright DuPage 2025

 Cadastral Realstate	 1	 6
 Subdivision Lot Lines	 10	 7
Pavement_Centerline	 2	 8
CLASS	 3	 9
	 4	
	 5	
	 0	

LEGEND
A = ASSUMED
C = CALCULATED
CH = CHORD
CL = CENTERLINE
D = DEED
E = EAST
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
FT. = FEET/FOOT
L = ARC LENGTH
M = MEASURED
N = NORTH
NE = NORTHEAST
NW = NORTHWEST
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
R = RECORD
RAD = RADIUS
R.O.W. = RIGHT OF WAY
S = SOUTH
S.I.P. = SET IRON PIPE
S.I.R. = SET IRON ROD
SE = SOUTHEAST
SW = SOUTHWEST
W = WEST

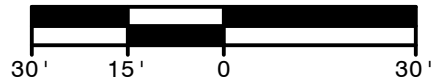
CHAIN LINK FENCE
WOOD FENCE
METAL FENCE
VINYL FENCE
EASEMENT LINE
SETBACK LINE
INTERIOR LOT LINE

PLAT OF SURVEY OF

LOT 14 IN HIGH RIDGE POINT SUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 19, 1995 AS DOCUMENT R95-090756, IN DUPAGE COUNTY, ILLINOIS.

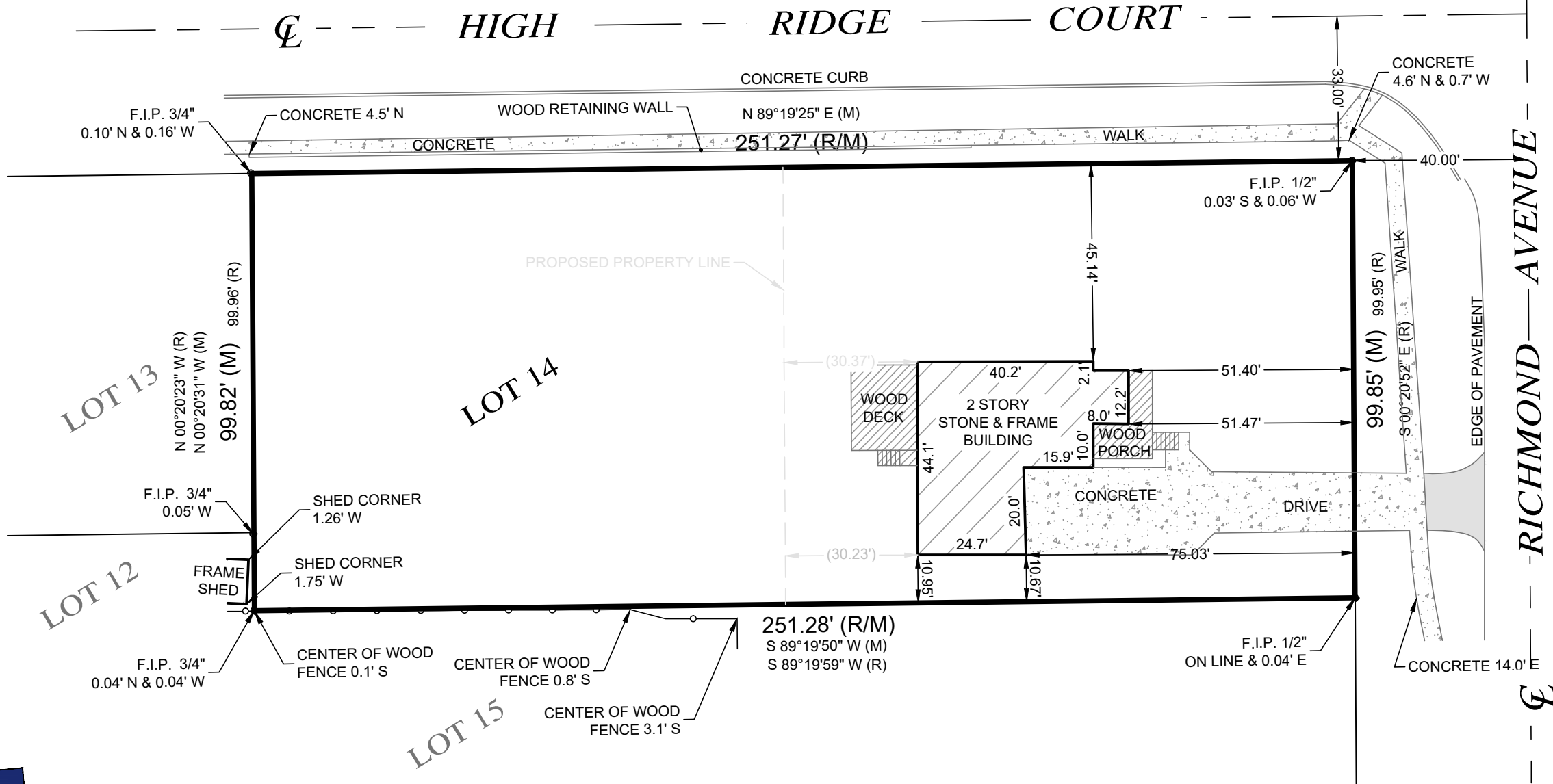
AREA OF SURVEY:

"CONTAINING 25,085 SQ. FT. OR 0.58 ACRES MORE OR LESS"



BASIS OF BEARING:

WESTERLY LINE OF S. RICHMOND AVENUE AS FOUND MONUMENTED AND OCCUPIED PER RECORD SUBDIVISION.
S 00°20'52" E (R)



Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS }SS
COUNTY OF DUPAGE }

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 5TH DAY OF MARCH, A.D., 2025,
AT LISLE, ILLINOIS.

Thomas J. Cesal

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205
LICENSE EXPIRATION DATE NOVEMBER 30, 2026
ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE: SOME IMPROVEMENTS MAY NOT BE SHOWN HEREON DUE TO SNOW COVER AT TIME OF SURVEY.

NOTE:

- ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
- ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
- COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 6624 S. RICHMOND AVENUE
WILLOWBROOK, ILLINOIS

CLIENT MARIA SAENZ

FIELDWORK DATE (CREW) 1/09/2025 (MM/EWT)

DRAWN BY: NG REVISED: 03/14/2025 JOB NO. 25-01-1001

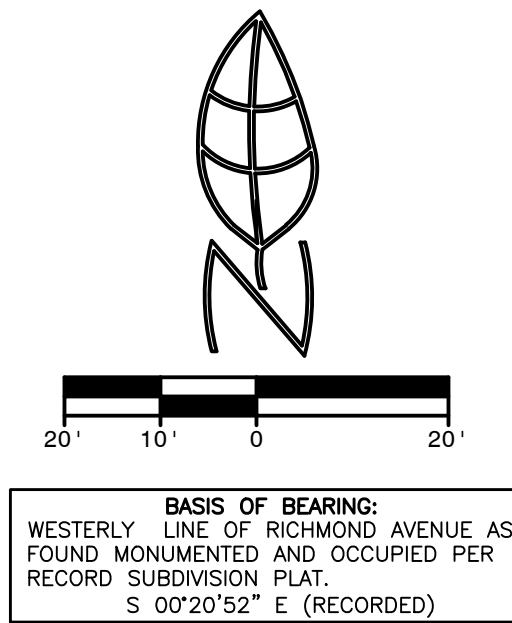




RICHMOND SAENZ RE-SUBDIVISION

OF

LOT 14 OF HIGH RIDGE POINT SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT HIGH RIDGE POINT SUBDIVISION RECORDED JULY 19, 1995 AS DOCUMENT R95-090756, IN DUPAGE COUNTY, ILLINOIS.



PARCEL INDEX NUMBER 09-22-104-056-0000

UPON RECORDING, MAIL TO:

CITY OF DARIEN
1041 S. FRONTAGE ROAD
DARIEN, IL 60561

SEND TAX BILL TO:
6624 S. RICHMOND AVENUE
DARIEN, ILLINOIS

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

MARIA SAENZ, HEREBY CERTIFIES THAT SHE IS THE OWNER OF THE ABOVE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE PLAT HEREON DRAWN.
MARTA SAENZ, DOES HEREBY CERTIFY AS OWNER OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, THAT SUCH PROPERTY, IS LOCATED WITHIN THE BOUNDARIES OF HIGH SCHOOL DISTRICT NO. 86, AND GRADE SCHOOL DISTRICT NO. 60, IN DUPAGE COUNTY, ILLINOIS.

OWNER: _____
MARIA SAENZ

ADDRESS: 6624 S. RICHMOND AVENUE, DARIEN ILLINOIS

DATED THIS _____ DAY OF _____, AD 20____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT **MARIA SAENZ**, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT SHE SIGNED AND DELIVERED THE ANNEXED PLAT AS HER OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, AD 20____.

NOTARY PUBLIC _____ COMMISSION EXPIRES _____

CITY OF DARIEN DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

APPROVED BY THE CITY OF DARIEN DIRECTOR OF COMMUNITY DEVELOPMENT,

THIS _____ DAY OF _____, AD 20____

BY: _____
DIRECTOR OF COMMUNITY DEVELOPMENT _____ VILLAGE CLERK _____

SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, COLLECTOR OF THE DOWNERS GROVE SANITARY DISTRICT, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED THIS _____ DAY OF _____, AD 20____.

BY: _____
COLLECTOR OF CITY OF DARIEN SANITARY DISTRICT

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT. GIVEN UNDER MY HAND SEAL OF THE COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS.

THIS _____ DAY OF _____, AD 20____.

BY: _____
COUNTY CLERK

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

THIS PLAT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____, A.D. _____, AT _____ O'CLOCK _____ M.

BY: _____
RECORDER OF DEEDS

DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

WE, _____, A REGISTERED PROFESSIONAL ENGINEER IN ILLINOIS, AND _____, MANAGER OF THE OWNER OF THE LAND DEPICTED HEREON, DO HEREBY STATE, THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS AND PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKEHOOD OF DAMAGE TO ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION. FURTHER, AS ENGINEER, I HEREBY CERTIFY THAT THE PROPERTY WHICH IS THE SUBJECT OF THIS SUBDIVISION OR ANY PART THEREOF IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THIS _____ DAY OF _____, AD 20____.

BY: _____
ENGINEER

CITY ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, CITY ENGINEER OF THE CITY OF DARIEN, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE ANNEXED PLAT AND THE PLANS AND SPECIFICATIONS THEREFOR MEET THE MINIMUM REQUIREMENTS OF SAID CITY AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREIN.

DATED AT DARIEN, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, AD 20____.

CITY ENGINEER

CITY TREASURER'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, VILLAGE TREASURER OF THE CITY OF DARIEN, DUPAGE COUNTY, DO HEREBY CERTIFY THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE WITH THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT CONFIRMED THE SPECIAL ASSESSMENT.

DATED AT DARIEN, _____ COUNTY, ILLINOIS, THIS _____ DAY OF _____, AD 20____.

BY: _____
CITY OF DARIEN TREASURER

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, AD 20____.

BY: _____
CHAIRMAN

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

APPROVED BY THE CITY COUNCIL OF THE CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS, DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, AD 20____.

BY: _____
CITY COUNCIL

ALL EASEMENTS INDICATED AS PUBLIC UTILITY EASEMENTS ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE CITY OF DARIEN AND TO ANY ENTITY OPERATING UNDER FRANCHISE FROM THE CITY INCLUDING, BUT NOT LIMITED TO, ILLINOIS BELL TELEPHONE COMPANY, NICOR GAS, COMED, A CABLE TELEVISION OF COMMUNICATIONS COMPANY, AND THEIR SUCCESSORS AND ASSIGNS FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS TRANSMISSION DISTRIBUTION AND COLLECTION SYSTEMS AND ALL NECESSARY LINES, NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USER OR RIGHTS. LOCATION OF UTILITY INSTALLATIONS WITHIN THE EASEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF DARIEN AS TO DESIGN AND LOCATION. ALL INSTALLATIONS ARE SUBJECT TO ORDINANCES OF THE CITY OF DARIEN (ORD. 0-21-71, 11-15-71) (ORD. 1-2575, ORD. 0-05-82, 2-15-82).

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, THOMAS J. CESAL, HEREBY CERTIFY THAT I, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND RESUBDIVIDED THE PROPERTY HEREON DESCRIBED IN THE CAPTION TO THE PLAT HEREON DRAWN AND THAT THE SAID PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SAME. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS OF A FOOT.

LOT 14 IN HIGH RIDGE POINT SUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 19, 1995 AS DOCUMENT R95-090756, IN DUPAGE COUNTY, ILLINOIS.

I, FURTHER CERTIFY THAT BASED ON EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, PANEL NUMBER 17043C0189J, EFFECTIVE DATE OF AUGUST 1ST, 2019 THAT THE PARCEL INCLUDED IN THIS RECORD OF DEED IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.

FURTHERMORE, I DESIGNATE THE CITY OF DARIEN TO ACT AS MY AGENT, FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

I FURTHERMORE CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES WILL SET AT ALL LOT CORNERS.

FIELD WORK WAS COMPLETED ON JANUARY 9TH, 2025.

DATED, THIS 11TH DAY OF MARCH, A.D., 2025, AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205
MY LICENSE EXPIRES NOVEMBER 30, 2026.
ILLINOIS PROFESSIONAL DESIGN FIRM PROFESSIONAL
ENGINEERING CORPORATION NO. 184-001245

CLIENT: MARIA SAENZ



Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0599
FAX: (630) 271-0774
Website: www.ecivil.com





March 31, 2025

City of Darien
Ryan Murphy
1702 Plainfield Road
Darien, IL 6051

Dear Mr. Murphy,

Please see our responses to your Zoning Variations Justification Narrative below in blue.

2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

The original lot to be subdivided did not meet the minimum depth by met all the other zoning requirements. The underlying lot 14 is uncharacteristic of the surrounding recorded lots.

2b. The plight of the owner is due to unique circumstances.

The existing circumstances can be remedied by this 2 lot subdivision of the existing lot 14.

2c. The variation if granted will not alter the essential character of the locality.

The variation if granted will be conforming.

3a. Essential Need? The owner would suffer substantial difficulty of hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

This subdivision would aid the owner financially and conform lot 14's size to the lots in the area.

3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the zoning code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.

The actual size of the existing lot does not conform to the surrounding lots in the area. Existing lot 14's area is 25,100 sq ft; existing lot 2 area is 11,100 sq ft; new lot 1 area is 12,100 sq ft; new lot 2 area is 13,100 sq ft

3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

[This subdivision of lot 14 will meet all the Village zoning requirements except for lot depth.](#)

3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

[This new proposed subdivision will not cause any hardship to the existing lots.](#)

3e. Create Community Problem? The variation, if granted, may result in the same or similar request from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

[There do not appear to be any nearby lots the size of the lot being subdivided.](#)

3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.

[Existing lot 14 as exists is too big for the area.](#)

3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the zoning code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety and welfare.

[The variation will comply with the purpose and intent of the Zoning Code.](#)

Please review this zoning variation for the proposed 2 lot subdivision at 6624 Richmond Ave. If you have any questions, please feel free to contact me at 708-203-5322.



Thomas Cesal

Professional Land Surveyor #2205

AGENDA MEMO
PLANNING, ZONING, AND ECONOMIC DEVELOPMENT COMMISSION
MAY 7, 2025

CASE

PZC2024-09

Rezone, Preliminary Plat of Subdivision, Variations
(Chestnut Court Darien IL LLC – 7511 Lemont Road)

ISSUE STATEMENT

Petition from Chestnut Court Darien IL, LLC for the rezoning and redevelopment of the Chestnut Court shopping center located in the B-3 (General Business) zoning district at the southeast corner of 75th Street and Lemont Road, commonly known as 7511 Lemont Road (PINs 09-29-300-008, 09-29-300-022, 09-29-300-023, 09-29-300-024, and 09-29-300-025). The project includes the following:

- A request to change the zoning for the project site from B-3 (General Business District) to M-U (Mixed-Use);
- A variation to allow for ground-floor residential for a multifamily apartment building;
- A variation to reduce the required parking ratio from 2 spaces per dwelling unit to 1 space per dwelling unit;
- The construction of three (3) retail buildings totaling 107,165 square-feet and one 151,196 square-foot four-story 156-unit multifamily apartment building comprised of studio, one-bedroom and two-bedroom units, with residential amenities including a fitness room, club room, storage, and outdoor recreation areas, with an option to increase the number of units to a total of 166-units;
- Façade improvements for the commercial center;
- On-site improvements including landscaping, fencing, walkways, parking and loading areas, on-site utilities, and drainage/stormwater facilities.

GENERAL INFORMATION

Petitioner:	Chestnut Court Darien IL LLC
Property Owner:	Chestnut Court Darien IL LLC
Property Location:	7511 Lemont Road
PIN Numbers:	09-29-300-008, 09-29-300-022, 09-29-300-023, 09-29-300-024, and 09-29-300-025
Existing Zoning:	B-3 (General Business District)
Proposed Zoning:	M-U (Mixed-Use)
Existing Land Use:	Shopping Center
Comprehensive Plan:	Commercial (Existing); Commercial (Future)
	<u>Key Development Area #1:</u> Prioritized for mixed-use development, infill development and site enhancements or improvements.
Surrounding Zoning & Uses	
North:	N/A, City of Downers Grove; Shopping Center
East:	Single Family Residence District (R-2); Single Family
South:	Office, Research and Industrial District (OR-I); Wetlands
West:	N/A, Village of Woodridge; Shopping Center
Size of Property:	15.6 Acres
Floodplain:	N/A
Natural Features:	N/A

Transportation/Access:

The petition site gains access from three driveways on 75th Street, and three driveways on Lemont Road, one of which is signalized.

ATTACHMENTS

- A) LOCATION MAP AND AERIAL PHOTO**
- B) SITE PLAN**
- C) EXISTING ZONING MAP**
- D) COMP PLAN UPDATE; KEY DEVELOPMENT AREA NO. 1**
- E) PROPOSED ZONING MAP**
- F) PARKING AND TRAFFIC ANALYSIS**
- G) RETAIL FLOOR PLANS AND ELEVATIONS**
- H) MULTIFAMILY FLOOR PLANS AND ELEVATIONS**
- I) LANDSCAPE PLANS**
- J) GRADING AND UTILITY PLAN**
- K) PRELIMINARY PLAT OF SUBDIVISION**
- L) PROJECT REVIEW CRITERIA**
- M) JUSTIFICATION LETTER / FINDINGS OF FACT**

BACKGROUND

The 15.6-acre subject property is located at the southwest corner of 75th Street and Lemont Road (see Attachment A – Location Map and Aerial Photo), within the General Business District (B-3). Prior to incorporation into the City of Darien, the property was rural in character. In 1986, the City of Darien adopted Ordinance No. O-05-86, and entered into an annexation agreement for the property, which had recently been approved for development of a shopping center under the jurisdiction of DuPage County. Amendments to the agreement were approved in 1997 and 2002, to allow for expansion of the center and changes to the freestanding signs on the property. The site configuration remains roughly the same as originally permitted and is comprised of roughly 172,697 square-feet of retail space.

Chestnut Court was highly successful in the 80's, 90's, and 2000's. It was formerly occupied by many big box stores such as Stein Mart, Joann Fabric, the Salvation Army, bakeries and furniture stores and stores such as Blockbuster Video. In recent years, the site has experienced a high vacancy rate as big box stores and retail continues its downward trend following the popularization of delivery services and effects of the COVID pandemic. Currently the site needs maintenance and repair, and has underperformed in comparison to the rest of the City and neighboring shopping centers.

In 2022, the City adopted a Comprehensive Plan update that identified the site as Key Development Area No. 1. The City's stated goals for the site include the prioritization of mixed-use development, and the facilitation of additional tenants and improvements for the shopping center. In June 2024, the City adopted a Zoning Text Amendment establishing a Mixed-Use Zoning District in the City Code, in anticipation of future development in Key Areas identified in the Comprehensive Plan, including the project site.

PROPOSAL

Chestnut Court Darien IL LLC, who purchased the property in late 2023, is now petitioning for a major redevelopment of the site to revitalize the center (see Attachment B – Site Plan), which includes the following:

- Demolition of approximately 90,204 square-feet of building area primarily located along the south wing of the shopping center, including a small retail building on Lemont Road
- Construction of new retail buildings:
 - Retail “A” – 11,228 square-feet
 - Retail “H” (Drive-through restaurant) – 5,000 square-feet
 - Retail “F” (Remodeled portion of a previous building) – 13,040 square-feet
 - New overall total of 107,165 square-feet of retail space
- Construction of one (1) 151,196 square-foot, four-story, 156-unit multifamily apartment building comprised of studio, one-bedroom and two-bedroom units, with residential amenities including a fitness room, club room, storage, and outdoor recreation areas
 - Includes a request for an option to increase the number of units to a total of 166-units without changing the square footage of the building
- Façade improvements for the rest of the commercial center
- On-site improvements including landscaping, fencing, walkways, parking and loading areas, on-site utilities, and drainage/stormwater facilities.

A preliminary plat of subdivision to re-subdivide the site for development purposes is also proposed. In order to allow the multi-family apartment building on the site, the petition includes a request to change the zoning for the project site from B-3 (General Business District) to M-U (Mixed-Use). Variations are also requested to allow for ground-floor residential for a multifamily apartment building, and a reduction in the required parking ratio from 2 spaces per dwelling unit to 1 space per dwelling unit.

ANALYSIS

A) Existing Zoning and Land Use

Existing Zoning and Land Use: The subject property currently lies within the General Business District (B-3) (see Attachment C – Existing Zoning Map). Due to the location of the property at the northwest corner of the city, it is bordered to the north by the City of Downers Grove, and to the west by the Village of Woodridge – with each jurisdiction hosting a shopping center at the border of the site. Bordering the site to the east is Single Family Residence District (R-2) and single family homes, and to the south, wetlands within the Office, Research and Industrial District.

Comprehensive Plan: As mentioned in the Background section of this report, in 2022, the City adopted a Comprehensive Plan Update that identified the site as Key Development Area No. 1 (see Attachment D – 2022 Comp Plan Update; Key Development Area No. 1). The City’s stated goals for the site include the prioritization of mixed-use development, and the facilitation of additional tenants and improvements for the shopping center. Staff’s review of the proposed project finds that it is consistent with the Comprehensive Plan and implements all of the stated policies and objectives for Key Development Area No. 1.

B) Rezone

Rezone: The petitioner proposes to rezone the property from the General Business District (B-3) to the Mixed-Use (M-U) District, which would facilitate the development of the site with both residential and commercial uses on the same property (see Attachment E – Proposed Zoning Map). The proposed zone change, if approved, would directly implement the policies and objectives of the Comprehensive Plan Update adopted in 2022, as analyzed previously. The proposed land uses comply with those allowed within the Mixed-Use District, City Code Section 5A-8-5-5.

C) Mixed-Use Redevelopment

Land-Use and Development Standards: The stated intent of the Mixed-Use (M-U) District promotes efficient land use by facilitating compact, high-intensity development, minimizing the amount of land needed for surface parking and other facilities. As such, development standards are not restrictive, and the developer is able to propose a site layout tailored to this specific development. The project meets/exceeds all design and development standards for the Mixed-Use (M-U) District established in Section 5A-8-5 of the City Code, with the exception of residential parking and the placement of residential on ground floors, as analyzed further in this report.

Density/Unit Mix: There are no density restrictions within the Mixed-Use District. The resulting density proposed by the project is approximately 10.6 units/acre. See the summary table below.

Table 1: Unit Matrix (Estimated)

	Studio	1 Bedroom	2 Bedroom	Total
No. of Units (% of Total)	16 units (10%)	92 units (59%)	48 units (38%)	156 units

Site Design, Access and Circulation: As shown Attachment B – Site Plan, the buildings on site are generally placed near the perimeter, with the interior portions of the site comprised of shared surface parking areas. Multiple access points are provided: three driveways on 75th Street, and three driveways on Lemont Road, one of which is signalized. A system of drive aisles, loading berths and service roadways connect interior parking areas.

Site Parking: Four shared surface parking areas are created by the redevelopment plan. No covered spaces are provided. Refer to the table below for a parking summary.

Table 2: Parking Area Summary

Use	Size	Parking Standard	Total Parking	
			Required	Proposed
Retail / Shopping Center	107,165 sq. ft.	4 space / 1000 sq. ft.	429 stalls	461 stalls

Multifamily Apartments	156 units (166 units with option)	2 stalls/unit	332 stalls	274 stalls (1.65 stalls/unit)
------------------------	--------------------------------------	---------------	------------	----------------------------------

Parking and Traffic Impact Analysis: To evaluate any possible traffic impacts from the project and the proposed reduction in required parking, the petitioner prepared a parking traffic impact analysis (see Attachment F). The study evaluated existing conditions without the project, existing conditions plus the project, nationally standardized parking requirements published by the Institute of Transportation Engineers (ITE), and analyzed the specific roadway and site access improvements that are included as part of the project. The study concluded that due to the reduction in retail space, which is generally a high-demand land use, there will be a reduction in traffic volume generated by the site of approximately 9-10%, and that the parking provided for the apartments (1.65 spaces/unit) will exceed parking demand (1.19 spaces/unit). No additional site or traffic improvements were recommended.

Architecture: The retail shopping center features varied massing with flat and gabled rooflines, incorporating projecting cornices and standing seam metal roofing for visual interest. The façade blends red-brick veneer, stucco, and EIFS cladding, complemented by storefront window systems that enhance visibility. Architectural details such as ornamental gable windows, aluminum awnings, aluminum cladding, and wall sconce lighting add depth and articulation. The design balances traditional and contemporary commercial elements, creating a dynamic design (see Attachment G – Retail Floor Plans and Elevations).

The apartment building features a rectilinear massing with a slightly undulating flat roofline. The lower levels utilize brick veneer, while the upper floors transition to EIFS/stucco with cornices. Aluminum awnings and wrought iron balconies add depth, blending traditional and contemporary urban design elements (see Attachment H – Multifamily Floor Plans and Elevations).

Landscaping and Fences: A preliminary landscape plan was provided by the petitioner (see Attachment I). Landscaping consists of a variety of shade trees, ornamental trees, shrubs and groundcover. In response to comments received by the Forest Preserve District of DuPage County, the petitioner is utilizing native-friendly plantings to avoid impacts to the neighboring forest preserve. The final landscape plan will be required to comply with the City's Zoning Ordinance. No new fences are proposed. The existing fence located along the eastern boundary of the site is required to remain, and will be evaluated during the building permit process. Any portions in disrepair will be required to be repaired or replaced.

Grading, Utilities and Drainage: The grading plan (see Attachment J) illustrates that the fully-developed site is generally flat, and is serviced by three stormwater basins, at the northwest, northeast, and southeast corners of the site. The redevelopment plan proposes to modify this system by reducing the size of the northwest basin and eliminating the northeast basin. A new underground detention stormwater storage system below the new parking area will replace the lost detention volume. The southeast basin will remain in its current configuration, and may be

improved with new retaining walls. New public utility infrastructure will be required to service the site. Staff are working with the developer to determine the nature of additional watermain infrastructure requirements that would be required for the development.

D) Preliminary Plat of Subdivision

The petitioner has also submitted a preliminary plat in accordance with Section 5B-1-5 of the City Code. The proposed preliminary plat map (see Attachment K) would subdivide the 15.6-acre project site into a total of 5 lots for development purposes, and sets the lot configuration and easements for the project. The preliminary plat meets the lot requirements for the Mixed-Use Zoning District per City Code Section 5A-8-5-9. Refer to the table below for a lot summary.

Table 3: Lot Summary

Lot No.	Lot Size (in square-feet)
1	46,407 sq. ft.
2	312,634 sq. ft.
3	238,135 sq. ft.
4	30,166 sq. ft.
5	53, 987 sq. ft.

Lot 4 is included as a vacant outlot, which at this time is not proposed for development. Any future project on the outlot will be required to be evaluated separately.

E) Zoning Variations

Ground-floor Residential: As noted previously in this report, the project proposes ground-floor residential, through the placement of a standalone multifamily apartment building on a separate parcel. Section 5A-8-5-5 (Permitted Uses) of the Mixed-Use District Ordinance permits multifamily residential on upper floors of a building only. In order to permit the project as proposed, a variation from the Section is 5A-8-5-5 would be required to allow ground floor residential.

Based on staff's review of the proposed project and established planning practice, this variation would meet the purpose and intent of the Mixed-Use District. It is widely recognized that there are two types of mixed-use development: vertical and horizontal. Vertical mixed-use developments have multiple uses within a single building. For example, each floor may have a different use and purpose (i.e., ground floor retail/restaurants with office or residential uses above). Horizontal mixed-use developments refer to sites where each building is generally single-use, within a larger development. This conforms with the City's Code in providing for a more balanced mix of uses in the siting and design of new developments such as the proposed project.

Parking: The petitioner has also requested relief from the minimum parking requirements in Section 5A-11-5 of the City Code to allow for a parking ratio of 1 space per dwelling unit, in lieu of the required 2 spaces per dwelling units. As previously analyzed in this report, the petitioner

has provided a parking study that found that the site will continue to have sufficient parking if approved.

F) Justification Narrative / Project Review Criteria

The various criteria the administrative bodies use when acting on this project are included in Attachment L. The petitioner submitted a *Justification Narrative* and *Findings of Fact* that would support the application request (see Attachment M).

G) Economic Incentives / Economic Development

During the application review process, the petitioner was asked to clarify the nature of any economic incentives that would be requested to develop the project. The petitioner has formally requested economic incentives to assist with construction of the project and has stated that the project will face serious challenges moving forward without financial support. The subject application does not include any financial incentives and is comprised solely of the rezone and land development entitlements necessary for construction of the project. The City is currently exploring available economic incentives and any future financial incentive will be required to receive separate review and approval by the appropriate administrative authorities.

H) Public Comment

Pursuant to City Code and Illinois Statutes, a public notice was published and mail notices were sent to all property owners, business owners and occupants within 250 feet of the project boundary. The City shared project plans with several interested parties who contacted staff for information. At the time of publication of this staff report, three (3) public comments have been received. Two comments from residents to the east of the site were received, and generally expressed support for the project, but asked that the developer be required to repair any fencing in disrepair along the project boundary. One public comment was received from the owner of a small parcel of land that is located within the signalized driveway on Lemont Road, but is outside of the project boundary. The commenter objected to the use of his property for ingress and egress to the project site. Based on staff's review of recorded easements and project documents submitted by the petitioner, staff note that permanent easements appear to be recorded over the property for public utilities and access, and that no development or alterations are proposed on the commenter's property.

DECISION MODE

The Planning, Zoning, and Economic Development Commission will consider this item at its meeting on May 7, 2025.

MEETING SCHEDULE

Planning, Zoning, and Economic Development Commission
Municipal Services Committee
City Council

May 7, 2025
May 27, 2025
June 2, 2025

CITY OF DARIEN

PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION

APRIL 2, 2025

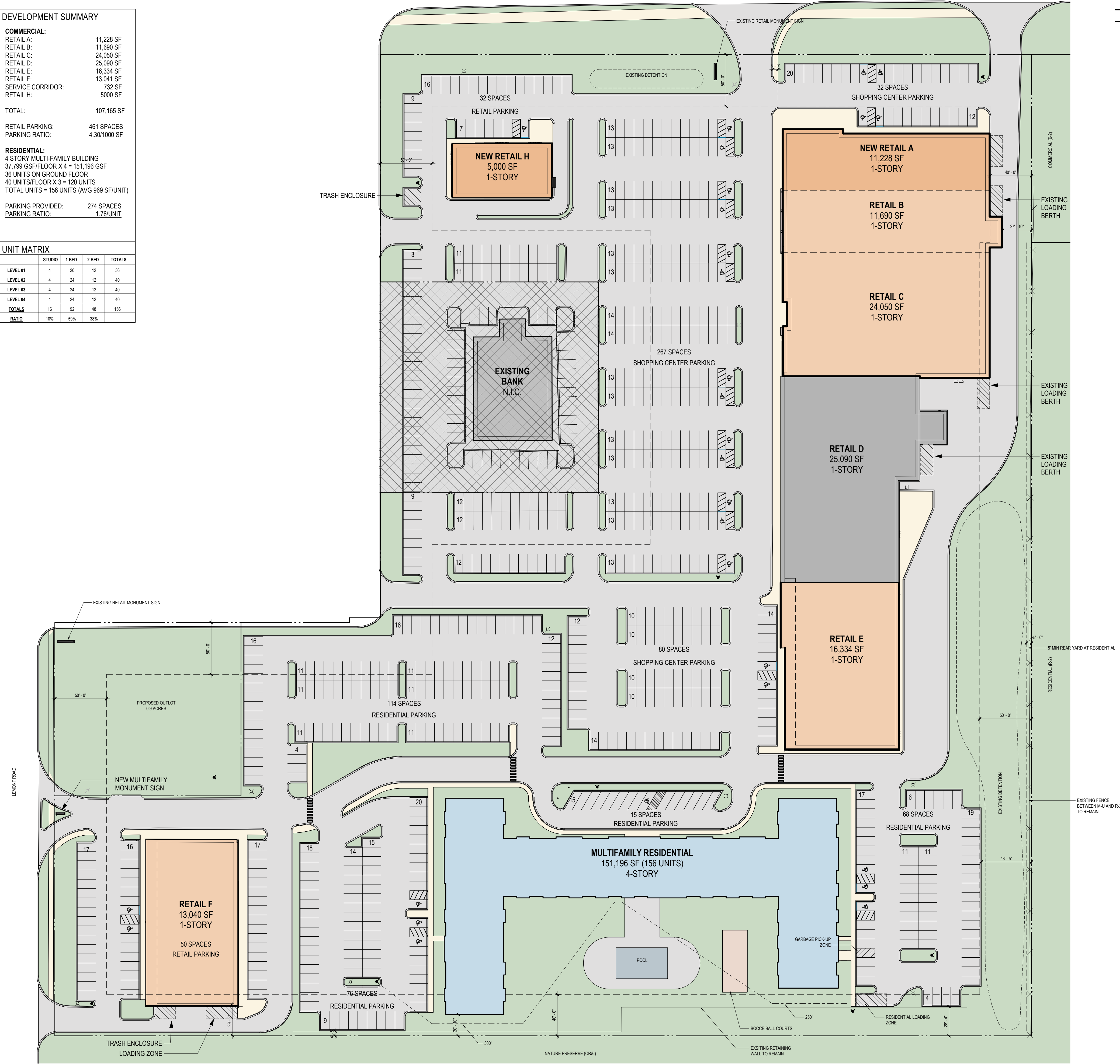
LOCATION MAP



Project No.: PZC2024-09 – 7511 Lemont Road

ZONING SUMMARY		
ZONING DISTRICT: MIXED-USE DISTRICT (M-U)		
USE: PLANNED UNIT DEVELOPMENT WITH RETAIL AND RESIDENTIAL		
LOT SIZE: 60,000 SF (1.52 ACRES)		
MINIMUM LOT SIZE:	ORDINANCE REQUIREMENTS	PROPOSED
2,500 SF		15.6 ACRES
MINIMUM LOT WIDTH:	20'	400' MIN
YARD REQUIREMENTS:	FRONT YARD DEPTH: NO MINIMUM SIDE YARD DEPTH: NO MINIMUM REAR YARD DEPTH: NO MINIMUM ADJONING NON-RESIDENTIAL: 5'-0" MIN. ADJONING NON-RESIDENTIAL: 10'-0" MIN. ADJONING NON-RESIDENTIAL: 20'-0" MIN.	COMPLIES, BUILDING SIDE YARD DEPTHS VARY: 5' CORNER SIDE YARD DEPTH AT R-2 SHOWN DASHED ON PLAN.
FAR:	1.5 MAXIMUM	0.38 PROPOSED
BUILDING HEIGHT:	75'-0" MAXIMUM	VARIES, MULTI-FAMILY (TALLEST) = 48'-0"
BUILDING STORES:	SIX (6) MAXIMUM	RETAIL BUILDINGS: ONE (1) STORY MULTI-FAMILY BUILDING: FOUR (4) STORES
MIXED-USE BUILDING:	AT LEAST ONE FLOOR OF MULTI-FAMILY BUILDING DEVOTED TO ALLOWED NON-RESIDENTIAL USES	VARIANCE REQUEST: MULTI-FAMILY BUILDING HAS NO NON-RESIDENTIAL USES
LANDSCAPE:		
PERIMETER YARD:	FRONT, CORNER SIDE, INTERIOR SIDE, AND REAR YARDS SHALL BE LANDSCAPED PER FORMULA PROVIDED IN CHAPTER 16 SECTION SA-10-5 OF DARIEN IL CITY CODE.	YARDS TO BE LANDSCAPED PER ZONING REQUIREMENTS.
PARKING LOT LANDSCAPING:	ONE (1) SHADE TREE AND THIRTY SEVEN (37) SHRUBS FOR EA. ONE HUNDRED (100) LINEAR FT. OF PARKING SPACES. ONE (1) LANDSCAPE ISLAND EVERY FIFTEEN (15) PARKING SPACES. MINIMUM 9'-0" WIDE ISLAND AT END OF EVERY ROW	YARD PROVIDED AROUND PARKING LOT FOR REQUIRED LANDSCAPING. ONE (1) LANDSCAPE ISLAND PROVIDED EVERY FIFTEEN (15) PARKING SPACES.
FOUNDATION LANDSCAPING:	10'-0" WIDE PLANTING BED FOR MINIMUM 50% OF THE BUILDING FACES.	FOUNDATION LANDSCAPING DOES NOT EXIST/NOT PROPOSED AT EXISTING SHOPPING CENTER
REFUSE DISPOSAL LANDSCAPING:	10'-0" WIDE PLANTING BED ON TREE (3) SIDES OF REFUSE DISPOSAL AREA.	10'-0" WIDE MIN. FOUNDATION LANDSCAPING PROVIDED AT MULTI-FAMILY BUILDING
PARKING:		
SHOPPING CENTER UNDER 200,000 SF:	4 SPACES PER 1,000 SF 88,362 SF / 1,000 x 4 = 354 SPACES	SHOPPING CENTER RETAIL: 379 SPACES
RETAIL OUTLOTS:	4 SPACES PER 1,000 SF RETAIL F: 13,040 SF / 1,000 x 4 = 53 SPACES RETAIL H: 5,000 SF / 1,000 x 4 = 20 SPACES	RETAIL F: VARIANCE REQUEST - 50 SPACES PROVIDED RETAIL H: 32 SPACES
DWELLING, MULTI-FAMILY:	2 SPACES PER DWELLING UNIT: 156 UNITS x 2 = 312 SPACES REQUIRED 1 LOADING BERTH FOR FIRST 200K SF, THEN 1 PER 200K SF AFTER	VARIANCE REQUEST - 273 SPACES PROVIDED 140 BHK PARKING SPACES PROVIDED IN BUILDING 1 LOADING BERTH PROVIDED 1 GARBAGE PICK UP ZONE PROVIDED
DINING DRINKING	1 STALL PER 3 SEATS, INDOOR AND OUTDOOR 1 STALL PER 2 SEATS	SHARED WITH SHOPPING CENTER PARKING
ACCESSIBLE SPACES:	21 TO 50 = 2 ACCESSIBLE SPACES 51 TO 75 = 3 ACCESSIBLE SPACES 201 TO 300 = 7 ACCESSIBLE SPACES 301 TO 400 = 8 ACCESSIBLE SPACES	RETAIL H OUTLOT: 1 PROVIDED RETAIL F OUTLOT: 2 PROVIDED MULTI-FAMILY: 7 PROVIDED SHOPPING CENTER: 19 PROVIDED
RETAIL OFF-STREET LOADING	SETBACK: ADJONING NON-RESIDENTIAL: 20'-0" MIN. ADJONING RESIDENTIAL: 30'-0" MIN. SIZE: 12' x 30', 14' VERTICAL CLEARANCE REQUIRED FOR BUILDINGS 7,000 TO 60,000 GSF	LOADING PROVIDED BEHIND RETAIL BUILDINGS VARIES, SEE PLAN.

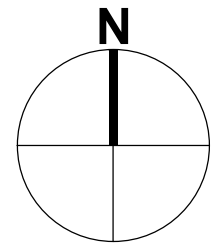
DEVELOPMENT SUMMARY				
COMMERCIAL:				
RETAIL A:	11,228 SF			
RETAIL B:	11,690 SF			
RETAIL C:	24,050 SF			
RETAIL D:	25,090 SF			
RETAIL E:	16,334 SF			
RETAIL F:	13,041 SF			
SERVICE CORRIDOR:	732 SF			
RETAIL H:	5,000 SF			
TOTAL:	107,165 SF			
RETAIL PARKING:	461 SPACES			
PARKING RATIO:	4.30/1000 SF			
RESIDENTIAL:				
4 STORY MULTI-FAMILY BUILDING				
37,799 GSF FLOOR X 4 = 151,196 GSF				
36 UNITS ON GROUND FLOOR				
40 UNITS/FLOOR X 3 = 120 UNITS				
TOTAL UNITS = 156 UNITS (AVG 969 SF/UNIT)				
PARKING PROVIDED:	274 SPACES			
PARKING RATIO:	1.78/UNIT			
UNIT MATRIX				
	STUDIO	1 BED	2 BED	TOTALS
LEVEL 01	4	20	12	36
LEVEL 02	4	24	12	40
LEVEL 03	4	24	12	40
LEVEL 04	4	24	12	40
TOTALS	16	92	48	156
RATIO	10%	59%	38%	



PLAN LEGEND:	
	SCOPE OF PROJECT AREA WITHIN INDICATED OUTLINE
	EXISTING BUILDINGS TO REMAIN
	EXISTING BUILDINGS TO BE RENOVATED
	NEW BUILDINGS WITHIN SCOPE OF WORK AREA
	NEW MULTIFAMILY RESIDENTIAL BUILDING
	LOADING ZONE
	FIRE HYDRANT
	EXISTING LIGHT POLE
	NEW LIGHT POLE



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



PROJECT

SCALE: 1" = 50'

RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
02/26/25 Project #: 23079

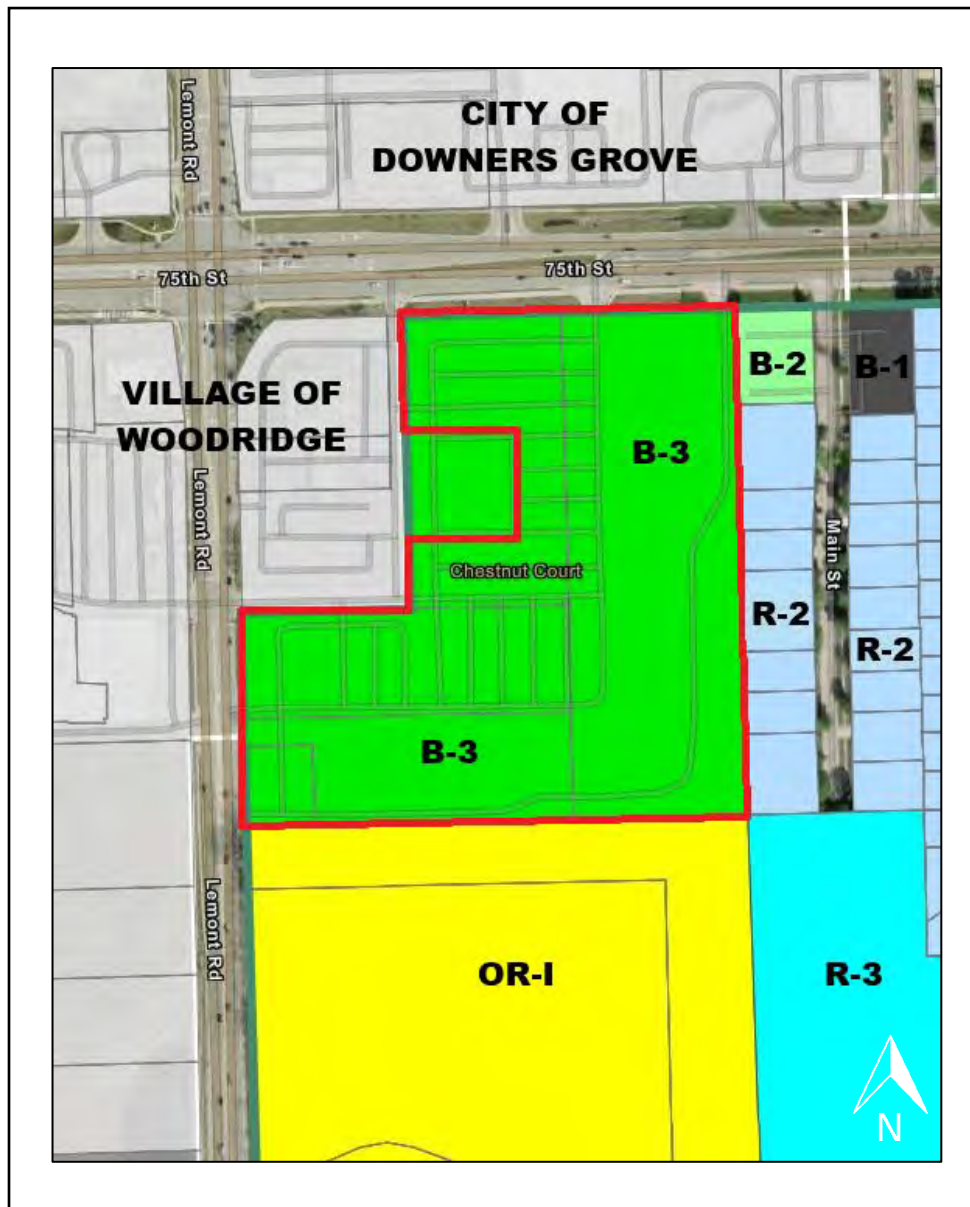
02
SITE PLAN -
PROPOSED

CITY OF DARIEN

PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION

APRIL 2, 2025

EXISTING ZONING MAP



Project No.: PZC2024-09 – 7511 Lemont Road

KEY DEVELOPMENT AREA #1

Location: Southeast corner of 75th Street and Lemont Road intersection (Chestnut Shopping Center).

Existing Conditions: Fully developed shopping and commercial center with existing retail uses throughout.

Zoning: B-3 Business District.

Proposed Land Use: Prioritize mixed-use redevelopment but also focus on filling existing tenant vacancies and improving the aesthetics of the site (i.e. façade enhancements). Infill development consistent with the current center is also viable.

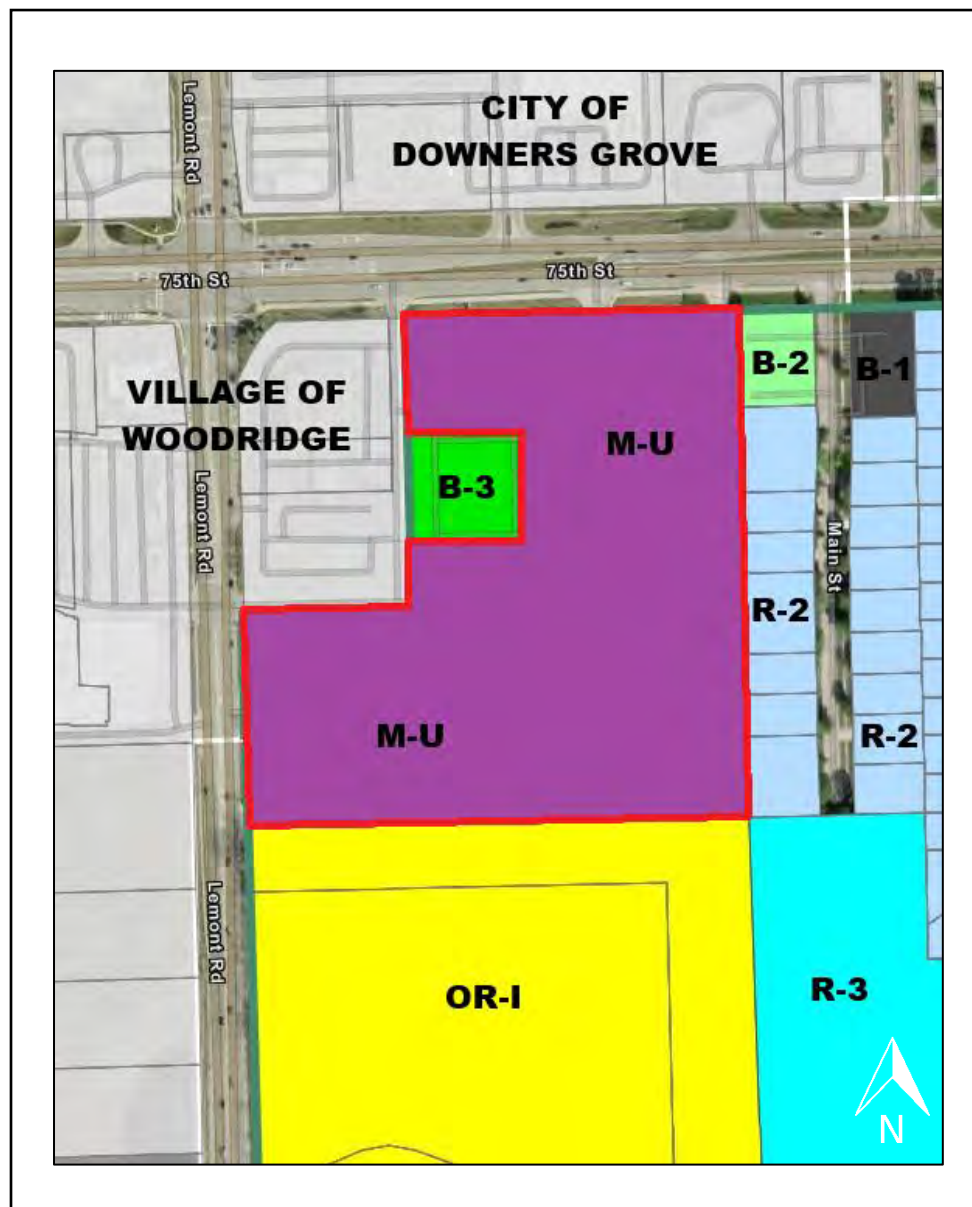
Adjacent Land Uses:

- North: Commercial
- South: Forest Preserve
- East: Residential
- West: Commercial



CITY OF DARIEN
PLANNING, ZONING AND ECONOMIC DEVELOPMENT COMMISSION
APRIL 2, 2025

PROPOSED ZONING MAP



Project No.: PZC2024-09 – 7511 Lemont Road



Memorandum

TO: Mr. Kumar Bhavanasi
Chestnut Court Darien IL, LLC

FROM: Stephen B. Corcoran, P.E., PTOE
Director of Traffic Engineering

DATE: October 2, 2024

RE: Traffic and Parking Analysis
Chestnut Court Shopping Center Redevelopment
Darien, Illinois

This memorandum provides a traffic and parking analysis for the redevelopment of Chestnut Court Shopping Center in Darien, Illinois. Chestnut Court Shopping Center is a retail center near the southeast corner of 75th Street and Lemont Road. The redevelopment plan will replace a portion of the retail space with apartments. The purpose of this study is to assess the change in traffic volumes and the parking needs of the development.

Development Plan

The center is located near the southeast corner of the 75th Street and Lemont Road intersection. The site is bounded by Lemont Road, Chase Bank, and Home Run Pizzeria along the west side of the site and 75th Street along the north side. Single family homes are located to the east and DuPage County Forest Preserve land lies south of the site.

The proposed development plan consists of a four-story apartment building, retail, and a drive through restaurant. The five-story building will have 156 apartments. After redevelopment, the retail will be reduced to 103,933 square feet and add a 2,500 restaurant with a drive thru. Parking lot improvements are proposed.

Site Access

Access to the site is provided by three existing access drives on 75th Street and three on Lemont Road.

75th Street (DuPage 33) is an east-west Other Principal Arterial along the north side of the site. It has three travel lanes in each direction. At its signalized intersection with Lemont Road, there are a separate right-turn lane, three thru lanes, and dual left-turn lane in each direction. Access to the site is provided by two right-in and right-out turn access drives and a left-in, right-in, and right-out drive. It has a 40-mph speed limit and is under the jurisdiction of DuPage Division of Transportation.

Lemont Road is a north-south Minor Arterial Road along the west side of the site with two travel lanes in each direction. At 75th Street, it has a sperate right-turn lane, two thru lanes, and dual left-turn lane in each direction. A signalized intersection serving the Chestnut Court and Woodgrove Festival shopping centers is 625 feet south of 75th Street. The Lemont Road legs have a shared thru/right-turn lane, a separate thru lane, and a left-turn lane. The retail space has access drives have a shared thru/right-turn lane, and a left-turn lane. A full access drive under stop sign control, and a right-in and -out drive also serves the site. It has a 40-mph speed limit and is under the jurisdiction of DuPage Division of Transportation.

All access drives to Chestnut Court will remain unchanged with the redevelopment.

Trip Generation

Trip estimates were made for the existing and proposed development to document the changes in traffic generated by the site. Site trips for each use was based on data in the Institute of Transportation Engineer's Trip Generation 11th Ed. Manual which contains trip generation surveys of similar uses. Copies of the trip calculations are included in the **Appendix**.

The existing Chestnut Court development has a total of 151,633 square feet of retail space. The proposed plan will have a drive-through restaurant (2,500 square feet), retail stores (103,933 square feet), and 156 apartments. The resulting site traffic volumes are shown in **Tables 1 and 2**.

Table 1
Existing Site Traffic Volumes

Use	Size	Morning Peak			Evening Peak			Saturday Peak		
		In	Out	Total	In	Out	Total	In	Out	Total
Shopping Center	151,633 sq. ft.	415	431	846	442	377	819	490	453	943

Table 2
Proposed Site Traffic Volumes

Use	Size	Morning Peak			Evening Peak			Saturday Peak		
		In	Out	Total	In	Out	Total	In	Out	Total
Apartments⁽¹⁾	156 units	14	41	55	37	24	61	31	30	61
Restaurant with Drive-thru⁽²⁾	2,500 sq. ft.	60	66	126	65	62	127	70	68	138
Shopping Center⁽³⁾	103,933 sq. ft.	284	296	580	303	258	561	336	310	646
Totals		358	403	761	402	344	749	437	408	845
Change in Traffic		-57	-28	-85	-40	-33	-70	-53	-45	-98

(1) ITE Land Use Code 221 – Multi-Family (Mid Rise)

(2) ITE Land Use Code 934: - Fast Food Restaurant with Drive-Through Window

(3) ITE Land Use Code 821 – Shopping Plaza (40 - 150k)

Site Traffic Impact

The proposed development plan will add apartments and a drive-thru restaurant to the site while reducing the size of the existing retail space. Traffic conditions will improve at the site access points and at the two signalized intersections on Lemont Road with the reduction of overall site traffic volumes. No off-site traffic improvements are required.

Existing Chestnut Court Parking

The existing on-site parking supply is 674 parking spaces with an additional 25 accessible spaces for a total of 699 spaces. The parking lot totals did not include parking at Chase Bank and parking stalls adjacent to Home Run Inn Pizza. The Darien zoning code requires four parking spaces per one thousand square feet of area or 606 spaces as shown in **Table 3**. The current center has a surplus of parking spaces.

Table 3
Existing Site Parking per Darien Zoning Code

Use	Size	Parking Requirements	Total Parking	
			Required	Provided
Shopping Center	151,633 sq. ft.	4 spaces/1,000 sq. ft.	606	674

Proposed Parking Plan

The redevelopment plan creates four separate parking areas for the main retail/restaurant area on the north side of the site, for the apartments, for an existing retail space to remain in the southwest corner, and a future development outlot. The outlot was not included in the parking analysis and will have to be evaluated separately when a plan is proposed. **Table 4** shows the future required parking for the development plan of 745 spaces while the site plan shows 743 spaces provided. A parking variation of 2 spaces for Retail F

and 33 spaces for the apartments are required. Retail H has 33 surplus spaces. Retail spaces A thru E meet the zoning code with no surplus.

Table 4
Proposed Site Parking per Darien Zoning Code

Location	Use	Size	Parking Requirements	Total Parking		
				Required		Provided
Residential	Apartments	156 units	2 spaces/unit	312		279 (1.79 sp/unit)
Retail H	Restaurant With Drive-thru	2,500 sq. ft. (50 seats)	1 per 3 seats plus 15 stacking spaces for drive-thru lane	17	27	60
		2,500 sq. ft.		10		
Retail A-E	Shopping Center	88,392 sq. ft.	4 spaces/1,000 sq. ft.	354		354
Retail F		13,040 sq. ft.		52		50
	Totals			745		743

National Parking Requirements

National parking data is available from other Institute of Transportation Engineers (ITE) in their publication Parking Generation, 6th Edition for multifamily housing (Land use code 221), drive-through restaurant (Land use code 934), and retail for plaza center (Land use code 821). The ITE data shows lower parking demand than the zoning code requirements and is less than the parking provided.

Table 5
National Parking Survey Results (Proposed)

ITE Land-Use Code	Use	Size	Weekday	Saturday
221	Apartments	156 units	186 (1.19 sp/unit)	156
934	Restaurant (Drive-thru)	2,500 sq. ft.	19	21
821	Shopping Plaza	103,932 sq. ft.	323	249
Totals			528	426

Conclusions

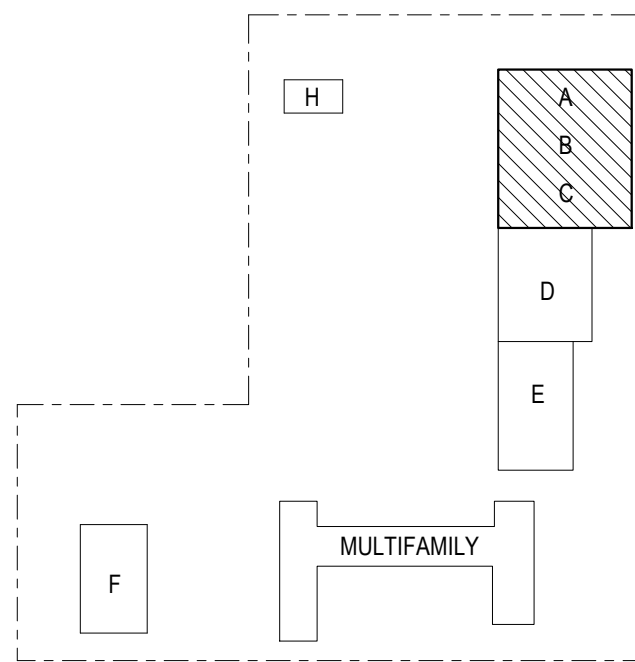
Based on the review of traffic and parking conditions around the proposed site, the following conclusions were reached:

1. The proposed plan with 156 apartments, 103,392 sq. ft. of retail space, and 2,500 sq. ft. of drive through restaurant space of retail will generate 9-10% less traffic volumes than the existing retail space which will benefit existing traffic conditions.
2. The six site driveways on 75th Street and Lemont Road will remain and do not require additional changes.
3. The Darien zoning code requirement for the site is 745 spaces and 743 are provided.
4. Apartment parking is provided at a ratio of 1.79 spaces which is less than the required parking of 2 spaces per unit. The expected parking demand is 1.19 space per unit based on parking surveys of other apartment projects.

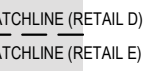
Appendix

ITE Parking Generation Calculations

ITE Trip Generation Calculations

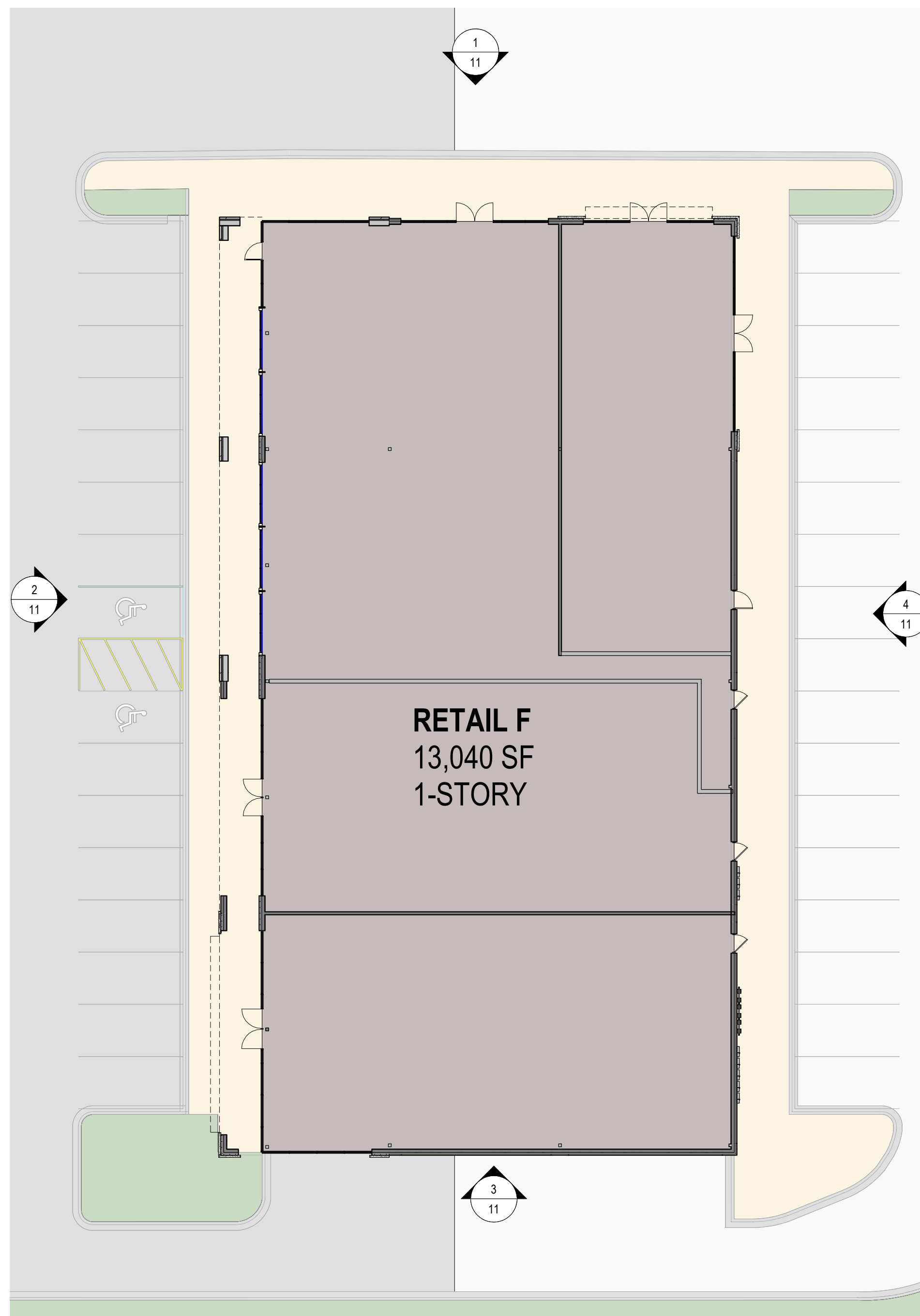
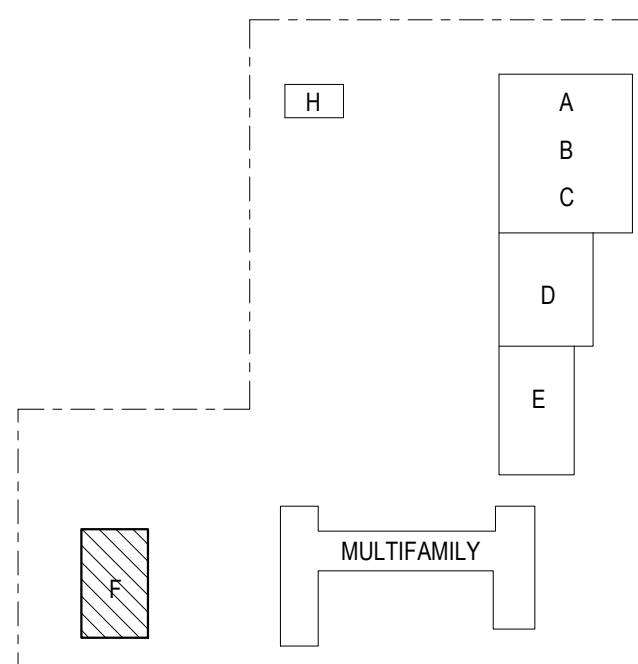


1 NEW FLOOR
SCALE: 1/16" = 1'-0"

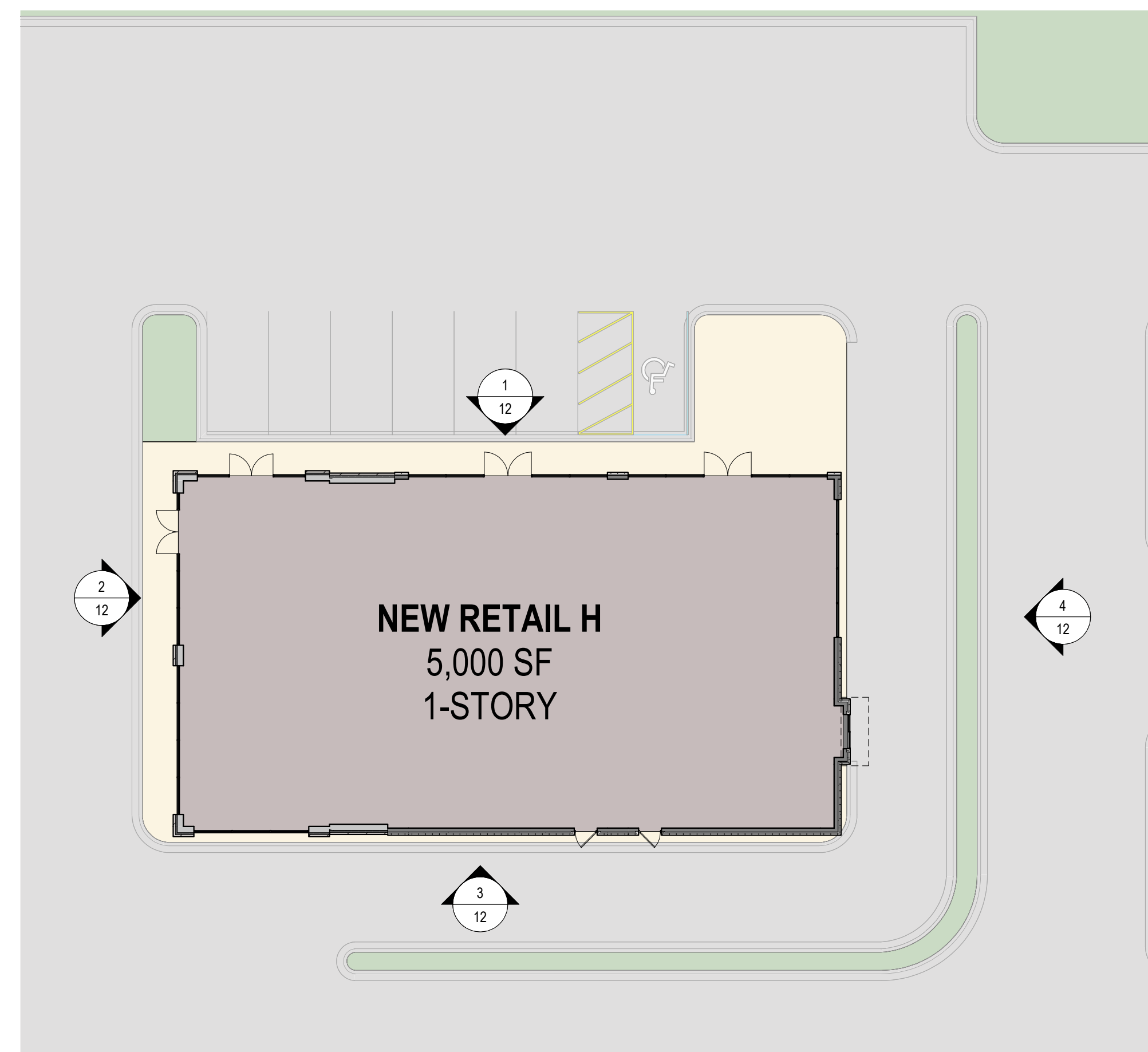


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SCALE: 1/16" = 1'-0"

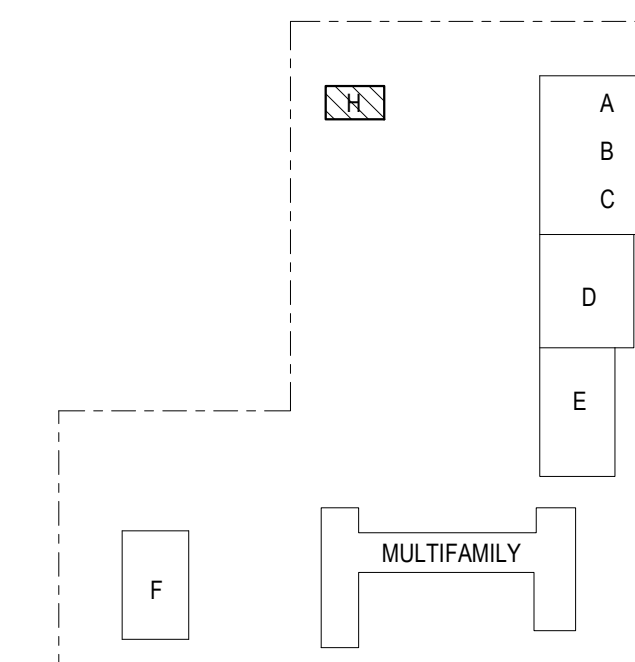




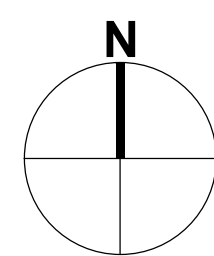
2 NEW FLOOR PLAN - RETAIL F
SCALE: 1/16" = 1'-0"



1 NEW FLOOR PLAN - RETAIL H
SCALE: 1/16" = 1'-0"



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661

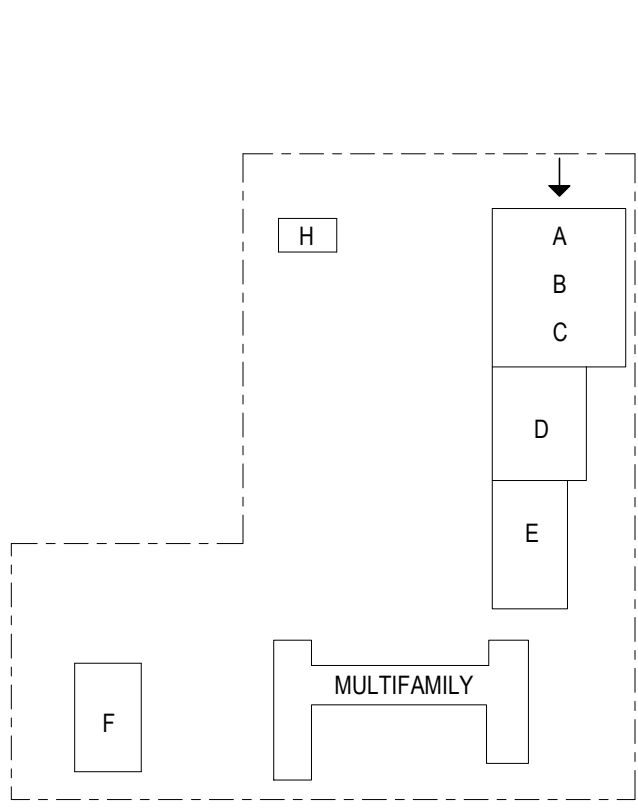


PROJECT

SCALE: 1/8" = 1' 0"
0' 2' 4' 8' 16'

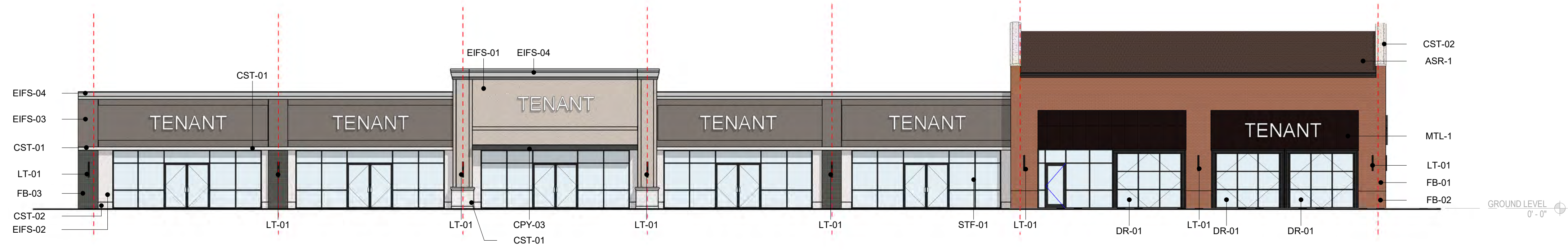
RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
11/26/24 Project #: 23079

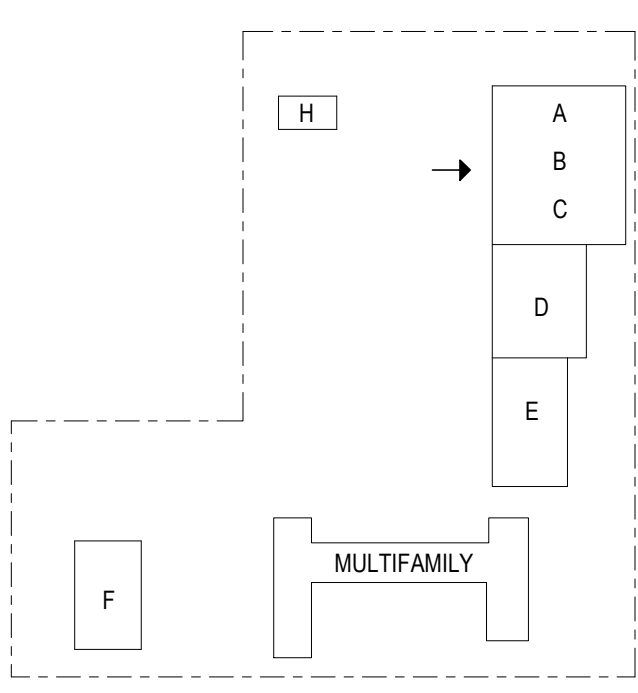


3 NORTH ELEVATION - RETAIL A

SCALE: 3/32" = 1'-0"

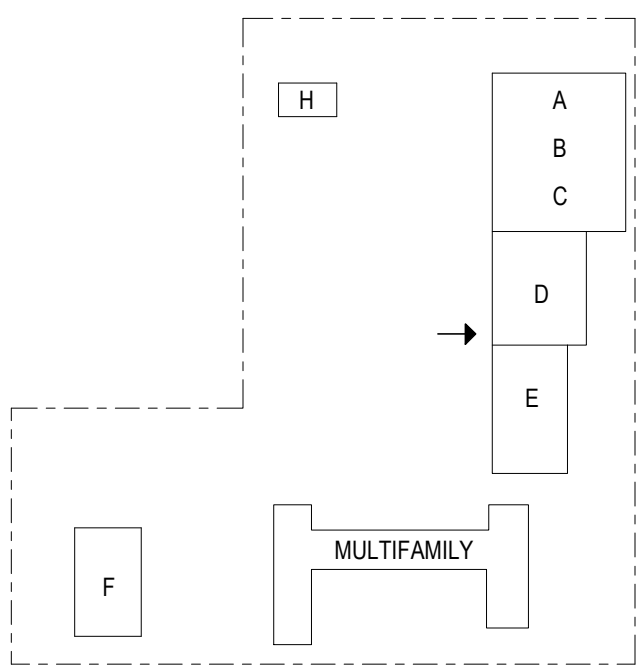
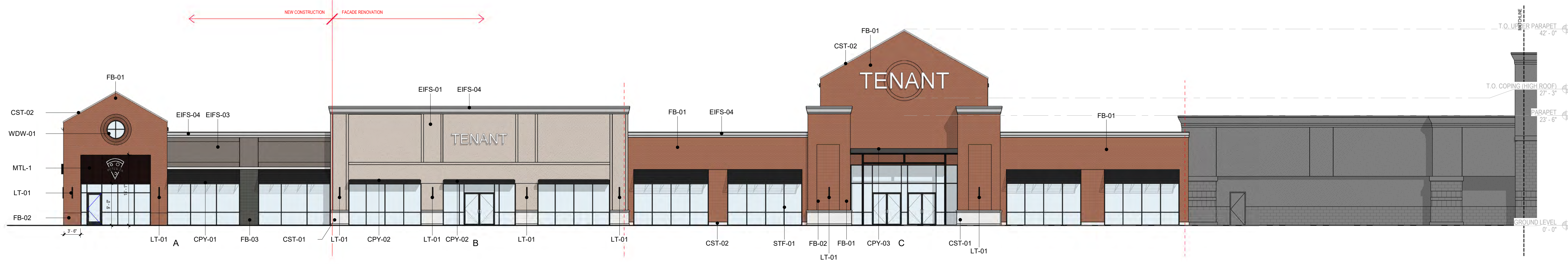


KEYNOTE LEGEND	
KEY NOTE	COMMENT
ASR-1	SLOPED ASPHALT SHINGLE ROOF W/ DARK BRONZ MTL GUTTER
CPY-01	SLOPED SQUARE METAL TRELLIS CANOPY
CPY-02	BLACK METAL TRELLIS
CPY-03	METAL CLAD SOLID CANOPY, ASSUME ROOF DRAIN
CST-01	CAST STONE
CST-02	CAST STONE CORNICE
DR-01	OVERHEAD DOOR WITH GLASS INFILL PANELS
EIFS-01	EIFS LIGHT TAN
EIFS-02	EIFS LIGHT GREY
EIFS-03	EIFS DARK GREY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND
FB-02	FACE BRICK 1 - STACKED SOLDIER BOND
FB-03	FACE BRICK 2 - STACKED SOLDIER BOND
LT-01	DECORATIVE SCONCE
MTL-1	METAL PANEL - BRONZE
STF-01	STOREFRONT SYSTEM
WDW-01	ROUND GABLE WINDOW WITH MASONRY SURROUND



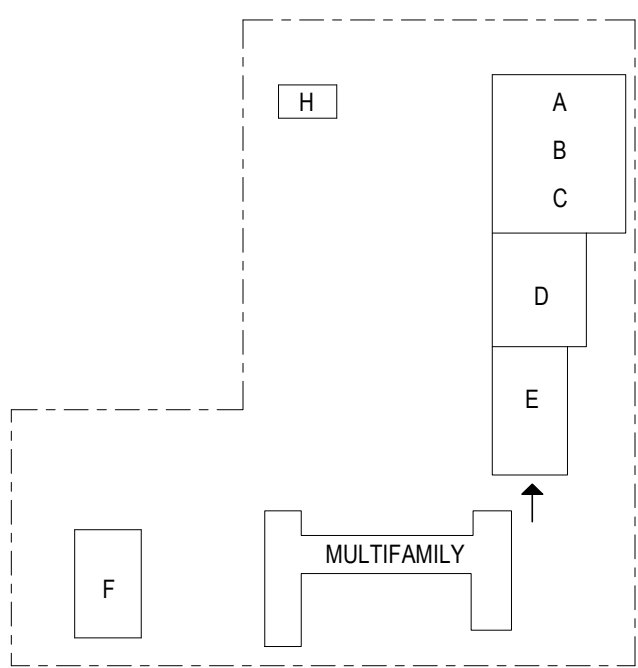
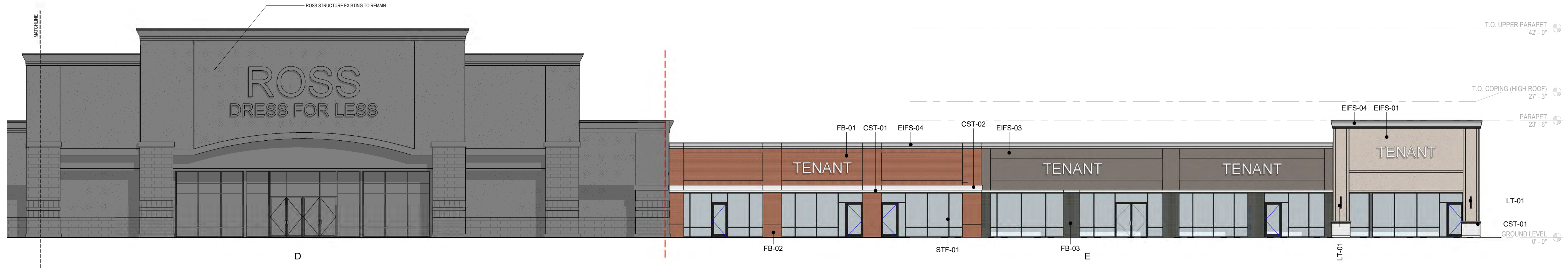
1 WEST ELEVATION - RETAIL A, B, C

SCALE: 3/32" = 1'-0"



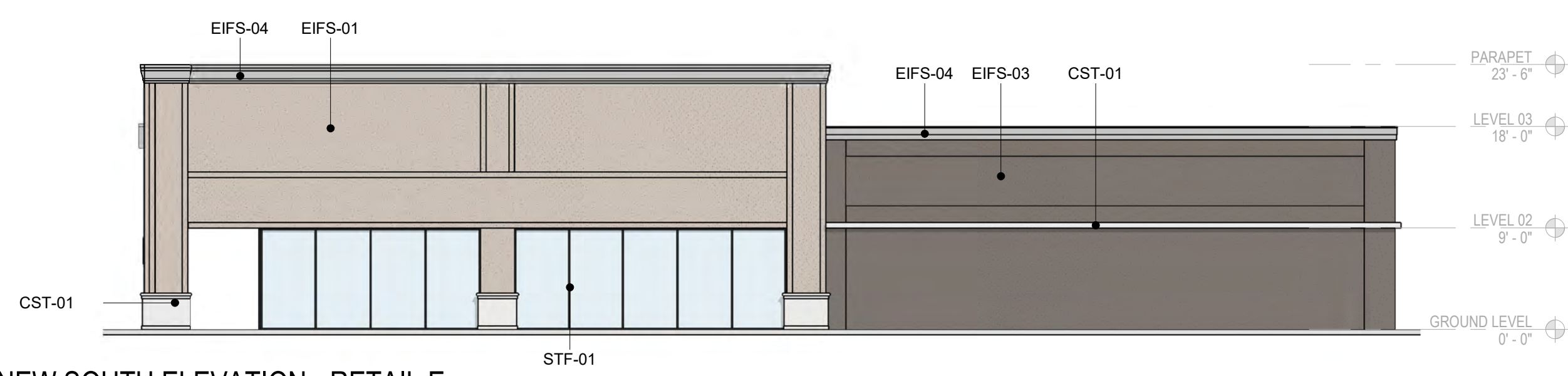
2 WEST ELEVATION - RETAIL D, E

SCALE: 3/32" = 1'-0"



4 NEW SOUTH ELEVATION - RETAIL E

SCALE: 3/32" = 1'-0"



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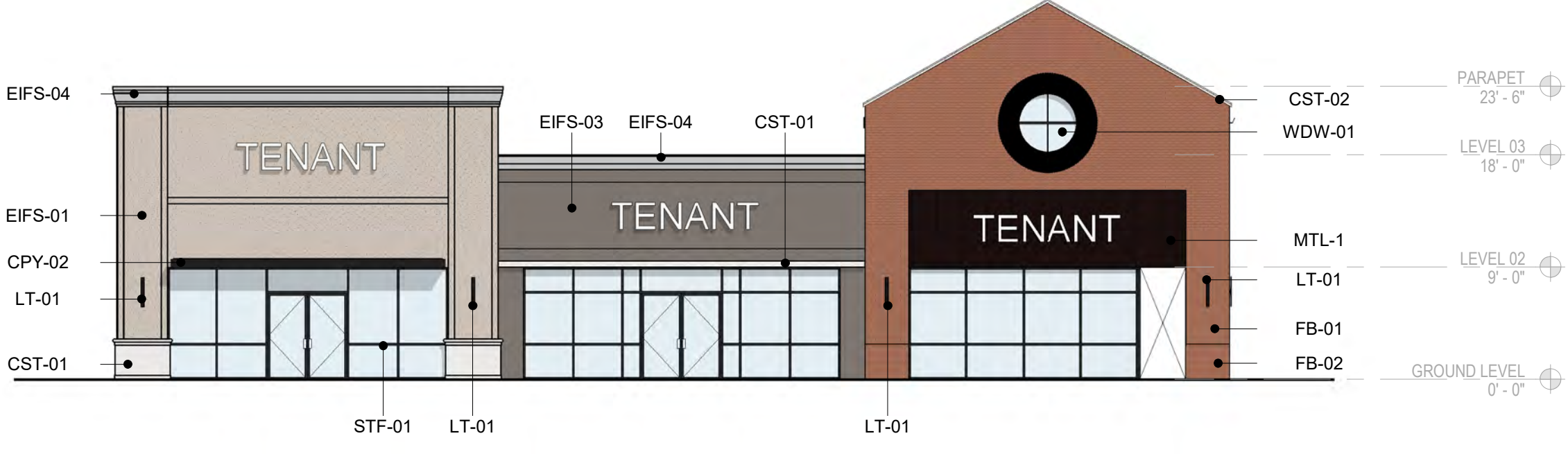
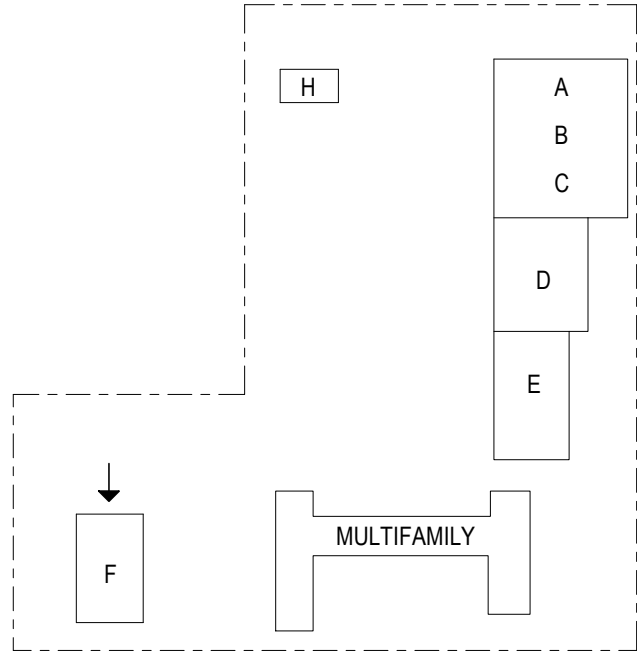
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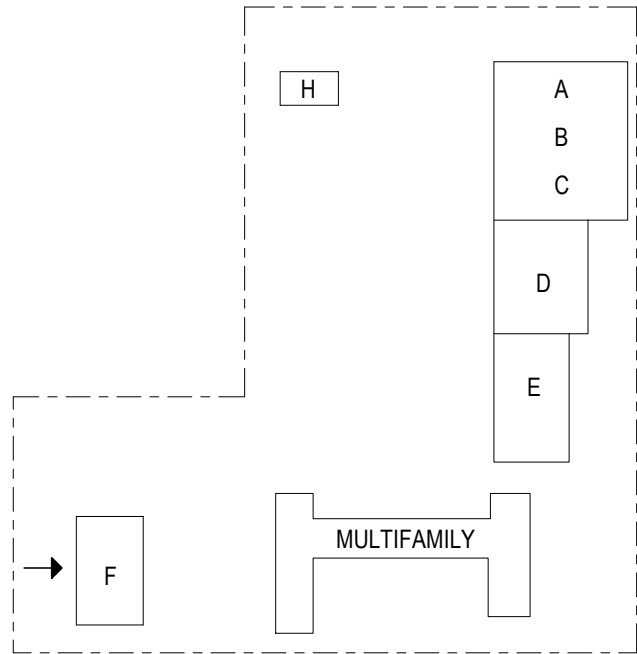
RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
09/30/24 Project #: 23079

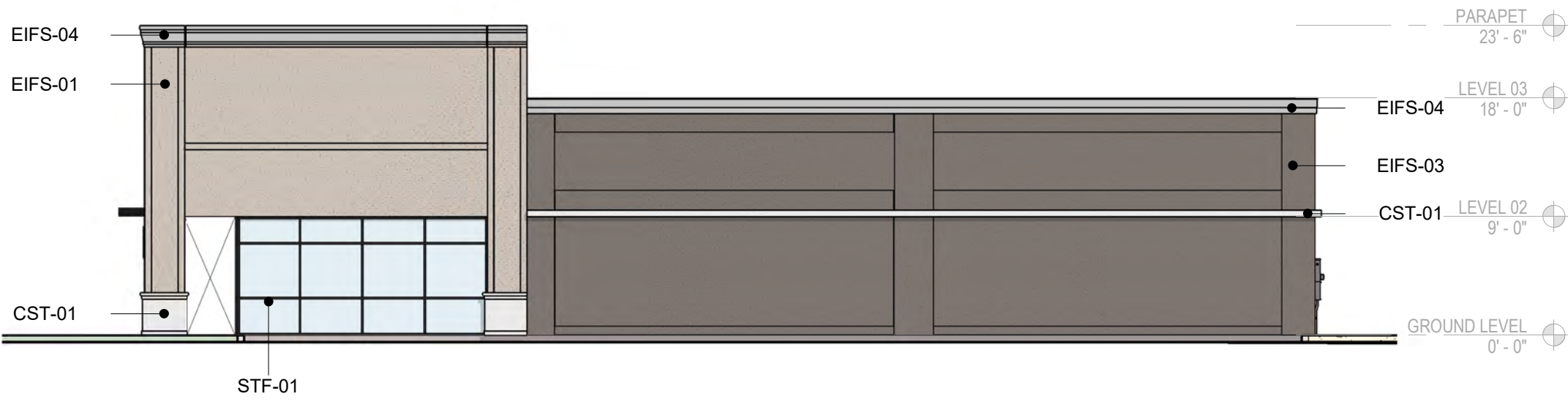
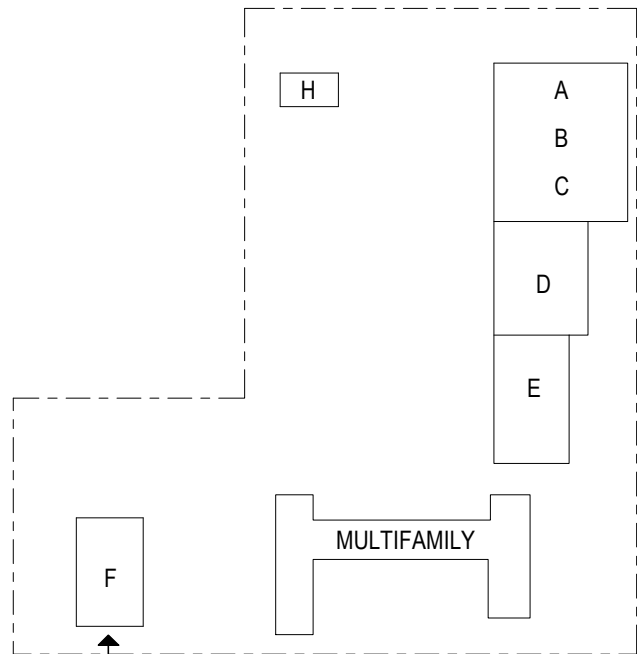
10
NEW
ELEVATIONS -
RETAIL A,B,C,
& E



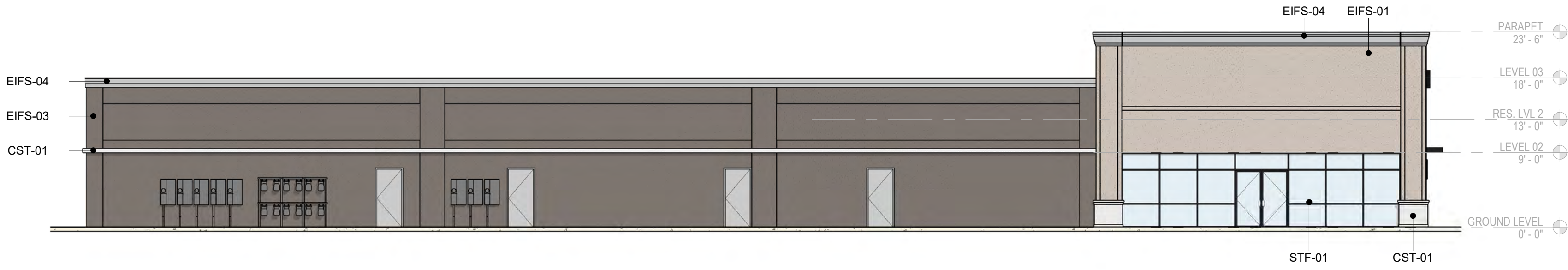
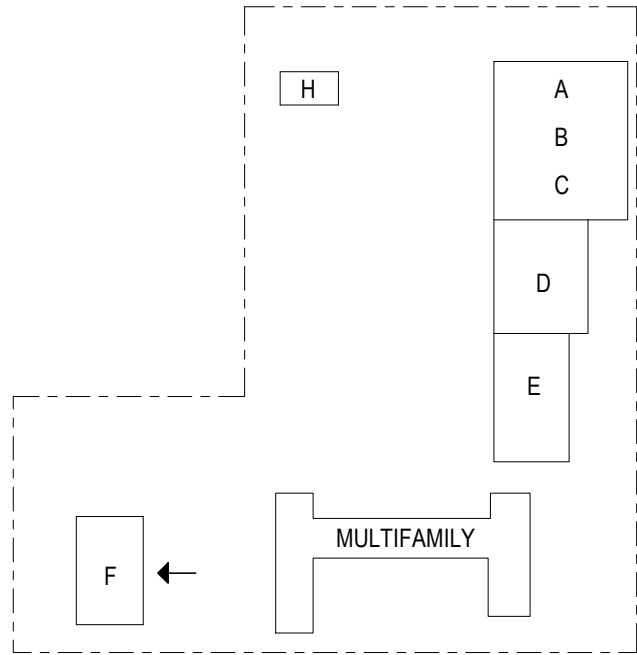
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2 NEW WEST ELEVATION - RETAIL F
SCALE: 3/32" = 1'-0"

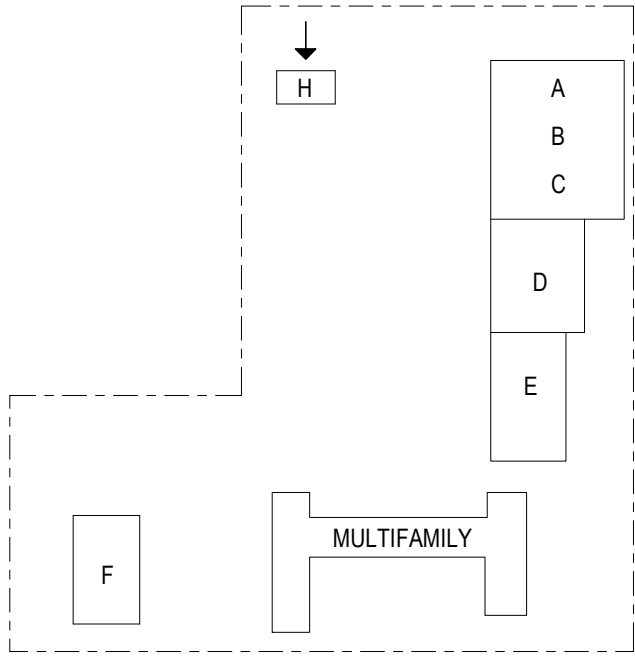


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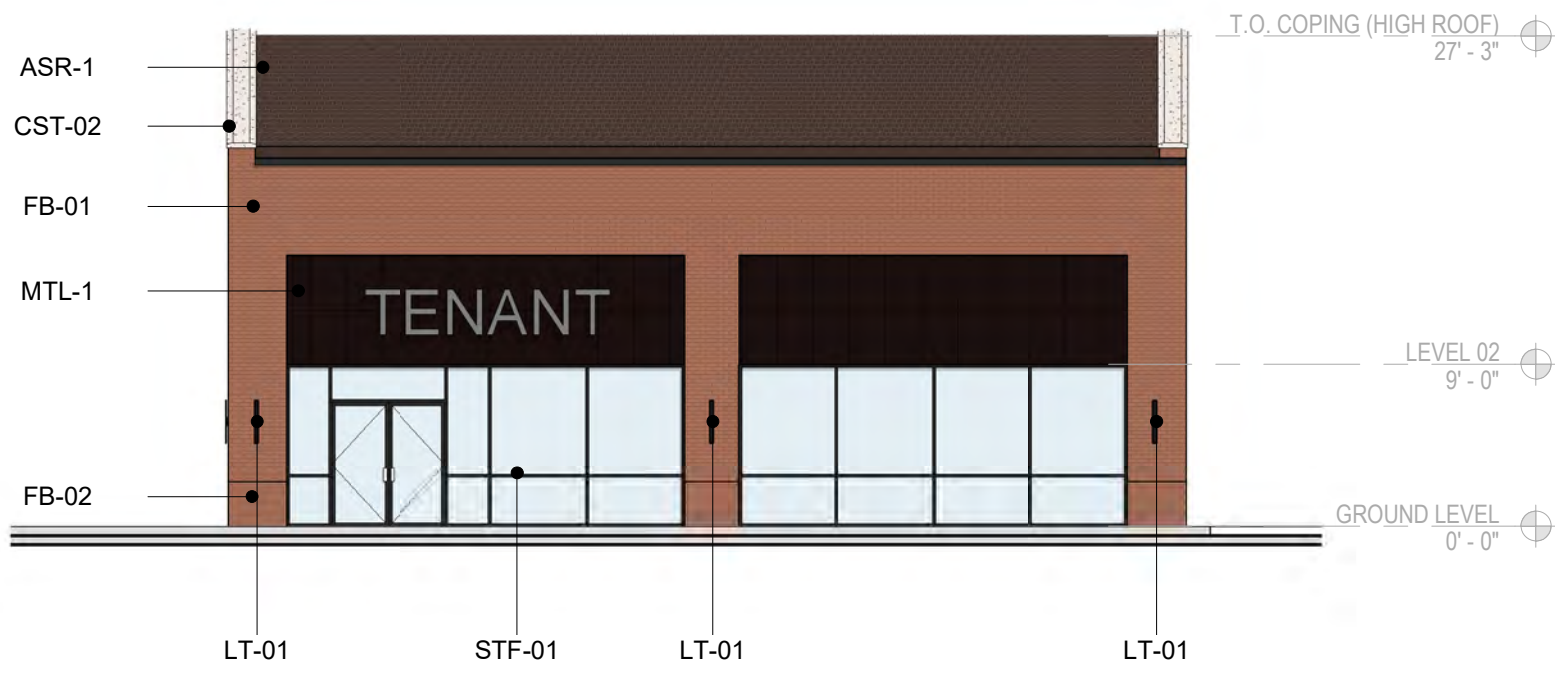
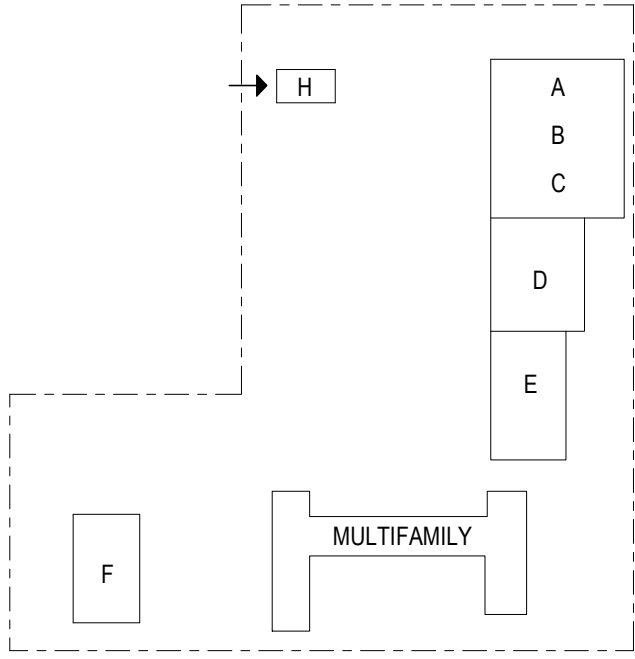


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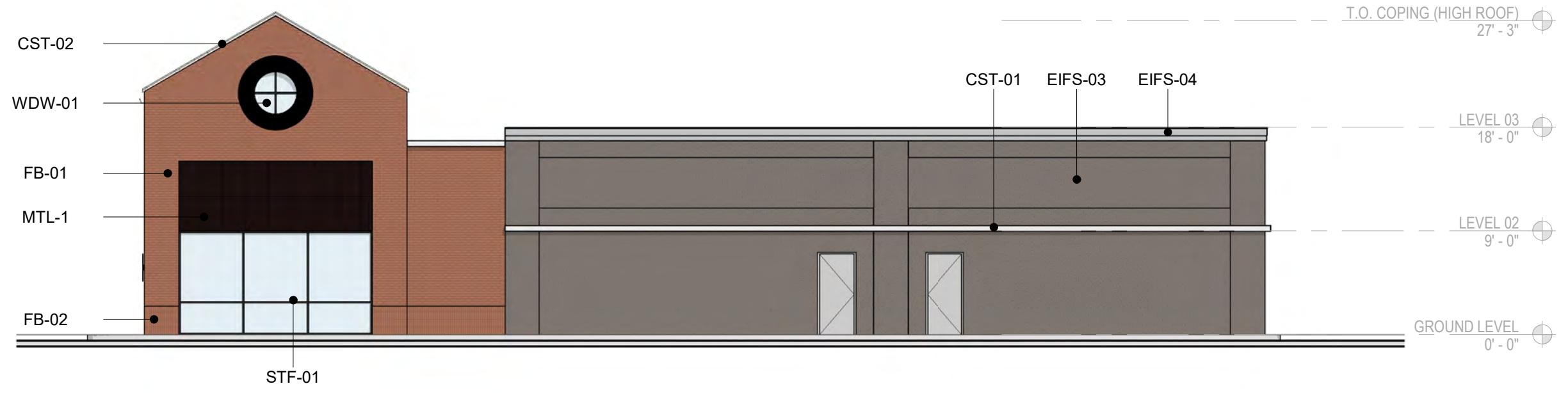
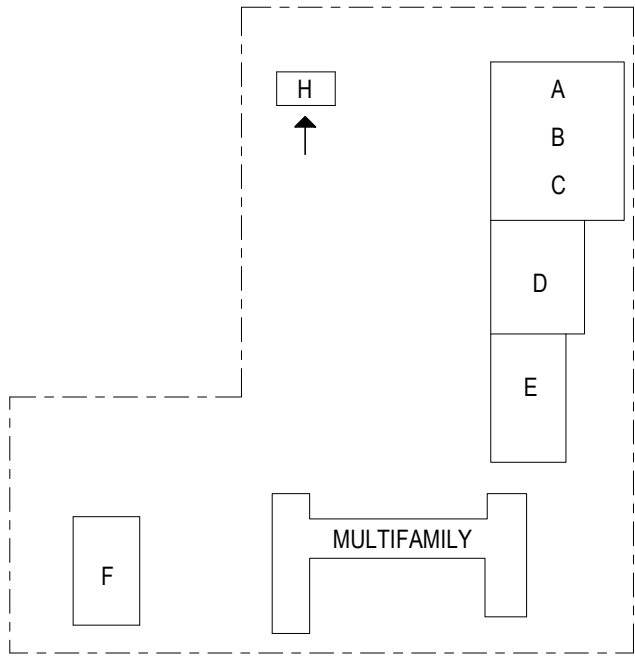
KEYNOTE LEGEND	
KEY NOTE	COMMENT
ASR-1	SLOPED ASPHALT SHINGLE ROOF W/ DARK BRONZ MTL GUTTER
CPY-02	BLACK METAL TRELLIS
CST-01	CAST STONE
CST-02	CAST STONE CORNICE
DR-01	OVERHEAD DOOR WITH GLASS INFILL PANELS
EIFS-01	EIFS LIGHT TAN
EIFS-03	EIFS DARK GREY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND
FB-02	FACE BRICK 1 - STACKED SOLDIER BOND
LT-01	DECORATIVE SCONCE
MTL-1	METAL PANEL - BRONZE
STF-01	STOREFRONT SYSTEM
WDW-01	ROUND GABLE WINDOW WITH MASONRY SURROUND



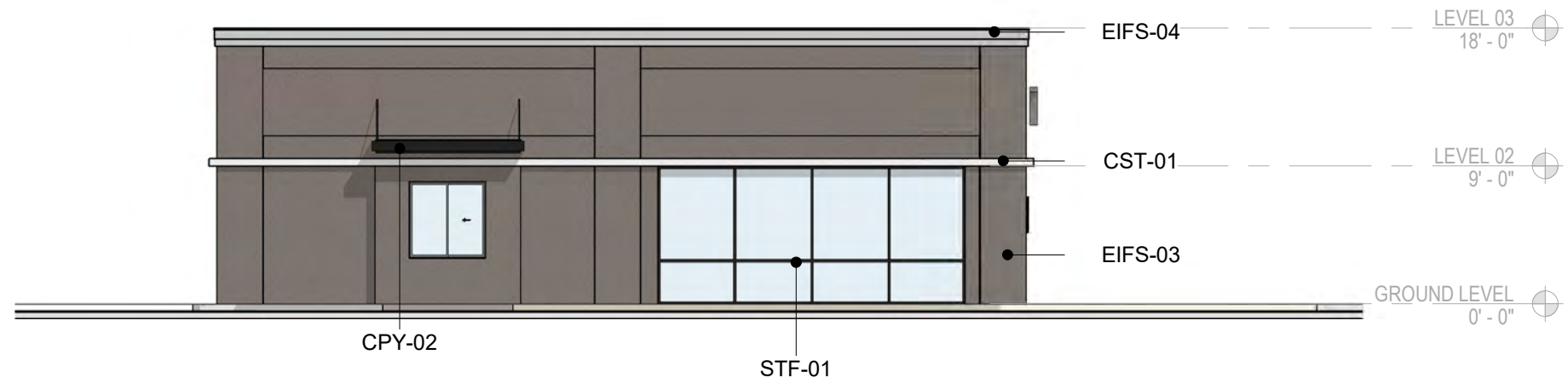
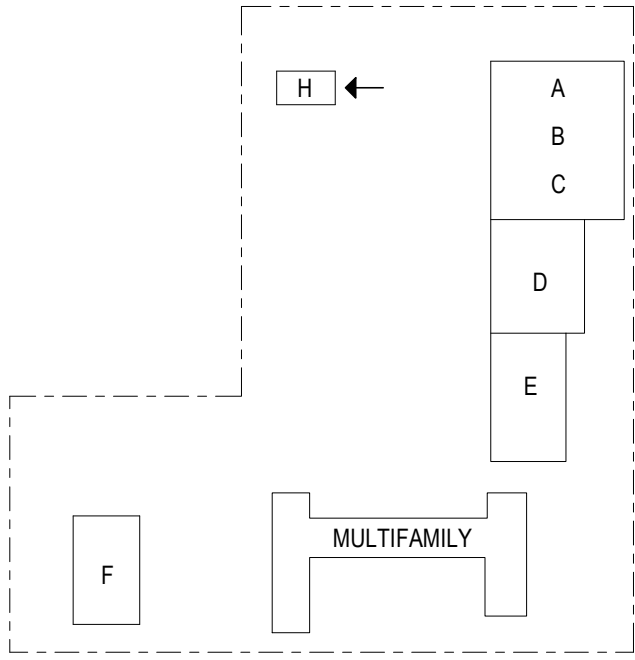
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SCALE: 3/32" = 1'-0"



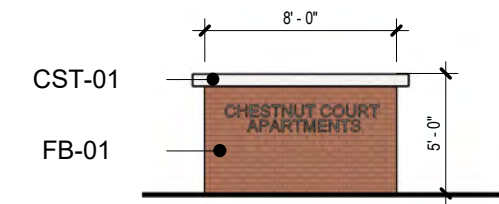
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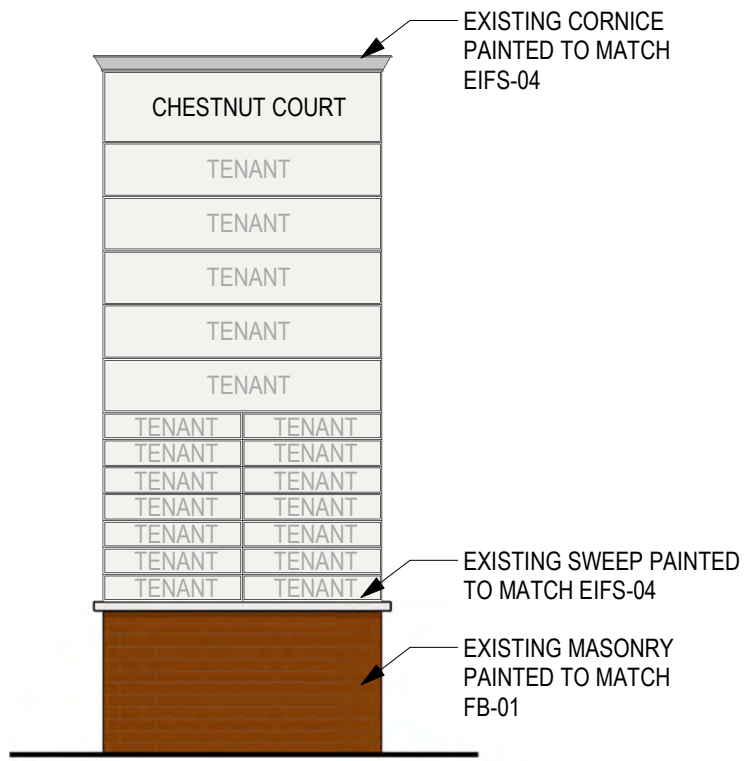
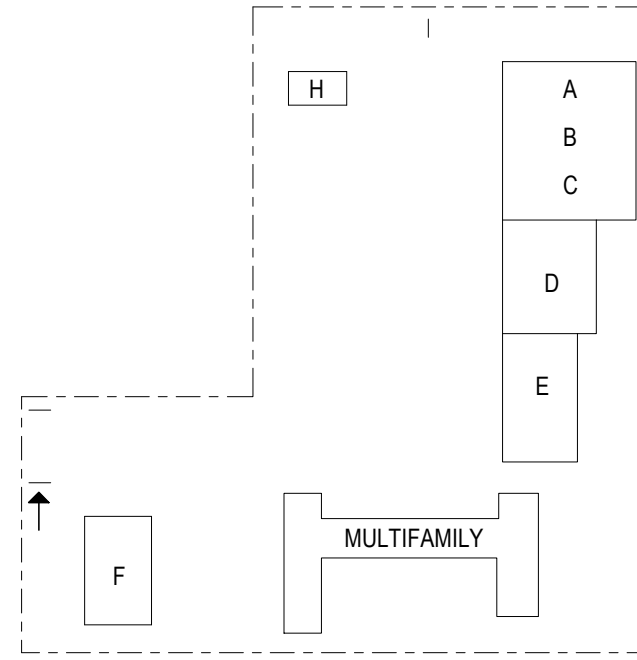
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SCALE: 3/32" = 1'-0"



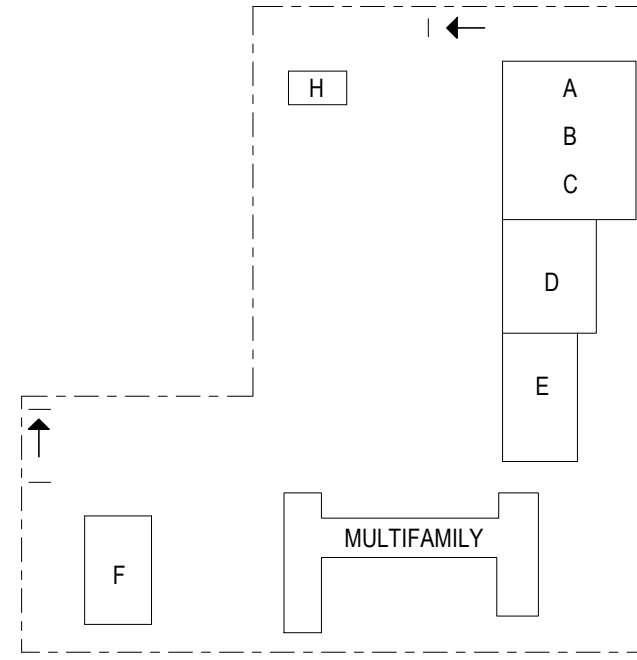
4 EAST ELEVATION - RETAIL H
SCALE: 3/32" = 1'-0"



6 MULTIFAMILY SIGN
SCALE: 1/8" = 1'-0"



5 TYPICAL MONUMENT SIGN ELEVATION
SCALE: 3/32" = 1'-0"



KEYNOTE LEGEND	
KEY NOTE	COMMENT
ASR-1	SLOPED ASPHALT SHINGLE ROOF W/ DARK BRONZ MTL GUTTER
CPY-02	BLACK METAL TRELLIS
CST-01	CAST STONE
CST-02	CAST STONE CORNICE
EIFS-03	EIFS DARK GREY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND
FB-02	FACE BRICK 1 - STACKED SOLDIER BOND
FB-03	FACE BRICK 2 - STACKED SOLDIER BOND
LT-01	DECORATIVE SCOSCE
MTL-1	METAL PANEL - BRONZE
STF-01	STOREFRONT SYSTEM
WDW-01	ROUND GABLE WINDOW WITH MASONRY SURROUND

MATERIAL PALETTE



ASR-01



CPY-01



CPY-02



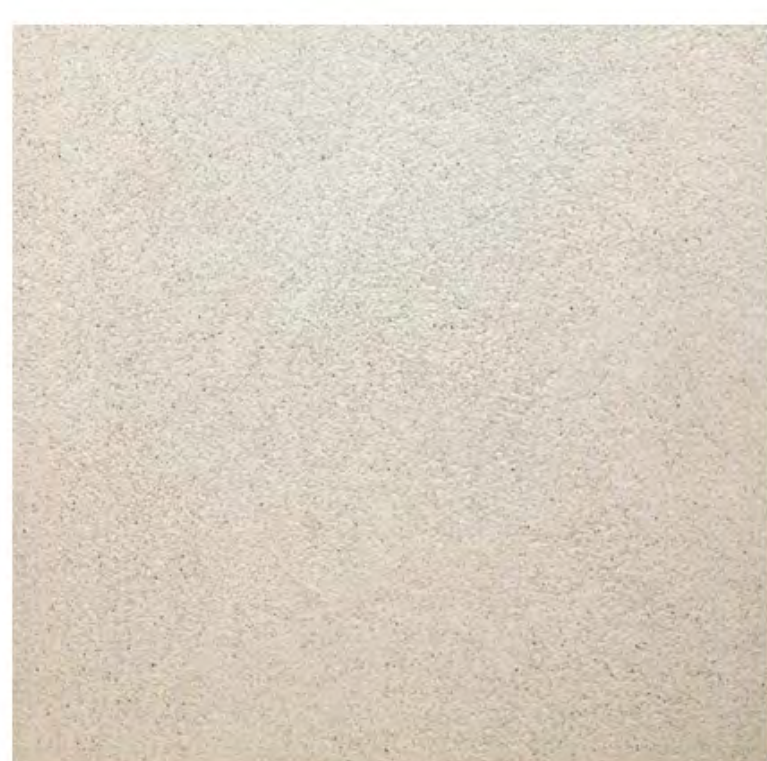
CPY-03



DR-1



CST-01



EIFS-01



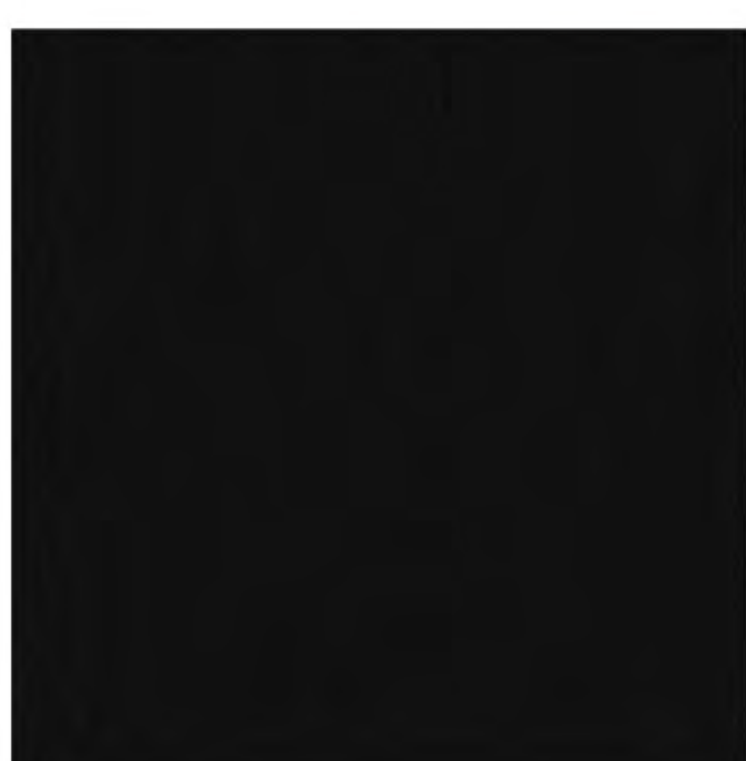
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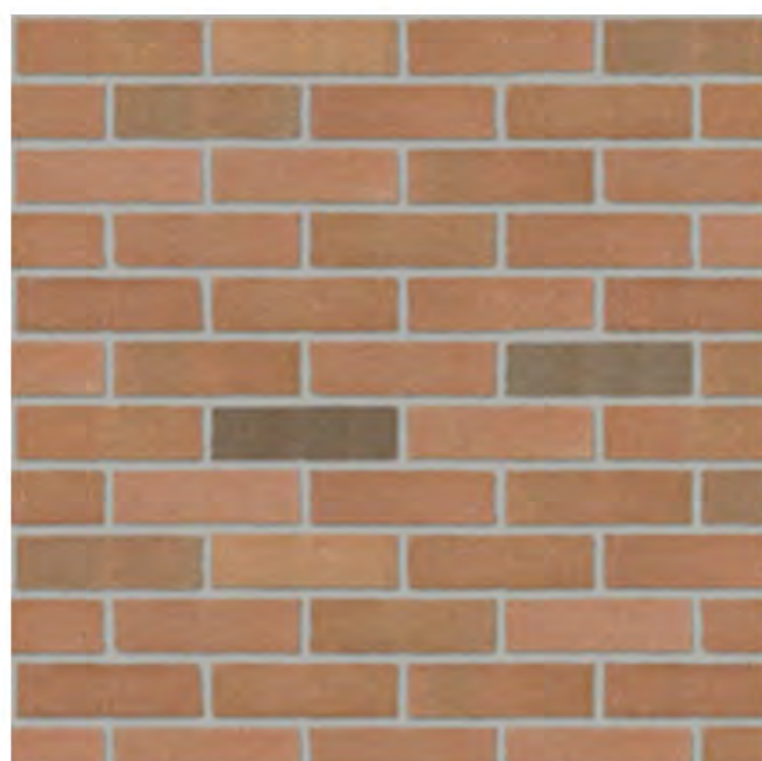
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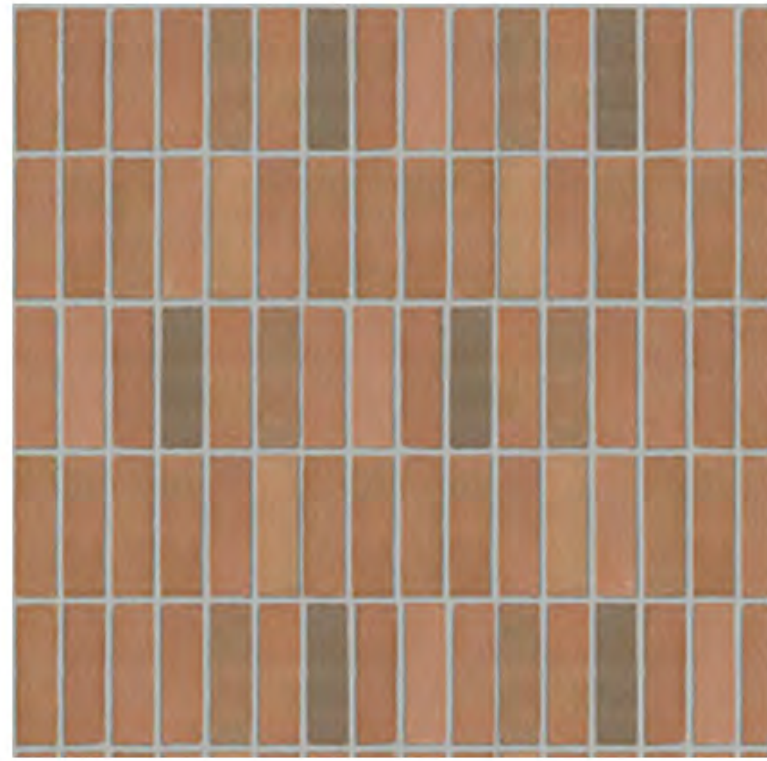
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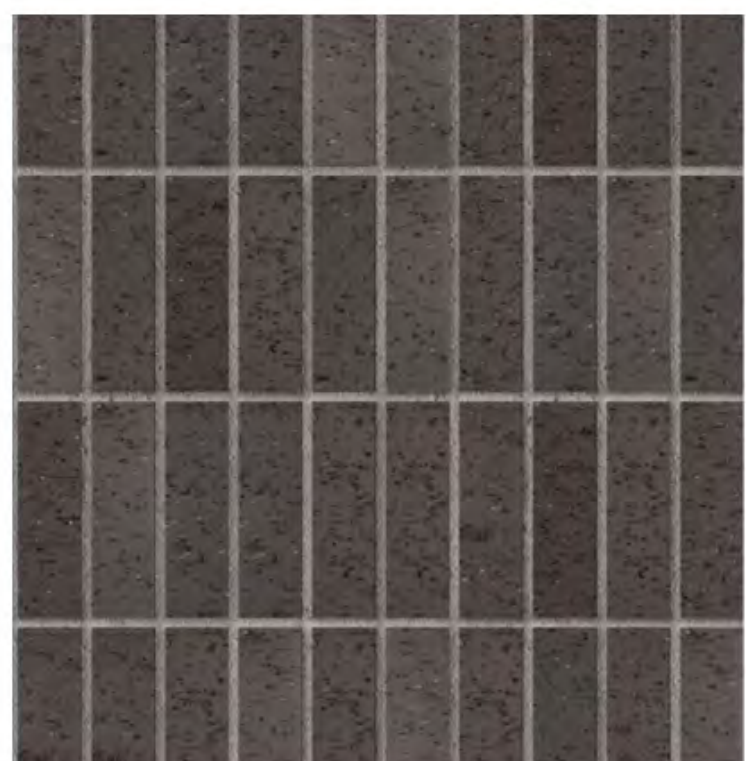
MT-1



FB-01



FB-02



FB-03



STF-01

EXTERIOR MATERIAL SCHEDULE	
ITEM TAG	DESCRIPTION
ASR-01	ASPHALT SHINGLE ROOF
CPY-01	SLOPED SQUARE METAL TRELLIS CANOPY
CPY-02	BLACK METAL TRELLIS
CPY-03	SOLID METAL-CLAD CANOPY
CST-01	CAST STONE
DR-1	OVERHEAD DOOR W/ GLASS INFILL PANELS
EIFS-01	EIFS WALL FINISH - LIGHT TAN
EIFS-02	EIFS WALL FINISH - LIGHT GRAY
EIFS-03	EIFS WALL FINISH - DARK GRAY
FB-01	FACE BRICK 1 - RED BLEND COMMON BOND
FB-02	FACE BRICK 2 - RED BLEND STACKED SOLDIER COURSE
FB-03	FACE BRICK 3 - GRAY STACKED SOLDIER COURSE
LT-1	DECORATIVE SCONCE - DARK BRONZE
MT-1	METAL PANEL - DARK BRONZE
STF-01	STOREFRONT SYSTEM W/ DARK BRONZE MULLIONS



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RETAIL REDEVELOPMENT

CHESTNUT COURT SHOPPING CENTER
DARIEN, IL
09/30/24 Project #: 23079

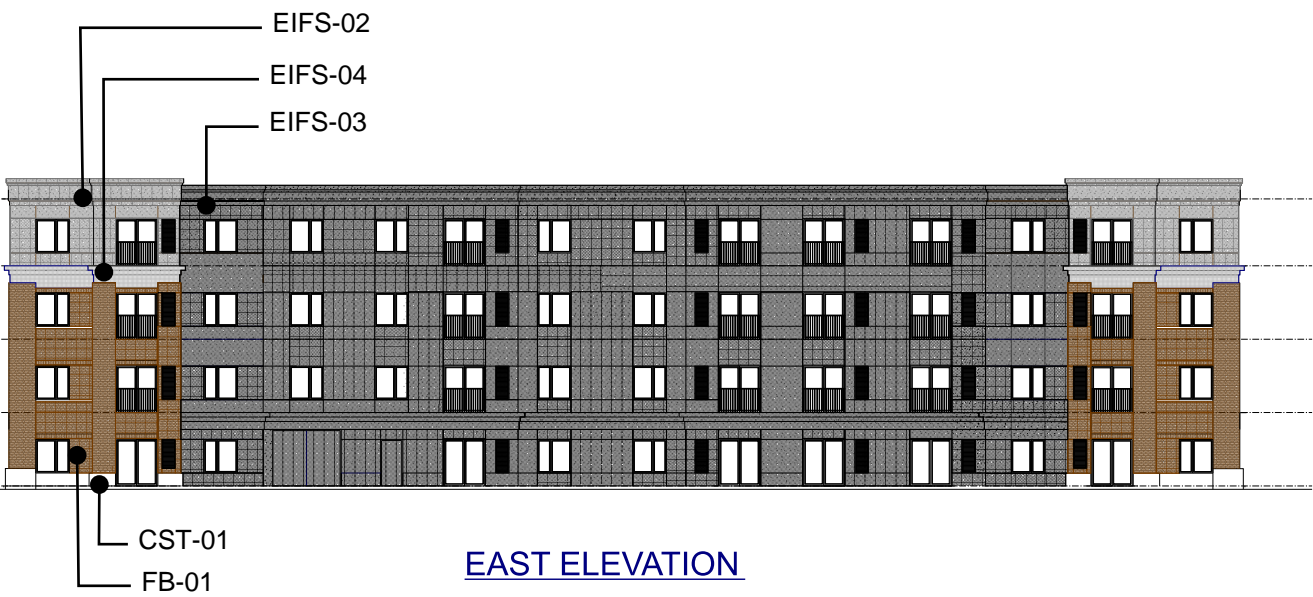


KEYNOTE LEGEND	
KEY NOTE	COMMENT
CST-01	CAST STONE
EIFS-02	EIFS LIGHT GRAY
EIFS-03	EIFS DARK GRAY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND

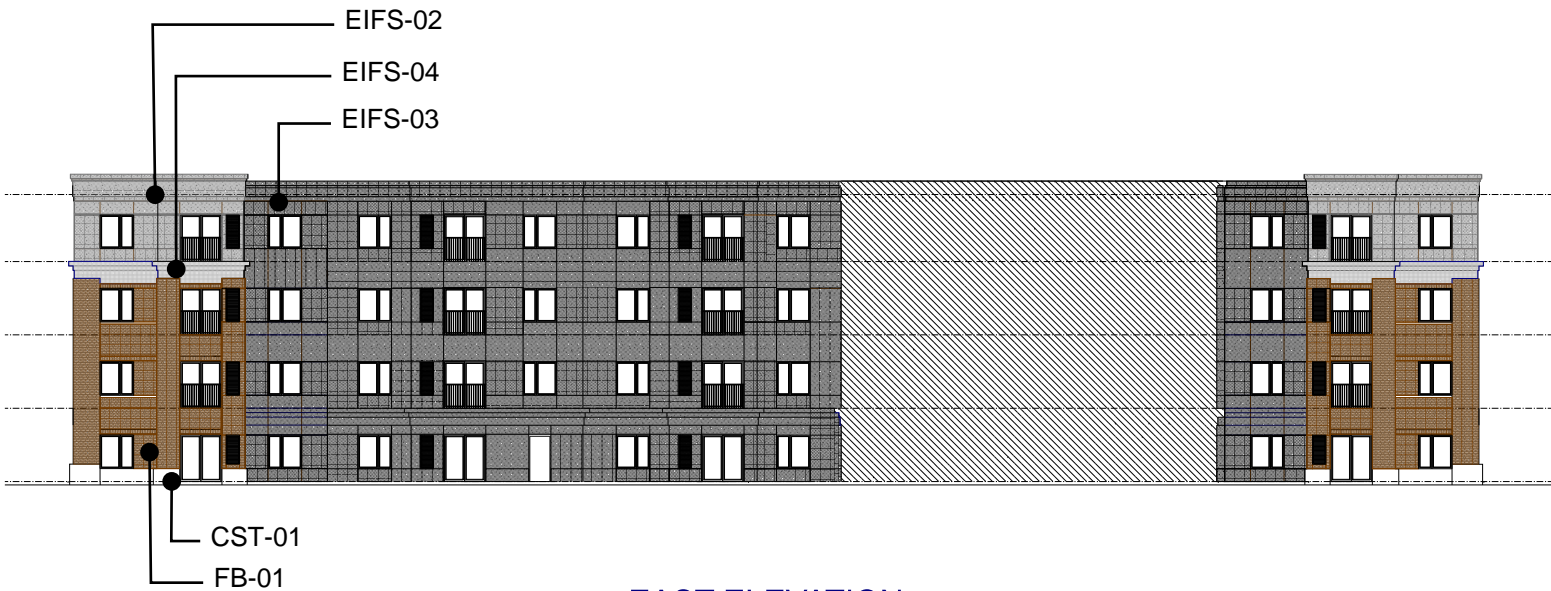
CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL
MODEL: 4 STORY APT		PRODUCTION NO: 2024
DATE: 12/2/2024	BY: MM	SCALE: NTS
<div>100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com</div> <div></div>		
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		EL1



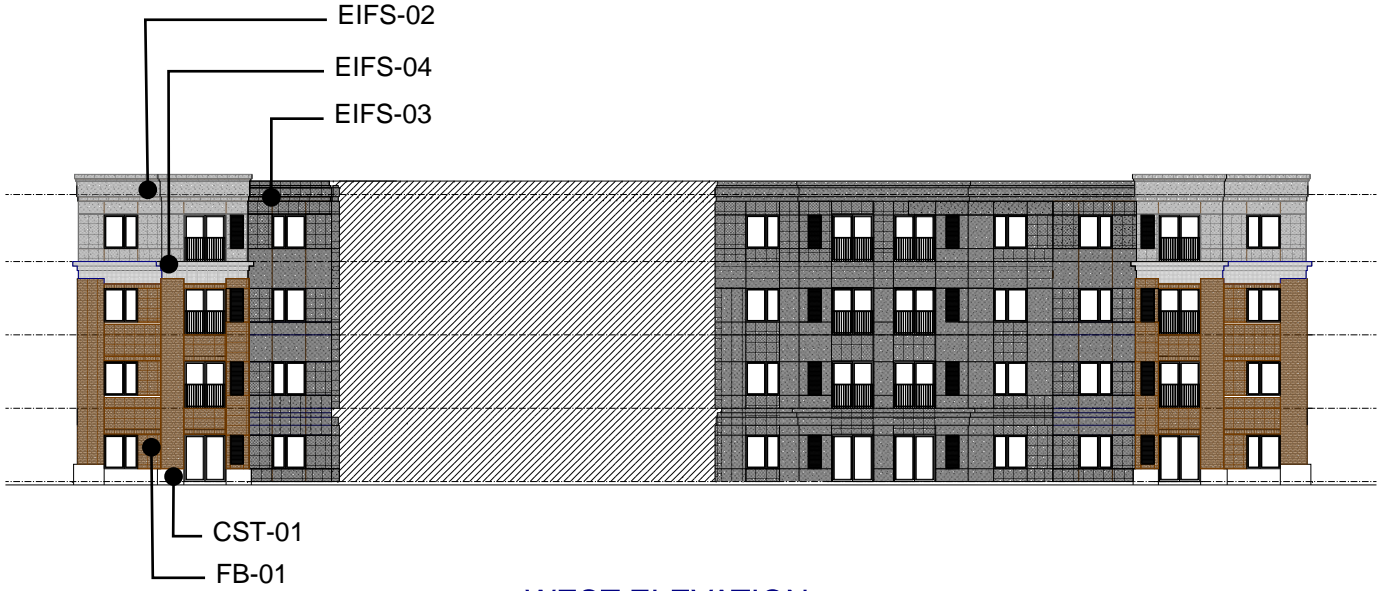
WEST ELEVATION



EAST ELEVATION



EAST ELEVATION



WEST ELEVATION

KEYNOTE LEGEND	
KEY NOTE	COMMENT
CST-01	CAST STONE
EIFS-02	EIFS LIGHT GRAY
EIFS-03	EIFS DARK GRAY
EIFS-04	EIFS CORNICE
FB-01	FACE BRICK 1 - COMMON BOND

CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 12/2/2024	BY: MM	SCALE: NTS	
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		EL2	

1ST FLOOR

Dimensions:

- Overall Width: 381'-2"
- Overall Depth: 263'-2"
- Left Section Width: 59'-0"
- Right Section Width: 56'-0"
- Top Section Depth: 37'-6"
- Bottom Section Depth: 87'-4"
- Left Section Depth: 37'-6"
- Right Section Depth: 183'-10"
- Central Corridor Depth: 112'-8"

Room Labels:

- (2) BEDROOM
- STUDIO
- (1) BEDROOM
- MAINTENANCE
- (2) BEDROOM
- (1) BEDROOM
- (1) BEDROOM
- (1) BEDROOM
- MAILROOM
- MAIN LOBBY
- ELEVATOR 1
- STAIR 1
- (1) BEDROOM
- (1) BEDROOM
- (1) BEDROOM
- (1) BEDROOM
- TENANT STORAGE
- JANITOR CLOSET
- ELEVATOR 3
- (2) BEDROOM
- (1) BEDROOM
- (1) BEDROOM
- (1) BEDROOM
- (1) BEDROOM
- TENANT STORAGE
- (1) BEDROOM
- (1) BEDROOM
- STAIR 3
- TRASH
- (2) BEDROOM
- (2) BEDROOM
- STAIR 2
- BIKE STORAGE
- (1) BEDROOM
- (2) BEDROOM
- (2) BEDROOM
- (2) BEDROOM
- ELECTRICAL
- MECHANICAL SPRINKLER
- FIREPLACE
- LOBBY TO POOL
- FITNESS
- MEDIA CENTER
- ELEVATOR 2

Legend:

- GREEN: (2) BEDROOM
- PINK: STUDIO
- ORANGE: (1) BEDROOM
- GRAY: TENANT STORAGE
- BLUE: STAIR
- RED: JANITOR CLOSET
- YELLOW: MAINTENANCE
- WHITE: LOBBY
- GRAY: FITNESS
- GRAY: ELECTRICAL
- GRAY: MECHANICAL SPRINKLER
- GRAY: BIKE STORAGE

Customer Information:

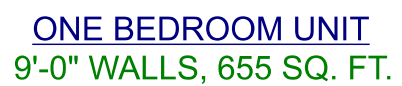
CUSTOMER:	DARIEN APARTMENTS	CITY/STATE:	DARIEN, IL
MODEL:	4 STORY APT	PRODUCTION:	2024

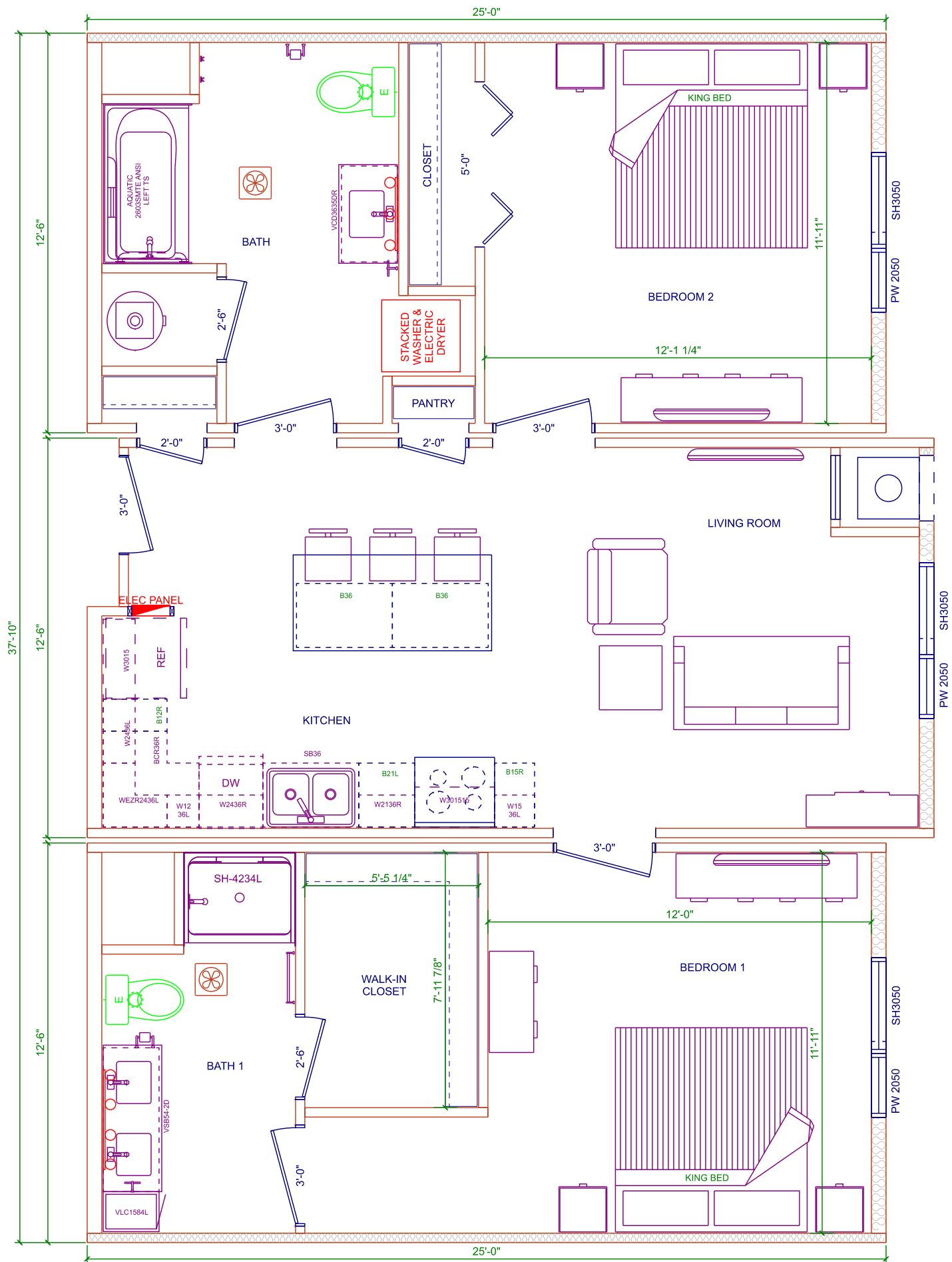
<u>CUSTOMER:</u> DARIEN APARTMENTS		<u>CITY/STATE:</u> DARIEN, IL
<u>MODEL:</u> 4 STORY APT		<u>PRODUCTION NO.:</u> 2024
<u>DATE:</u> 12/2/2024	<u>BY:</u> MM	<u>SCALE:</u> NTS
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com		
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APARTMENT LAYOUT

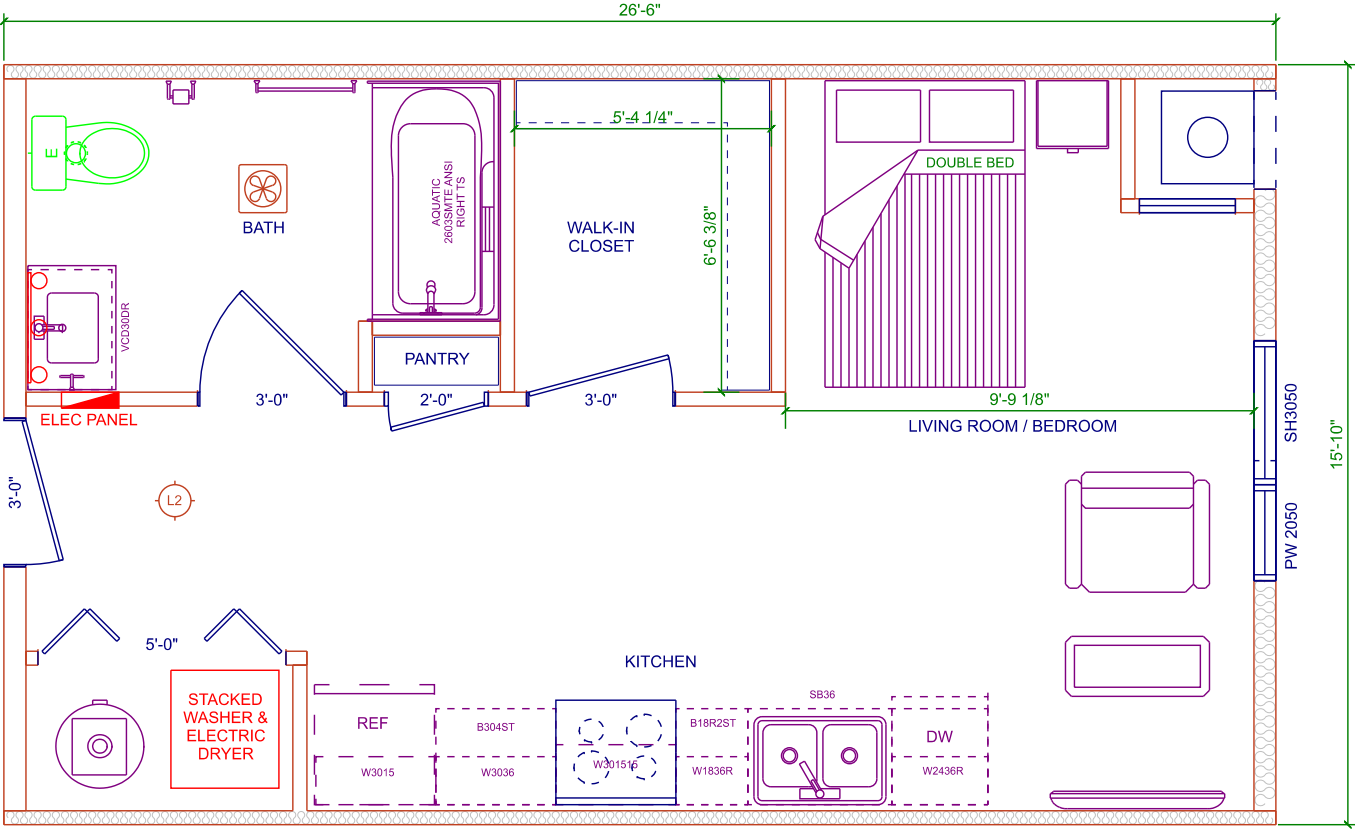
CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 12/2/2024	BY: MM	SCALE: NTS	
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com			
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CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 8/26/2024	BY: MM	SCALE: 1/4" = 1'-0"	
<div>100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com</div> <div></div>			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		RT-2	





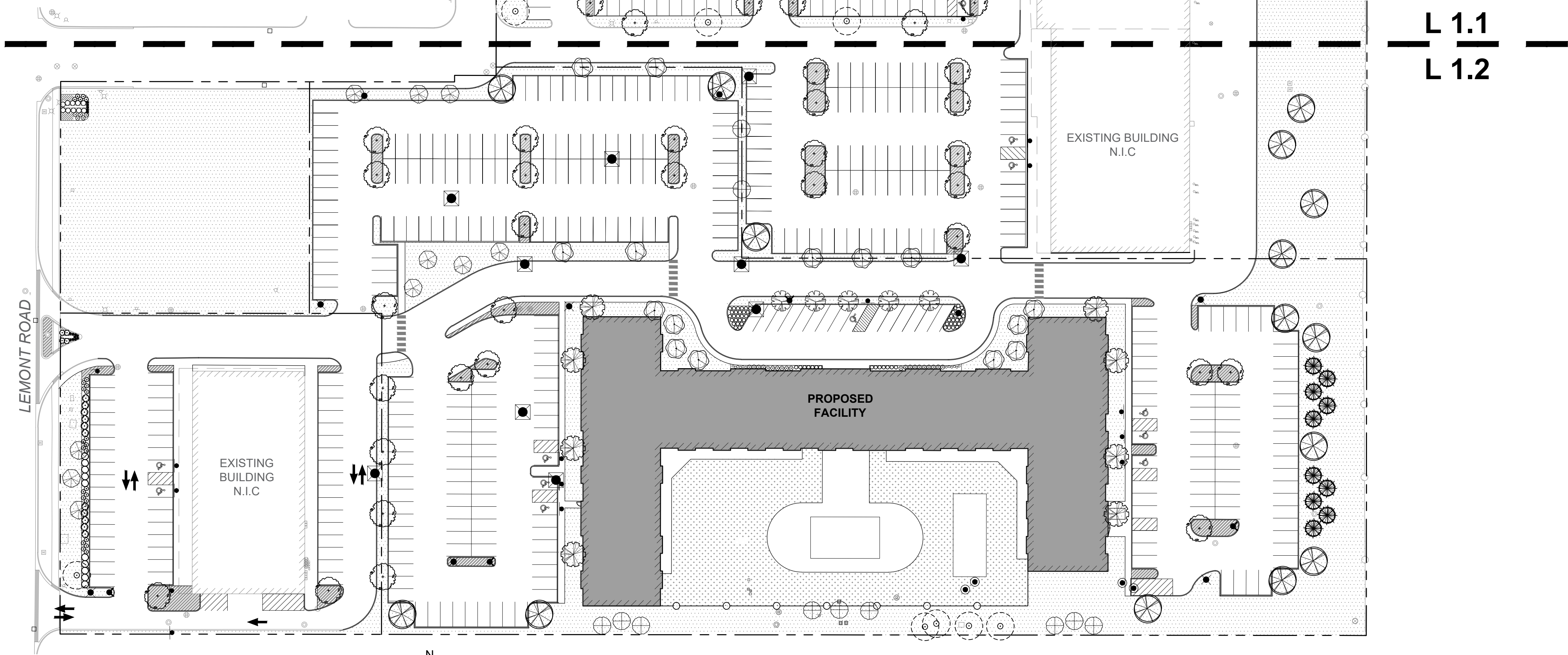
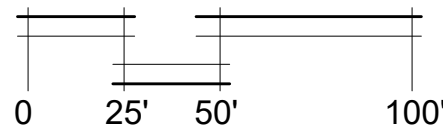
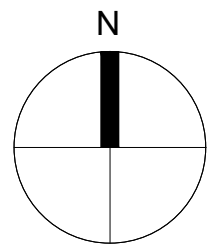
STUDIO UNIT
9'-0" WALLS, 420 SQ. FT.

CUSTOMER: DARIEN APARTMENTS		CITY/STATE: DARIEN, IL	
MODEL: 4 STORY APT		PRODUCTION NO: 2024	
DATE: 8/26/2024	BY: MM	SCALE: 1/4" = 1'-0"	
100 HOMEWAY CT. DEER CREEK, IL 61733 PH: (309) 447-6267 www.homewaycommercial.com			
BUILDING PLANS PROPERTY OF HOMEWAY COMMERCIAL INC.		RT-S	

Master Plant List						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
Shade Trees						
AFA	2	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	3" BB	NATIVAR	COLUMNAR
AFR	10	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB	NATIVAR	
BEN	5	BETULA NIGRA	RIVER BIRCH	10" BB	NATIVE	
CAF	4	CARPINUS BETULUS 'FASTIGIATA'	COLUMNAR EUROPEAN HORNBEAM	3" BB		COLUMNAR
CAT	3	CATALPA SPECIOSA	NORTHERN CATALPA	3" BB	NATIVE	
CEO	2	CELTUS OCCIDENTALIS	HACKBERRY	3" BB	NATIVE	
GBI	12	GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	3" BB		MALE SPEC. ONLY
GBP	2	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	3" BB		COLUMNAR, MALE SPEC.
GTI	18	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3" BB		
PLA	10	PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION LONDON PLANETREE	3" BB		
QBI	5	QUERCUS BICOLOR	SWAMP WHITE OAK	3" BB	NATIVE	
QMA	4	QUERCUS MACROCARPA	BUR OAK	3" BB	NATIVE	
TAR	21	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	NATIVAR	
Evergreen Trees						
POM	10	PICEA OMORIKA	SERBIAN SPRUCE	8" BB		
Ornamental Trees						
AE	1	AESCULUS PAVIA	RED BUCKEYE	6" BB	NATIVE	
AC	12	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6" BB	NATIVE	
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	8" BB	NATIVE	
CA	5	CORNUS ALTERINFOLIA	PAGODA DOGWOOD	8" BB	NATIVE	
CM	7	CORNUS MAS	CORNELIANCHERRY DOGWOOD	6" BB		
MG	8	MAGNOLIA STELLATA	STAR MAGNOLIA	4" BB		
SYR	8	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	8" BB		
Evergreen Shrubs						
JCM	4	JUNIPERUS CHINENSIS 'MINT JULIP'	MINT JULIP SPREADING JUNIPER	24" BB		
TD	17	TAXUS X MEDIA 'DENSII'	DENSE YEW	24" BB		
Deciduous Shrubs						
AM	25	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	IROQUOIS BEAUTY BLACK CHOKEBERRY	5 GAL	NATIVAR	
EA	34	EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	3" BB		
HP	20	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB		
RA	46	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	5 GAL	NATIVE	
RD	14	ROSA 'DRIFT POPCORN'	GROUNDCOVER ROSE	2 GAL		
RK	23	ROSA 'KNOCKOUT'	KNOCKOUT SHRUB ROSE	2 GAL		
SM	60	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	24" BB		
VD	34	VIBURNUM DENTATUM 'CHICAGO LUSTRE'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	48" BB	NATIVAR	
Groundcover						
ef	8,550	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS		
Perennials						
hs	41	HEMEROCALLIS 'STELLA D'ORO'	SELLA D'ORO DAYLILY	1 GAL		
Grasses						
ss	14	SCHIZACHYRIUM SCOPARUM 'PRAIRIE BLUES'	LITTLE BLUESTEM	1 GAL	NATIVE	
sp	17	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	NATIVE	

OVERALL LANDSCAPE PLAN KEY

SCALE: 1" = 50'-0"



no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	12-09-24

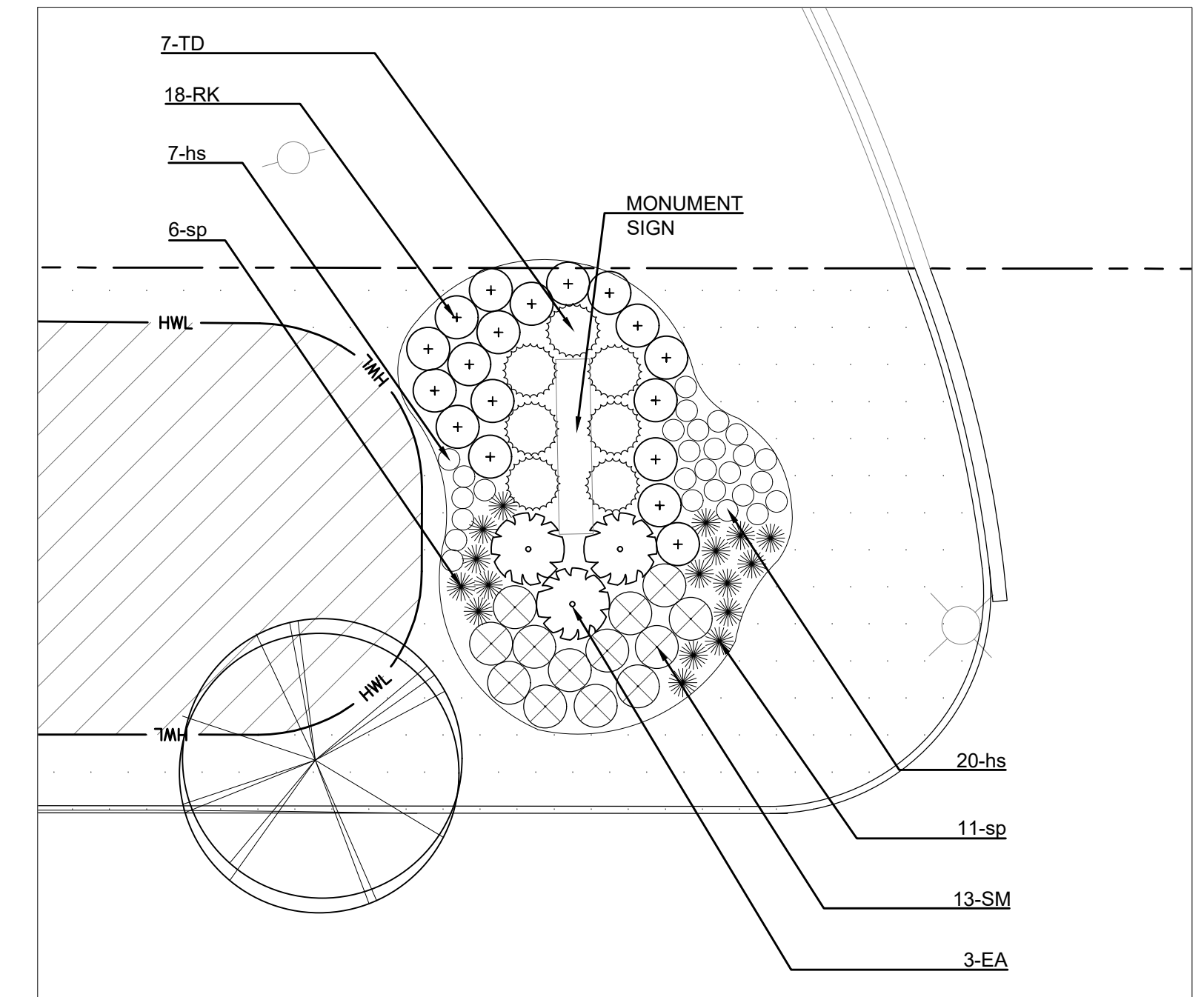
CHESTNUT COURT
SHOPPING CENTER
DARIEN, ILLINOIS

OVERALL LANDSCAPE PLAN
MASTER PLANT LIST

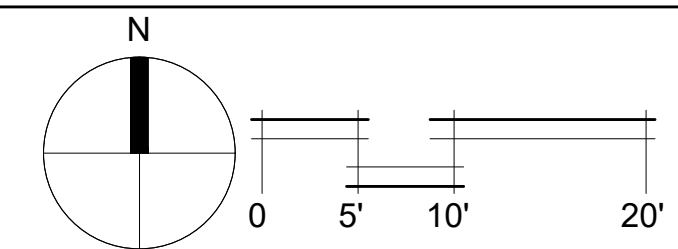
date:	09-24-24	drawn:	DEA	checked:	KMT
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job no.
24390

sheet no.
L1.0

[illegible]

SCALE: 1" = 10'-0"



SEE SHEET 1.2

Kathryn Ialry
landscape architecture
1926 Waukegan Road | Suite 340
Glenview, Illinois 60025
847.672.5154 | www.ktlandarch.com



no.	revision	description	initial	date
1	1	ISSUED FOR REVIEW	KMT	12-09-24
2	2			
3	3			
4	4			
5	5			

**CHESTNUT COURT
SHOPPING CENTER**
DARIEN, ILLINOIS

LANDSCAPE PLAN - NORTH
MONUMENT SIGN PLANTING

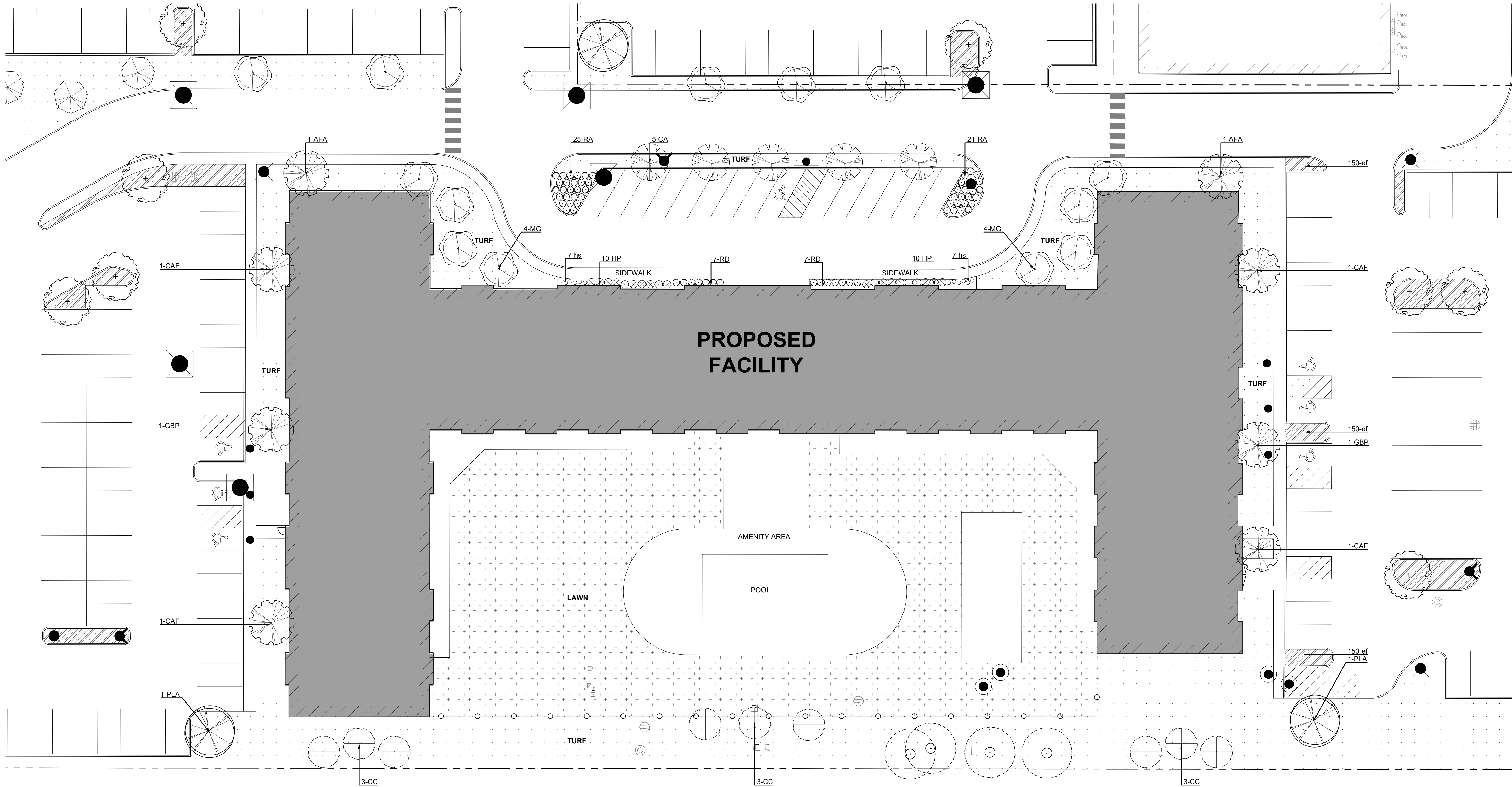
09-24-24
drawn DEA
checked KMT

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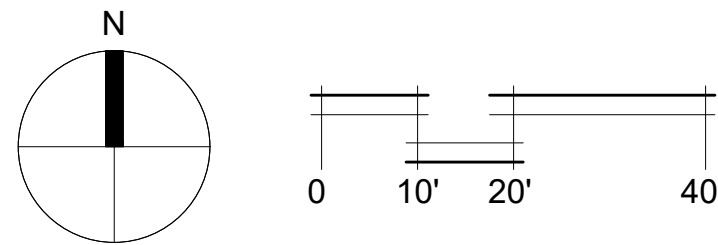
Sheet no.

1.1.1



FOUNDATION LANDSCAPE PLAN

SCALE: 1" = 20'-0"



FOUNDATION LANDSCAPE PLAN

CHESTNUT COURT
SHOPPING CENTER
DARIEN, ILLINOIS



Kathryn Talty
landscape architecture
1926 Waukegan Road | Suite 340
Glenview, Illinois 60025
c 847.672.5154 | www.ktlandarch.com

no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	12-09-24

date:	09-24-24
drawn:	DEA
checked:	KMT

job no.
24390

sheet no.
L1.3

CHESTNUT COURT
SHOPPING CENTER
DARIEN, ILLINOIS

No.	Date	Description
	08/08/24	CONCEPT PRICE
	10/31/24	VILLAGE COMM
	02/21/25	VILLAGE COMM

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SITE GEOMETRY PLAN

C200

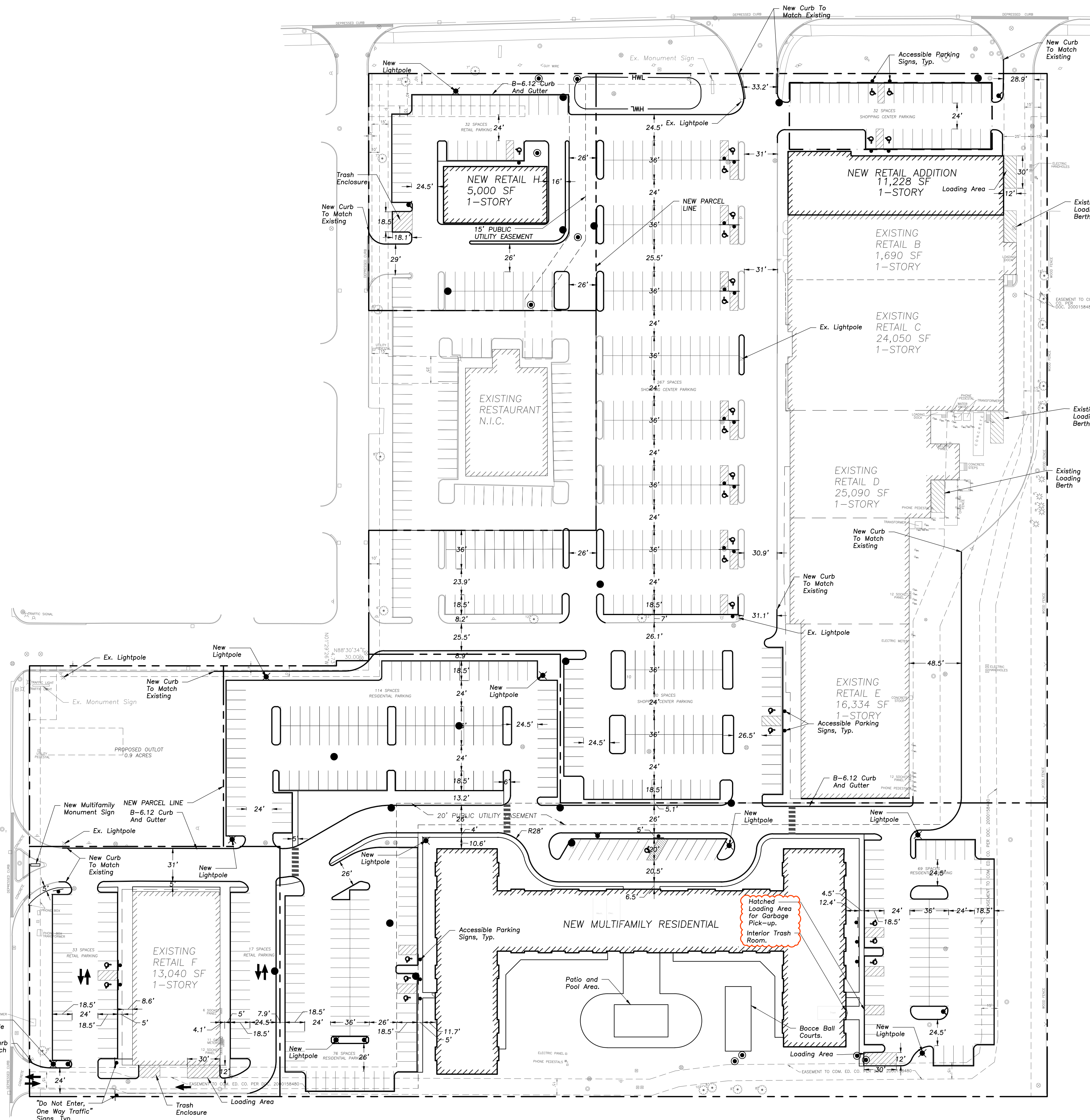


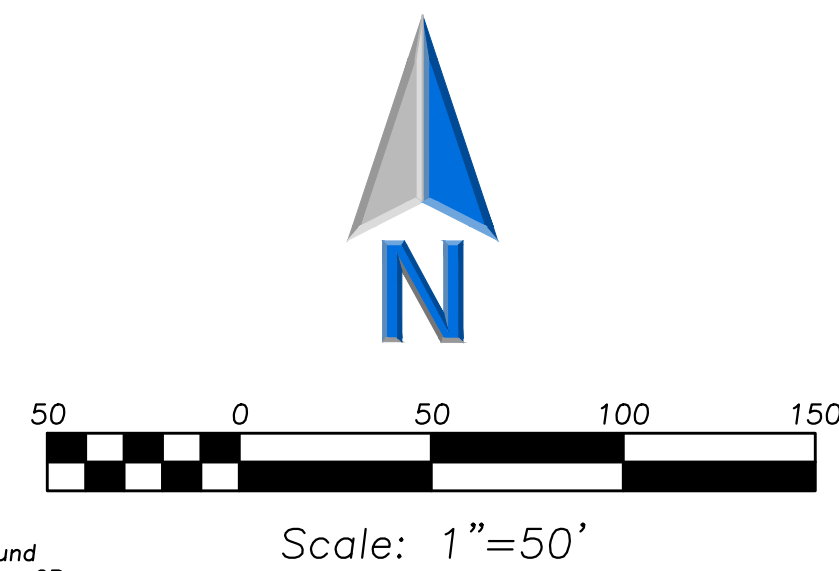
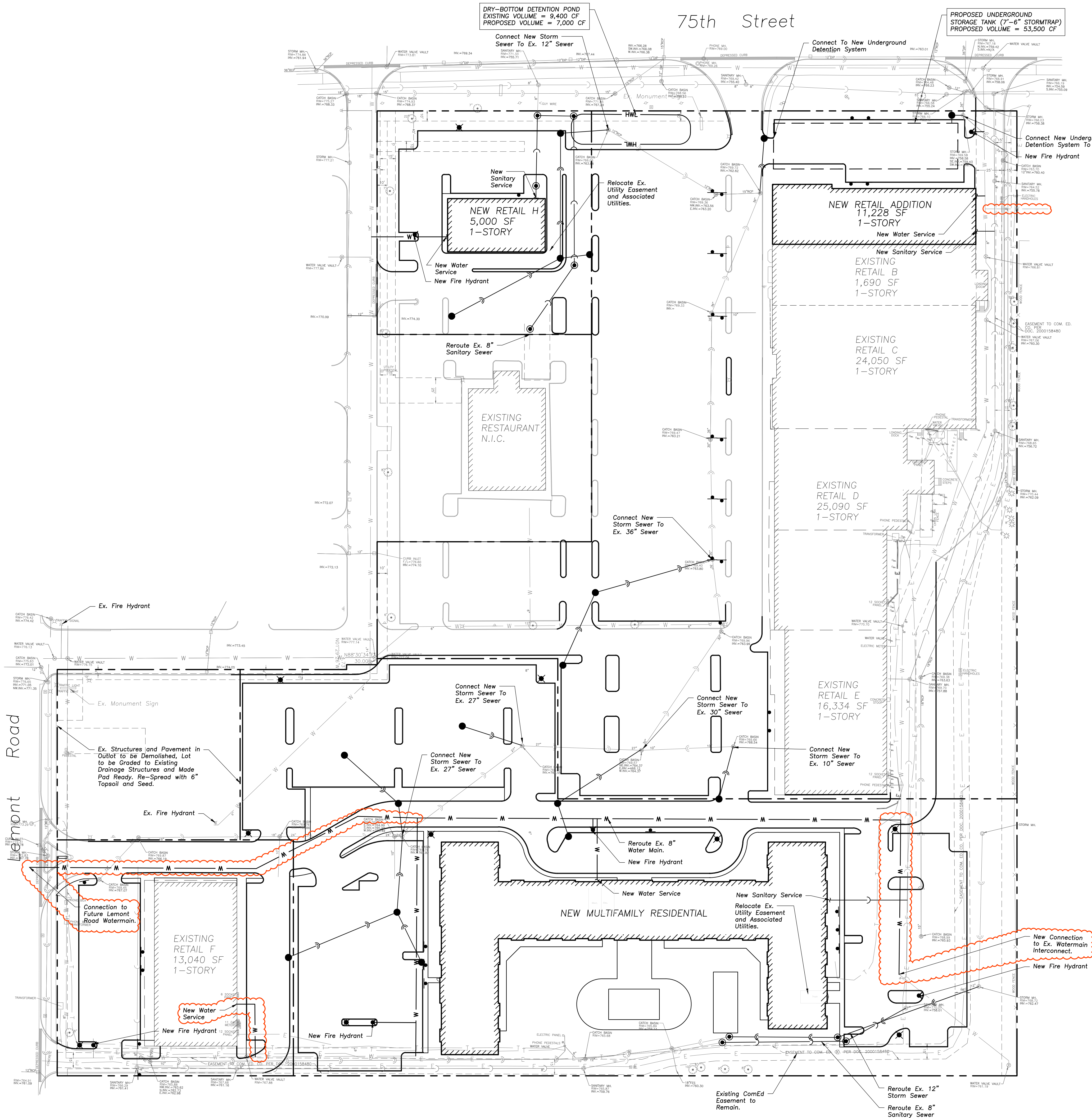
- ## PARKING SUMMARY

Standard Spaces = 705
ADA Spaces = 29

GENERAL NOTES

1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience Of The Engineer. However, The Owner And The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings
2. Notify The Engineer Without Delay of Any Discrepancies Between The Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services For The Project Area.
4. Notify The Owner, Engineer and The City of Darien A Minimum of 48 Hours In Advance of Performing Any Work
5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To At Least The Original Condition of The Owner at No Additional Cost to the Owner. It Is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Points and Establish Horizontal Control. Horizontal Control Points Not Provided
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Information Shall Verify All Horizontal Control Points Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of Structures. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices. Include All Structural Elements, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve Appurtenances Location. Provide Photograph of Restrictor Plate(s) Including Ruler Across Opening For Verification Of Restrictor Diameter.
10. The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Adding Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Otherwise:





UTILITY NOTES

- This Project Is Located In A Separate Sewer Area.
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of Water Supplies Shall Be As Described In Section 370.350 Of The Illinois Recommended Standards For Sewage Works Or Section 41-2.01 Of The Standard Specifications For Water and Sewer Main Construction in Illinois, Latest Edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.
- Adjust Frame Elevations of All Structures Located Within The Limits Of The Project To Match Proposed Elevations. Add Or Remove Adjusting Rings As Necessary And Install New Mortar At Rings And Frame. Install New Chimney Seals On Any Sanitary Structures Being Adjusted.
- Obtain As-Built Information For All Pipes, In Accordance With As-Built Document Requirements, Prior To The Installation of Any Inlet Hoods Or Trash Racks.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Respread. For Flat Slab Slabs Install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
5" Diameter Structure- 6"
6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have East Jordan Iron Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
- Where Structures are Shown Along the Curbline, Unless Specifically Stated Otherwise, It Is Intended That the Frame of the Structure Is To Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Flared End Sections 12" and Larger Shall Include an IDOT Standard Grate.
- All Flared End Sections Shall Be Concrete.
- All Sanitary Manholes Shall Include a Chimney Seal.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The City of Darien A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations. Provide Photograph of Restrictor Plate(s) Including Ruler Across Opening For Verification Of Restrictor Diameter.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

LEGEND

EXISTING	PROPOSED



**ERIKSSON
ENGINEERING**

ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4854
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2025

**CHESTNUT COURT
SHOPPING CENTER**
DARIEN, ILLINOIS

Reserved for Seal:

No.	Date	Description
	08/08/24	CONCEPT PRICING SET
	10/31/24	VILLAGE COMMENTS
	02/21/25	VILLAGE COMMENTS

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Design By:	Approved By:	Date:
GFW	CMF	08/08/24

Sheet Title:

**SITE
UTILITY
PLAN**

Sheet No:

C300

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2025

**CHESTNUT COURT
SHOPPING CENTER**
DARIEN, ILLINOIS

No.	Date	Description
	08/08/24	CONCEPT PRICING SET
	10/31/24	VILLAGE COMMENTS
	02/21/25	VILLAGE COMMENTS

Sheet Title:

Sheet No:

C400



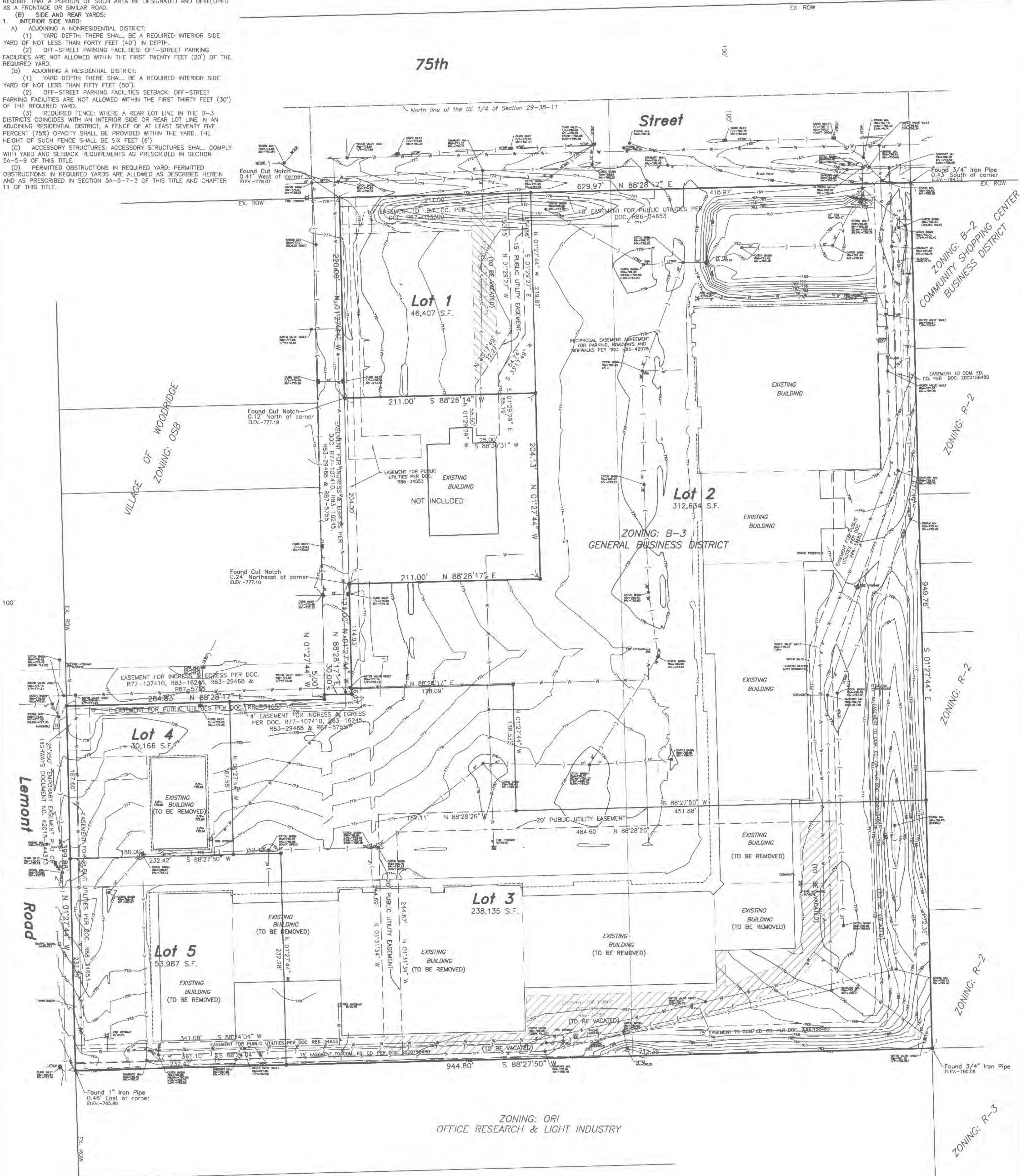
CHESTNUT COURT SHOPPING CENTER RESUBDIVISION

OF

THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 3, 1944 AS DOCUMENT NO. 464509, IN DUPAGE COUNTY, ILLINOIS.

THE PREMISES COMMONLY KNOWN AS:
7511 LEMONT ROAD, DARIEN, IL
PARCEL AREA = 15.641 ACRES, 681,328 S.F.
PINS: 09-29-300-008
09-29-300-022
09-29-300-023
09-29-300-024
09-29-300-025
CURRENT ZONING: B-3
(GENERAL BUSINESS DISTRICT)

YARD REQUIREMENTS:
THE MINIMUM YARDS REQUIRED IN THE B-3 DISTRICT SHALL BE AS FOLLOWS:
(A) FRONT AND CORNER SIDE YARDS:
1. YARD DEPTH: THERE SHALL BE A REQUIRED FRONT YARD OF NOT LESS THAN FIFTY FEET (50') IN DEPTH.
2. OFF-STREET PARKING FACILITIES SETBACK: OFF-STREET PARKING FACILITIES ARE NOT ALLOWED WITHIN THE FIRST FIFTY FEET (50') OF THE REQUIRED YARD. AS A PART OF THE SITE PLAN APPROVAL PROCESS CALLED FOR IN SECTION 5A-8-4-2 OF THE ZONING ORDINANCE, THE CITY MAY REQUIRE THAT A PORTION OF SUCH AREA BE DESIGNATED AND DEVELOPED AS A FRONTAGE OR SIMILAR ROAD.
(B) SIDE AND REAR YARDS:
1. INTERIOR SIDE YARD:
A) ADJOINING A NONRESIDENTIAL DISTRICT:
(1) YARD DEPTH: THERE SHALL BE A REQUIRED INTERIOR SIDE YARD OF NOT LESS THAN FORTY FEET (40') IN DEPTH.
(2) OFF-STREET PARKING FACILITIES: OFF-STREET PARKING FACILITIES ARE NOT ALLOWED WITHIN THE FIRST TWENTY FEET (20') OF THE REQUIRED YARD.
(B) ADJOINING A RESIDENTIAL DISTRICT:
(1) YARD DEPTH: THERE SHALL BE A REQUIRED INTERIOR SIDE YARD OF NOT LESS THAN FIFTY FEET (50').
(2) OFF-STREET PARKING FACILITIES SETBACK: OFF-STREET PARKING FACILITIES ARE NOT ALLOWED WITHIN THE FIRST THIRTY FEET (30') OF THE REQUIRED YARD.
(3) REQUIRED FENCE: WHERE A REAR LOT LINE IN THE B-3 DISTRICTS COINCIDES WITH AN INTERIOR SIDE OR REAR LOT LINE IN AN ADJOINING RESIDENTIAL DISTRICT, A FENCE OF AT LEAST SEVENTY FIVE PERCENT (75%) OPACITY SHALL BE PROVIDED WITHIN THE YARD. THE HEIGHT OF SUCH FENCE SHALL BE SIX FEET (6').
(C) ACCESSORY STRUCTURES: ACCESSORY STRUCTURES SHALL COMPLY WITH YARD AND SETBACK REQUIREMENTS AS PRESCRIBED IN SECTION 5A-5-9 OF THIS TITLE.
(D) PERMITTED OBSTRUCTIONS IN REQUIRED YARD: PERMITTED OBSTRUCTIONS IN REQUIRED YARDS ARE ALLOWED AS DESCRIBED HEREIN AND AS PRESCRIBED IN SECTION 5A-5-7-3 OF THIS TITLE AND CHAPTER 11 OF THIS TITLE.



ZONING: ORI
OFFICE RESEARCH & LIGHT INDUSTRY

APPROVAL OF PRELIMINARY PLAT
NOTICE IS HEREBY GIVEN THAT THE PRELIMINARY PLAT OF THE SUBDIVISION SHOWN HEREON HAS RECEIVED APPROVAL BY THE CITY COUNCIL OF THE CITY OF DARIEN, ILLINOIS, AND UPON COMPLIANCE BY THE OWNER WITH THE NECESSARY REQUIREMENTS OR QUALIFICATIONS, THE CITY COUNCIL WILL RECEIVE THE FINAL PLAT FOR CONSIDERATION, IF SUBMITTED BY THE OWNER IN SUCH FORM AND WITHIN SUCH TIME AS REQUIRED BY SUBDIVISION REGULATIONS OF THE CITY OF DARIEN. UNLESS THIS PRELIMINARY APPROVAL AND THE CONDITIONS ARE ACCEPTED WITHIN TEN (10) DAYS, THIS APPROVAL IS NULL AND VOID.
APPLICATION FOR FINAL PLAT APPROVAL SHALL BE MADE WITHIN ONE HUNDRED EIGHTY (180) DAYS, AND IN THE EVENT SUCH APPLICATION IS NOT SO MADE, THE PRELIMINARY PLAT APPROVAL HEREBY GIVEN SHALL BE NULL AND VOID AND OF NO FORCE AND EFFECT.

CITY COUNCIL, CITY OF DARIEN, ILLINOIS

DATED _____, 20____.

BY _____ MAYOR ATTEST: _____ CITY CLERK

ACCEPTANCE: IN CONSIDERATION OF THE PRELIMINARY APPROVAL HEREBY GIVEN, THE TERMS HEREOF ARE HEREBY ACCEPTED:

OWNER _____ ATTEST _____

LINE LEGEND
— S = STORM SEWER
— W = SANITARY SEWER
— W = WATERMAIN
— E = ELECTRIC (BURIED)
— G = GAS (BURIED)
— T = PHONE (BURIED)

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft
FILE NO. 102-24
P10224 SUB.DWG

NO.	DATE	DESCRIPTION	BY
2	02-13-25	REVISE COMMENTS	B.J.L.
1	12-12-24	ORIGINAL ISSUE	B.J.L.

FIELDWORK COMPLETED: 07-31-2024
CLIENT NAME: Chestnut Court Darien IL, LLC
ADDRESS: 371 Hoes Lane, Site 201
Piscataway, NJ 08854

NOTES:
PLAT IS VOID IF THE IMPRESSED SURVEYORS SEAL DOES NOT APPEAR.
Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown hereon; check local ordinances before building.

Compare your description and site markings with this plat AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0914 FAX: 847-223-0980

Project Review Criteria

Mixed-Use Zoning Map Amendment Guidelines:

In making its legislative determination to zone or rezone a property to the M-U Mixed-Use District, the Planning and Zoning Commission and City Council may apply the following guidelines to the proposal under consideration:

(A) The capacity of existing and proposed community facilities and utilities including water, sewer, and transportation systems to serve the permitted uses which might lawfully occur on the property so zoned.

(B) The relationship of the subject property to the various aspects of the City's transportation system including pedestrian ways, bicycle paths, major and collector streets, and public transit.

(C) The adequacy of public services including schools, police and fire protection, and solid waste collection serving the property and the impact the permitted uses would have upon these services.

(D) The potential impact existing or permitted uses in the vicinity would have upon the land uses authorized in the M-U Mixed Use District and the impact such uses, if developed, would have upon existing uses in the vicinity.

(E) The extent to which the proposal will promote balanced growth in the community and will be consistent with the City's goals for equal housing opportunity and a variety of housing types.

(F) The impact any natural disasters, including flooding, would have upon the permitted uses.

(G) The impact the proposal would have upon the environment including noise, air and water pollution.

(H) The conformance of the proposal to the overall comprehensive plan and map for the City.

Variation Criteria:

The City may grant variations based on the finding-of-fact that supports the following criteria outlined below by the City to be the most relevant to the subject property situation.

a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

b) The plight of the owner is due to unique circumstances.

c) The variation if granted will not alter the essential character of the locality.

d) Essential Need: The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

e) Problem with Property: There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with this title. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase. f) Smallest Solution: There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

g) Create Neighbor Problem: The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

h) Create Community Problem: The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

i) Net Benefit: The positive impacts to the community outweigh the negative impacts.

j) Sacrifice Basic Protections: The variation, if granted, will comply with the purposes and intent of this title set forth in subsection 5A-1-2(A) of this title and summarized as follows: to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

CITY OF DARIEN

ZONING VARIATIONS

JUSTIFICATION NARRATIVE

Purpose

To be consistent and fair, the City is obligated to make decisions on zoning variation requests based on findings-of-fact. The Applicant should write a justification narrative that contains evidence (facts) that support a conclusion (finding) that the variation is necessary and would not cause problems. It should include: a) explanation of why the variation is being requested, b) describe the 'hardship condition' of the property that makes it difficult to conform, c) estimate the impact on neighbors, and d) respond to each of the decision criteria below.

Decision Criteria (See City Code Section 5A-2-2-3)

2a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the zone.

The property is currently zoned B-3. B-3 zoning restrictions limit the property's use for retail or office space only. The demand for the type of use permitted by the zoning regulation is low, which impacts full use of the property. Also, current zoning prevents other uses that help revitalize the local economy, affecting the property's value and potential return.

Mixed use zoning will provide flexible zoning regulations, which allows redevelopment to yield higher returns.

2b. The plight of the owner is due to unique circumstances.

The local market conditions have shifted significantly since the zoning regulations were established.

There is a high demand for [alternative use, e.g., mixed-use development, commercial space, residential units] in the area, which is not currently permitted under the existing zoning. Allowing the property to be used for these purposes would meet market demand, enhance the neighborhood's vibrancy, and contribute to the local economy.

2c. The variation if granted will not alter the essential character of the locality.

The proposed use of the property is consistent with the existing character of the locality. The proposed variation will blend seamlessly with these existing uses, maintaining the overall aesthetic and functional character of the neighborhood. The design and architecture of the proposed development will be in harmony with the existing structures in the locality. The property will adhere to the same architectural styles, materials, and landscaping standards that are prevalent in the area. This ensures that the visual appeal and historical context of the locality are preserved. The locality's infrastructure is well-equipped to handle the proposed use without any adverse effects. In fact, this redevelopment is in the very spirit of the City's Comprehensive Plan and Key Development Areas.

3a. Essential Need? The owner would suffer substantial difficulty or hardship and not mere inconvenience or a decrease in financial gain if the variation is not granted.

The inability to use the property effectively under the current zoning regulations not only affects the owner but also has broader implications for the community. The property remains underutilized, contributing less to the local economy and community development. Granting the variation would enable the property to be used in a manner that benefits the community, creating jobs, enhancing local services, and contributing to the area's economic vitality. The owner's hardship, therefore, has a ripple effect on the community, making the variation essential for broader economic and social reasons.

3b. Problem with Property? There is a feature of the property such as slope or shape or change made to the property, which does not exist on neighboring properties, which makes it unreasonable for the owner to make the proposed improvement in compliance with the Zoning Code. Such feature or change was not made by the current owner and was not known to the current buyer at the time of purchase.

The unique features of the property, such as its layout and outdated elevation changes, make it

unreasonable for the owner to comply with the Zoning Code for the proposed improvement. This feature was not created by the current owner. Granting the variation is essential to provide equitable relief and allow the owner to make the proposed improvement without facing undue hardship.

3c. Smallest Solution? There is no suitable or reasonable way to redesign the proposed improvements without incurring substantial difficulty or hardship or reduce the amount of variation required to make such improvements.

The current design of the proposed improvements has been optimized for operational efficiency. Reducing the amount of variation or attempting to redesign the improvements would likely result in decreased performance and increased operational costs, ultimately affecting the overall success of the project. The proposed improvements represent the most viable solution given the existing constraints and requirements. Any attempt to redesign or reduce the variation would incur substantial difficulty and hardship, making it impractical and counterproductive to pursue such changes. Additionally, the applicant would not need to change any existing improvements to the right-of-way with this proposal, as adequate ingress and egress already exists.

3d. Create Neighbor Problem? The variation, if granted, will not cause a substantial difficulty, undue hardship, unreasonable burden, or loss of value to the neighboring properties.

The variation has been designed to integrate seamlessly with the existing environment. It maintains the aesthetic and functional harmony of the neighborhood, ensuring that the visual and structural integrity of the surrounding properties remains unaffected. The proposed variation adheres to all relevant zoning regulations and guidelines. This compliance ensures that the variation is in line with the community's planning and development standards, thereby preventing any adverse effects on neighboring properties. A thorough market analysis indicates that the variation will not diminish the value of neighboring properties. In fact, the enhancement may contribute positively to the overall appeal and desirability of the area, potentially benefiting property values. The variation will not place additional strain on local infrastructure or accessibility. Traffic flow, parking availability, and public services have been considered to ensure that the variation does not create any undue burden on the neighborhood.

3e. Create Community Problem? The variation, if granted, may result in the same or similar requests from other property owners within the community, but will not cause an unreasonable burden or undesirable result within the community.

The variation is expected to bring positive benefits to the community, such as improved property values and enhanced neighborhood appeal. These benefits can serve as a model for future variations, encouraging property owners to invest in improvements that contribute to the overall well-being of the community. The proposed variations may lead to similar requests from other property owners, it has been designed to ensure that it will not cause an unreasonable burden or undesirable result within the community. The variation is intended to enhance the community while maintaining a balance between individual property improvements and the collective well-being of the neighborhood.

3f. Net Benefit? The positive impacts to the community outweigh the negative impacts.

A feasibility study indicates that if the property were rezoned to Mixed-Use, it could support multifamily with retail, which aligns with market demand and would significantly enhance its economic performance. Rezoning the property would not only benefit the property owner but also contribute positively to the community by creating jobs, providing needed services, and increasing tax revenues. The positive impacts, such as economic growth, job creation, enhanced services, and increased tax revenue, far outweigh any potential negative impacts, making this a beneficial change for all stakeholders involved.

3g. Sacrifice Basic Protections? The variation, if granted, will comply with the purposes and intent of the Zoning Code set forth in Section 5A-1-2(A) and summarized as follows; to lessen congestion, to avoid overcrowding, to prevent blight, to facilitate public services, to conserve land values, to protect from incompatible uses, to avoid nuisances, to enhance aesthetic values, to ensure an adequate supply of light and air, and to protect public health, safety, and welfare.

This proposal aims to seamlessly integrate the redevelopment with the existing character of the property. To achieve this, we request certain concessions to avoid disrupting the current use and value

of the property. Our goal is to transform an unsightly and underutilized area into a positive, useful, and beneficial space for the property owner, the City of Darien, its residents, and visitors.

Important points to consider:

Lessen Congestion: The development plan includes adequate parking and traffic management strategies to reduce congestion in the area.

Avoid Overcrowding: The proposed use will adhere to density regulations, ensuring that the development does not lead to overcrowding.

Prevent Blight: By redeveloping the property, the project will prevent blight and contribute to the revitalization of the area.

Facilitate Public Services: The development will be designed to facilitate access to public services, including transportation, utilities, and emergency services.

Conserve Land Values: The proposed use will enhance the value of the property and surrounding areas, contributing to the conservation of land values.

Protect from Incompatible Uses: The development will be compatible with surrounding land uses, preventing conflicts and nuisances.

Avoid Nuisances: The project will incorporate measures to minimize noise, pollution, and other potential nuisances.

Enhance Aesthetic Values: The design of the development will enhance the aesthetic values of the area, incorporating landscaping and architectural features that align with community standards.

Ensure Adequate Supply of Light and Air: The development will be designed to ensure an adequate supply of light and air to all buildings and open spaces.

Protect Public Health, Safety, and Welfare: The project will comply with all health and safety regulations, ensuring the well-being of residents and the community.

MINUTES CITY OF DARIEN

PLANNING, ZONING, AND ECONOMIC DEVELOPMENT COMMISSION

Wednesday, March 5, 2025

PRESENT: Lou Mallers – Chairperson, Jonathan Christ, Shari Gillespie, Chris Green, Jonathan Johnson, Chris Jackson, Mark Kazich

ABSENT: None

OTHERS: Ryan Murphy – City Planner

Chairperson Lou Mallers called the meeting to order at 7:00 p.m. at the Darien Police Department Training Room, 1710 Plainfield Road, Darien, Illinois. Chairperson Mallers declared a quorum present.

Regular Meeting – New Business

- a. **PZC2024-14 – 8226 S. Cass Avenue – True North Energy, LLC – A petition for an amendment to the Special Use Permit which previously permitted the construction and operation of an automobile service station, drive-through car wash, and mini-mart, to allow for the demolition of the existing car wash and mini-mart, and the relocation/expansion of the mini-mart. The project includes requested variations from the City’s landscape requirements. On-site improvements include parking facilities, landscape improvements and drainage/stormwater improvements. The subject property is located in the General Business District B-3 at the northwest corner S. Cass Avenue and N. Frontage Road.**

Mr. Ryan Murphy, City Planner reported that the proposed project would be a full tear down and renovation of the property, canopy for 6 fuel pumps, new convenience store and would remove the car wash. He reported that there would also be improvements made to the existing detention pond including the construction of a retaining wall. He further reported that a landscaped refuse and recycling enclosure had been proposed and would meet City Code requirements.

Mr. Murphy reported that the floor plan and elevations would be available on the City website and would include design specifications. He reported that the existing raised curb/island barrier would be demolished and would consist of open paving with 19 dedicated parking stalls along with 12 stalls available at fuel pumps.

Mr. Murphy reported that a traffic study had been prepared by the applicant, which had resulted in peak hour trips to increase by approximately 1% and would not result in substantial transportation impacts.

Mr. Murphy reported that staff had reviewed the submitted plans and found that the project would comply with all development standards, except regarding perimeter landscaping requirements.

Mr. Murphy reported that the plans had been reviewed by Christopher Burke Engineering and the applicant would be required to address their comments. He reported that staff identified several variations being proposed in the project:

1. To allow for parking areas near the northern property line to be located within a 30-foot parking setback,
2. For no landscape islands to be provided in the parking area directly in front of the mini mart, and
3. To allow for less landscaping than would otherwise be required at the eastern, western and southern property lines in lieu of the proposed landscaping plans.

Mr. Murphy reported that the North property line complies with landscaping requirements but the South, East and West do not. He reported that the applicant had provided a justification letter for various findings of fact and criteria that the Planning and Zoning Commission must use for the Special-Use amendment and variations.

Mr. Murphy reported that Staff had recommended several conditions of approval if given a favorable recommendation:

1. Plans submitted for the project should include enhanced landscaping along the northern property line to consist of additional shade or overstory trees where none are provided,
2. Prior to certificate of occupancy, the petitioner shall include pavement rehabilitations or resurfacing of those portions of the shared access drive that are located on the subject property and are generally in disrepair, and
3. Comply with the plan submittal requirements identified by Christopher Burke Engineering.

Mr. Murphy reported that a public notice had been published and mailed to residents within a 250-foot radius of the property and he had not received any public comments. He further reported that the petitioner would, at a later request, like to have the City Council expand the number of liquor licenses for the site, but that would be decided by the Mayor and the City Council and would not be reviewed by the Planning and Zoning Commission.

Chairperson Lou Mallers swore in any audience members wishing to present public testimony.

Mr. Christopher Palmer, RTM Engineers, introduced himself to the Commission as the primary civil engineer for the project.

Commissioner Jonathan Johnson questioned if there had been any pushback from Alpine Banquets. He questioned if the proposed building would block the view of their business.

Mr. Palmer stated that they had not received anything directly from Alpine. He stated that there is currently a 6-foot fence along the property line and that the building would go where the car wash currently is and would have a slightly lower elevation, which would not obstruct their view.

Commissioner Johnson questioned if there would be a car wash.

Mr. Palmer stated that because the current Special Use states a car wash and they no longer want one they must ask for a change.

Commissioner Mark Kazich questioned if they had looked into the turning radiuses. He questioned where the pumps would be and how large trucks would get in and out.

Mr. Palmer stated that big trucks would come in during off-peak time frames. He stated that they had not run a turn analysis but would be happy to do so. He further stated that they would not propose any changes to entrances and exits. Mr. Palmer stated that they would be increasing the amount of parking space and drive-aisle space which would be an improvement.

Commissioner Chris Jackson questioned how the fuel trucks currently enter the site.

Mr. Palmer stated he was unsure. He stated that the best way would likely be to enter from the traffic light at Frontage Road.

There was some conversation regarding trucks entering and exiting the property.

Commissioner Johnson questioned if the proposal would not change the tanks.

Mr. Palmer stated that the tanks would be re-done. He stated that they would get rid of the existing tanks and place new ones in the same locations.

There was some further conversation regarding trucks entering and exiting the property.

Commissioner Kazich suggested the petitioner place signage to indicate proper entrance and exit. He further questioned if there would be EV charging stations.

Mr. Palmer stated that there would not be at this time but there would likely be a space to put them in at a later date.

Commissioner Jackson questioned if 19 parking spaces was the requirement.

Mr. Palmer stated that they would maximize frontage space to allow for more people to come in the store. He stated that the official count would be 21 parking spaces.

Mr. Murphy stated that there would be 19 proposed spaces, but the requirement would be 21. He stated that the Code had been silent on whether pumps count as parking spaces and that he had mentioned stalls at the pumps and unmarked spaces in his plan review. He further stated that if the Commission would be concerned with the amount of spaces they may recommend additional striping.

Commissioner Jackson questioned if they would be over parking or under.

Mr. Murphy stated that there would be more spaces than previously.

There was some conversation regarding parking at pumps and the number of spaces.

Commissioner Jackson questioned if someone could speak to the fence. He questioned if the current fence would be removed or replaced.

Mr. Palmer stated that currently the fence would be removed, but they would still need to meet the requirements. He stated that he would recommend a fence, especially next to the banquet hall due to the retaining wall.

There was some discussion regarding landscaping.

Mr. Todd Stan, landscape architect, stated that a fence on the West would be a nice addition. He stated that the North side has existing trees and that there would be a substantial landscape buffer which would be above-ordinance. He stated that there would be lots of space to do nice landscaping and that the rest of the site would have constraints due to lack of physical space.

Commissioner Jackson questioned if a fence would be doable on the West side.

Mr. Stan stated that it would be and that there would likely be space between the edge of the property line and the plantings.

Commissioner Jackson stated his concern with safety. He stated that there would be a potential risk of kids jumping over the fence. He further questioned if the bushes would be 12-inches high.

Mr. Stan stated that bushes and other landscaping would not be a physical barrier and that one would still be able to cross the property line. He stated that the fence on the Western property line would provide secure boundaries and would be good for both properties to consider.

Commissioner Jackson questioned, regarding the need for a variance, if in the Southwest corner why not include more landscaping.

Mr. Stan stated that they could put more but it would still be short of the ordinance because of the length of the pavement section and that they lack the green area. He stated that to meet the ordinance they would need 1,192.5 points and the proposal had provided about 780 points. He further stated that there would be significant plantings along the property line from the

edge of the pond to the pavement. Mr. Stan stated that if they were to add a few more trees it would only add a couple hundred more points to the ordinance scoring.

Commissioner Jackson questioned if they would plant more trees.

Mr. Stan stated that they absolutely would plant more trees, but it would still be short of the ordinance requirement. He stated that there would be extensive landscaping everywhere else on the site and that they would like to meet the ordinance requirements as best as possible.

Commissioner Jackson stated that the lawn area would need to be mowed. He questioned why they wouldn't just landscape the whole area.

Mr. Stan stated that they would need some areas of grass space. He stated that they would use the area as a potential place to push snow piles and that snow removal had been considered in the landscape design.

Mr. Murphy stated that the existing 1985 ordinance had specific conditions related to fencing. He stated that if recommended for approval, any conditions of approval still pertinent would remain in place. He further stated that condition for approval 2 in the ordinance states that the fence along the Western property line is required and that there are methods of compliance for fencing along the Northern property line. Mr. Murphy stated that there would be a 6-foot and 8-foot high fence on the West property line and on the North property line if landscaping is not sufficient and the Commission would deem it necessary to require a fence. He further stated that based on Staff review, Western property line fencing would remain under the existing ordinance unless the condition of approval was removed.

Commissioner Jackson stated that it looked like a request to amend to adhere to the proposed landscape plan. He questioned if they had been missing the existing fence line.

Mr. Stan stated that it would come down to the condition of the fence and that a fence would remain regardless of the details, likely being the same type of fence in the existing spot.

Mr. Murphy stated that the current fence was very substantial – 8-feet tall on top of a berm.

There was some discussion regarding the history of the property area.

Commissioner Kazich stated that the fence would still be appropriate for the privacy of the townhomes adjacent to the site.

A resident living on the North side of the property questioned if they would remove the North fence.

Mr. Palmer stated that as of now they plan to remove both fences.

The resident stated that he would have a problem with that due to safety and noise.

Chairperson Mallers questioned if they would remove the dumpster from the North side and relocate.

Mr. Palmer stated that they would relocate the dumpster to the South of the convenience store and would enclose it in a brick structure.

Mr. Murphy stated that based on his review of the plans, there would be no amendment proposed to conditions for a fence along the Western property line. He stated that as it stands, the fence on the Western property line would remain and may require a 10-foot extension past the proposed building line.

Mr. Palmer stated that the petitioners would be flexible and willing to do what would make the most sense. He stated that the fence on the Western line would be a good idea.

There was some discussion regarding the need for a fence on the Western property line.

Mr. Stan stated that if a fence on the Northern property line would be deemed necessary, it would be no issue and they would clear the area to make necessary space.

Commissioner Chris Green questioned if the plantings would have to change on the landscaping plan if a fence were to be included.

Mr. Stan stated that the fence would not impact the development, but they would like to replace the existing one with a nice and long-lasting fence. He stated that the landscaping plan would not change except for adding any trees recommended by Staff or the Commission.

There was a clarification of the conditions for approval based on the 1985 ordinance.

Mr. Craig Kutch, 1226 Darien Path Way, stated that he lives in the townhomes to the South of the property and that he had experienced light and noise pollution in the past. He questioned if the lighting would be the same as it currently is.

Mr. Palmer stated that he would clarify, but the lighting would be the same type as it is now.

Mr. Kutch stated that he wouldn't mind the fence being higher and that he had a concern for safety and noise and light pollution, but the proposed site looked great.

There was some discussion regarding the hours of operation.

Commissioner Green questioned if a photometric study had been conducted on the new lighting layout.

Mr. Palmer stated that it would be part of the final engineering process but that it would meet any ordinance requirements.

There was some discussion regarding lighting specifications.

Mr. Stan stated that True North would provide very professional services and the Commission would be pleased with the outcome of the lighting and the project as a whole.

There was further discussion regarding lighting.

Mr. Javier Millan, Principal of KLOA, Inc., pointed out that the signage should be rectified for entering and exiting the property.

Commissioner Green questioned if the overall impact would be about 1%.

Mr. Millan stated that it would be and that he had taken into account a new versus established structure. He stated that because this property had been established the analysis would show about a 1% increase due to the updated structure.

Commissioner Jackson questioned if the study had established a right-in and right-out.

Mr. Millan stated that he had kept it as the previous had but he had considered how many people would exit left on Cass.

Commissioner Johnson questioned what the effect of taking the fence away would be.

Commissioner Jackson stated that it would be less safe, and that animals and people would be crossing through the property. He stated that a fence would provide a separation from Alpine Banquets.

There was some discussion regarding the specifics of the fence.

Commissioner Jackson stated his confusion with the landscape plan regarding the amendment.

There was some discussion regarding the applicant justification.

There was further discussion regarding a motion to amend and the layout of the property.

Mr. Murphy clarified the landscape plan versus a fence permit.

Commissioner Jackson questioned what the tree line consisted of.

Mr. Stan stated that there were lots of naturally populated trees that had been unmaintained. He stated that the client would be easy to work with on the fencing issue. He further stated that he would plant the site generously, but the ordinance had no accommodation for paved areas so there would be large gaps in the planting green space. Mr. Stan stated that certain areas of the property would not be possible to plant in because of extensive pavement.

Chairperson Mallers questioned if the resident present would ideally like to see more blockage of light.

Mr. Kutch stated that he would like that and that trees would not provide enough coverage.

Mr. Stan stated that a fence would solve the lighting issue.

There was some clarification to the fence height.

Commissioner Kazich questioned if the fence would be higher or lower than the existing level.

Mr. Palmer stated that he did not have the design yet, but he would follow up with specifics. He stated that they would be lowering the grade possible a foot and a half. He further stated that as the site is now, it drains toward the car wash, and to resolve that they would lower and flip to drain the other way and have less water going to Cass.

Commissioner Jackson stated the Commission should discuss conditions for approval. He questioned if the petitioners would include more shade trees.

Mr. Stan stated that he had planted very thoroughly and provided much plant diversity. He stated that they likely would not be able to fit another tree due to the sidewalk. He further stated that the gap between the property line, new plantings and the fence as a natural buffer would most likely stay intact.

Commissioner Jonathan Christ stated they would consider whether they would be okay with the East and South of the property being deficient as is.

There was some discussion regarding the conditions for approval.

Commissioner Jackson stated that the Commission would want to keep the fence.

Commissioner Kazich stated that the property should be EV ready.

Mr. Murphy stated that EV ready would be included in the newly adopted 2021 Code.

Commissioner Jackson stated that they should include entrance and exit signage.

There was some discussion regarding lighting.

Commissioner Jackson stated that they would leave lighting up to Staff review.

There was further discussion regarding conditions.

Commissioner Jackson made a motion, and it was seconded by Commissioner Green to approve PZC2024-14 – 8226 S. Cass Avenue – True North Energy, LLC – A petition for an amendment to the Special Use Permit which previously permitted the construction and operation of an automobile service station, drive-through car wash, and mini-mart, to allow for the demolition of the existing car wash and mini-mart, and the relocation/expansion of the mini-mart. The project includes requested variations from the City's landscape requirements. On-site improvements include parking facilities, landscape improvements and drainage/stormwater improvements. The subject property is located in the General Business

District B-3 at the northwest corner S. Cass Avenue and N. Frontage Road. The following conditions were included:

- 1. Prior to issuance of final certificate of occupancy, the petitioner shall include pavement rehabilitation or resurfacing of those portions of the shared access drive that are located on the subject property that are generally in disrepair to the satisfaction of the Director of Community Development,**
- 2. Comply with the comments and requirements within the letter from Christopher B. Burke Engineering, LTE dated January 22, 2025,**
- 3. Comply with all requirements of the original ordinance, including fencing, but excluding landscaping as being amended here within, and**
- 4. Replaced or provide signage to clarify existing right-in and right-out access along Cass Avenue.**

Upon roll call vote, the MOTION CARRIED UNANIMOUSLY 7-0.

Mr. Murphy reported that the petition would move to the Municipal Services Committee on March 24, 2025.

Chairperson Mallers questioned if all passes when the petitioners would start the demolition.

Mr. Palmer stated that they would begin mid-summer.

Mr. Stan stated that the majority of the construction would be done by spring and the plantings would be done during the spring.

- b. PZC2025-02 – Petition from the City of Darien to amend the Title 5A (Zoning Regulations to add “the offering of a short-term rental” as a prohibited action under the existing short-term rental prohibition contained in Section 5A-5-16 of the City Code.**

Mr. Ryan Murphy, City Planner reported that the City had been successful with enforcing the short-term ban and that they would receive a lot of resident input. He reported that they had run into an issue in enforcement efforts with a claim that there had been only an offering being made rather than a transaction. Mr. Murphy further reported that a judge had recommended that the City consider a change, so prohibition is considered throughout the City.

Chairperson Lou Mallers stated that his subdivision board had prohibited short-term rentals in their bylaws after previous issues.

Mr. Murphy stated that there had been no change proposed to the 30 days and had only added an offering of short-term rental, which is currently not allowed. He stated that the City would want to enforce the ordinance as it was intended.

Commissioner Shari Gillespie stated that even if someone didn't put their listing on Airbnb or VRBO, that wouldn't prohibit them from renting.

Mr. Murphy stated that they had not received a complaint about short-term that did not use a web portal. He stated that the ordinance defines short-term as 30 days and that the City must have proof of a violation taking place to cite. He further reported that they would do everything they can to verify if a short-term rental was occurring and the best tool would be a listing.

There was some discussion of the existing ordinance.

Commissioner Chris Jackson questioned what the warning was for.

Mr. Murphy stated that the City had been successful in receiving favorable judgements for short-term rental violations. He stated that there had been a new case and the judge incited a very high dollar amount for the City but said she wouldn't again unless the ordinance says offering is prohibited. He further stated that the circuit court did not feel prohibition was enough if offering was included and that they would do this to ensure the City can continue to take action.

Mr. Murphy stated that municipalities can conduct local adjudication which would allow them to keep at least a portion of the substantial fine fees.

Commissioner Gillespie questioned who would hold them responsible.

Mr. Murphy stated that some Alderpeople had been in touch with Dan Gombac and that Karen would submit the required paperwork.

Commissioner Jackson questioned if the phrase drafted by the City attorney would determine that the word "offering" catches everything.

Mr. Murphy stated that it would be by omission.

Commissioner Mark Kazich questioned where in the City Code does it refer to short-term rental.

Mr. Murphy stated that the definitions are in a separate section of the code at the very end of zoning ordinances.

Commissioner Jackson made a motion, and it was seconded by Commissioner Johnson to approve PZC2025-02 – Petition from the City of Darien to amend the Title 5A (Zoning Regulations to add "the offering of a short-term rental" as a prohibited action under the existing short-term rental prohibition contained in Section 5A-5-16 of the City Code.

Upon roll call vote, the MOTION CARRIED UNANIMOUSLY 7-0.

Regular Meeting – Old Business

There was no old business to discuss.

Staff Updates & Correspondence

Mr. Murphy reported that at the last meeting, the Commission shared their interest in briefings on tax increment financing and other economic incentives in the City. He reported that he would send a staff report from the City Council who had approved a TIF consultant and that if the site becomes eligible a member from this body would be on a TIF committee.

Mr. Murphy reported that the property at 1225 Plainfield Road had a serious developer considering a request for approval of 16 condos. He reported that they had been meeting with residents and Dan Gombac and would go through a public hearing.

Mr. Murphy reported that staff would be going to Council to potentially revise commercial vehicle parking regulations in residential areas. He reported that there had been issues with commercial vehicles and would want to clean up the ordinance.

Mr. Murphy reported that staff would be proposing revisions to a tree ordinance which had been outdated. He reported that the City received a grant for \$100,000 and would need to update the ordinance to be eligible.

Mr. Murphy reported that the application for Chestnut Court had been resubmitted and would be nearing the final preliminary plans. He reported that the first public hearings may come as soon as April.

Approval of Minutes

Commissioner Green made a motion, and it was seconded by Commissioner Christ to approve the February 19, 2025 Regular Meeting Minutes.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 7-0

Next Meeting

Mr. Murphy announced that the next meeting is scheduled for Wednesday, March 19, 2025.

Public Comments (On Any Topic Related to Planning and Zoning)

There was no one in the audience wishing to present public comment.

Adjournment

With no further business before the Commission, Commissioner Kazich made a motion, and it was seconded by Commissioner Gillespie. Upon voice vote, the MOTION CARRIED UNANIMOUSLY, and the meeting adjourned at 8:34 p.m.

Respectfully Submitted:

Approved:

X

Jessica Plzak
Secretary

X

Lou Mallers
Chairperson

DRAFT

MINUTES CITY OF DARIEN

PLANNING, ZONING, AND ECONOMIC DEVELOPMENT COMMISSION

Wednesday, April 16, 2025

PRESENT: Lou Mallers – Chairperson, Jonathan Christ, Shari Gillespie, Chris Green, Jonathan Johnson, Chris Jackson, Mark Kazich

ABSENT: None

OTHERS: Ryan Murphy – City Planner

Chairperson Lou Mallers called the meeting to order at 7:00 p.m. at the Darien City Hall, 1702 Plainfield Road, Darien, Illinois. Chairperson Mallers declared a quorum present.

Regular Meeting – New Business

- a. **PZC2025-06 – 1220-1225 Plainfield Rd – Atlantic Homes Inc. – A petition for a rezone of Parcel 1 from Single Family Residence District (R-2) to Multi-Family Residence District (R-3), a plat of consolidation to combine the two subject parcels for development purposes, and the construction of two new eight (8) unit, two-story condominium buildings totaling 16,491 square feet, with sixteen (16) 2-car garages, along with associated site and utility improvements. The property is located at 1220-1225 Plainfield Road, Darien, Illinois 60561 (PINs 09-28-410-001 and 09-28-410-043). Multiple zoning variations are included in the request.**

Mr. Ryan Murphy, City Planner reported that the petitioner seeks a rezone, special use permit, variations and preliminary plat of consolidation and that the rezone on the Westerly property would be a single-family R-2 to a multi-family R-3. He reported that the petitioner would combine the two subject properties for development and construct two new, two-story, eight-unit condominium buildings.

Mr. Murphy reported that since publication, the request had been updated to include the option to construct apartments. He reported that they had consulted the City attorney, who had advised that though the Code does not distinguish between condos and apartments as land use, due to the public notice stating condos the petitioner would have two options:

1. If the applicant wishes to proceed with apartments, a new public notice would need to be posted and the meeting would be continued at a later date, or
2. Proceed with the project as described in the public notice, which did not include an option for apartments and would pertain only to condos.

Mr. Murphy reported that the 1.35-acre subject property is located on the Southeast corner of Plainfield Road and Lester Lane, which is a private street. He reported that the property had been vacant and became a public hazard. He further reported that the petitioner had gone through great lengths to be the contract purchaser of the property and had expressed willingness to work with the City of any issues.

Mr. Murphy presented a summary of the project to the Commission and audience members. He reported that the following variations would be included in the request: a minimum lot area per unit requirement per section 5A-7-3-5D, a 3-acre requirement for new R-3 district areas per section 5A-7-3-1, and side yard requirements per section 5A-7-3-6A and 5A-7-3-5B to allow for garages to be placed 5 feet from the interior property lines.

Mr. Murphy reported that the proposal had been limited to land-use changes, variations and site design and if approved, the petitioner would be required to return to administrative bodies for review and approval of plat documents and final engineering plans.

Mr. Murphy reported that the project site would have split zoning, with the West half in the single-family R-2 and the East in the multi-family R-3, and that the petitioner had proposed a zone change to bring the whole property into R-3 for multi-family use.

Mr. Murphy reported that the comprehensive plan designates the site as low density residential, however it should be noted that the site operated as commercial use for over 30 years and it had been likely the owner never pursued a zoning change because it had not been required to continue.

Mr. Murphy presented the site plan to the Commission and audience members. He reported that the two residential buildings on site would front Plainfield Road and be staggered, and that guest parking and garages would be placed to the rear and side of the site. He further reported that the three buildings would provide two-car garages for each unit and a single full-service driveway would be proposed on Plainfield Road.

Mr. Murphy reported that except as it pertains to density restrictions and setback requirements for two-car garages, the project had been found to meet or exceed design and development standards for the zone. He reported that section 5A-7-3-5D would require 4,500 square feet of lot area be provided for each two-bedroom unit. He further reported that with a lot area of 54,805 square feet, the resulting density for the project site under the normal code would be 12 units.

Mr. Murphy presented the floor plan to the Commission and audience members. He reported that the buildings would be symmetrical and square, with each floor having four units of two bedrooms, a bathroom and full kitchen.

Mr. Murphy presented the elevations to the Commission and audience members. He reported that the building would have brick façades and hipped roofs, incorporating prominent gabled entryways with vertical stone banding between the 1st and 2nd floors and decorative light

fixtures used on the exterior. He further reported that the garage buildings would be typical wood frame structures with gabled roofs and cemented board siding and concrete foundations. Mr. Murphy presented photos of the petitioner's existing buildings in Lisle.

Mr. Murphy reported that the petitioner had provided a justification letter for the variation and the project and that the project review criteria had been included in the packet. He reported that staff's finding would be that the rezone may merit consideration given past flexibility in applying the minimum area standard. He further reported that the site context and broader goals related to support of the infill development and provision of housing diversity.

Mr. Murphy reported that a public notice had been posted on site and sent to all property owners within 250 feet of the site boundary. He reported that the petitioner had opted to expand the public notice to include all residents on Lester Lane. He further reported that the petitioner had conducted outreach to Lester Lane residents and sent a photo packet of the site in Lisle.

Mr. Murphy reported that there had been no written public comments to date, but he had received other communications from residents containing questions and concerns. He reported that there had been a question about the amendment of the application to include apartments and that other residents had requested clarification of density increase, potential traffic impacts and site drainage requirements.

Commissioner Jonathan Johnson questioned if the zoning variation would include Section 8 housing.

Mr. Murphy stated that there would not be anything to prevent someone from doing Section 8 house, but the product is not proposed. He stated that petitioner would be able to address the nature of the project. He further stated that if it turns out to be condos, it would be highly unlikely that the petitioner would receive enough of a return on the project if made available for Section 8 because it is a for-sale product.

Chairperson Lou Mallers stated that Section 8 housing can be utilized basically anywhere and that it's part of a federal housing requirement, but that doesn't necessarily mean it will be used. He stated that Darien had had similar situations with apartments off South Frontage Road.

Mr. Murphy stated that it would certainly not be a public housing project and would be a for-profit development.

Commissioner Johnson stated he had been questioning Section 8 in general, not necessarily pertaining to this specific project.

Mr. Murphy stated that there is enough affordable housing stock in Darien that we would not need to require affordable housing to new construction. He stated that he did not anticipate that changing anytime soon and that there is enough affordability within the City.

Chairperson Mallers stated that each community would be required to have a certain percentage of the type of housing Mr. Murphy had referred to and that Darien does meet said requirements.

Chairperson Mallers swore in audience members wishing to present public testimony.

Mr. Christian Smith, Ridgeline Consultants on behalf of Atlantic Homes, provided a brief presentation about the project and displayed the topographic map. He stated that this project would intend to preserve the drainage characteristics that generally work from Northwest to Southeast. He stated that the drainage characteristics would be intended to minimize direct flow onto the adjacent property and would be less than the threshold for detention. Mr. Smith stated that the water and sanitary on the West side would connect to existing sanitary on Lester Lane, and that there would be no expectation for lack of capacity. He further stated that there would be utility on the East side of the property behind the garages, and that the roadway would be connected to Plainfield road, in coordination with I.D.O.T.

Commissioner Chris Green questioned how the petitioner would be coordinating with the owners from Lester Lane regarding tying in utilities on the East side.

Mr. Richard Grant, primary petitioner and owner, stated that he had spoken with Jackie, who is the head of the association, so she is aware of the project. He stated that as far as the water goes, he knew that some people from the City would be talking to those on Lester Lane regarding tapping on to City water. He stated that he believed the tap at the end of his property would allow residents on Lester Lane to use in the future.

Commissioner Chris Jackson referred to a mention of the grading of the property and how the natural grade would be approximately nine feet from the street.

Mr. Smith stated it would be if you take it from the house contours.

Commissioner Jackson stated that in front they would have roughly nine feet and that in the back sliver of parcel two they would have nine private garages all with access off a center driveway which is about 24 feet wide. He stated that according to the topography, it would slope about four feet from corner to corner of those garages, and he questioned how that would work.

Mr. Grant stated that there would be a six-foot foundation underneath it, the bottom three feet for frost and the other three exposed so as to not change the grade on the East side.

Commissioner Jackson questioned as one would go down the driveway going downhill, how one would get all of the garage doors to be flat.

Mr. Grant stated that it works now.

Commissioner Jackson questioned how.

Mr. Grant stated there would be certain levels and certain spaces.

Mr. Smith stated that they would warp the pavement.

Commissioner Jackson stated he was referring to the doors, and that they would have a sloped driveway at the doors with flat garage doors. He questioned how this would work.

Mr. Grant stated that they would step the garages as necessary.

Commissioner Jackson stated that they would only be 19 feet wide. He questioned how they would step those accurately. He further stated that he would be concerned about that and that this issue should be explored.

Mr. Grant stated that it will be caught up in engineering, but it is not a big issue at the moment.

Commissioner Jackson questioned if it would be possible to add finished floor elevations in each garage.

Mr. Grant stated that it would be in final engineering.

Commissioner Jackson stated that he did not see how that would work and that it looks more like a swale.

Mr. Smith stated that it would be a swale and that there would be a variation between the two drives as you go down. He stated that would all be detailed in the final.

Commissioner Jackson questioned if the succeeding garage door would be lower than the one before.

Mr. Grant stated that yes, they would be gradual.

Commissioner Jackson questioned if the 19 by 20 garage would back out on a slope for about 24 feet.

Mr. Grant confirmed. He stated that the normal width of a driveway is 23 feet and if he was doing a residential project he would do 23 feet. He stated that the minimum is 24 feet on a commercial piece of property.

There was some discussion regarding the length of a driveway.

Commissioner Jackson stated that there does not seem to be enough room between garage doors to flatten them and make it across.

Mr. Smith stated that was why they would have stepped foundations.

Commissioner Jackson questioned if the driveway would step similarly. He stated that between the garage doors they would have to make up that step and would only be 20 feet wide. He questioned if that would be practical if a garage door is 16 feet.

Mr. Grant stated that he had done this before with another company on seven-unit buildings and he is not worried. He stated that the problem he had run into is that the rear of the garages instead of being flat with next door neighbors had three feet exposed.

Commissioner Jackson stated that he would not be worried about the back sides. He stated that he would be worried about not being able to park a car in it and then the car ending up on the street.

Mr. Grant stated that one of the reasons for the five-foot easement would be for ComEd, Comcast or any other company to get back there, but otherwise it would not be used.

Chairperson Mallers questioned how far to the East the trees would go from the home that is currently on the property.

Mr. Grant stated that he was not sure but that probably 99% of the trees on the site would have to be removed. He stated that was why they would need to get back to existing grade, so that the neighbors' trees would stay, and they don't annoy anyone. He stated that they would have a landscaping plan following approval.

Commissioner Jackson questioned why two buildings.

Mr. Grant stated that if you go with a three-story building it would stick out like a sore thumb.

Commissioner Jackson questioned why not just one building that is connected.

Mr. Grant stated that he had found that a two-story building would fit better with the ranches and other buildings on Plainfield Road.

Commissioner Jackson clarified he did not mean two stories, but two separate buildings.

Mr. Grant stated that he had built them before. He stated that when you have so many units and floors in a building, no one gets to know their neighbors. He stated that he has these buildings in Lisle and everyone knows each other in the building so it is more of a home.

Commissioner Jackson questioned if it would be the exact building displayed on the screen as built in Lisle.

Mr. Grant stated it would be exactly like that. He stated that they found an eight-unit much homelier and everyone having a corner is an easier and better product.

Commissioner Jackson questioned why 16 units. He questioned if the reason would be because he had a proof of concept and it's easy to drop on to the site.

Mr. Grant stated that not only that, it would be eight and eight.

Commissioner Jackson questioned why not six and six.

Mr. Grant stated that six and six would take you back to three stories.

Commissioner Jackson stated it would not necessarily result in that.

Mr. Grant questioned how they would get three in one floor.

Commissioner Jackson stated they could do three across or one building instead of two.

Chairperson Mallers stated that given the size of the property with two buildings and the 16 two-car garages it would be tight.

Mr. Grant stated that they would be allowed 60 and they were at 56% covered.

Mr. Murphy stated that would be from a lot coverage standpoint and had been stated on the plan.

Commissioner Jackson stated that would be in compliance for lot coverage, but there would be a variance for lot area per dwelling unit and the compliant solution would be 12 units. He questioned why not 12 units.

Mr. Grant stated that this had been a proven problem that would work.

Commissioner Jackson questioned if the reason would be that he had built it somewhere else and it would be easy to drop here.

Mr. Grant stated that it also works and is a good building that people love.

Ms. Beata Pacura, Atlantic Homes, Inc., stated that they have two buildings in Lisle and those are apartments where they have had the same tenants for the past five years. She stated that it is a home for these people and everyone wants to renew.

Commissioner Jackson questioned why they would need this much density.

Ms. Pacura questioned if he had been asking why 16 units.

Commissioner Jackson confirmed the question.

Ms. Pacura stated that they are investing their life savings into this. She stated that the developing cost is huge and that 12 units would not work for them.

Commissioner Jackson questioned if 12 units would work if it was just one building.

Mr. Grant stated that he would not want three stories.

Commissioner Jackson stated it would not have to be three stories. He questioned if their reasoning for density would be to make more profit.

Chairperson Mallers clarified that the petitioner's property in Lisle would be very similar to the proposed project and that it had been very successful. He clarified that Commissioner Jackson had been concerned that the two buildings and 16 garages would be too much for the size of the property.

Commissioner Jackson questioned what the acreage of the Lisle property was.

Mr. Grant stated it is under an acre.

Commissioner Jackson questioned if there were two buildings or one.

Mr. Grant stated that there are two.

Commissioner Jackson questioned if the entrances would be the bump outs on the East and West of the buildings.

Mr. Grant confirmed.

Commissioner Jackson questioned if, in the proposed scenario, those would be facing the sides and in one case each other.

Mr. Grant confirmed.

Commissioner Jackson questioned which elevation would be facing Plainfield.

Mr. Grant stated that they would both be side elevations.

Commissioner Jackson questioned why he would not rotate them.

Mr. Grant stated that he had moved the buildings from one another so that they wouldn't be looking directly into someone else's property.

Commissioner Mark Kazich questioned who they would be marketing the condos to.

Mr. Grant stated that it would likely be younger first-time buyers. He stated that they had noticed the tenants in Lisle had been mostly 25-30 years old with good paying jobs. He further stated that they don't want homes right away and some are just starting families.

Commissioner Johnson questioned what the average cost of the unit would be and if it would be rental.

Mr. Grant stated that the ones in Lisle are rented at \$2,400 a month. He stated that he would most likely market these for \$350,000 to \$370,000.

Commissioner Shari Gillespie questioned if they were apartments or condos.

Mr. Grant stated that the ones in Lisle are apartments.

Commissioner Johnson questioned what the ones here would be.

Mr. Grant stated that the reason they included apartments at the end had been because they saw the markets go crazy and he became concerned they wouldn't sell. He stated they would not have a plan b. He stated if there were a recession they would have to rent them.

Commissioner Jackson questioned if the buildings in Lisle were eight-unit rentals.

Mr. Grant confirmed.

Commissioner Jackson questioned if they have any wheelchair accessible units.

Mr. Grant stated that they did not and that by law they did not need them.

Commissioner Jackson stated that he would according to the Fair Housing Act.

Commissioner Kazich stated that there would be an issue with the steps on the West side of the proposed structure.

Commissioner Jackson stated that there would be a curb ramp on the other side of accessible parking, but once inside the building nothing would be accessible. He stated that they would have to comply with Fair Housing.

Mr. Grant stated that he had double checked with the state when building the Lisle property.

Commissioner Kazich stated that there would be steps going from the first to second floor.

Commissioner Jackson stated there would be no elevator service.

Mr. Grant stated that would only be required in three or more.

Commissioner Jackson stated that, by law, elevators would be required for an accessible floor if the first floor would not be accessible.

Mr. Grant stated that all the doors would be three feet wide.

Commissioner Johnson questioned if that would apply to rental properties.

Commissioner Jackson stated that it would only apply to rental properties, but condos would be fine without. He stated that anything for rent would have to be available for everybody and that it would be a civil rights issue. He stated that if they were to go rental they would have to look into it.

Commissioner Jackson questioned what amenities they would provide besides covered garages.

Mr. Grant stated that the covered garages would be ideal because it was not offered in Lisle.

Commissioner Jackson stated that the two-building concept offers the ability to spread out and have a communal space. He questioned why they wouldn't provide one.

Mr. Grant stated that he had considered putting up a gazebo, but he would not want other people besides residents using it.

Commissioner Jackson stated his concern with a lack of amenities.

Chairperson Mallers stated that that would be up to the individual to decide on.

Ms. Pacura stated that she had heard from their renters that they would rather live in a smaller building than a big one with all the amenities.

There was some discussion regarding the location of the Lisle apartments.

Commissioner Jonathan Christ questioned if the area is similar in density to the subject property.

Mr. Grant stated that it is heavier density than the subject property.

There was some discussion regarding the properties surrounding the Lisle apartments.

Commissioner Gillespie questioned if there was any way to have the buildings face Plainfield Road.

Mr. Grant stated that he would not want it to face Plainfield Road.

Commissioner Jackson questioned why not.

Mr. Grant stated that he would not want to look at Plainfield Road from his balcony.

Commissioner Gillespie stated she would not want to look at the other residents from her balcony.

Mr. Grant stated that they would not be in the proposed buildings.

Commissioner Christ questioned if the covered parking would be a new thing.

Mr. Grant confirmed and stated that he would want covered parking because the kids that rent from them have expensive cars that they want in a garage.

Commissioner Kazich questioned how many school-aged kids they have.

Ms. Pacura stated that they only have three babies.

Commissioner Kazich stated that apartments would bring in more school-aged kids than condos.

Commissioner Johnson questioned if the Lisle property is rental and this would be purchase.

Mr. Grant stated that this would be a purchase property. He stated that he would like to be flexible and have a plan b on such an expensive development.

Commissioner Jackson questioned if they had done any research with realtors on the market of a for-sale unit like the proposed.

Mr. Grant stated that he had an appraiser run the numbers.

There was some discussion regarding real estate prices.

Commissioner Christ questioned if there would be a lot of water coming down from the incline off Plainfield. He questioned if there would be drainage built in on the plan.

Mr. Smith stated that the drainage would be directed to the post construction and there would be allowance for drainage to go into the ground which would prevent immediate runoff.

Commissioner Jackson questioned if the surface water would go underground.

Mr. Smith stated that there would be a small drainage pipe and that the plan shows the collection system with grading arrows to show drainage flow. He stated that there would be little crescents in the roadway on the way down to collect and store more surcharge for significant events.

Commissioner Jackson questioned if it would flow East.

Mr. Smith stated that it would flow Southeast.

Commissioner Jackson questioned what was there now.

Mr. Smith stated that it is parking.

Commissioner Johnson questioned if there was a drain it would lead to.

Mr. Smith stated yes, in the drive aisle.

Mr. Grant stated that they had not done a percolation test.

Mr. Smith stated that they would put down a stone base and have 40% voids to collect the storm water. He stated that there would be a certain amount of collection volume that is part of the post-construction best management practices.

Ms. Jackie Price, 7731 Lester Lane, stated that she has spoken to Mr. Grant and Mr. Murphy regarding the project and stated how thankful she was to the City for removing the eyesore on the subject property. She stated that she manages the community well and coordinates street maintenance, and that many of the residents on Lester Lane had been excited about the new project. She further stated that the property on the Southeast corner is always flooded and that they had a surveyor come out who said the neighbor may be draining back there but there is consistently water on the property that she would like to be addressed. Ms. Price further stated that some of the residents would be concerned with traffic coming in and out of Plainfield Road due to the density. She stated that those on Lester Lane would also be interested in having sewer and City water access. She further stated her concern with the density of the project.

Commissioner Jackson questioned if the water main extension that is proposed would be a sufficient main to continue down the street for all the residents to pick up.

Mr. Smith stated that he did not have the numbers.

Commissioner Jackson questioned if the existing would be an eight-inch. He further questioned if the size in the street was a ten-inch.

Mr. Grant stated that there would be a ten-inch main and an eight-inch stub.

Commissioner Jackson stated that bringing in a new stub may be worth looking into.

Mr. Grant stated that that would be for the City to handle.

Commissioner Jackson questioned how many houses are on Lester Lane.

Ms. Price stated that there are seven on the well and ten on the road. She questioned if a fire hydrant would be put in.

Commissioner Jackson stated that it had been proposed.

There was some discussion regarding a fire hydrant.

Mr. Frank Modelski, 7710 S Cass Ave, Modell Funeral Home, stated that he owns the property continuous to the subject property on the East side and that during rainstorms he gets a torrent through his property. He stated that he had built four drainages to accept all the water and that his property drops 9.5 feet from the Northwest corner to the Southeast corner. He further stated that his neighbor's backyard would be a foot deep with water during substantial rain. Mr. Modelski stated that if there is so much density on the property to the West, he would receive a flood of additional water that he could not handle. He further stated his concern with parking for all 16 units.

Mr. Grant stated that they would have 16 units and 8 visitor parking spaces.

Mr. Modelski stated that there would be no place for people to park if the residents were to entertain and that he would be concerned that they would look to his property for parking. He further stated his concern with children playing on his property and stated that he would not be able to afford the liability. He stated that he would like to see a nice project on the subject property, but this would be too much for what is proposed.

Mr. Smith stated that a detention is not required for the imperviousness that is being proposed. He stated that the post-construction best management practices would be designed to take frequent rain events and allow for infiltration, and that the expectation from the county would be that infiltration can be achieved at some fashion, partially by providing volume within stone course. He further stated that water would infiltrate through pavers to bring water subsurface during common storms, and when there are significant storms it would come off.

Chairperson Mallers stated that if the rain isn't that heavy, they would eliminate water coming onto Mr. Modelski's property, but if the rain is heavier it may not.

Mr. Smith stated that it would go along the natural course of drainage according to Illinois drainage law.

Mr. Murphy stated that the City has adopted the DuPage County stormwater ordinance, which says there is a certain amount they would be required to capture for frequent rain events, but for the more rare storm events the amount of impervious area that's increasing would not meet the threshold for more than just the regular storage. He stated that there is surface flow now during extreme rain events, but what is proposed does not require them to do more than what is there now.

Mr. Modelski stated that this happens during any rain event and that he has two drainage sewers behind his building and he is concerned he may get flow into his back doors.

Chairperson Mallers questioned what his main concerns were.

Mr. Modelski stated water and not having enough parking.

Commissioner Jackson stated that he appreciates someone wanting to do something with the subject property and that on a high level the proposal is good. He stated that multi-family residential would be nice here, but there are a lot of things he is not in support of. He further stated that the density is overbuilt, and he does not like the cookie-cutter nature of it, regarding choosing 16 units because it had been done before. Commissioner Jackson stated that, architecturally, he doesn't like that the buildings face one another and that there had not been much thought as to orientation or placement. He stated that this all comes back to density and that he would still be concerned about the grading of the garage doors.

Commissioner Johnson stated that he has an issue with the drainage of water and does not see how they would divert the flow of water.

Commissioner Jackson stated that the issue with density would compound other issues. He stated that he would have liked it to be approached differently to offer 12 units and that it would mitigate some of the other snowball issues being created. He further stated that he would love the covered parking, but it is very cramped and would create a logistical issue for potential buyers.

Commissioner Kazich stated that he would support the rezoning but not the variation due to density.

There was some clarifying conversation regarding drainage flow.

Chairperson Mallers stated that based on Mr. Murphy's opening comments, the decision would be looking at condos versus apartments.

Mr. Murphy stated that the Commission may only make a decision on the project as it was publicly noticed, which would only be condominiums. He stated that continuing with a motion would be continuing with the project as it was described in the notice.

Chairperson Mallers questioned if they would potentially be looking at apartments.

Mr. Murphy stated that it would not. He stated that if there is a decision made on the project, it would only be relevant to condominiums.

Commissioner Jackson questioned if the petitioner would prefer the flexibility of both.

Mr. Grant stated that he would.

Chairperson Mallers clarified that the Commission would have to vote on what the proposal was, and the proposal was for condominiums.

Commissioner Kazich clarified that if they were looking for an alternate, they would have to reapply and hold another public hearing strictly as an apartment.

Mr. Murphy confirmed this and stated that staff would do a new notice and there would be another meeting for the same item just with an updated project description.

Commissioner Jackson questioned if the project could be continued and amended.

Mr. Murphy stated that he would defer to the applicant or the Commission, and that they would have the ability to do so.

Commissioner Jackson stated that he would want to give the petitioner the opportunity to address some of the issues.

Mr. Grant stated that he has a big issue because the owner only gave them 45 days.

Ms. Pacura stated that the owner is impossible to work with and that they would need a decision today.

Mr. Grant stated that they had paid \$20,000 to \$25,000 for engineering because they knew this may be a lengthy process and they only have 45 days.

Chairperson Mallers stated due to the timing of the situation, the decision would need to be made upon what had been presented this evening. He questioned if anyone would like to make a motion for the proposal.

Commission Jackson stated that there had not been a lot of discussion regarding conditions or modifications.

Chairperson Mallers stated that there wouldn't be at this point because they were just looking at rezoning.

Commissioner Jackson stated yes, exactly as presented.

Commissioner Kazich questioned if they could make two motions, one for rezoning and one for density.

Mr. Murphy stated that the Planning Commission would just make one motion, and that if the project was later approved, there may be multiple ordinances.

Commissioner Jackson stated that he would be in full support of the rezoning, but he did not think the property and the project would support the density.

Commissioner Jackson made a motion, and it was seconded by Commissioner Gillespie to approve PZC2025-06 – 1220-1225 Plainfield Rd – Atlantic Homes Inc. – A petition for a rezone of Parcel 1 from Single Family Residence District (R-2) to Multi-Family Residence District (R-3), a plat of consolidation to combine the two subject parcels for development purposes, and the construction of two new eight (8) unit, two-story condominium buildings totaling 16,491 square feet, with sixteen (16) 2-car garages, along with associated site and utility improvements. The property is located at 1220-1225 Plainfield Road, Darien, Illinois 60561 (PINs 09-28-410-001 and 09-28-410-043). Multiple zoning variations are included in the request.

Chairperson Mallers questioned if the motion had been made on the proposal.

Commissioner Jackson confirmed that it had been just as submitted.

Commissioner Gillespie confirmed as well.

Chairperson Mallers clarified that as submitted, the approval would change the rezoning to a multi-family under condominiums.

The Commission confirmed his statement.

Commissioner Kazich questioned if they would not allow the variance due to density.

Commissioner Gillespie stated that they would not be able to.

Commissioner Jackson stated that they had not discussed this yet.

Chairperson Mallers stated that this would just be the rezoning.

Commissioner Jackson stated it would be the rezoning and the variances, and that they would have to make an affirmative recommendation.

Chairperson Mallers stated that at the moment, they had made a motion on what had come before the Commission this event, which would be the rezoning and 16 units of condominiums.

Commissioner Jackson stated that it would include the variances as well.

Upon roll call vote, the MOTION CARRIED 6-1.

AYES: Christ, Gillespie, Green, Johnson, Kazich, Mallers

NAYS: Jackson

Mr. Murphy stated that there would be a Municipal Services Committee meeting for this item on April 28, 2025. He stated that if it moves forward it would go to City Council on May 5, 2025.

Regular Meeting – Old Business

There was no old business to discuss.

Staff Updates & Correspondence

Mr. Murphy reported that they had rescheduled the Chestnut Court project for May 7, 2025. He reported that because of the rescheduling, he would expect more people in attendance, giving more opportunity for public comment.

Mr. Murphy reported that going forward, he would continue doing a PowerPoint for big projects and would provide the commissioners with hard cover packets.

Approval of Minutes

Commissioner Gillespie made a motion, and it was seconded by Commissioner Jackson to approve the March 5, 2025 Regular Meeting Minutes.

Upon voice vote, the MOTION CARRIED UNANIMOUSLY 7-0.

Next Meeting

Mr. Ryan Murphy announced that the next meeting is scheduled for Wednesday, May 7, 2025.

Public Comments (On Any Topic Related to Planning and Zoning)

There was no one in the audience wishing to present public comment.

Adjournment

With no further business before the Commission, Commissioner Christ made a motion, and it was seconded by Commissioner Johnson. Upon voice vote, the MOTION CARRIED UNANIMOUSLY, and the meeting adjourned at 8:12 p.m.

Respectfully Submitted:

Approved:

X

Jessica Plzak
Secretary

X

Lou Mallers
Chairperson